

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2018/1994

(Activation of consent must be obtained from Northern Beaches Council)



BASIX COMMITMENTS SUMMARY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
Assessor's name: Ved Baheti m: 0421 530 876 e: ved@outsourcideas.com.au				
WATER No hot water reticulation required				
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	4 Star(>4.5 But<=6L/Min)	4 star	4 star	4 star
Alternate water source				
	Type	Size	Roof area connected	Connections
	RWT	3000L	200 m2	Landscape tap
ENERGY				
Hot water		Type	Rating	
		Individual, gas instantaneous	6 star	
Mech. Ventilation		System	Operation Control	
		Bath	indiv. fan, ducted to facade or roof	
		L'dry	indiv. fan, ducted to facade or roof	
		Kitchen	indiv. fan, ducted to facade or roof	
Cooling System		Type	Living areas	Bed rooms
		3 Phase Air conditioning: Day / Night Zoned	EER > 4.0	EER > 4.0
Heating System		Type	Living areas	Bed rooms
		3 Phase Air conditioning: Day / Night Zoned	EER > 4.0	EER > 4.0
Artificial Lighting Primary type of artificial lighting is fluorescent or light emitting diode (LED)				
		Toilets, L'dry & Hallway	Living	Kitchen
		Yes	Yes	Yes
Others		Indoor private Cloth Line NA		
		Outdoor or sheltered Cloth Line Yes		
		Well ventilated Fridge space Yes		
		Kitchen Cook top / Oven Gas Cook top + Electric Oven		
THERMAL				
External Wall Insulation: R2.0				
Ceiling Insulation: R2.0				
Roof type :Suspended concrete roof Medium Col (0.475 - 0.7)				
Glazing:				
Awning, Fixed: ALM-001-03 A: Aluminium A SG Clear U=5.4 SHGC =0.49				
All other glazing :ALM-002-04 A: Aluminium B SG Clear U=5.6 SHGC =0.41				
All External doors & windows to be weather sealed				
Eaves / shading as per drawings				

LEGEND

- AWN1/2/3 - LIGHTWEIGHT AWNING
- BAL1 - GLAZED BALUSTRADE TO CODE
- BAL2 - MASONRY BALUSTRADE TO CODE
- BRK1/2 - MASONRY WALL
- CL - CEILING LEVEL
- COL - STEEL COLUMN TO ENGINEERS DETAILS
- CONC1/2 - CONCRETE FLOOR SLAB TO ENG. DETAILS
- CONC3 - CONCRETE ROOF SLAB TO ENG. DETAILS
- CONC5 - CONCRETE DRIVEWAY
- COS - CHECK ON SITE
- CPT1 - CARPET ON UNDERLAY
- CT1/2/3 - CERAMIC TILE
- DP - DOWNPIPE
- EP1/2/3 - EXTERNAL PAINT FINISH
- EX - EXISTING
- EXGL - EXISTING GROUND LEVEL
- FC1 - FIBRE CEMENT WALL CLADDING
- FEN1 - TIMBER LAP AND CAP FENCE
- FEN2 - TIMBER PICKET FENCE
- FFL - FINISHED FLOOR LEVEL
- G - EAVES GUTTER
- GD1 - GRATED DRAIN
- GL1 - ALUMINIUM FRAMED WINDOW/DOOR
- LMC - LIFT MOTOR CONTROLLER
- MR1 - METAL ROOF SHEETING
- NTS - NOT TO SCALE
- PAR - PARAPET
- PAV1/2 - EXTERNAL PAVING
- PF - SWIMMING POOL FENCING TO COMPLY WITH AS1926.1
- POS - PRIVATE OPEN SPACE
- RL - RELATIVE LEVEL
- ROW - RIGHT OF WAY
- RWH - RAINWATER HEAD
- RWO - RAINWATER OUTLET
- RWT - RAINWATER TANK
- SFL - STRUCTURAL FLOOR LEVEL
- SSC - SANDSTONE CLADDING
- TC1 - TIMBER CLADDING
- TD1 - TIMBER DECKING
- TB1 - INTERNAL TIMBER FLOORBOARD



For Development Application Only

LOT 7 - COVER SHEET

DWELLING HOUSE FOR LOT 7 IN PROPOSED SUBDIVISION OF 1801 A7.000 A

96-104 CABARITA ROAD AVALON BEACH

ISSUED FOR DEVELOPMENT APPLICATION AMENDMENT

NOVEMBER 2018 DATE

A ISSUE

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ARCHITECTS

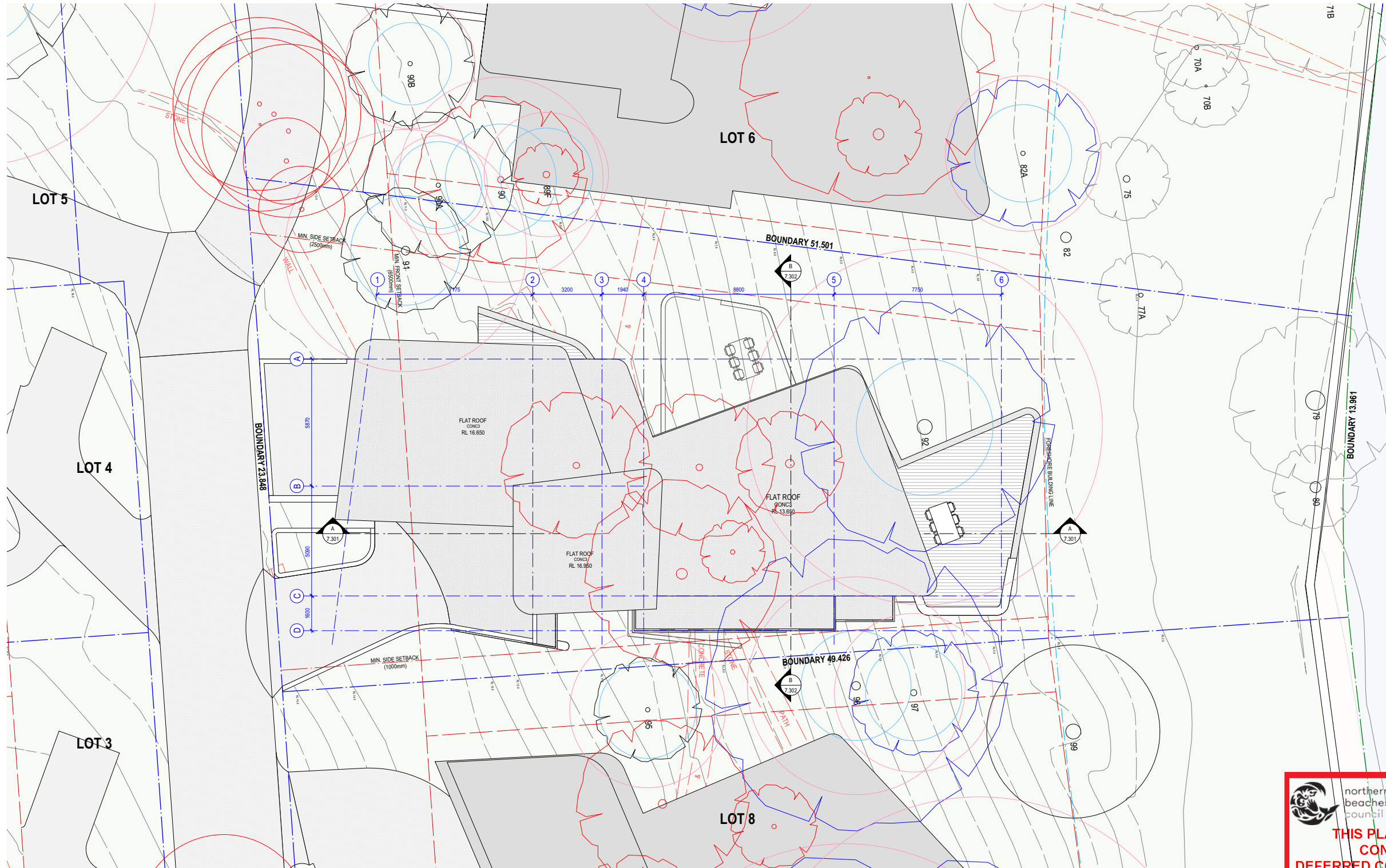
LEVEL 2 271 ALFRED STREET NORTH
NORTH SYDNEY NSW 2060
FACSIMILE (02) 9955 5083
TELEPHONE (02) 9955 5608

DESIGN PRACTICE

1801 A7101 House 7 Plans Current.vwx

Tuesday, 27 November 2018

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Energy Rating Certificate Number 15212099

single-dwelling rating **5.4** stars

multi-unit development (attach listing of ratings) heating **37.0** MJ/m²

cooling **23.0** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Ved Baheti VIC/BDV/13/1521

Assessor Signature *Ved Baheti* Date 10/12/2018

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LOT 7 - LOT / ROOF PLAN

DWELLING HOUSE FOR LOT 7 IN PROPOSED SUBDIVISION OF

1801 A7.002 A

96-104 CABARITA ROAD AVALON BEACH

Scale 1:200
NOVEMBER 2018

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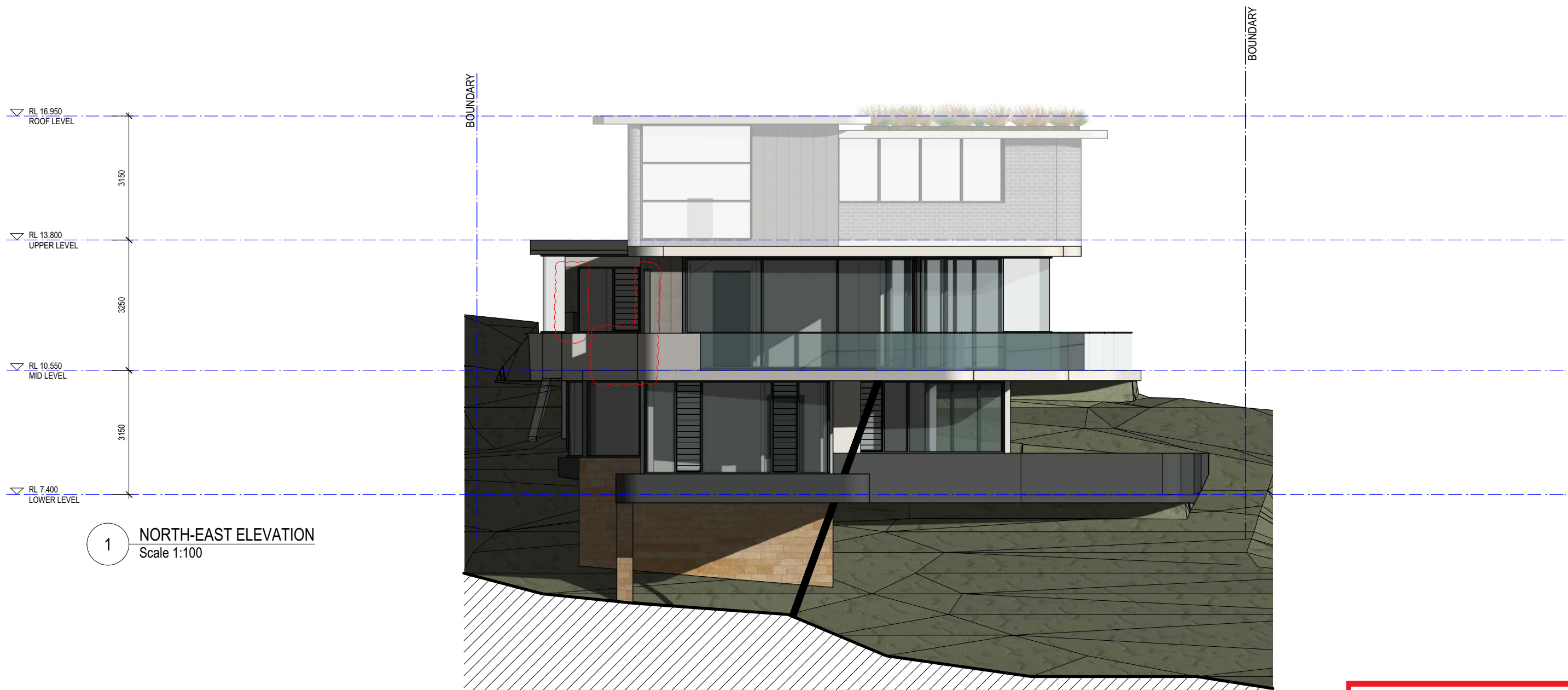
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1 NORTH-EAST ELEVATION
Scale 1:100

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LOT 7 - NORTH-EAST ELEVATION

DWELLING HOUSE FOR LOT 7 IN PROPOSED SUBDIVISION OF

1801 A7.201 B

96-104 CABARITA ROAD AVALON BEACH

SCALE: 1:100
NOVEMBER 2018

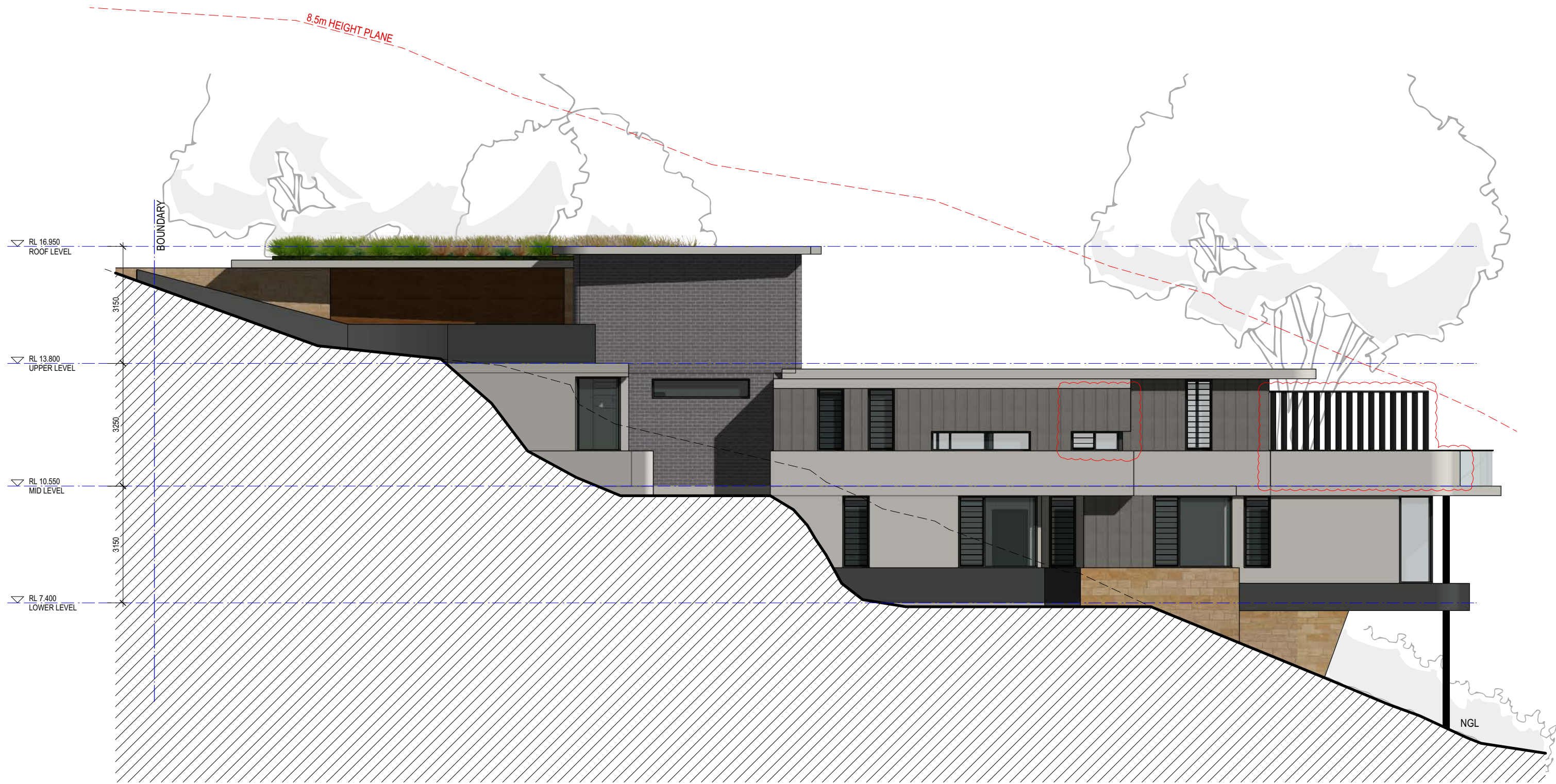
RE-ISSUED FOR DEVELOPMENT APPLICATION AMENDMENT
SEPTEMBER 2019
DATE
ISSUE

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1 SOUTH-EAST ELEVATION
Scale 1:100

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LOT 7 - SOUTH-EAST ELEVATION

DWELLING HOUSE FOR LOT 7 IN PROPOSED SUBDIVISION OF

1801 A7.202 B

96-104 CABARITA ROAD AVALON BEACH

SCALE: 1:100
NOVEMBER 2018

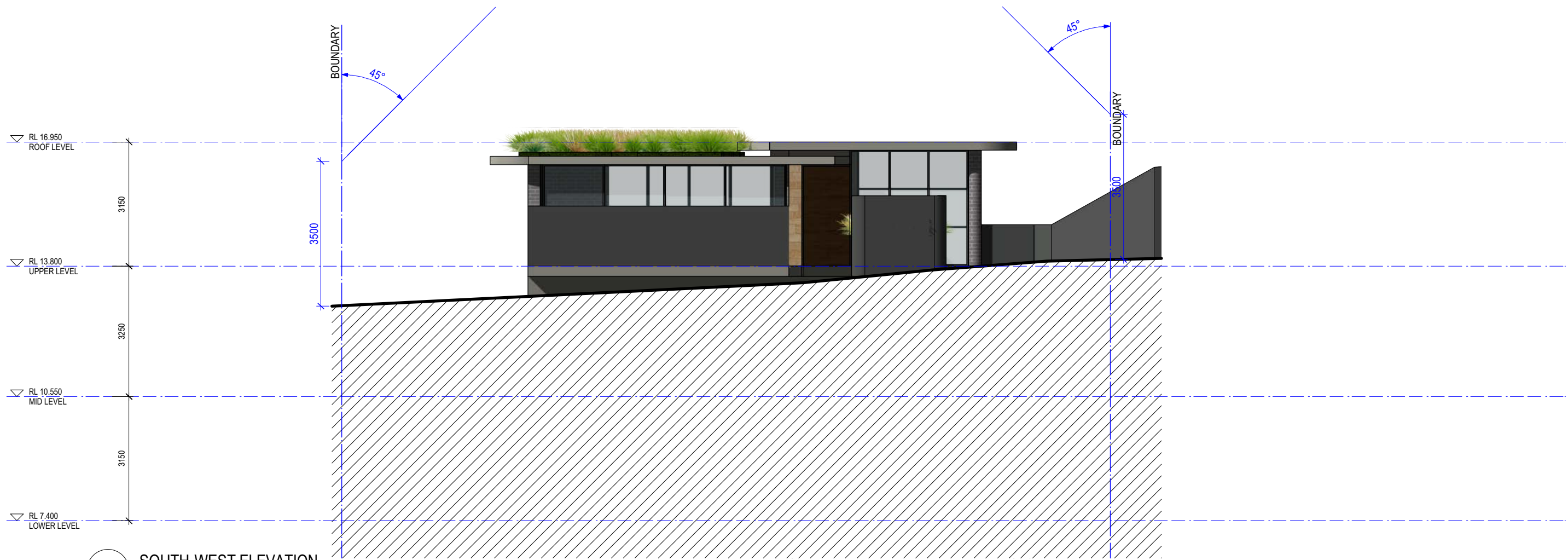
AMENDMENT	DATE	ISSUE
1		

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1 SOUTH-WEST ELEVATION
Scale 1:100



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LOT 7 - SOUTH-WEST ELEVATION

DWELLING HOUSE FOR LOT 7 IN PROPOSED SUBDIVISION OF

1801 A7.203 A

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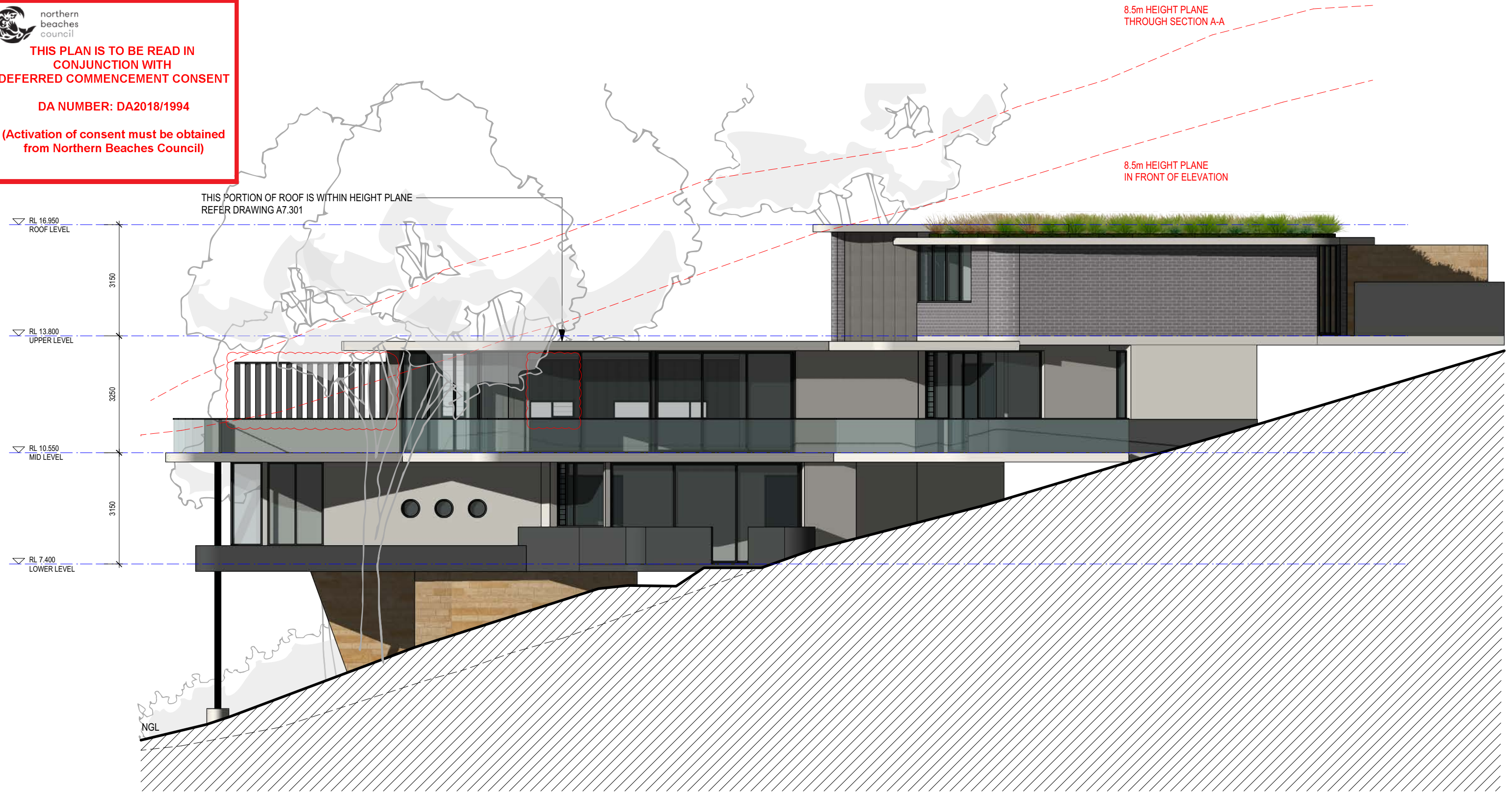
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1 NORTH-WEST ELEVATION
Scale 1:100

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LOT 7 - NORTH-WEST ELEVATION

DWELLING HOUSE FOR LOT 7 IN PROPOSED SUBDIVISION OF

1801 A7.204 B

96-104 CABARITA ROAD AVALON BEACH

SCALE: 1:100
NOVEMBER 2018

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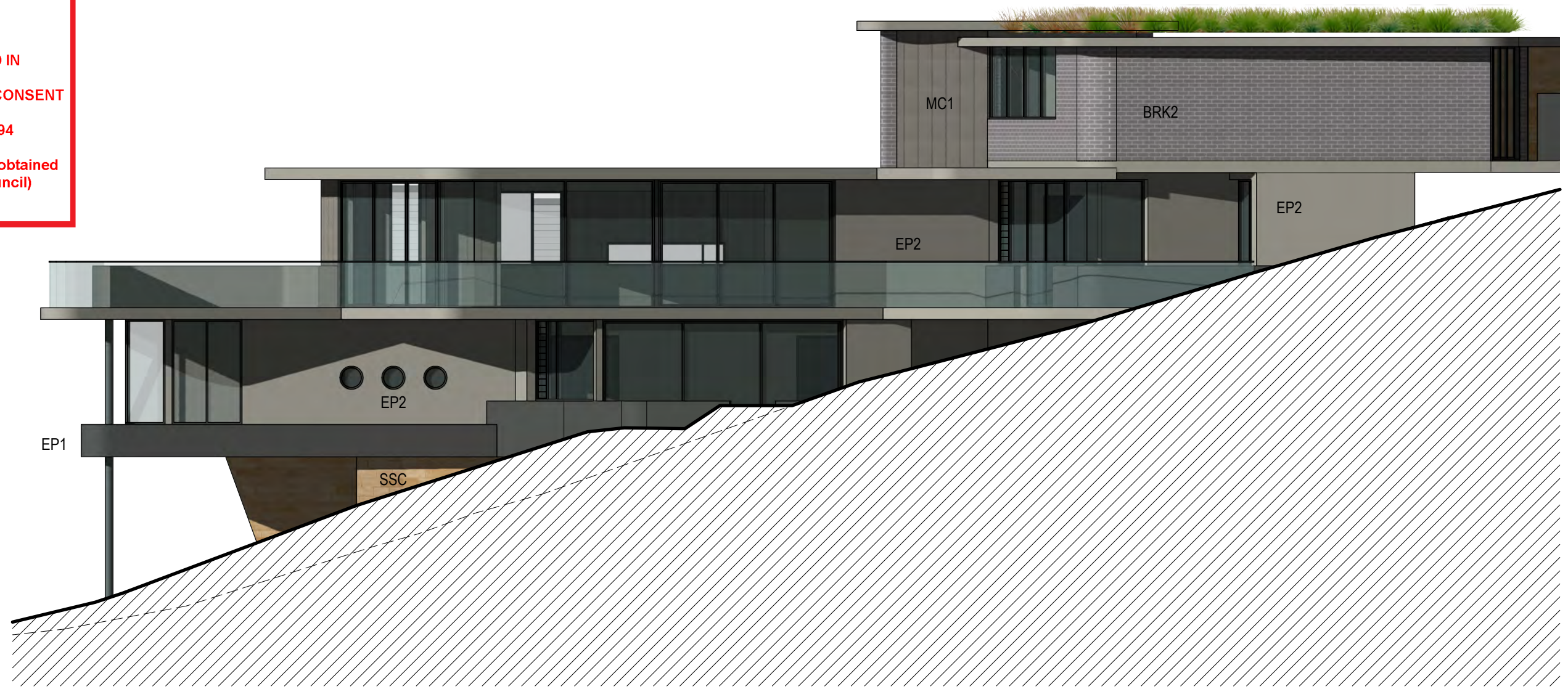
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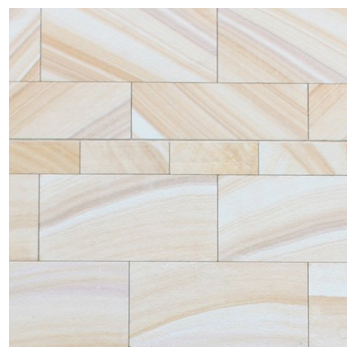
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1 NORTH-WEST ELEVATION
 Scale 1:100

NOTE: EXTENT OF FINISHES ON ELEVATIONS ARE INDICATIVE ONLY



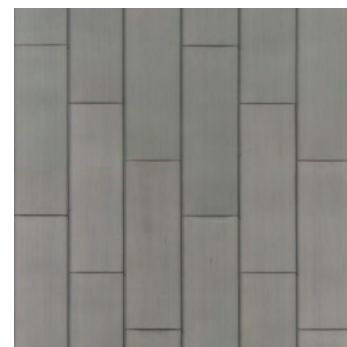
SANDSTONE CLADDING
SSC



RENDERED MASONRY
COLOUR : DARK GREY
EP1



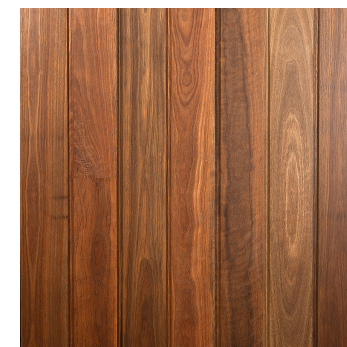
RENDERED MASONRY
COLOUR : MID GREY 1
EP2



METAL CLADDING
MC1



FACE BRICKWORK
BRK2



TIMBER CLADDING
TC1



ALUMINIUM FRAMED
WINDOWS/DOORS
GL1

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LOT 7 - EXTERNAL FINISHES SCHEDULE

DWELLING HOUSE FOR LOT 7 IN PROPOSED SUBDIVISION OF

96-104 CABARITA ROAD AVALON BEACH

1801 A7.SK03 A

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