# 12B JOHN STREET AVALON, NSW, 2107

### **SHEET LIST:**

00 - COVER PAGE

01 - SITE PLAN

02 - GROUND FLOOR PLAN

03 - FIRST FLOOR PLAN

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13 - ELEVATIONS

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20 - SECTIONS

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100 - SITE ANALYSIS

101 - ANALYSIS SECTIONS

102 - SHADOW PLANS

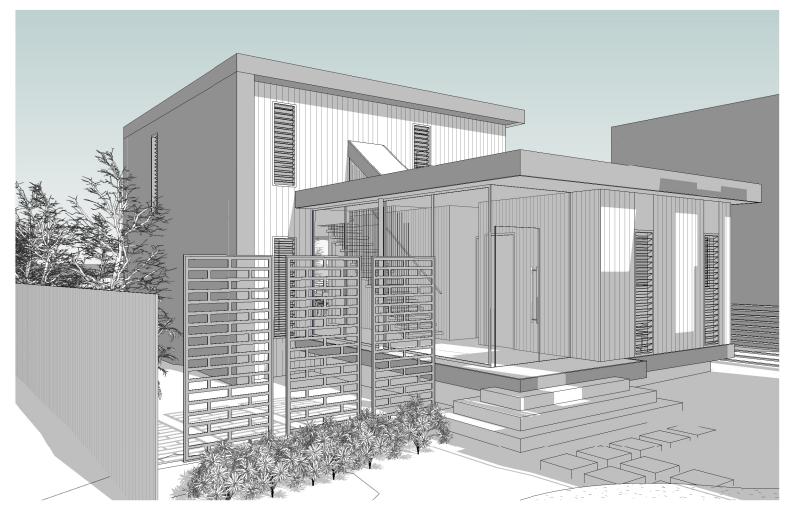
103 - SHADOW 3D'S

104 - COLOUR & FINISHES

105 - 3D'S

106 - BASIX & NATHERS

Building Component	Construction Materials		Insulation	Colour - Solar Absorpt.	Other Detail/Requirements	
External Walls	Weatherboard	Plasterboard lined	R4.1	Medium (0.475 to 0.70)	Walls as marked	
	Fibre Cement	Plasterboard lined	R1.8	Medium (0.475 to 0.70)	Main Dwelling: 12A (Cavity slider wall dining room)	
THE RESERVE THE PROPERTY OF THE PERSON OF TH	Fibre Cement	Plasterboard lined	R4.1	Medium (0.475 to 0.70)	Walls as marked	
Internal walls (within)	Plasterboard on studs		R3.6		Granny Flats: All internal walls	
	Plasterboard on studs		R2.7		Main Dwellings 128 wet areas	
	Plasterboard on studs		R2.5	4	Main Dwelling 12A: All wet areas	
	Plasterboard on studs		None		Main Dwellings 12A and 12B: All other areas	
	Alum SG Clear: U = 6.70: SH	GC = 0.57	411000		Granny flat A and B: All garage windows	
Windows/Glazing*	Alum DG Argon Fill High Solar Gain low-E-Clear: U = 4.1: SHGC = 0.52				Granny flat A and B: Sliding window	
windows/ Grazing*	Aluminium Louvre Seconda	ry Glaze SG 6mmLE: U = 3.71: SHGC = 0.54			Louvre windows in all dwellings (except garages). WA16	
	Al Thermally Broken DG Air Fill High Solar Gain low-E-Clear: U = 3.1: SHGC = 0.49				All other windows	
Roof	Metal Deck		R9.2	Medium (0.475 to 0.70)		
Ceiling	Timber				As above	
Floor Structure	Concrete		None		Granny flats ground floor	
	Timber		R4.1		Main dwelling floors. Granny flats first floors	
Floor Covering	Timber	All other rooms			As drawn	
	Ceramic Tiles	Wet areas				
Ceiling/Wall Penetrations	Must be sealed	*				
External Shading Devices	As drawn					
Roof Windows	None					
Skylights	None					



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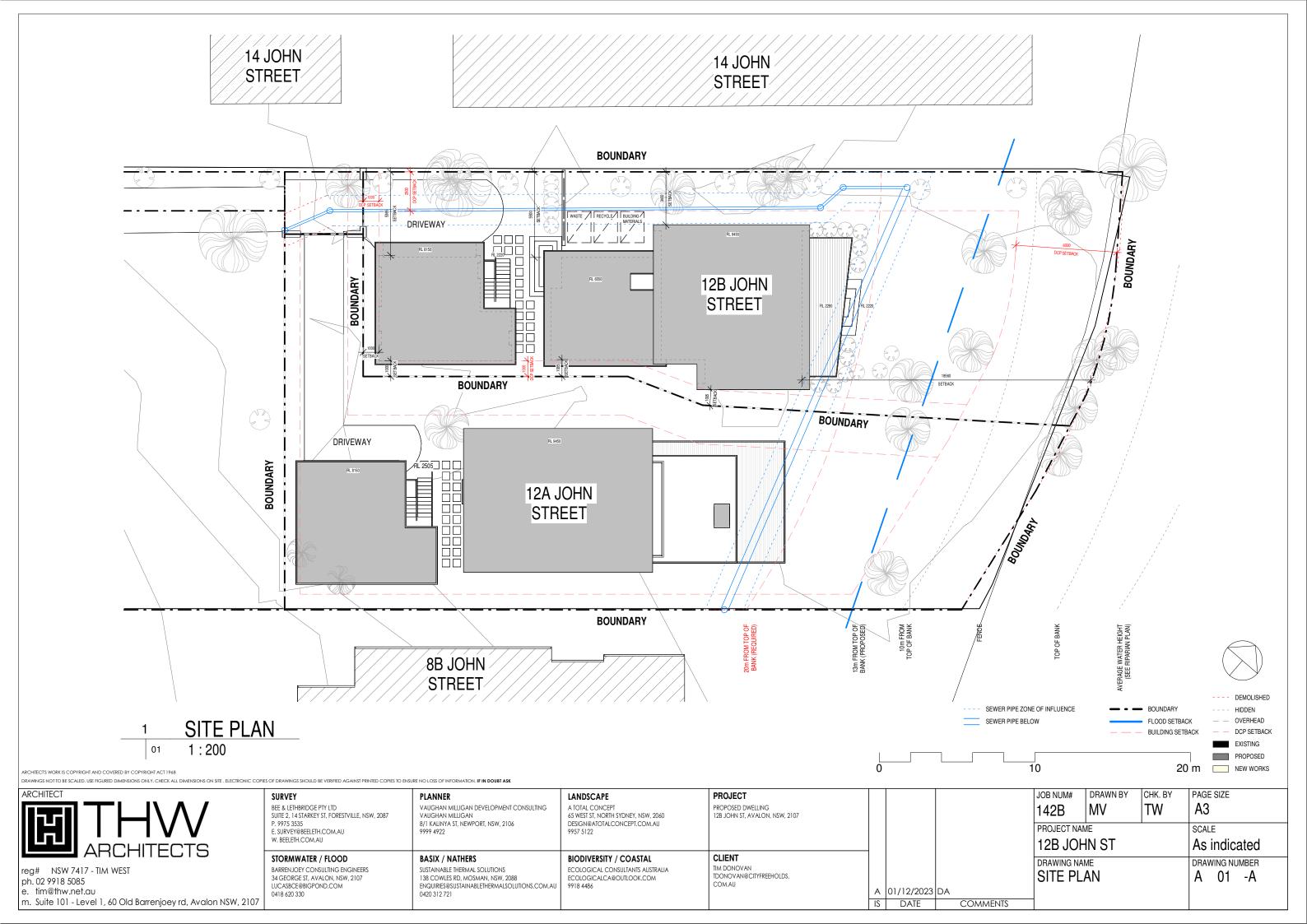
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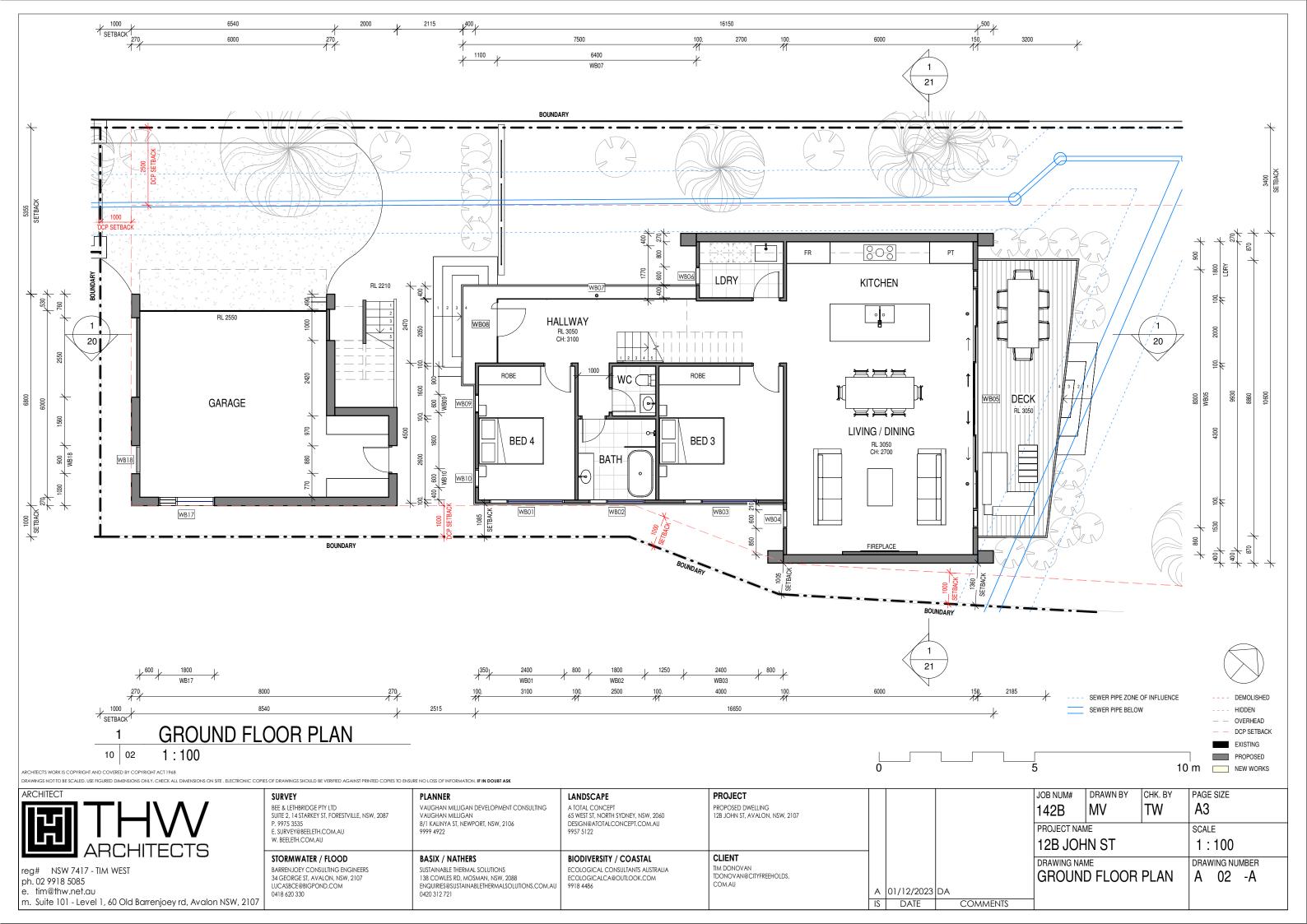
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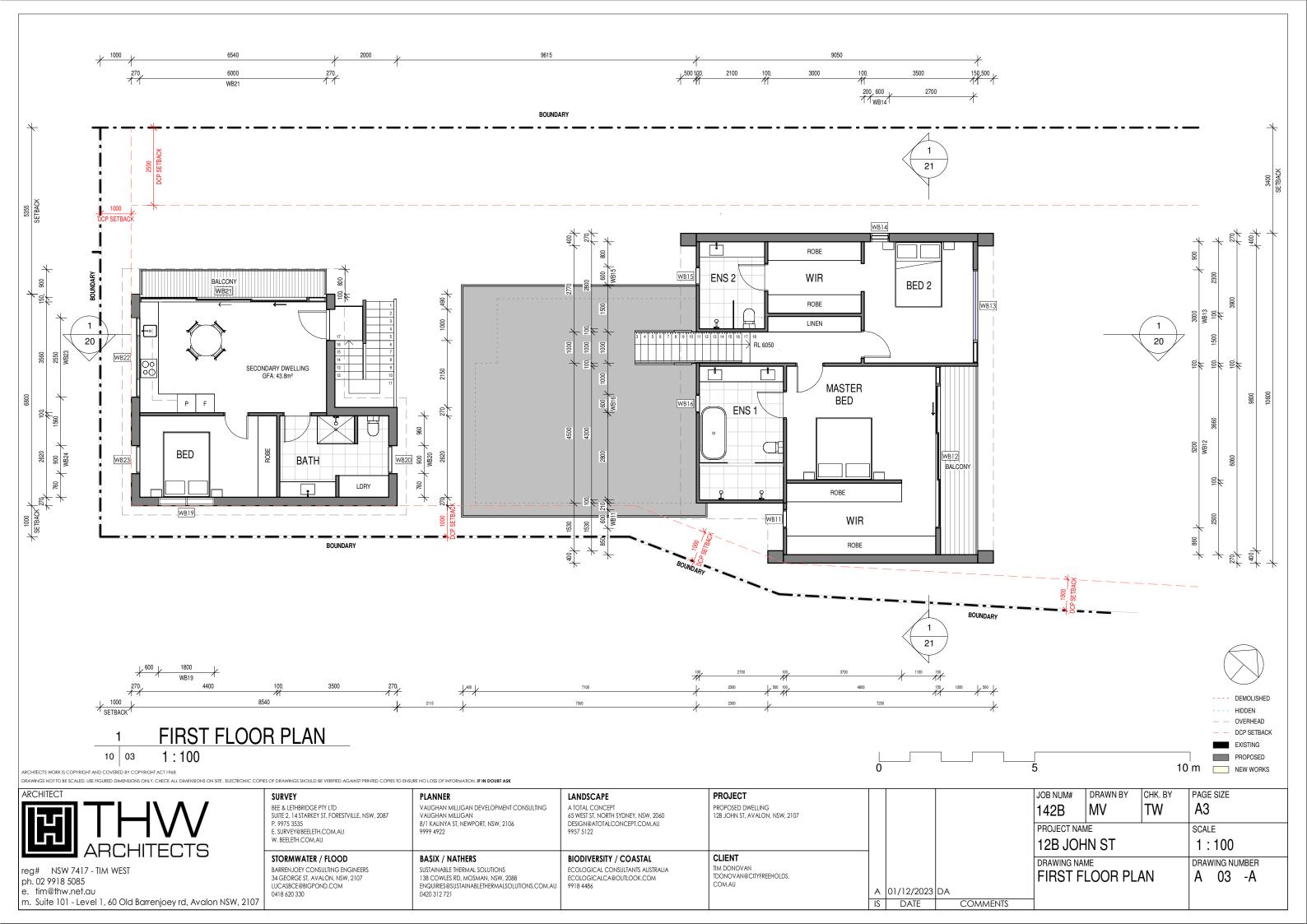
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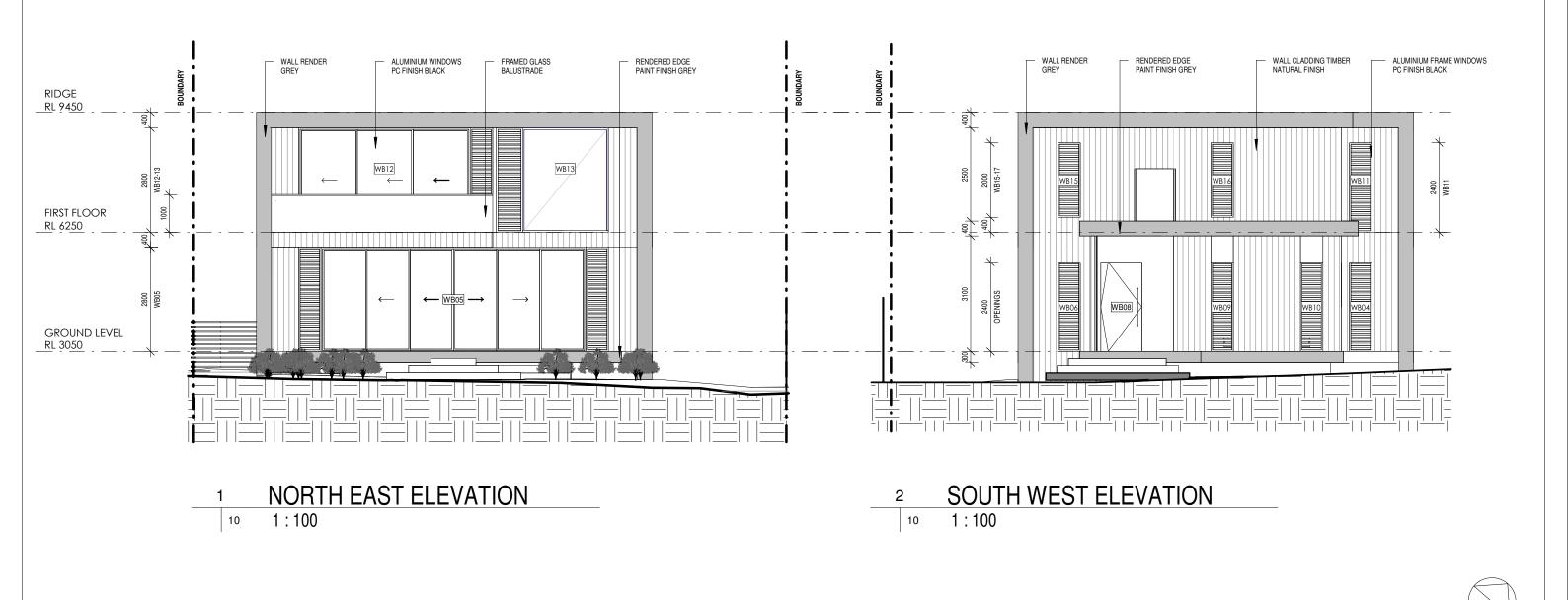
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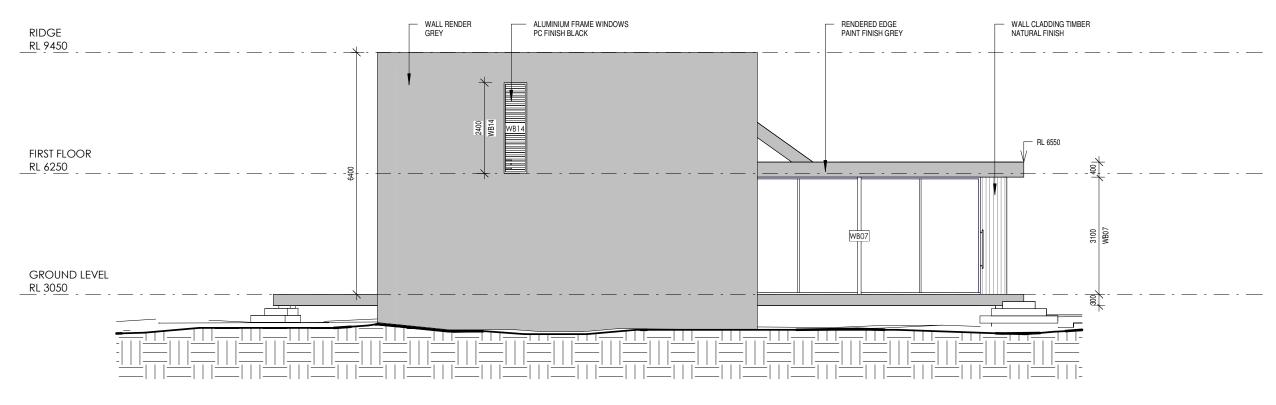
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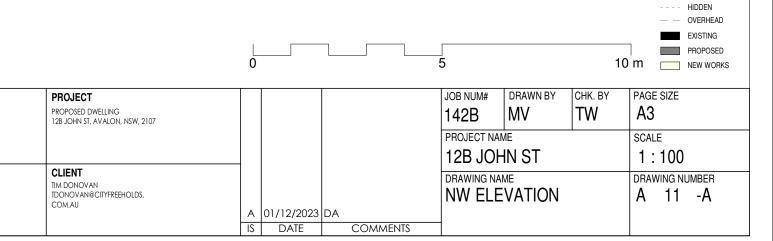
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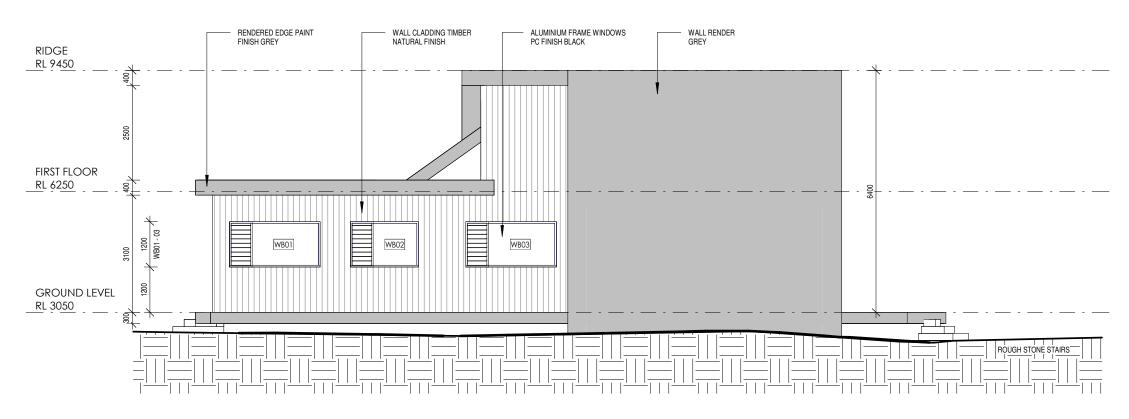
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LANDSCAPE

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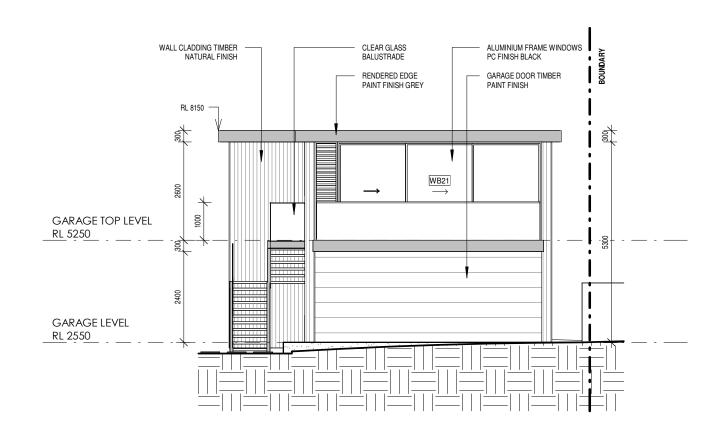


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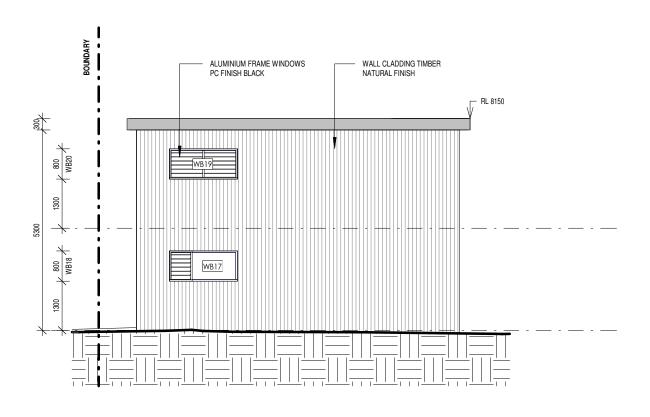
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**GARAGE NW ELEVATION** 



**GARAGE SE ELEVATION** 1:100

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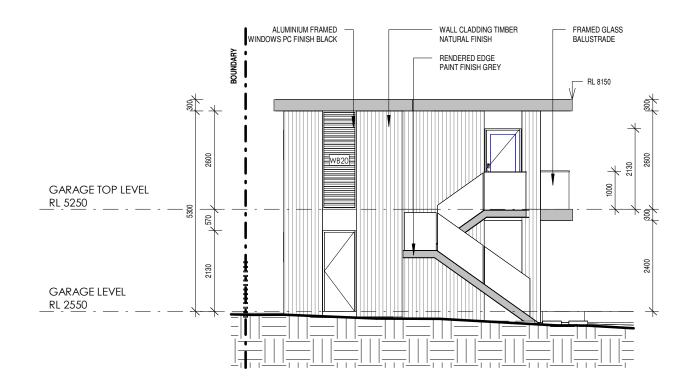
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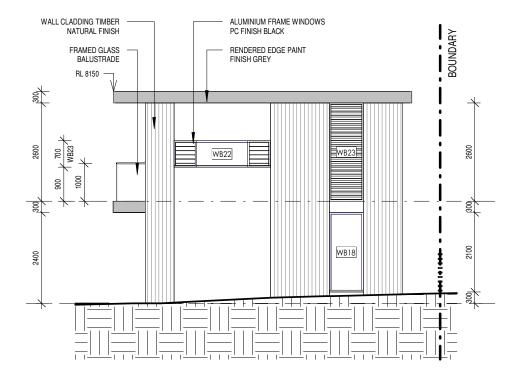
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**GARAGE NE ELEVATION** 



# **GARAGE SW ELEVATION**

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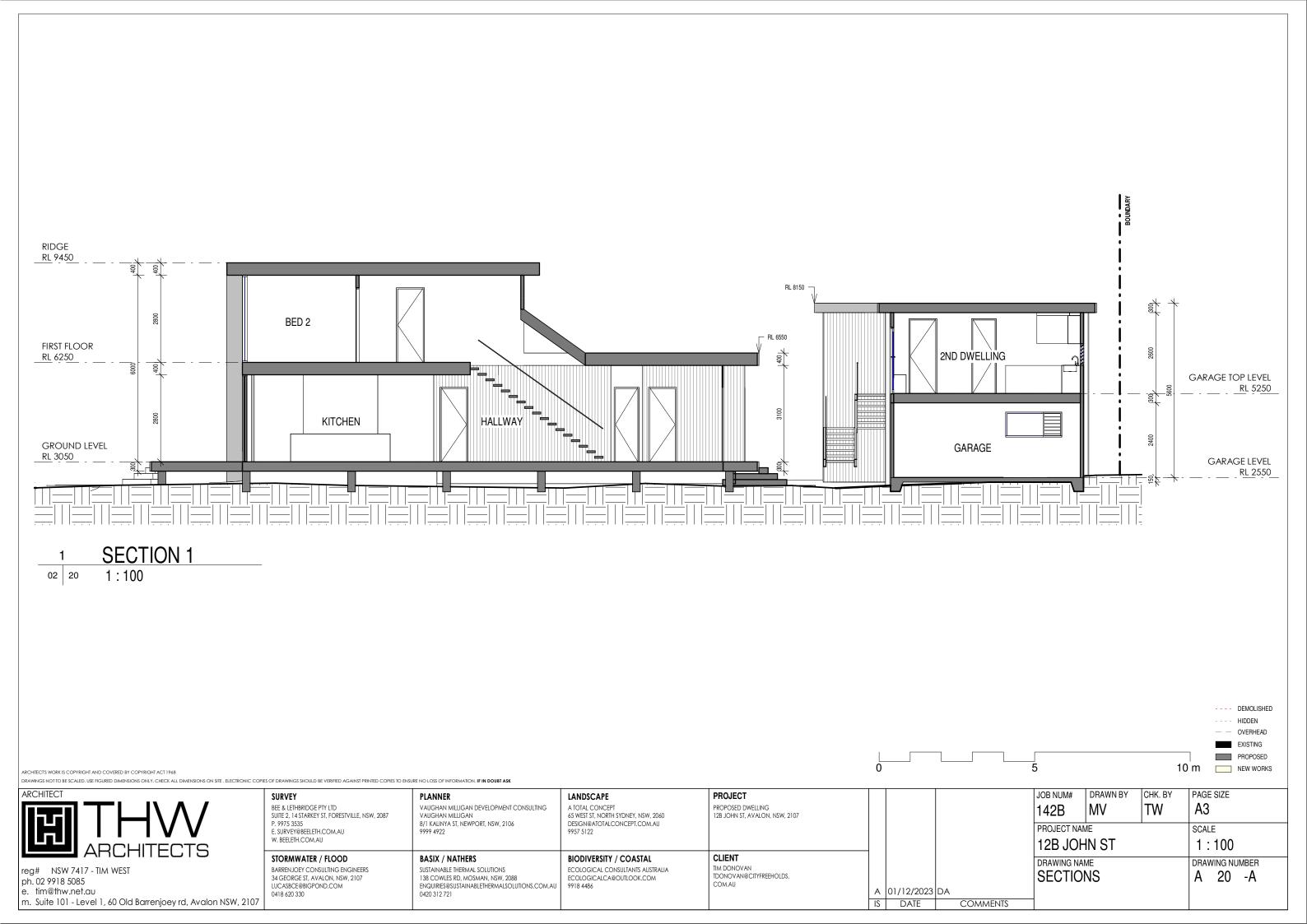
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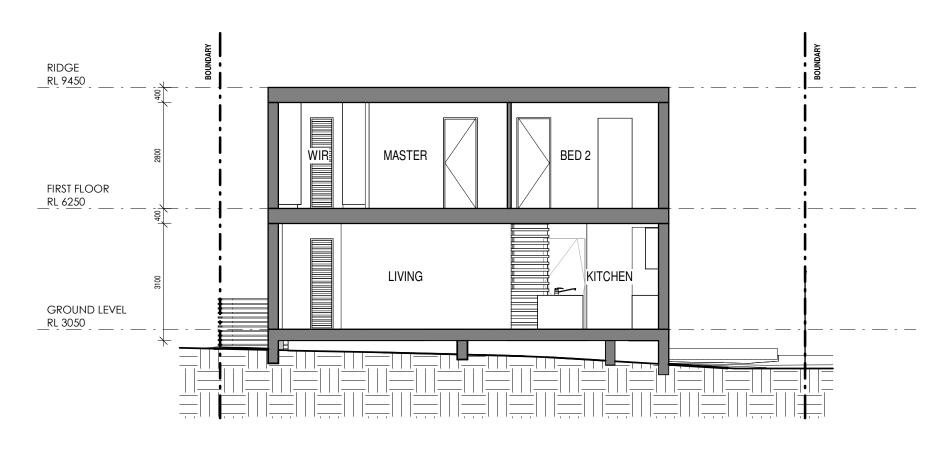
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JOHN

GARAGE 12B JOHN 12 JOHN ST SITE ANALYSIS NEW

1:400 100

#### SITE ANALYSIS

SITE AREA 700m<sup>2</sup> ZONE E4

MAX COVERAGE BUILDING FOOTPRINT 40% = 280m<sup>2</sup> 183.2m<sup>2</sup> HARD PAVING / DECK / STAIRS 87.9m<sup>2</sup> PRO COVERAGE 271.1m<sup>2</sup> = 38.7%

REQ LANDSCAPE 60% = 420m<sup>2</sup> PRO LANDSCAPE 428.9m<sup>2</sup> = 61.3%

MAX HEIGHT PRO HEIGHT 8.5m 7.34m

REQ FRONT SETBACK 6.50m PRO FRONT SETBACK HOUSE PRO FRONT SETBACK GARAGE 12.1m 1.00m

REQ REAR SETBACK 6.50m PRO REAR SETBACK HOUSE 18.56m PRO REAR SETBACK GARAGE 37.71m

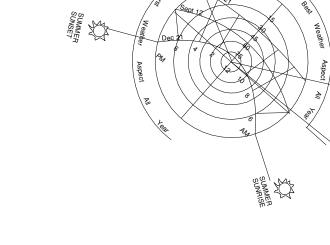
REQ SIDE SETBACK PRO SIDE SETBACK HOUSE 1.00m / 2.50m 1.08m / 3.40m PRO SIDE SETBACK GARAGE 1.00m / 5.36m

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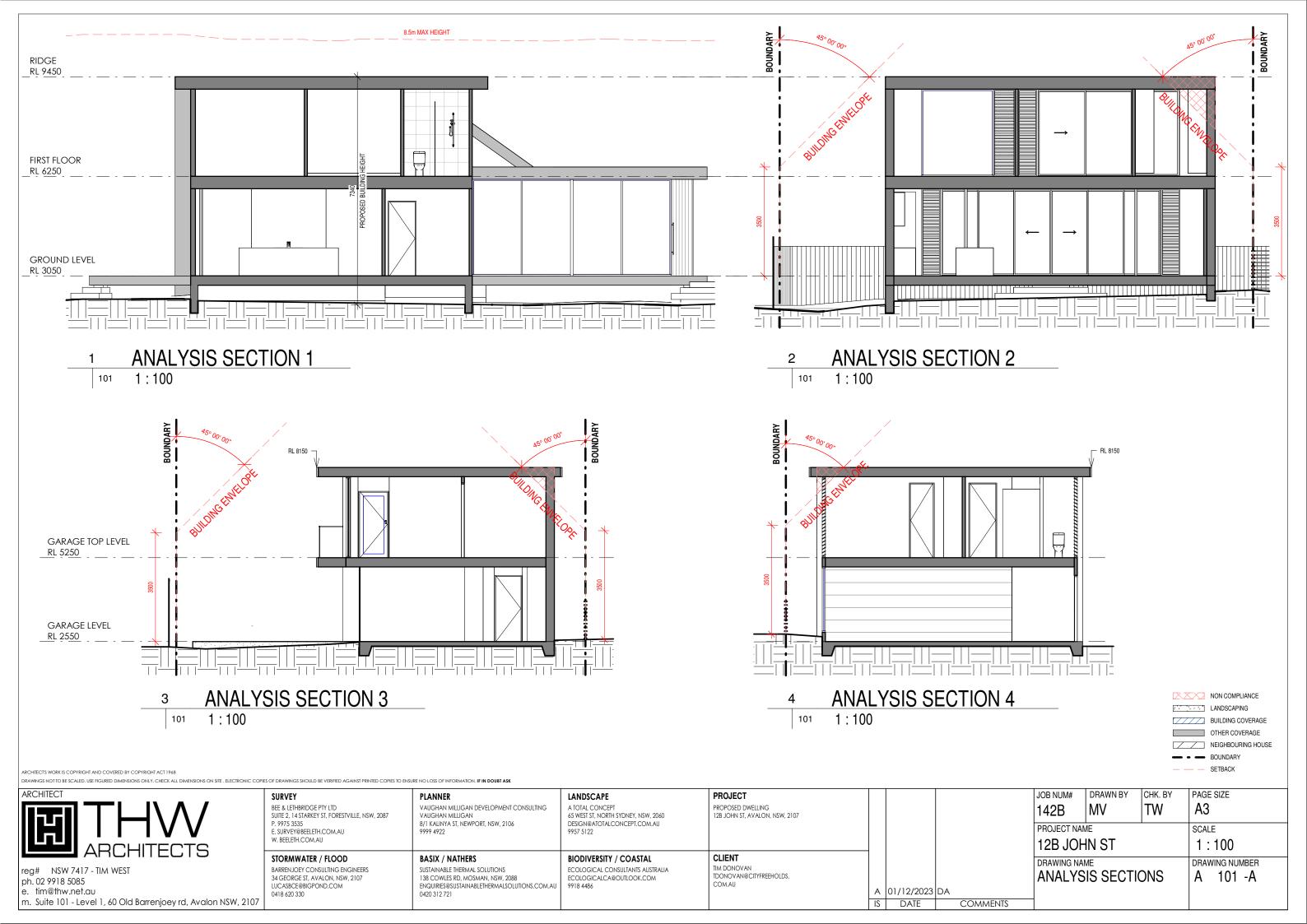
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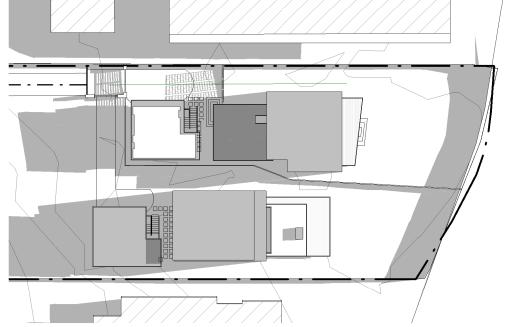
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NON COMPLIANCE LANDSCAPING

> BOUNDARY SETBACK

BUILDING COVERAGE OTHER COVERAGE NEIGHBOURING HOUSE





**SHADOWS 9AM JUNE 21ST** 



SHADOWS 12PM JUNE 21ST

102



**SHADOWS 3PM JUNE 21ST** 

102

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CLIENT TIM DONOVAN TDONOVAN@CITYFREEHOLDS. A 01/12/2023 DA

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DRAWN BY PAGE SIZE JOB NUM# MV А3 142B PROJECT NAME SCALE 12B JOHN ST 1:500 DRAWING NAME DRAWING NUMBER SHADOW PLANS A 102 -A



3D SHADOWS JUNE 21ST 9AM

103



3D SHADOWS JUNE 21ST 12AM

103



3D SHADOWS JUNE 21ST 3PM

103

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A TOTAL CONCEPT

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LANDSCAPE

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COMMENTS

DATE

DRAWN BY PAGE SIZE JOB NUM# MV 142B **A**3 PROJECT NAME SCALE 12B JOHN ST DRAWING NAME DRAWING NUMBER SHADOW 3D'S A 103 -A





WALL CALDDING: TIMBER NATURAL FINISH



WALL RENDER: GREY



WINDOW FRAMES: PC FINISH **BLACK** 

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**PROJECT** PROPOSED DWELLING 12B JOHN ST, AVALON, NSW, 2107

CLIENT

A 01/12/2023 DA

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DRAWING NAME DRAWING NUMBER

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EXTERNAL FINISHES

A 104 -A

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COMMENTS

DATE

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3D VIEW 1



3D VIEW 3

105

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3D VIEW 2

105



3D VIEW 4

105

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifie
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	~
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		~	-
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		~	-
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	V	V	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		~	
(g) The pool or spa must be located as specified in the table.	V	~	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	~	~

Fixtures			Fixtures Appliances Individual pool					Individual spa						
Dwelling no.	All shower- heads	All toilet flushing systems		All bathroom taps	HW recirculation or diversion	All clothes washers	All dish- washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
	4 star (> 4.5 but <=	5 star	5 star	5 star	-	-	-	-	-	14	-	-	-	-

	Alternative water source											
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top- up	Spa top-up				
Main	Central water tank (No. 1)	See central systems	See central systems	yes	yes	no	no	no				
Main	No alternative water supply	-	-	-	-		-	-				
All other dwellings	Central water tank (No. 1)	See central systems	See central systems	yes	no	no	no	no				
All other dwellings	No alternative water supply	-	0	ā	7	58	o.	8				

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	*	-	¥
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		V	V
(d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 ining/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas"; then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms:		-	~

ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary be of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		~	~
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	~	~	~
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:	1		
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		~	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		~	
h) The applicant must install in the dwelling:			
<ul><li>(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances &amp; other efficiency measures" column of the table below;</li></ul>		~	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		~	~
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		~	
<ul><li>(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".</li></ul>			

	Hot water	Bathroom ver	ntilation system	Kitchen ven	tilation system	Laundry ver	tilation system
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous - 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Cooling			Hea	Natural lighting		
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
Main	-	-	-	-	3	yes
All other dwellings	ž	2	2	2	1	yes

	Individual pool			Individual s	oa	Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-		-	-	gas cooktop & electric oven	-	-	yes	yes

		Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation inputs
All dwellings	-	1-	

(iii) Thermal Performance	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	~		

(iii) Thermal Performance	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		~	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
(g) Where there is an in-slab heating or cooling system, the applicant must:	~	~	~
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	~	~	~
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	V		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		V	

	Thermal loads								
Dwelling no.	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)	Area adjusted total load (in MJ/m²/yr)						
Main	16.1	13.6	29.700						
All other dwellings	18.3	11.1	29.400						

	Construction of floors and walls									
Dwelling no.	Concrete slab on ground (m²)	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls					
Main	-	-	127	-	no					
All other dwellings	-1	-	-	43	no					

	Floor types											
		Concret	e slab on groun	d	Suspended flo	oor above enc	losed subfloor	Suspended floor above open subfloor				
Dwelling no.	Area (m²)	Insulation	Low emissions option	Dematerialisation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation		
Main	-	-	-	-	-	127	-0	-	j-	-		
All other dwellings	-	-	-	conventional slab	-	-	-		-	-		

	Floor types	Floor types											
	First floor above habitable rooms or mezzanine			Suspended floor above garage			Garage floor						
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Low emissions option	Dematerialisation		
Main	-	-	-	-	-	-	-	-		-	-		
All other dwellings	-		ē	particle board, frame: timber - H2 treated softwood	43	fibreglass batts or roll	concrete slab on ground	43	-	none	conventional slab		

	External walls							
		Exter	nal wall type 1			Exteri	nal wall type 2	
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option
Main	framed (fibre cement sheet or boards), frame : timber - H2 treated softwood	262	fibreglass batts or roll	-			-	20
All other dwellings	framed (fibre cement sheet or boards), frame : timber - H2 treated softwood	89	fibreglass batts or roll	-	-		-	5

	External walls									
	External wall type 3					External wall type 4				
elling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option		
wellings	-	-)	-	is .	]-	-	-	-1		

	Internal walls	nternal walls										
	Internal walls shared with garage				Internal wall typ	e 1	Internal wall type 2					
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation			
Main		-	-	plasterboard, frame: timber - H2 treated softwood	181	fibreglass batts or roll	ā	in the second	5.1			
All other dwellings	174	-2	-	plasterboard, frame: timber - H2 treated softwood	22	fibreglass batts or roll	=	5	-			

	Ceiling and roo	of							
	Fla	t ceiling / pitch	ed roof	Raked ce	iling / pitched o	r skillion roof		lat ceiling / flat	roof
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation
Main	-	-	-	-	-	-	framed - metal roof, frame: timber - H2 treated softwood	151	-
All other dwellings	7	-	-		E	-	framed - metal roof, frame: timber - H2 treated softwood	64	-

(i) Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Floor types", "External wall types", "Internal wall types", "Ceiling and roof types", "Frames" and "Glazing" fables below.			~
(b) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all specifications included in the tables below.		~	
(c) The applicant must construct the floors, walls, roof, ceiling and roof, windows, glazed doors and skylights of the development in accordance with the specifications islited in the tables below. In the case of glazing, a 5% variance from the area values listed in the "Frames" and "Glazing" tables is permitted.	~	~	~
(d) The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the below tables.			V
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		V	~
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	~	~	~
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	V	V	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		~	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		V	V
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		V	~
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		~	~
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	V	~	V

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