

DEVELOPMENT PROPOSAL

DP: 28663
LOT No. 22
SITE AREA: 694.90MSQ.
EXIST. GFA: 205.00MSQ.
PROPOSED GFA: 67.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
★

NOTE:

NEW WALLS: NEW WALLS - JAMES HARDIE™ TEX BASE SHEET, COLOUR IS APPROXIMATELY AN RGB VALUE OF (187, 161, 145). THIS CORRESPONDS TO A SOFT, EARTHY TONE WITH A WARM BEIGE OR LIGHT TAUPE APPEARANCE

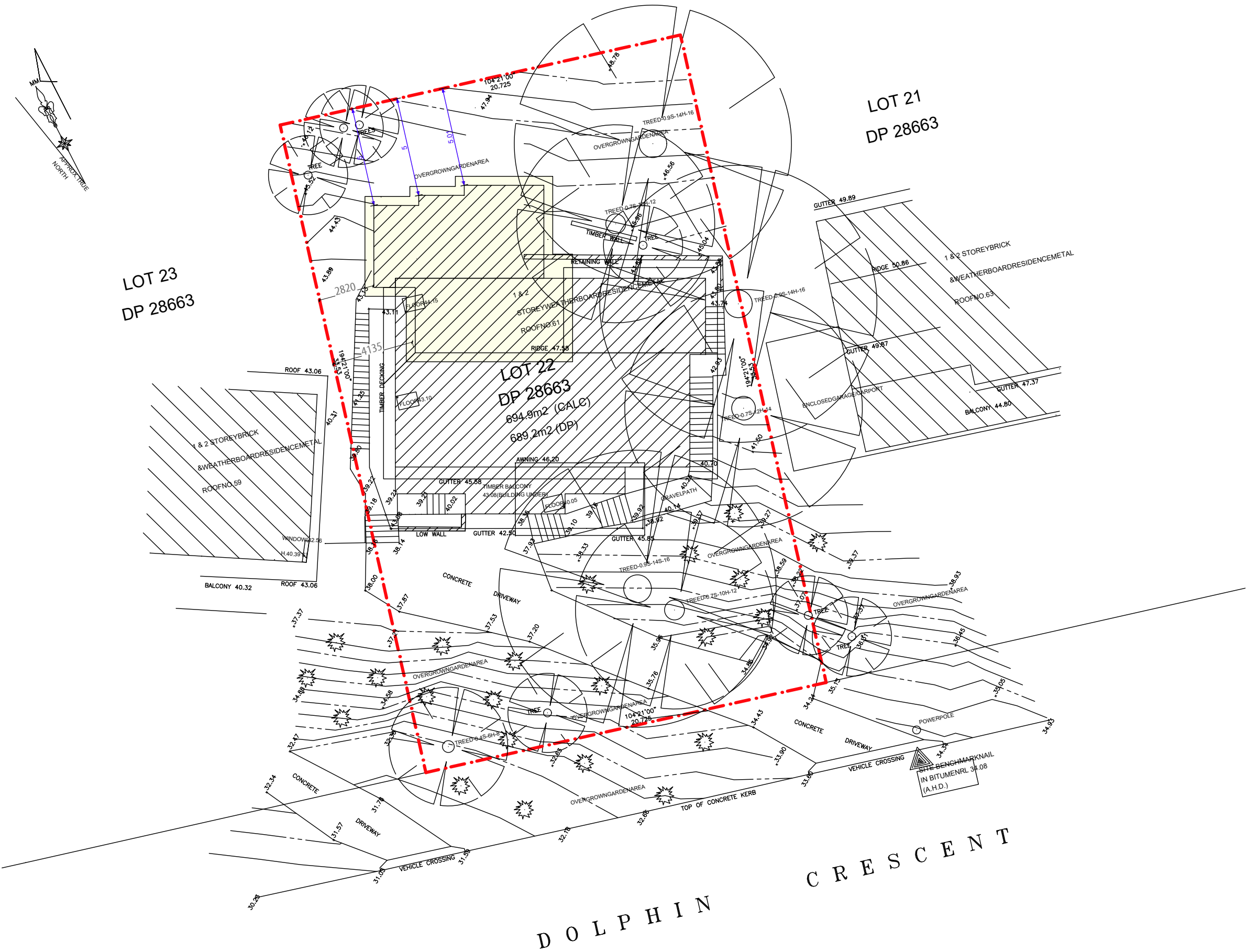
FLOOR: TIMBER FRAME.



SMOKE ALARMS TO COMPLY WITH AS 3786

GENERAL NOTES
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
•CONNECT DPS TO EXISTING STORMWATER SYSTEM.
•ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:
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SITE PLAN
SCALE 1:200

BASIX™Certificate
Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix
Alterations and Additions
Certificate number: A1704622_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Certificate" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 10 July 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	64/24, 61 Dolphin Crescent, 03
Street address	61 DOLPHIN CRESCENT AVALON BEACH 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP28663
Lot number	22
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for any renovable work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by	
(please complete before submitting to Council or PCA)	
Name / Company Name	Max Brightwell
ABN (if applicable)	95597924364

Fixtures and systems	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction		Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that if potential insulation is not required where the area of new construction is less than 2m2, it) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor	nil	N/A		
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	N/A		
floor above existing dwelling or building	nil	N/A		
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)			
raised ceiling, sheeted/skillion roof: framed	ceiling: R0.20 (up), roof: full battening	medium polar absorbance 0.475 - 0.70		

Glazing requirements	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or polyvinyl chloride (PVC) or clear or tinted glass, or double glazing, or double glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with competing U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2500 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with front battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also includes a perpendicular window. The spacing between battens must not be more than 60 mm.	✓	✓	✓

Glazing requirements						Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements								
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
W1	S	1.05	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single clear, (or U- value: 3.11, SHGC: 0.66)		
W2	S	12.8	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single polyvinyl chloride, (U- value: 3.09, SHGC: 0.4)		
W3	W	4.5	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single polyvinyl chloride, (U- value: 3.09, SHGC: 0.4)		
W5	W	1.8	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single polyvinyl chloride, (U- value: 3.09, SHGC: 0.4)		
W6	N	1.47	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single clear, (or U- value: 3.11, SHGC: 0.66)		

Glazing requirements							Show on DA Plans	Show on CC/CD Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W7	E	1.47	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single polyvinyl chloride (U-value: 3.09, SHGC: 0.4)			
W8	E	1.8	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single polyvinyl chloride (U-value: 3.09, SHGC: 0.4)			
W9	E	0.72	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 3.11, SHGC: 0.66)			
W4	W	3.75	0	0	eave/ veranda/ pergola/balcony >=450 mm	timber or uPVC, single polyvinyl chloride (U-value: 3.09, SHGC: 0.4)			

DISCLAIMER:

THE DRAWINGS PROVIDED HEREIN HAVE BEEN COMPILED BY A DRAFTING HELP PTY LTD BASED ON THE DESIGN SPECIFICATIONS AND INSTRUCTIONS PROVIDED BY THE OWNER. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY, THE DRAFTSMAN DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN'S COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, OR SPECIFIC PROJECT REQUIREMENTS. IT IS RECOMMENDED THAT ALL DESIGNS BE REVIEWED BY A QUALIFIED PROFESSIONAL BEFORE IMPLEMENTATION. THE OWNER ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND ANY ASSOCIATED OUTCOMES.

61 DOLPHIN CRES.
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes



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Project Address and Alterations
Date: 07.07.2025
Scale: AS SHOWN

Sheet
1

DP No. 28663

LOT No. 22

A ISSUED FOR DA 07.07.2025

No. Revision/Issue Date

dh DRAFTING HELP

5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MATTHEW DENT
61 DOLPHIN CRES.
AVALON BEACH
2107

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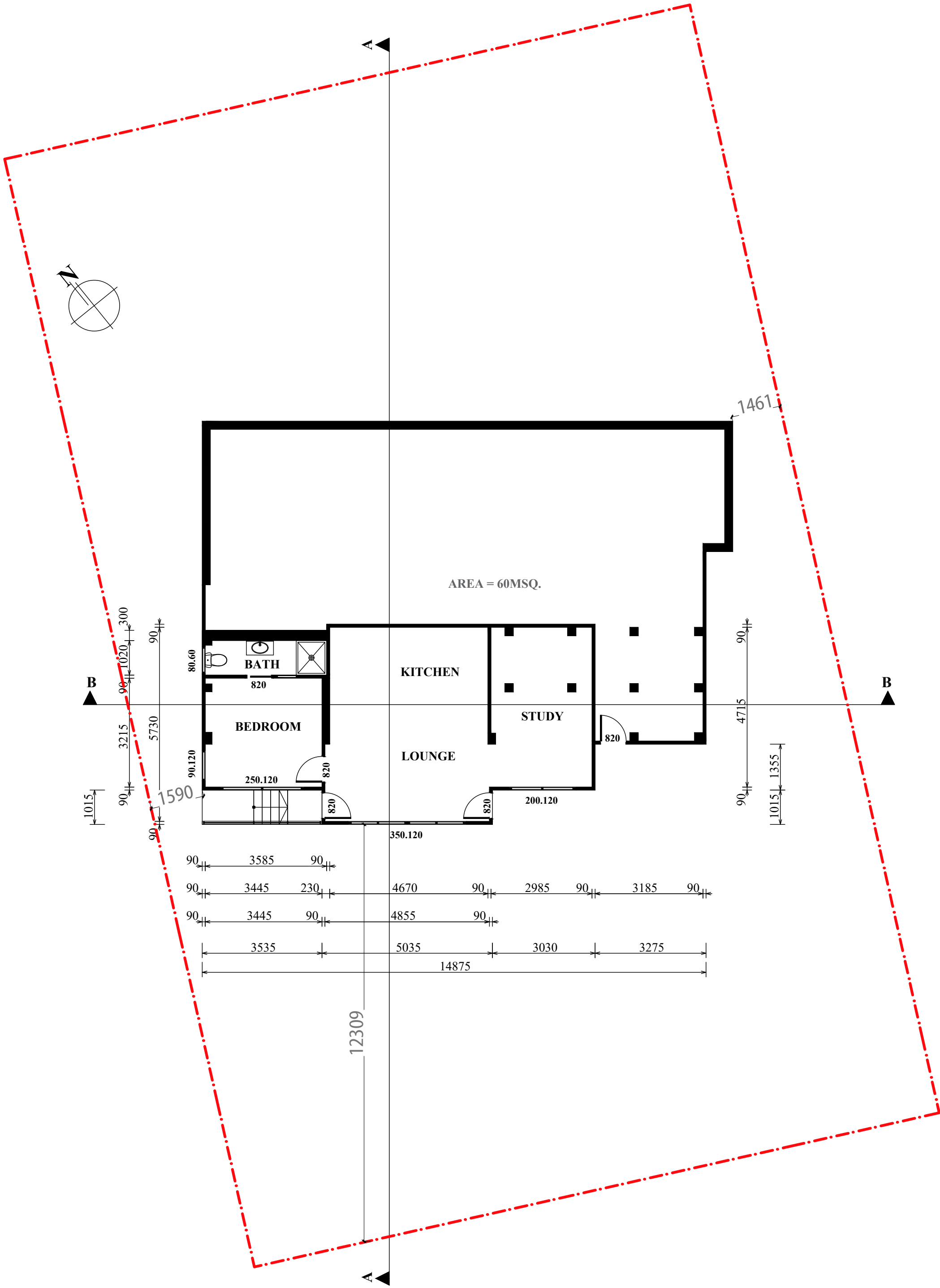
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NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

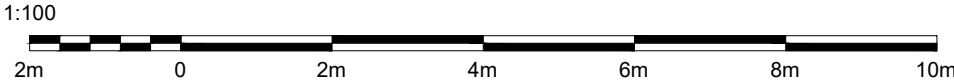
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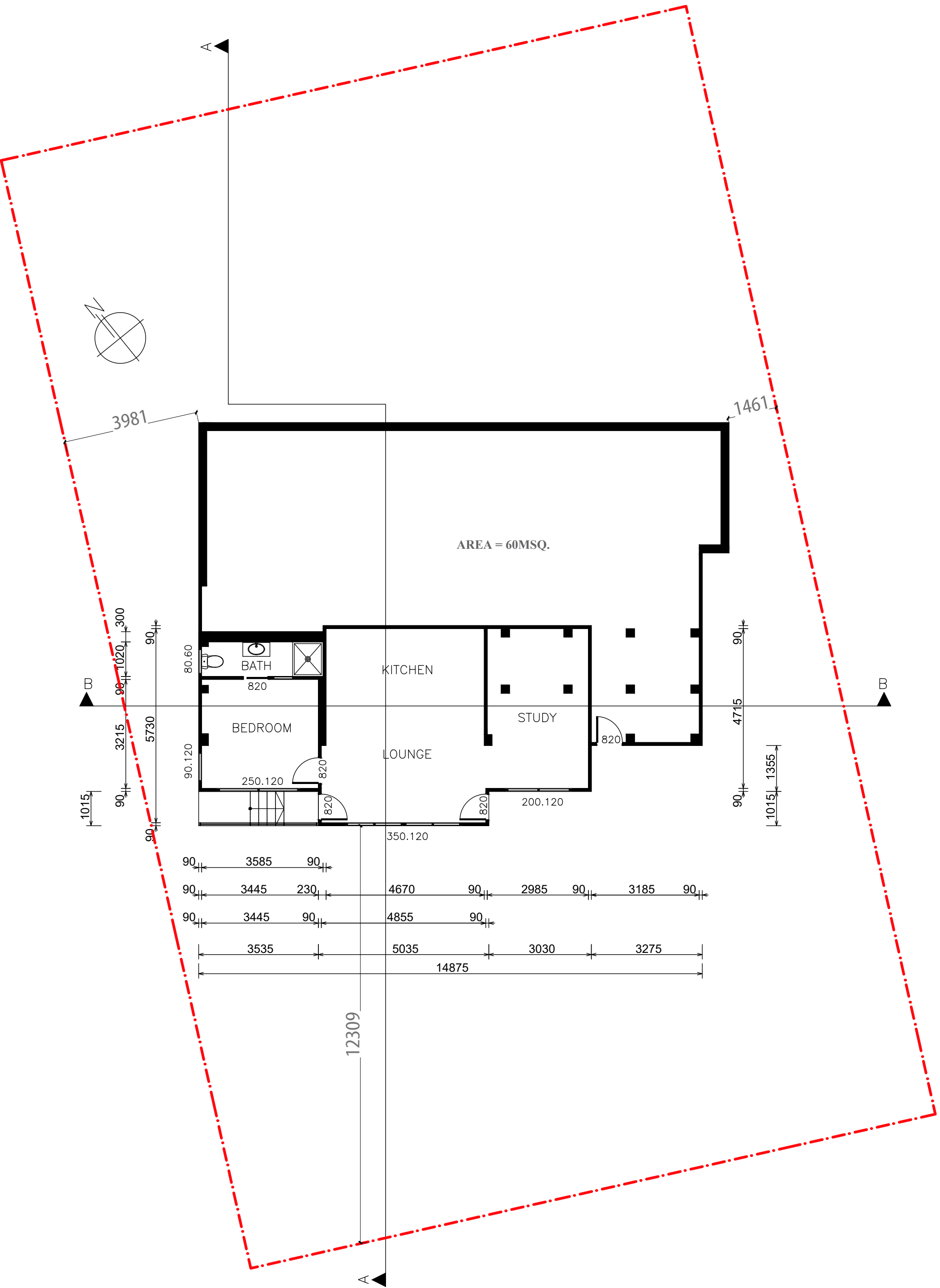
LOWER FLOOR PLAN - EXISTING
SCALE 1:100

GENERAL NOTES

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LOWER FLOOR PLAN - PROPOSED
SCALE 1:100

61 DOLPHIN CRES.
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

PROUDLY SUPPORTING
bear cottage
ARCHITECTS

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Project Address and Alterations	Sheet
Date: 07.07.2025	2
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dh DRAFTING HELP

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address

MATTHEW DENT
61 DOLPHIN CRES.
AVALON BEACH
2107

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LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786



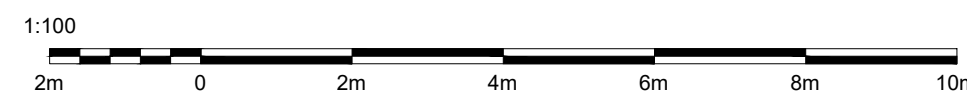


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**61 DOLPHIN CRES.
AVALON BEACH
2107**

**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:
 EXISTING BUILDING OUTLINE
 **PROPOSED WORK**

General Note

proudly supporting

bear cottage

an extension of
the children's hospital & museum

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Project ADDITONS AND ALTERATIONS	Sheet
Date 07.07.2025	3
Scale AS SHOWN	

DP No.

LOT No. 22

ISSUED FOR DA	07.07.202
Revision/Issue	Date

DRAFTING HELPS

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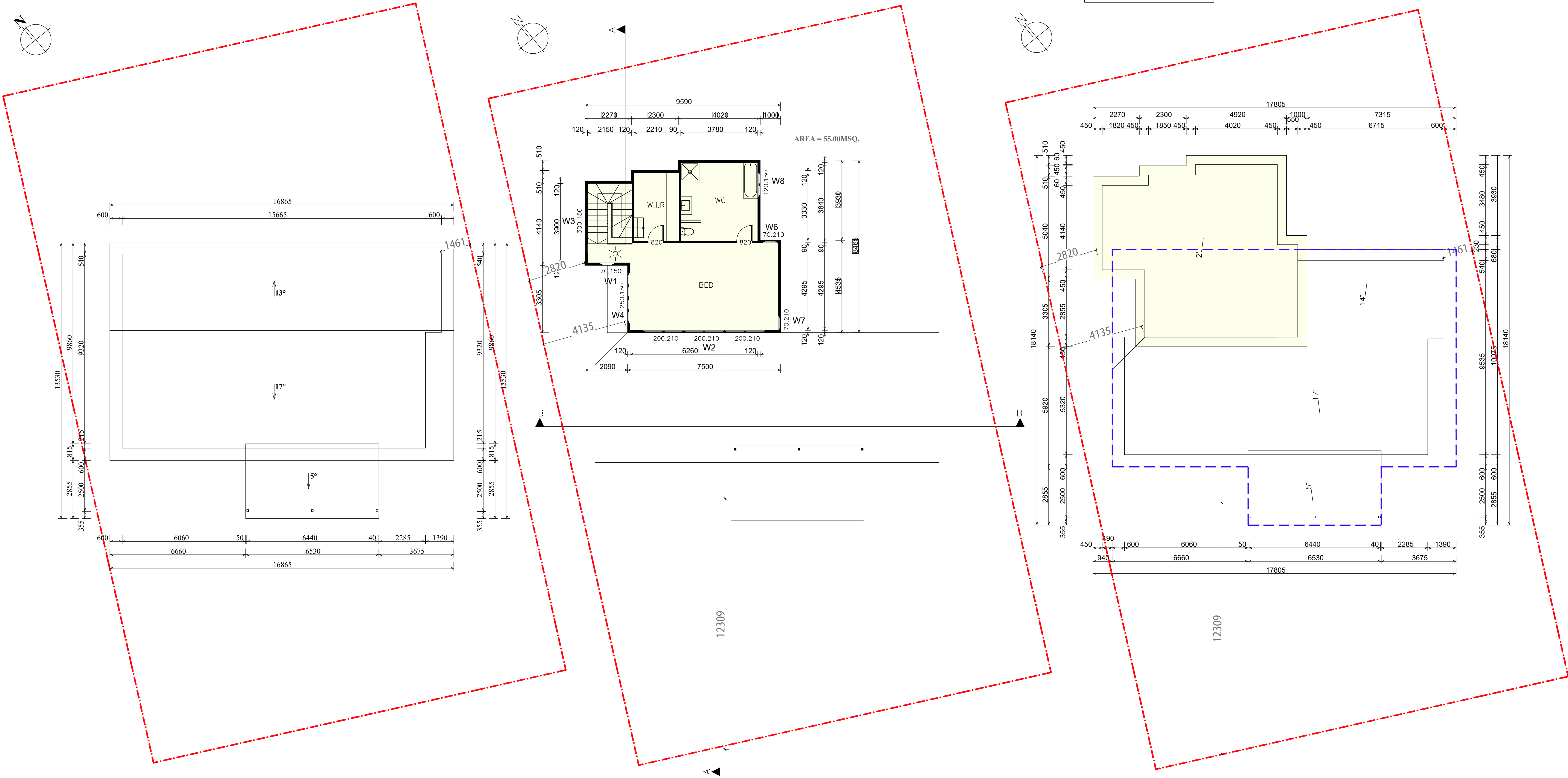
NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
☼

SMOKE ALARMS TO COMPLY WITH BCA NSW 9.5.1 & AS3786.

NEW ROOF. COLOUR - SHALE GREY, COLORBOND® CORRUGATED STEEL. IN FITTING WITH EXISTING HOUSE ROOF



ROOF PLAN - EXISTING
SCALE 1:100

NEW UPPER FLOOR PLAN - PROPOSED
SCALE 1:100

ROOF PLAN - PROPOSED
SCALE 1:100

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61 DOLPHIN CRES.
AVALON BEACH
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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

PROUDLY SUPPORTING
bear cottage
architects

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Project Address and Alterations
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Sheet
4
AS SHOWN

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1. ☐ 2. ☐ 3. ☐ 4. ☐

5. ☐ 6. ☐ 7. ☐ 8. ☐

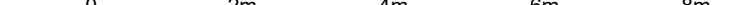
9. ☐ 10. ☐ 11. ☐ 12. ☐

13. ☐ 14. ☐ 15. ☐ 16. ☐

SMOKE ALARMS TO
COMPLY WITH AS 3786



1:100



2m 0 2m 4m 6m 8m 10m

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**61 DOLPHIN CRES.
AVALON BEACH
2107**

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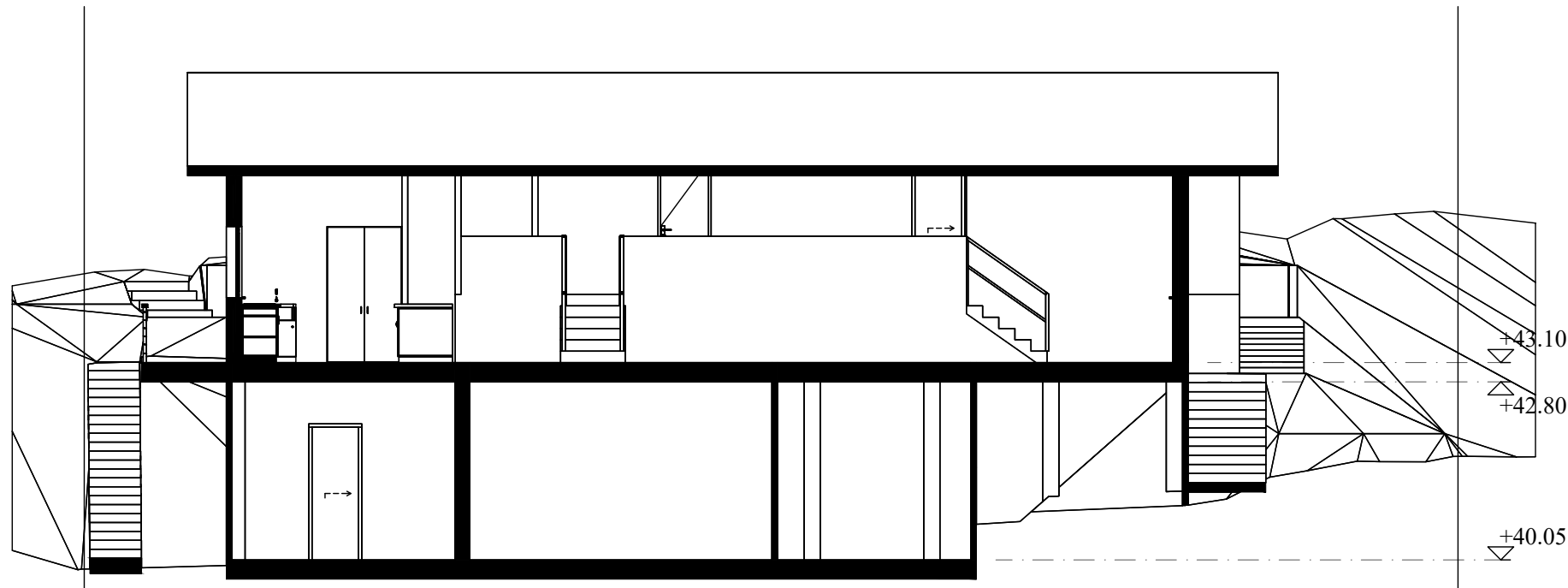
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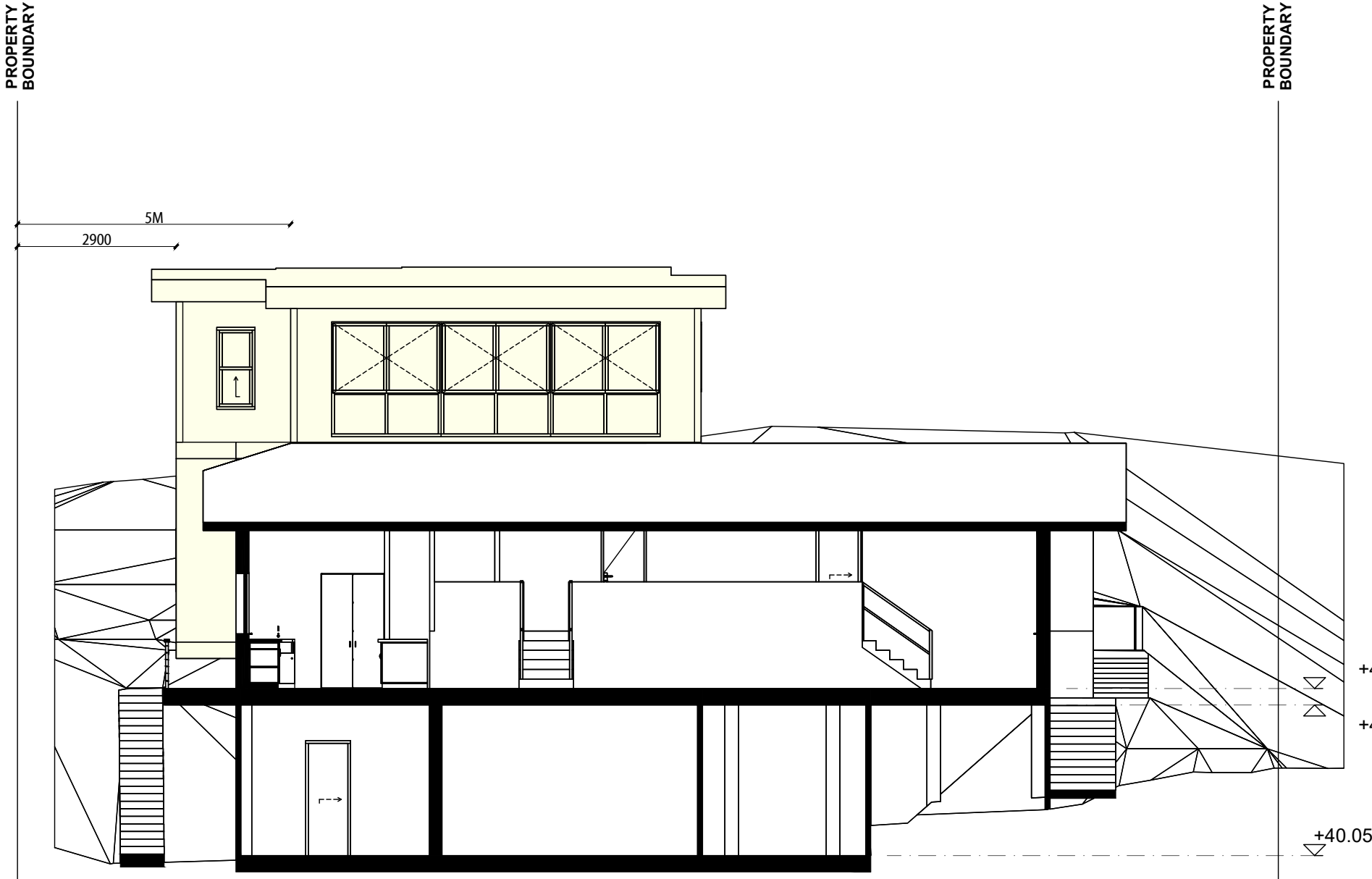
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LEGEND:
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SECTION A - EXISTING
SCALE 1:100



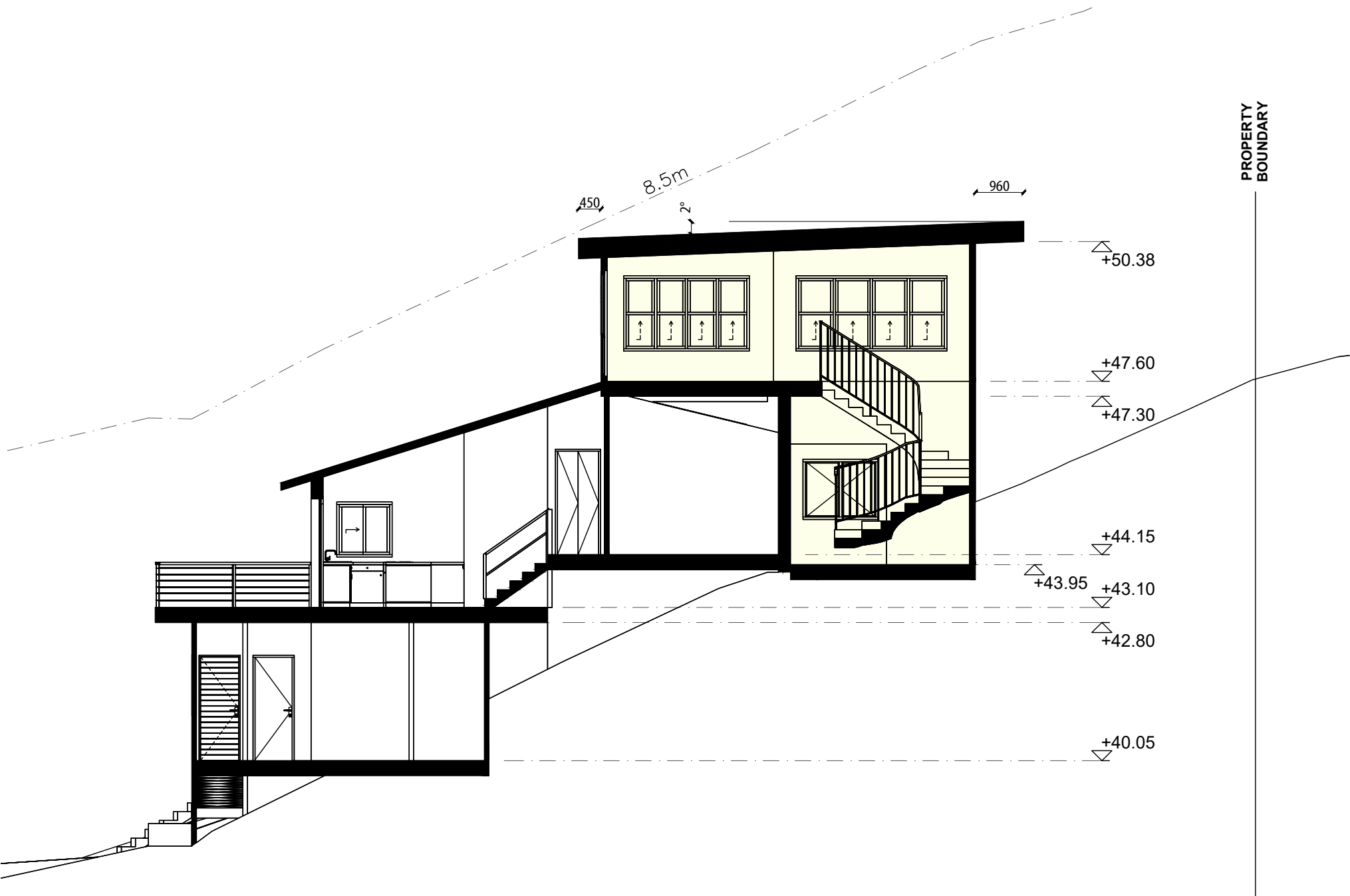
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SECTION B - EXISTING
SCALE 1:100



SECTION B - PROPOSED
SCALE 1:100

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General Notes

proudly supporting
bear cottage
architectural drafting help

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Project Additions and Alterations
Date: 07.07.2025
Scale: AS SHOWN
Sheet 7

DP No. 28663
LOT No. 22

A ISSUED FOR DA 07.07.2025
No. Revision/Issue Date

dh DRAFTING HELP
5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MATTHEW DENT
61 DOLPHIN CRES.
AVALON BEACH
2107

DP: **28663**
LOT No. **22**
SITE AREA: **694.90MSQ.**
EXIST. GFA: **205.00MSQ.**
PROPOSED GFA: **67.00MSQ**
MAX. BUILDING HEIGHT: **8.5M**

1000 1000 1000 1000
 1000 1000 1000 1000
 1000 1000 1000 1000
 1000 1000 1000 1000

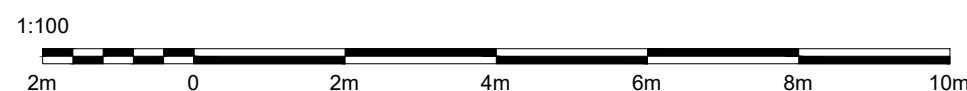
SMOKE ALARMS TO
COMPLY WITH AS 3786



GENERAL NOTES

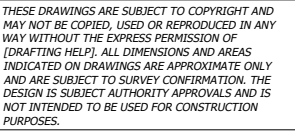
- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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**61 DOLPHIN CRES.
AVALON BEACH
2107**

General Notes



DP No. 28662

LOT No. 22

A	ISSUED FOR DA	07.07.202
No.	Revision/Issue	Date

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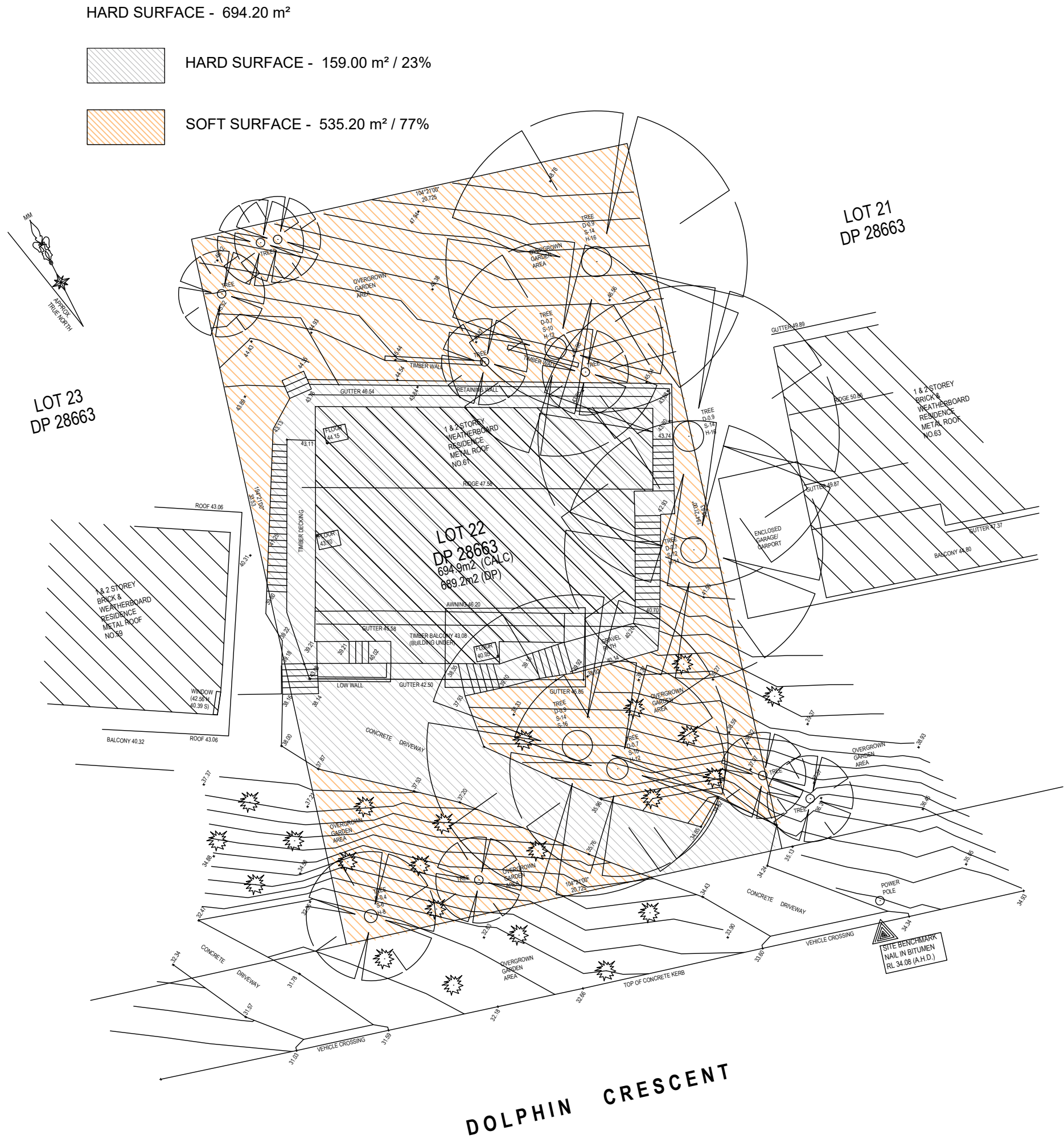
DEVELOPMENT PROPOSAL

DP: 28663
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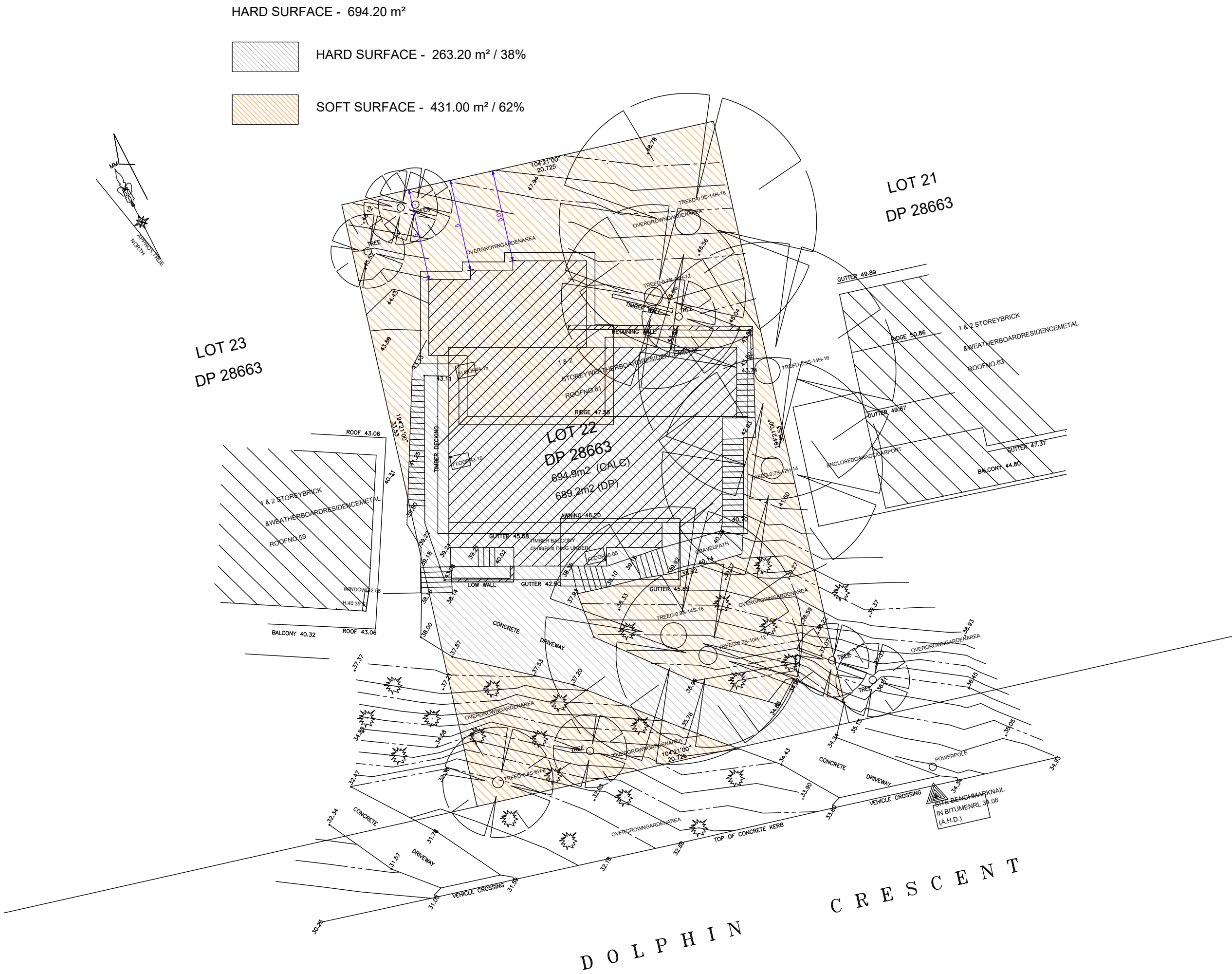
NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
☆☆



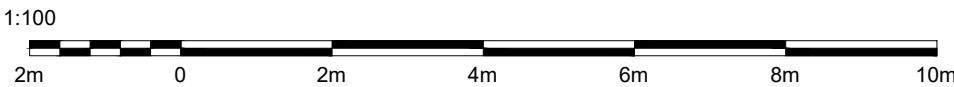
LANDUSE DIAGRAM - EXISTING
SCALE 1:200



LANDUSE DIAGRAM - PROPOSED
SCALE 1:200

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes



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Project Address and Alterations	Sheet
Date: 07.07.2025	9
Scale: AS SHOWN	

DP No. 28663
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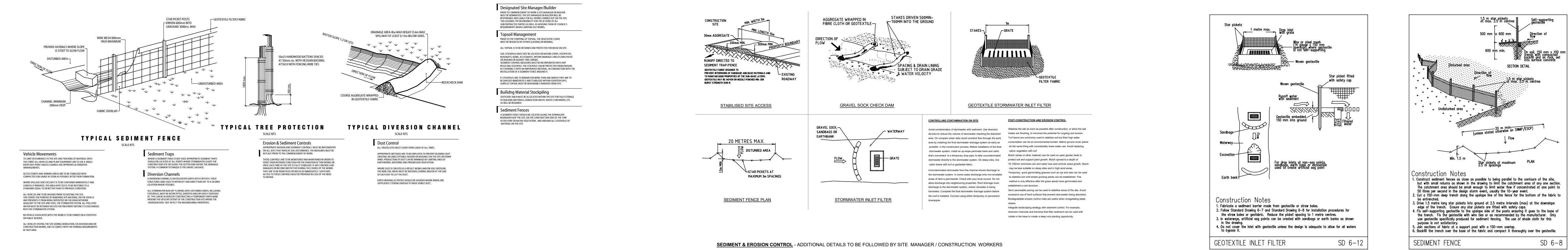
DEVELOPMENT PROPOSAL

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PROPOSED GFA: 67.00MSQ
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NEW WORKS:
NEW 3RD STOREY ADDITION AT REAR OF DWELLING
NEW GREEN ROOF

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

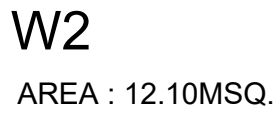


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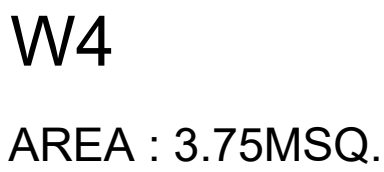
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SMOKE ALARMS TO
COMPLY WITH AS 3786

SOUTH ELEVATION



W3
AREA : 4.5MSQ.

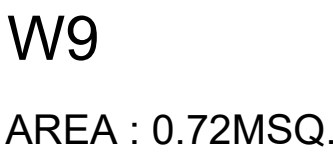
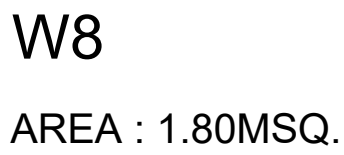


W6

AREA : 1.47MSQ.

W7

AREA :1.147MSQ.



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1:100

2m 0 2m 4m 6m 8m 10m

NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

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**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

 **EXISTING BUILDING OUTLINE**

 PROPOSED WORK

General Notes

proudly supporting

bear cottage

an initiative of
the children's hospital @ mcmaster

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Project ADDITONS AND ALTERATIONS	Sheet 11
Date 07.07.2025	
Scale AS SHOWN	

DP No. **28663**

LOT No. **22**

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Project Name and Address

MATTHEW DENT
61 DOLPHIN CRES.
AVALON BEACH
2107

DEVELOPMENT PROPOSAL

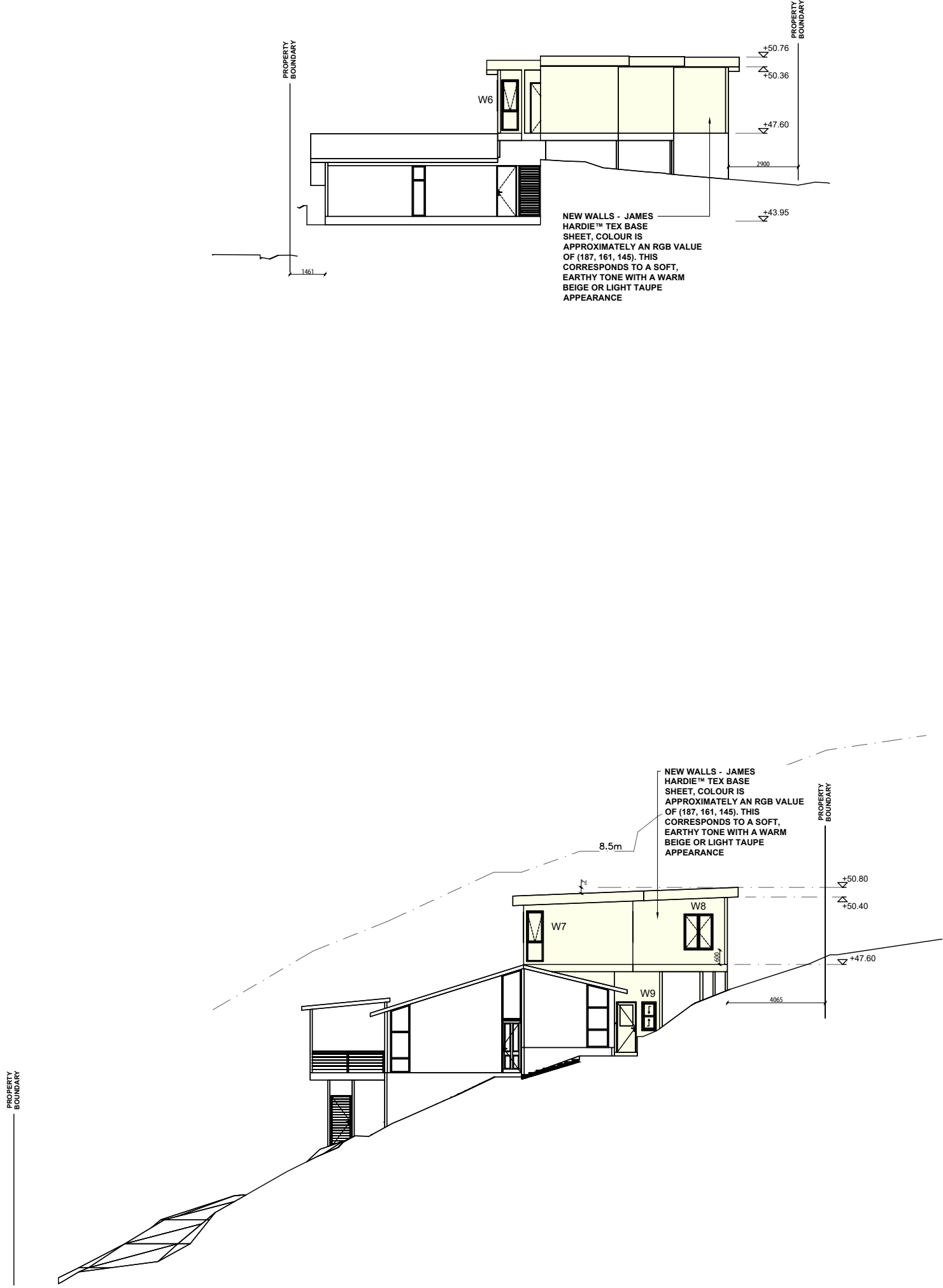
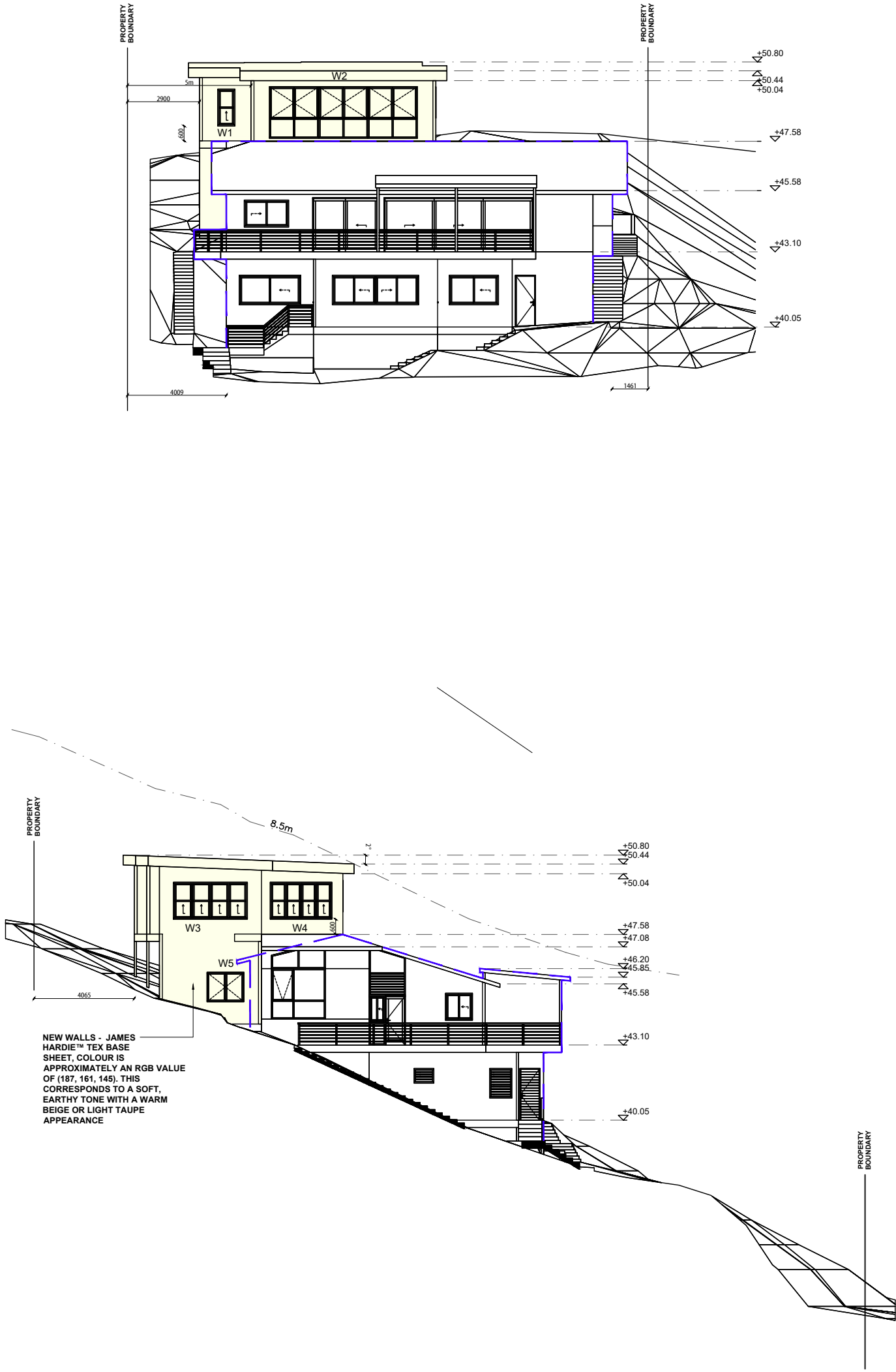
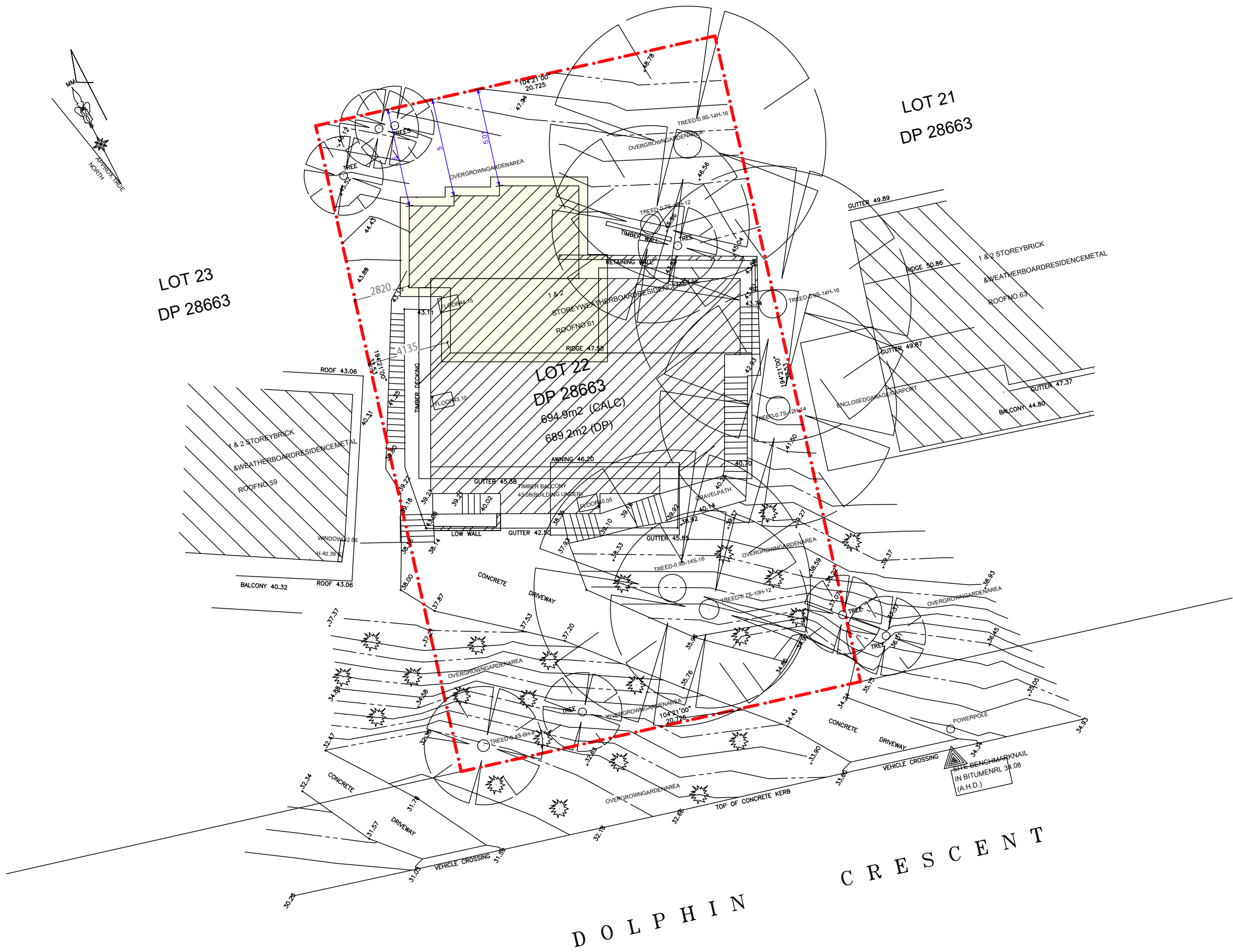
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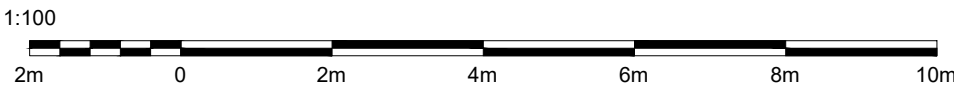
LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

NOTIFICATION PLAN



GENERAL NOTES
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Project Additions and Alterations	Sheet 12
Date 07.07.2025	
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