

12B JOHN STREET AVALON, NSW, 2107

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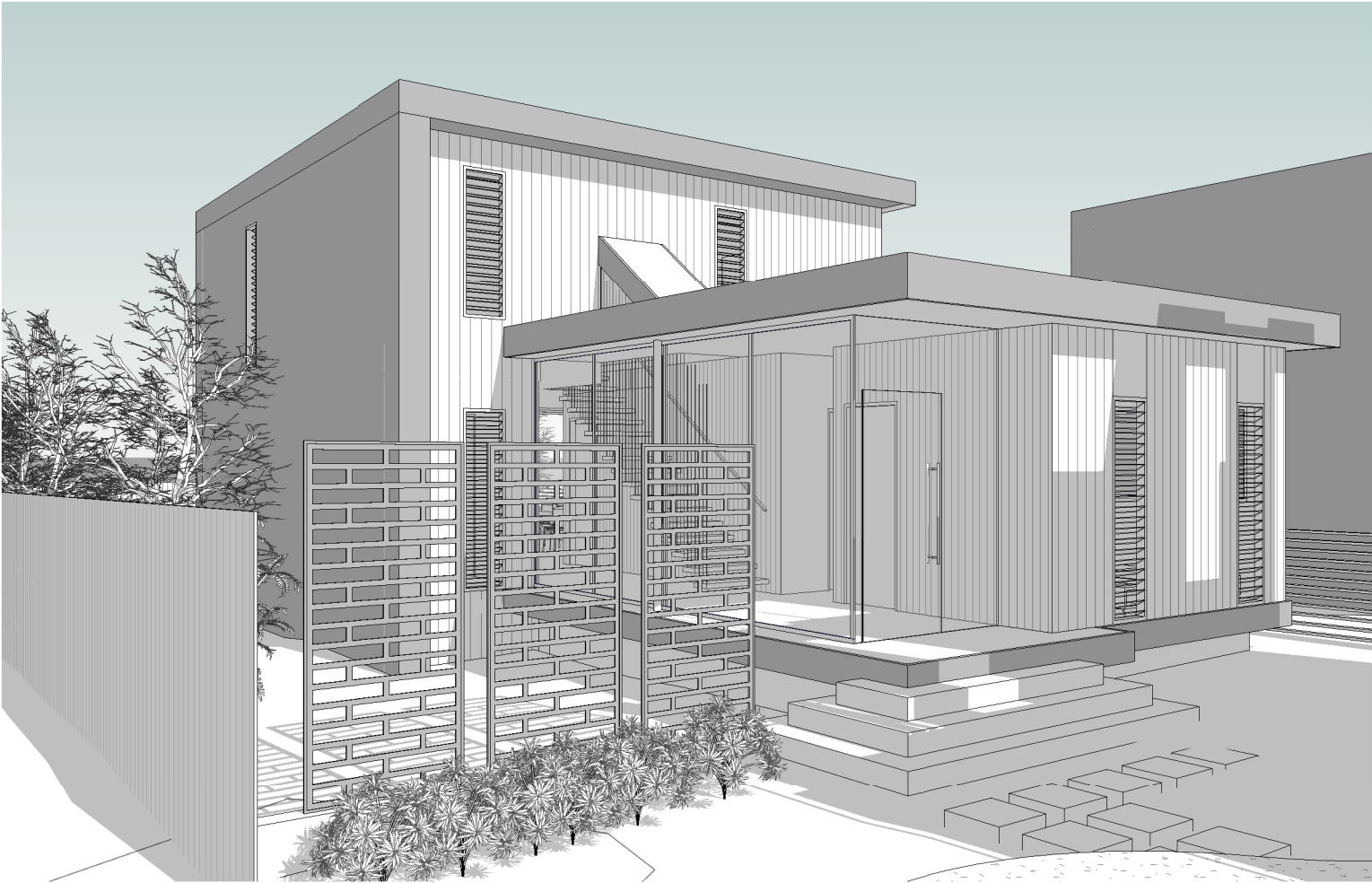
103 - SHADOW 3D'S

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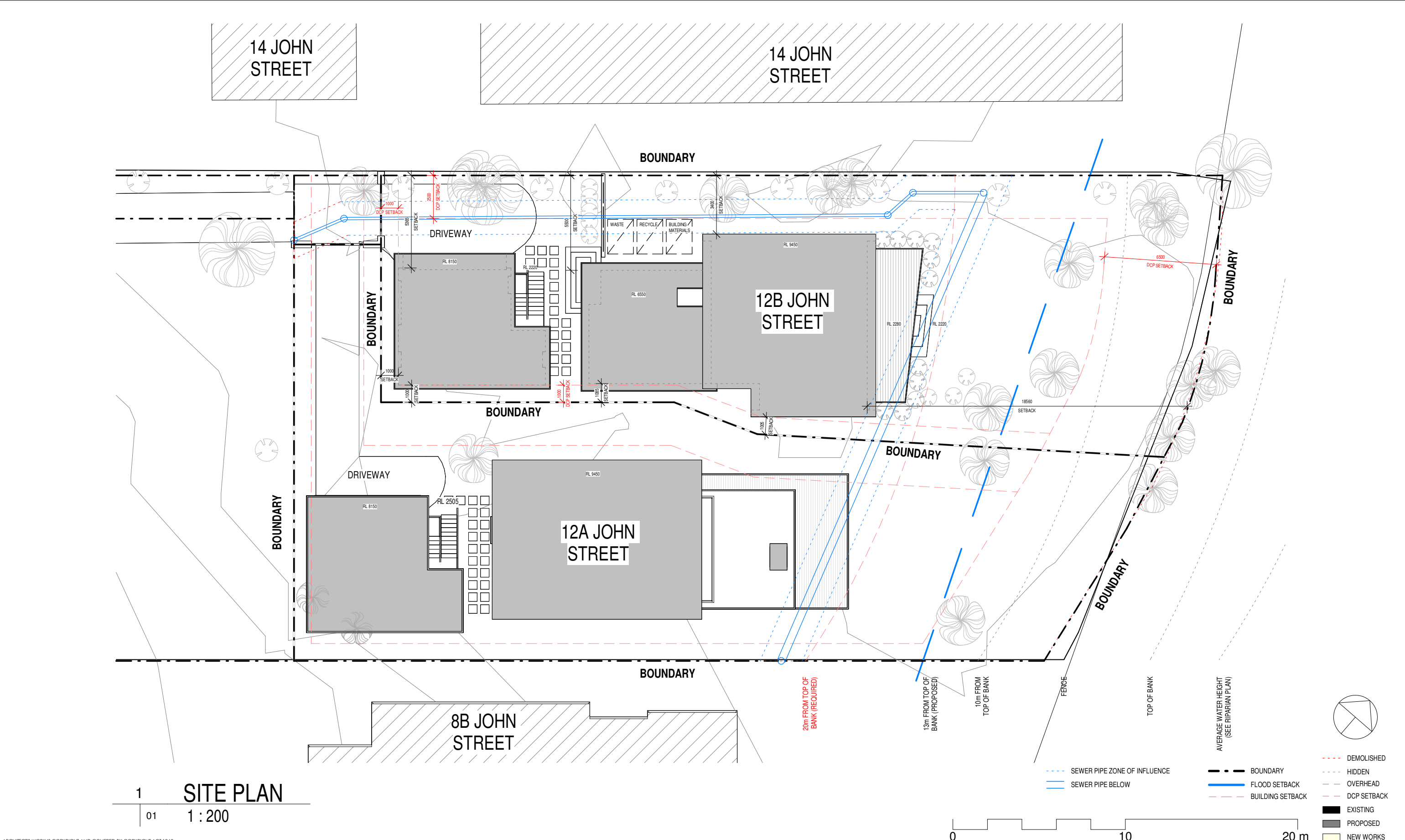
| Building Component | Construction Materials | | Insulation | Colour - Solar Absorpt. | Other Detail/Requirements |
|---|--|--------------------|------------|-------------------------|--|
| External Walls | Weatherboard | Plasterboard lined | R4.1 | Medium (0.475 to 0.70) | Walls as marked |
| | Fibre Cement | Plasterboard lined | R1.8 | Medium (0.475 to 0.70) | Main Dwelling: 12A (Cavity slider wall dining room) |
| | Fibre Cement | Plasterboard lined | R4.1 | Medium (0.475 to 0.70) | Walls as marked |
| Internal walls (within) | Plasterboard on studs | | R3.6 | | Granny Flats: All internal walls |
| | Plasterboard on studs | | R2.7 | | Main Dwellings 12B wet areas |
| | Plasterboard on studs | | R2.5 | | Main Dwelling 12A: All wet areas |
| | Plasterboard on studs | | None | | Main Dwellings 12A and 12B: All other areas |
| Windows/Glazing* | Alum SG Clear: U = 6.70: SHGC = 0.57 | | | | Granny flat A and B: All garage windows |
| | Alum DG Argon Fill High Solar Gain low-E -Clear: U = 4.1: SHGC = 0.52 | | | | Granny flat A and B: Sliding window |
| | Aluminium Louvre Secondary Glaze SG 6mmLE: U = 3.71: SHGC = 0.54 | | | | Louvre windows in all dwellings (except garages): WA16 |
| | Al Thermally Broken DG Air Fill High Solar Gain low-E -Clear: U = 3.1: SHGC = 0.49 | | | | All other windows |
| Roof | Metal Deck | | R9.2 | Medium (0.475 to 0.70) | |
| Ceiling | Timber | | | | As above |
| | | | | | |
| Floor Structure | Concrete | | None | | Granny flats ground floor |
| | Timber | | R4.1 | | Main dwelling floors. Granny flats first floors |
| Floor Covering | Timber | All other rooms | | | As drawn |
| | Ceramic Tiles | Wet areas | | | |
| Ceiling/Wall Penetrations | Must be sealed | | | | |
| External Shading Devices | As drawn | | | | |
| Roof Windows | None | | | | |
| Skylights | None | | | | |
| Glazing Note: U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower than that specified and the SHGC is within 5% of the above figures. | | | | | |



| NUM # | SILL | HEIGHT | WIDTH |
|-------|------|--------|-------|
| WB01 | 0 | 1200 | 2400 |
| WB02 | 0 | 1200 | 1800 |
| WB03 | 0 | 1200 | 2400 |
| WB04 | 0 | 2400 | 600 |
| WB05 | 0 | 2800 | 8300 |
| WB06 | 0 | 2400 | 600 |
| WB07 | 0 | 3100 | 6400 |
| WB08 | 0 | 3100 | 2050 |
| WB09 | 0 | 2400 | 600 |
| WB10 | 0 | 2400 | 600 |
| WB11 | 0 | 2400 | 600 |
| WB12 | 0 | 2800 | 5200 |
| WB13 | 0 | 2800 | 3000 |
| WB14 | 0 | 2400 | 600 |
| WB15 | 400 | 2000 | 600 |
| WB16 | 400 | 2000 | 600 |
| WB17 | 1300 | 800 | 1800 |
| WB18 | 300 | 2100 | 900 |
| WB19 | 1300 | 800 | 1800 |
| WB20 | 0 | 2600 | 900 |
| WB21 | 0 | 2600 | 6000 |
| WB22 | 900 | 700 | 2550 |
| WB23 | 0 | 2600 | 900 |


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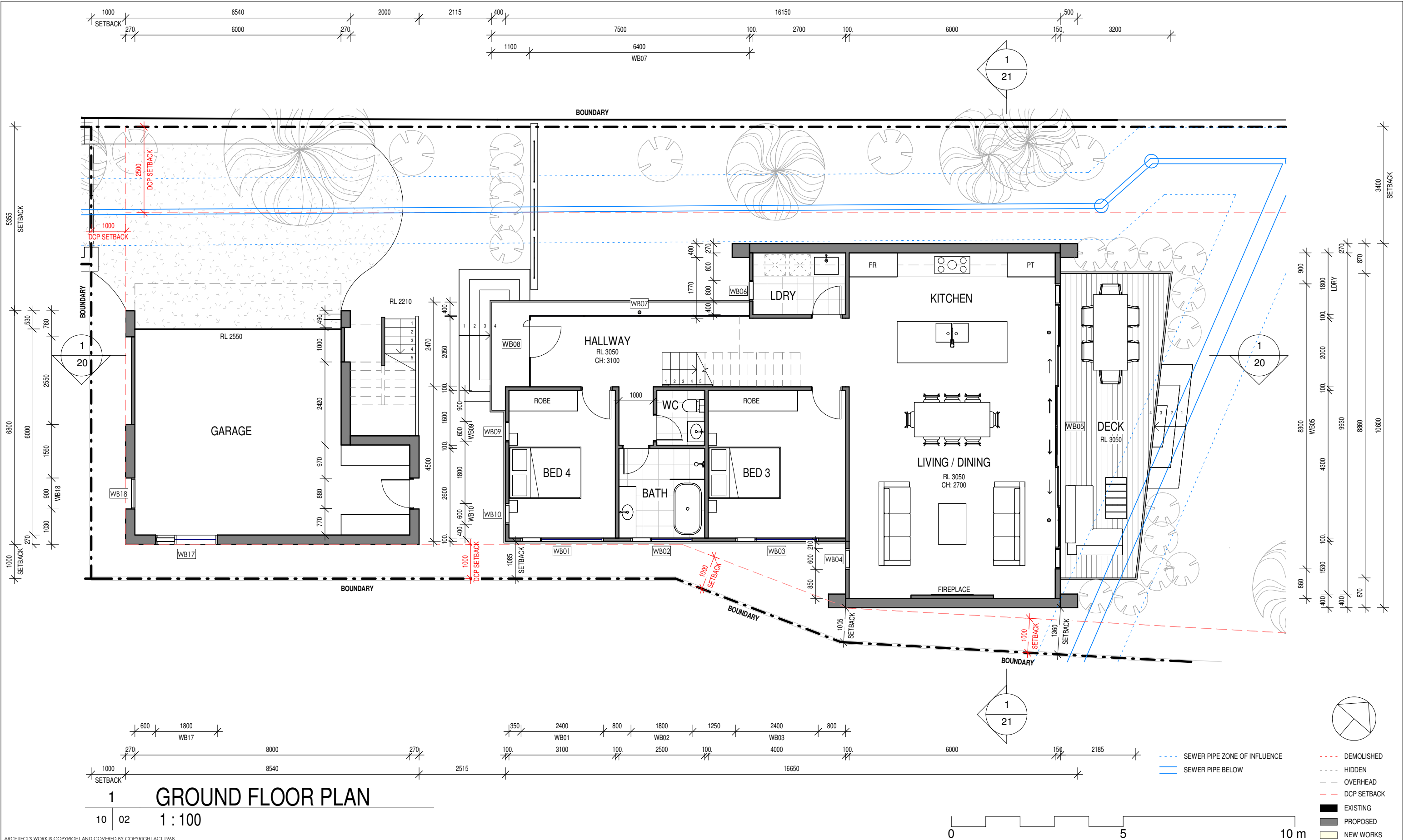
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1 SITE PLAN
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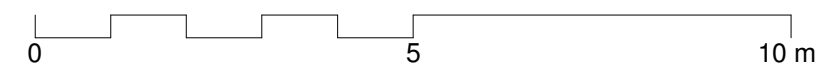
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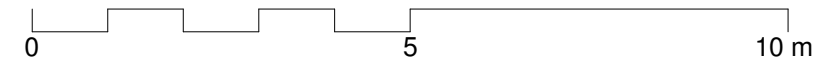
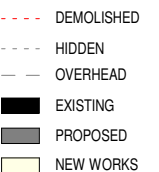


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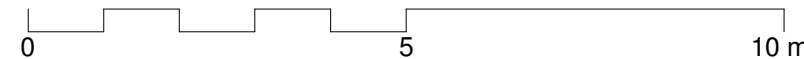
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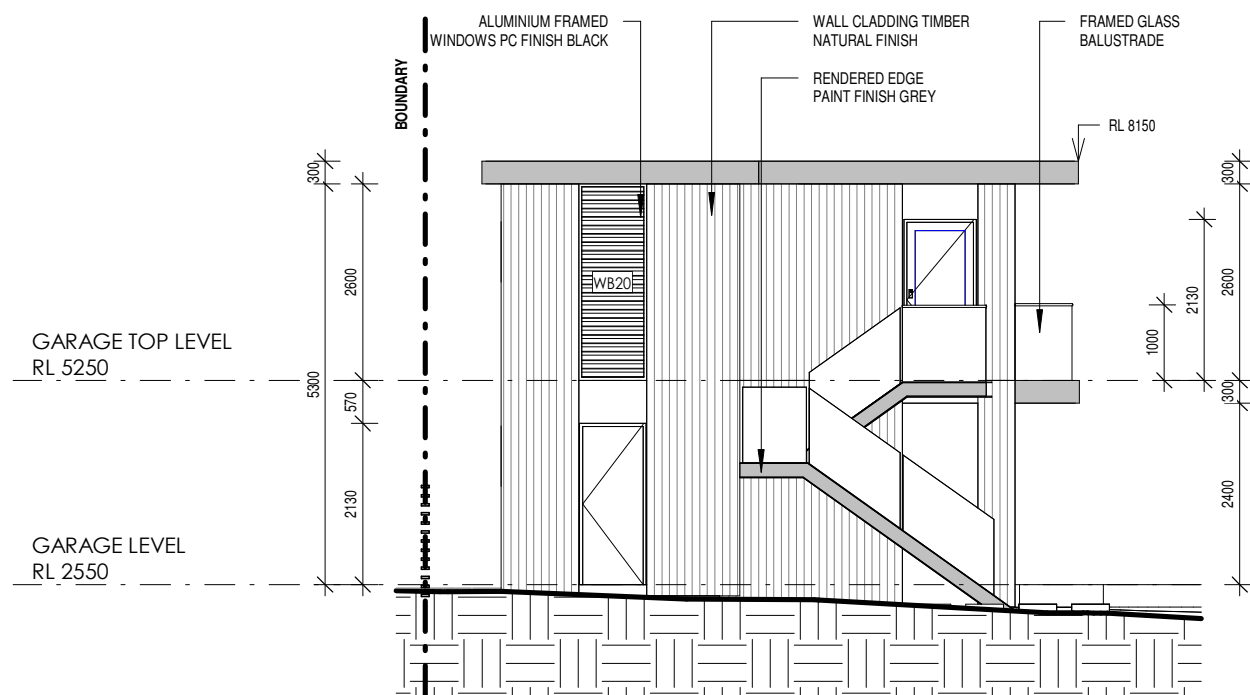
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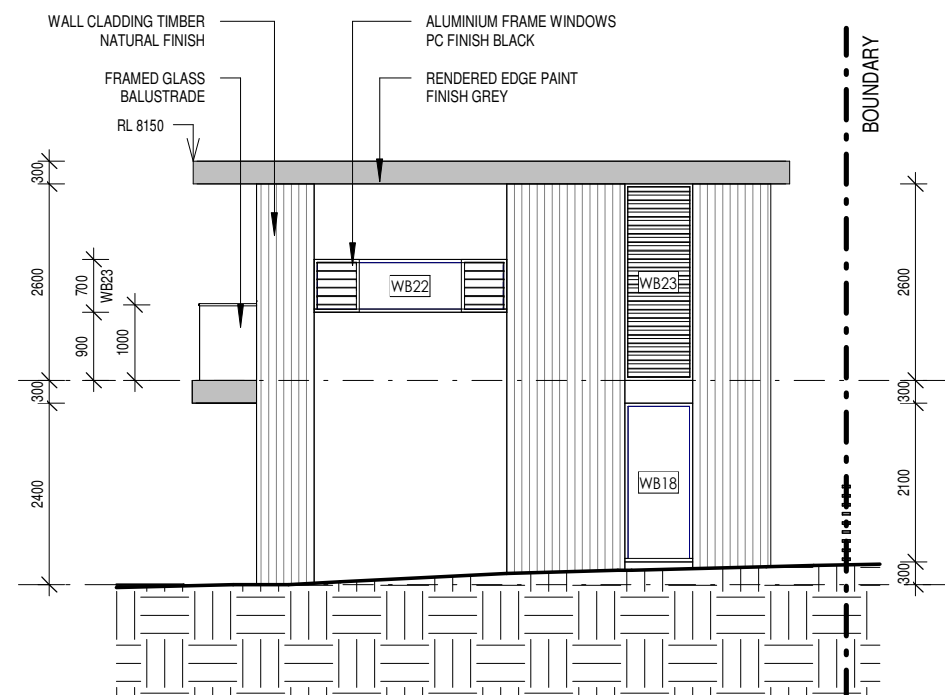
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1 GARAGE NE ELEVATION
14 1 : 100



2 GARAGE SW ELEVATION
14 1 : 100




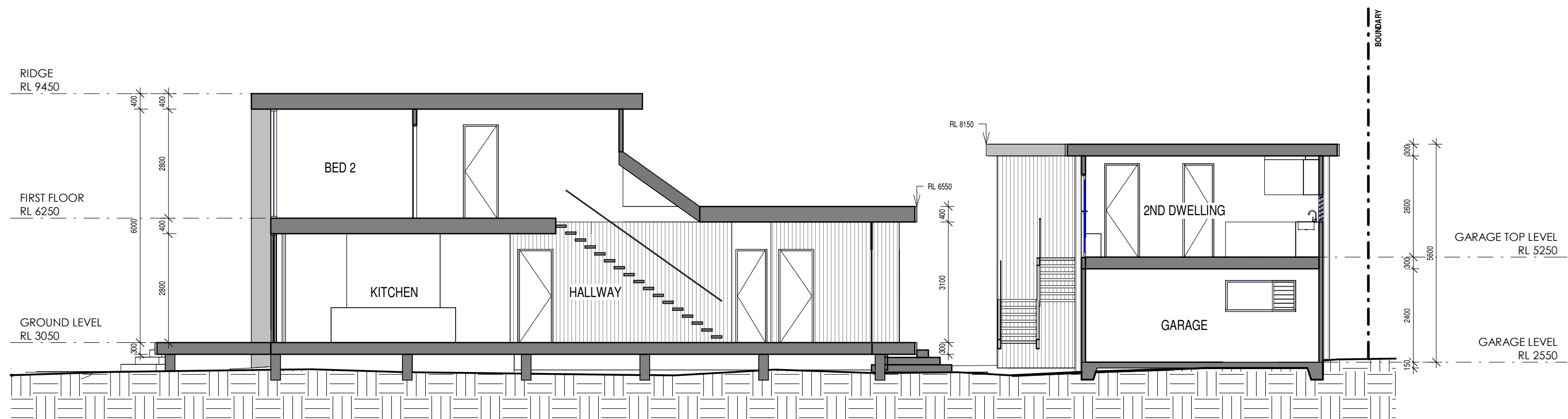
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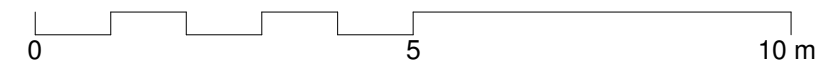
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SECTION 1

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| 1 | |
| 02 | 20 |


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| | PROJECT NAME 12B JOHN ST | | | | | | | | SCALE 1 : 100 | | | |
| | DRAWING NAME SECTIONS | | | | | | | | DRAWING NUMBER A 20 -A | | | |
| | IS | | | | | | | | DATE | COMMENTS | | |
| <div>STORMWATER / FLOOD</div> <div>BARRENJOEY CONSULTING ENGINEERS 34 GEORGE ST, AVALON, NSW, 2107 LUCASBCE@BIGPOND.COM 0418 620 330</div> | | <div>BASIX / NATHERS</div> <div>SUSTAINABLE THERMAL SOLUTIONS 138 COWLES RD, MOSMAN, NSW, 2088 ENQUIRIES@SUSTAINABLETHERMALSOLUTIONS.COM.AU 0420 312 721</div> | | <div>BIODIVERSITY / COASTAL</div> <div>ECOLOGICAL CONSULTANTS AUSTRALIA ECOLOGICALCA@OUTLOOK.COM 9918 4486</div> | | <div>CLIENT</div> <div>TIM DONOVAN TDONOVAN@CITYFREEHOLDS.COM.AU</div> | | | | | | |



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| STORMWATER / FLOOD BARRENJOEY CONSULTING ENGINEERS 34 GEORGE ST, AVALON, NSW, 2107 LUCASBCE@BIGPOND.COM 0418 620 330 | BASIX / NATHERS SUSTAINABLE THERMAL SOLUTIONS 138 COWLES RD, MOSMAN, NSW, 2088 ENQUIRIES@SUSTAINABLETHERMALSOLUTIONS.COM.AU 0420 312 721 | BIODIVERSITY / COASTAL ECOLOGICAL CONSULTANTS AUSTRALIA ECOLOGICALCA@OUTLOOK.COM 9918 4486 | CLIENT TIM DONOVAN TDONOVAN@CITYFREEHOLDS.COM.AU |

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| JOB NUM# 142B | DRAWN BY MV | CHK. BY TW | PAGE SIZE A3 |
| PROJECT NAME 12B JOHN ST | | | SCALE 1 : 100 |
| DRAWING NAME SECTIONS | | | DRAWING NUMBER A 21 -A |

14 JOHN ST

12 JOHN ST

12B JOHN STREET

12A JOHN STREET

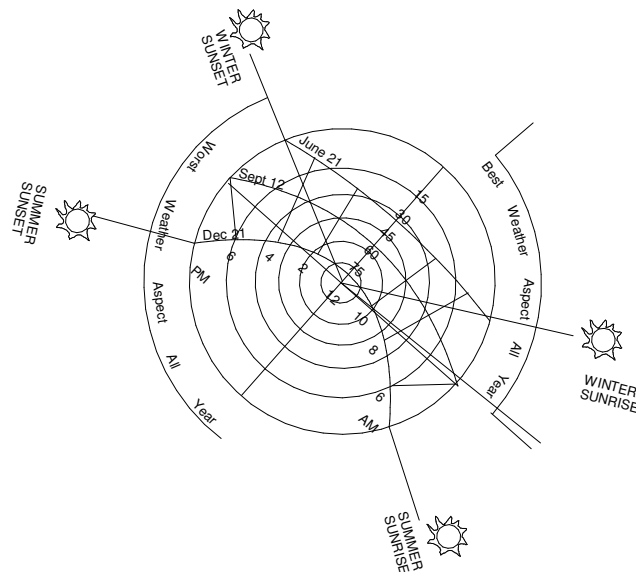
8B JOHN ST

LEGEND:

- NON COMPLIANCE
- LANDSCAPING
- BUILDING COVERAGE
- OTHER COVERAGE
- NEIGHBOURING HOUSE
- BOUNDARY
- SETBACK

| | |
|-----|---------|
| 100 | 1 : 400 |
|-----|---------|

| | |
|-----------------------------|-----------------------------|
| SITE AREA | 700m ² |
| ZONE | E4 |
| MAX COVERAGE | 40% = 280m ² |
| BUILDING FOOTPRINT | 183.2m ² |
| HARD PAVING / DECK / STAIRS | 87.9m ² |
| PRO COVERAGE | 271.1m ² = 38.7% |
| REQ LANDSCAPE | 60% = 420m ² |
| PRO LANDSCAPE | 428.9m ² = 61.3% |
| MAX HEIGHT | 8.5m |
| PRO HEIGHT | 7.34m |
| REQ FRONT SETBACK | 6.50m |
| PRO FRONT SETBACK HOUSE | 12.1m |
| PRO FRONT SETBACK GARAGE | 1.00m |
| REQ REAR SETBACK | 6.50m |
| PRO REAR SETBACK HOUSE | 18.56m |
| PRO REAR SETBACK GARAGE | 37.71m |
| REQ SIDE SETBACK | 1.00m / 2.50m |
| PRO SIDE SETBACK HOUSE | 1.08m / 3.40m |
| PRO SIDE SETBACK GARAGE | 1.00m / 5.36m |



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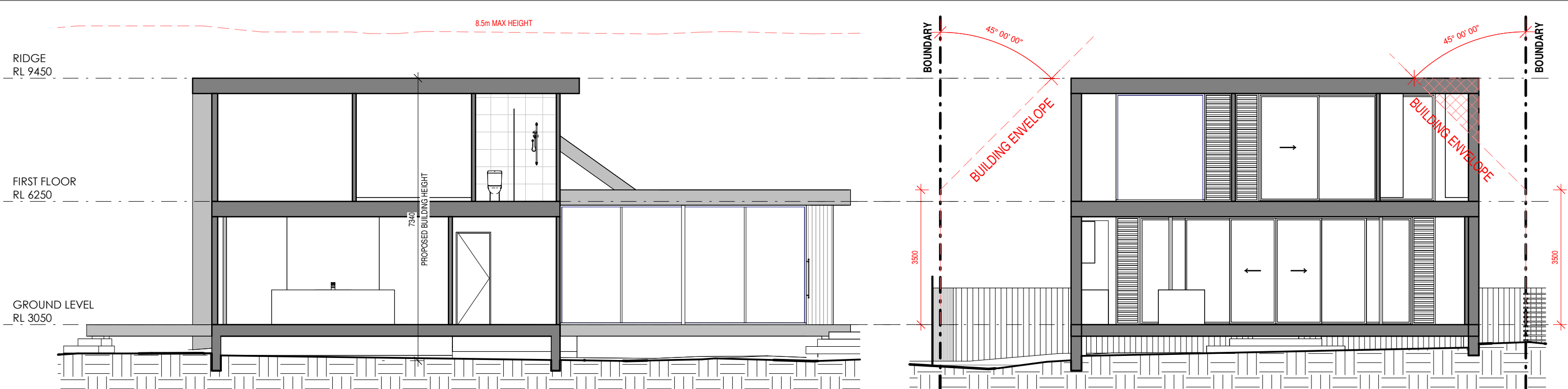
BIODIVERSITY / COASTAL
ECOLOGICAL CONSULTANTS AUSTRALIA
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PROPOSED DWELLING
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CLIENT
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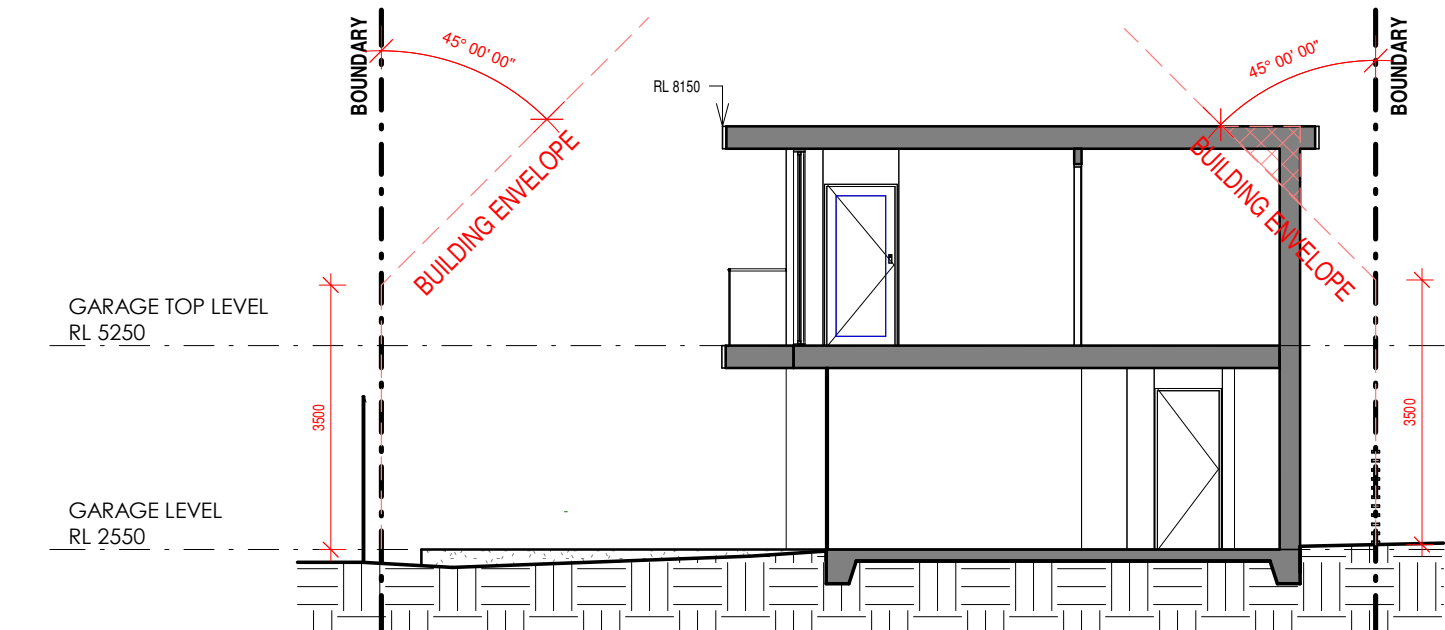
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| A | 01/12/2023 | DA |
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| JOB NUM# 142B | DRAWN BY MV | CHK. BY TW | PAGE SIZE A3 |
| PROJECT NAME 12B JOHN ST | | | SCALE As indicated |
| DRAWING NAME SITE ANALYSIS | | | DRAWING NUMBER A 100 -A |

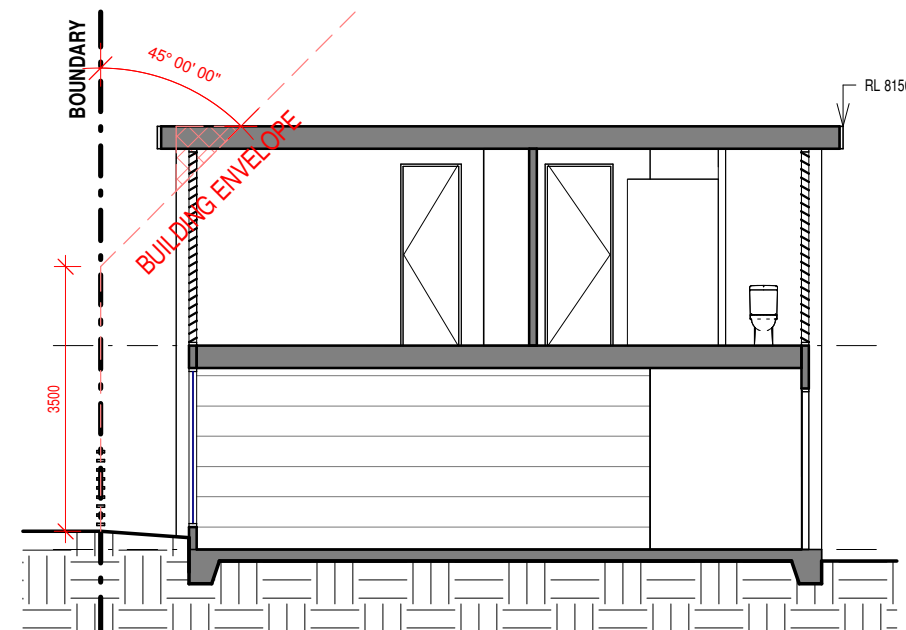


1 ANALYSIS SECTION 1
101 1 : 100

2 ANALYSIS SECTION 2
101 1 : 100




3 ANALYSIS SECTION 3
101 1 : 100



4 ANALYSIS SECTION 4
101 1 : 100

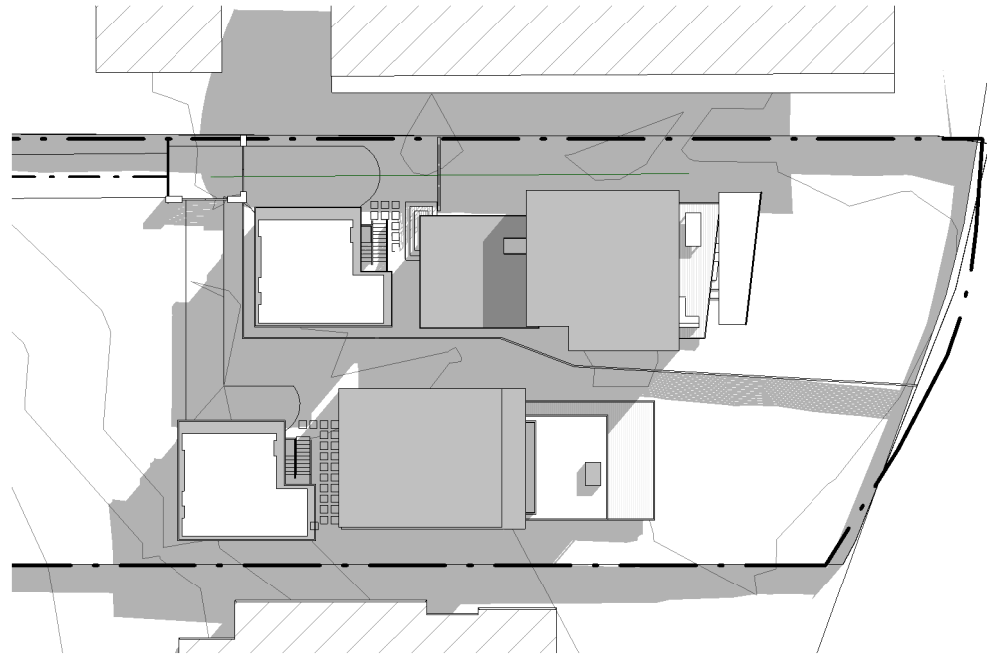
- NON COMPLIANCE
- LANDSCAPING
- BUILDING COVERAGE
- OTHER COVERAGE
- NEIGHBOURING HOUSE
- BOUNDARY
- SETBACK

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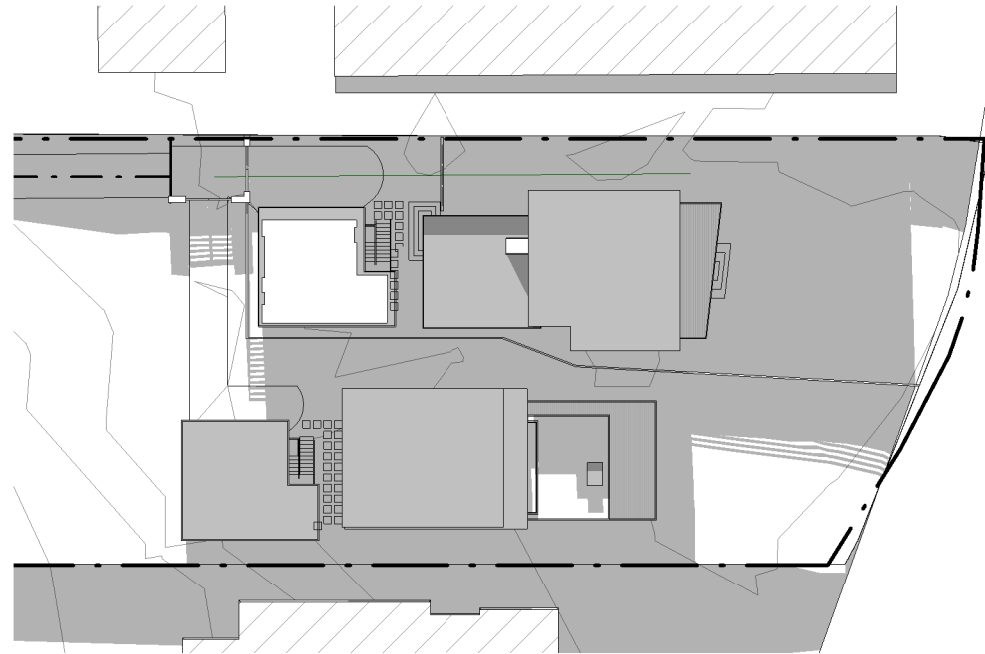
| | | | | | | | | | | | |
|--|--|---|---|--|----|------------|----------|----------|----------|---------|-----------|
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| | 142B | MV | TW | A3 | | | | | | | |
| | PROJECT NAME | | | SCALE | | | | | | | |
| | 12B JOHN ST | | | 1 : 100 | | | | | | | |
| | DRAWING NAME | | | DRAWING NUMBER | | | | | | | |
| ANALYSIS SECTIONS | | | A 101 -A | | | | | | | | |
| | | | | | IS | DATE | COMMENTS | | | | |



1 SHADOWS 9AM JUNE 21ST
102 1 : 500



2 SHADOWS 12PM JUNE 21ST
102 1 : 500



3 SHADOWS 3PM JUNE 21ST
102 1 : 500



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PROJECT
PROPOSED DWELLING
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| A | 01/12/2023 | DA |
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| JOB NUM# 142B | DRAWN BY MV | CHK. BY TW | PAGE SIZE A3 |
| PROJECT NAME 12B JOHN ST | | | SCALE 1 : 500 |
| DRAWING NAME SHADOW PLANS | | | DRAWING NUMBER A 102 -A |



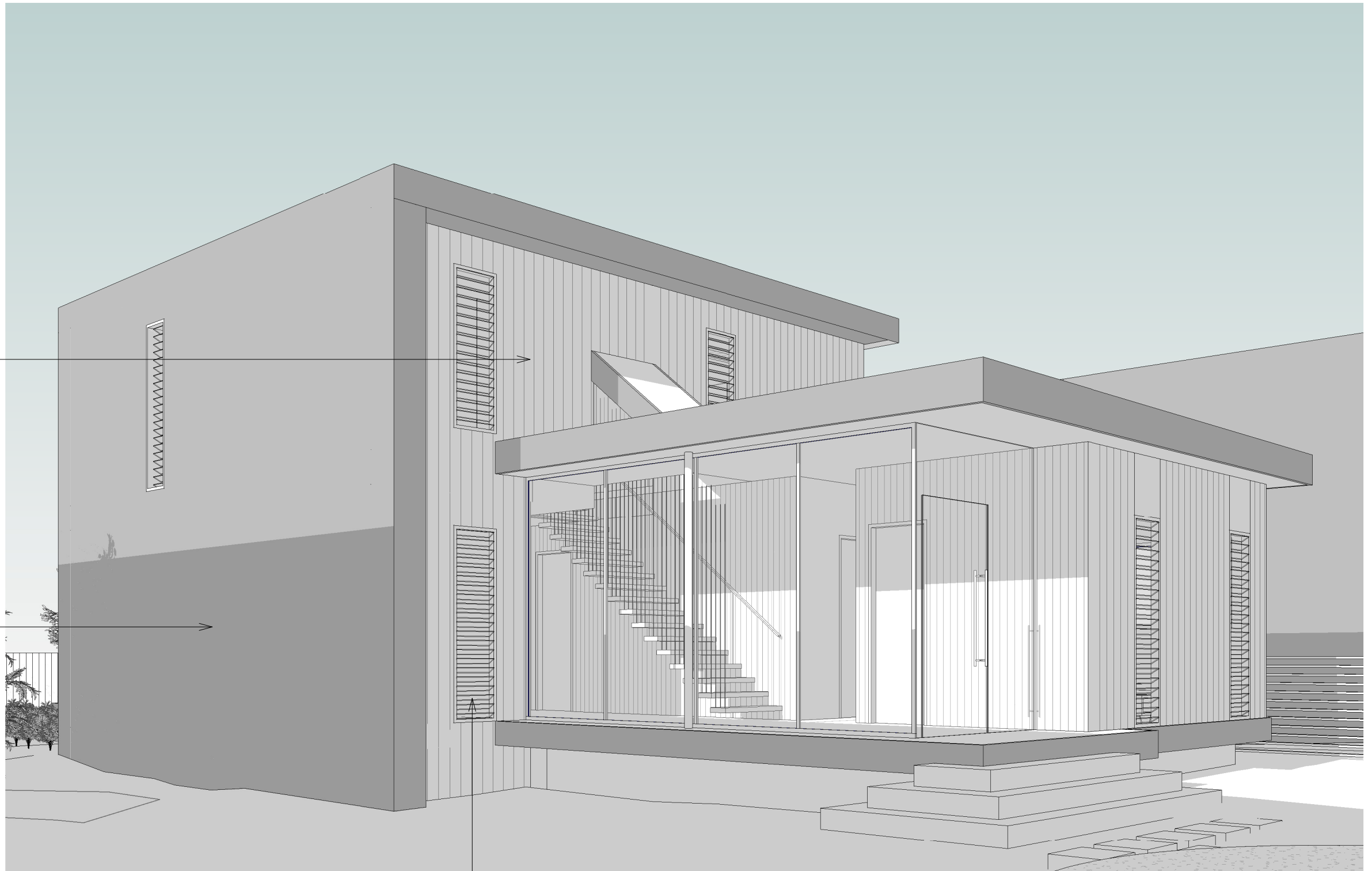
WALL CALDDING: _____
TIMBER NATURAL FINISH



WALL RENDER:
GREY




WINDOW FRAMES: PC FINISH
BLACK



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| | 142B | MV | TW | A3 | | | | | | | |
| | PROJECT NAME | | | SCALE | | | | | | | |
| | 12B JOHN ST | | | | | | | | | | |
| <div>STORMWATER / FLOOD</div> <div>BARRENJOEY CONSULTING ENGINEERS 34 GEORGE ST, AVALON, NSW, 2107 LUCASBCE@BIGPOND.COM 0418 620 330</div> | <div>BASIX / NATHERS</div> <div>SUSTAINABLE THERMAL SOLUTIONS 138 COWLES RD, MOSMAN, NSW, 2088 ENQUIRIES@SUSTAINABLETHERMALSOLUTIONS.COM.AU 0420 312 721</div> | <div>BIODIVERSITY / COASTAL</div> <div>ECOLOGICAL CONSULTANTS AUSTRALIA ECOLOGICALCA@OUTLOOK.COM 9918 4486</div> | <div>CLIENT</div> <div>TIM DONOVAN TDONOVAN@CITYFREEHOLDS.COM.AU</div> | DRAWING NAME | | | DRAWING NUMBER | | | | |
| | | | | EXTERNAL FINISHES | | | A 104 -A | | | | |
| | | | | IS | DATE | COMMENTS | | | | | |



1 3D VIEW 1

105



2 3D VIEW 2

105



3 3D VIEW 3


105



4 3D VIEW 4

105

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| | PROJECT NAME 12B JOHN ST | | | | | | | SCALE | | | |
| | DRAWING NAME 3D VIEWS | | | | | | | DRAWING NUMBER A 105 -A | | | |
| | | | | | | | | | | | |

| | Hot water | Bathroom ventilation system | | Kitchen ventilation system | | Laundry ventilation system | |
|---------------|----------------------------|--|----------------------|--|----------------------|--|----------------------|
| Dwelling no. | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laundry | Operation control |
| All dwellings | gas instantaneous - 6 star | individual fan, ducted to faade or roof | manual switch on/off | individual fan, ducted to faade or roof | manual switch on/off | individual fan, ducted to faade or roof | manual switch on/off |

| | External walls | | | | | | | |
|---------------------|---|-----------|---------------------------|----------------------|----------------------|-----------|------------|----------------------|
| | External wall type 1 | | | | External wall type 2 | | | |
| Dwelling no. | Wall type | Area (m²) | Insulation | Low emissions option | Wall type | Area (m²) | Insulation | Low emissions option |
| Main | framed (fibre cement sheet or boards), frame : timber - H2 treated softwood | 262 | fibre-glass batts or roll | - | - | - | - | - |
| All other dwellings | framed (fibre cement sheet or boards), frame : timber - H2 treated softwood | 89 | fibre-glass batts or roll | - | - | - | - | - |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. | | ✓ | ✓ |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. | ✓ | ✓ | ✓ |

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|---|--|---|--|--|---------|--------------------|----------------|--|-----------------------|-----------------------------------|------------------------|
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| | | | | | | | | PROJECT NAME 12B JOHN ST | | SCALE | |
| | | | | | | | | DRAWING NAME BASIX & NATHERS | | DRAWING NUMBER A 106 -A | |
| | | | | | | | | | | | |
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