

DRAWING LIST	
	Sheet Name
AR.DA. 0000	SITE AND ROOF PLAN
AR.DA. 0001	PERSPECTIVE VIEWS
AR.DA. 0100	(E) GROUND AND FIRST FLOOR
AR.DA. 1100	PROPOSED GROUND AND FIRST FLOOR PLAN
AR.DA. 3000	(N) ELEVATIONS
AR.DA. 3100	(N) SECTIONS
AR.DA. 3200	DOOR SCHEDULE
AR.DA. 3201	WINDOW SCHEDULE
AR.DA. 7000	SUN SHADOWS STUDIES
AR.DA. 4000	EXTERNAL FINISHES


1 (N) SITE AND ROOF PLAN
1 : 100



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

 DA2024/0004


Certificate No. 0009167644-02
 Scan QR code or follow website link for rating details.
 Assessor name: Danielle Grumond
 Accreditation No. HERA10134
 Property Address: 31 Kooloora Avenue, FRESHWATER NSW, 2096
 Issue Date: 16/05/2024
 Issue Validity: 16/05/2026
 Issue Reference: EC2024/0016



CLIENT
 JUDY HSU &
 CHRIS HUDSON

DESIGN ARCHITECT
 R SQUARED STUDIOS

SURVEYOR
 DONOVAN ASSOCIATES

PLANNER
 VMDC PLANNING

LANDSCAPE CONSULTANT
 TCGD

STRUCTURAL & HYDRAULIC ENGINEER
 BMY BUILDING CONSULTANTS

ENERGY CONSULTANT
 GREEN FUTURE GROUP

Rev	Date	Description	Drawn	Auth.
P1	9.11.2023	ISSUE FOR COORDINATION	TI	RR
P2	28.11.2023	ISSUE FOR COORDINATION	TI	RR
P3	1.12.2023	ISSUE FOR COORDINATION	TI	RR
A	20.12.2023	ISSUE FOR DA	TI	RR
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LEGEND

Proj. Arch: RR
 Date: MAY 2024
 Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

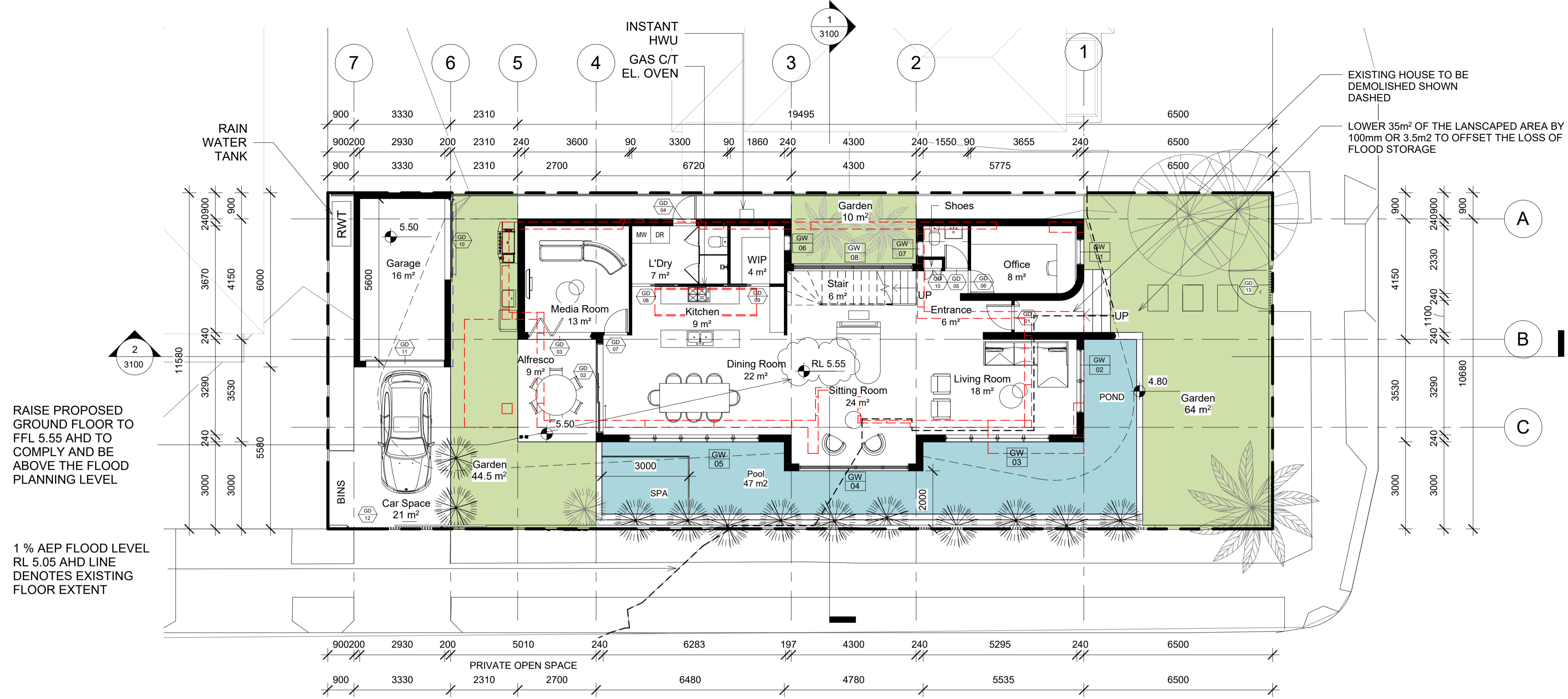
Drawn: TI
 Scale: 1 : 100

Project
 FRESHWATER HOUSE
 31 Kooloora Avenue, Freshwater

Project Architect
 R Squared Studios Pty Ltd
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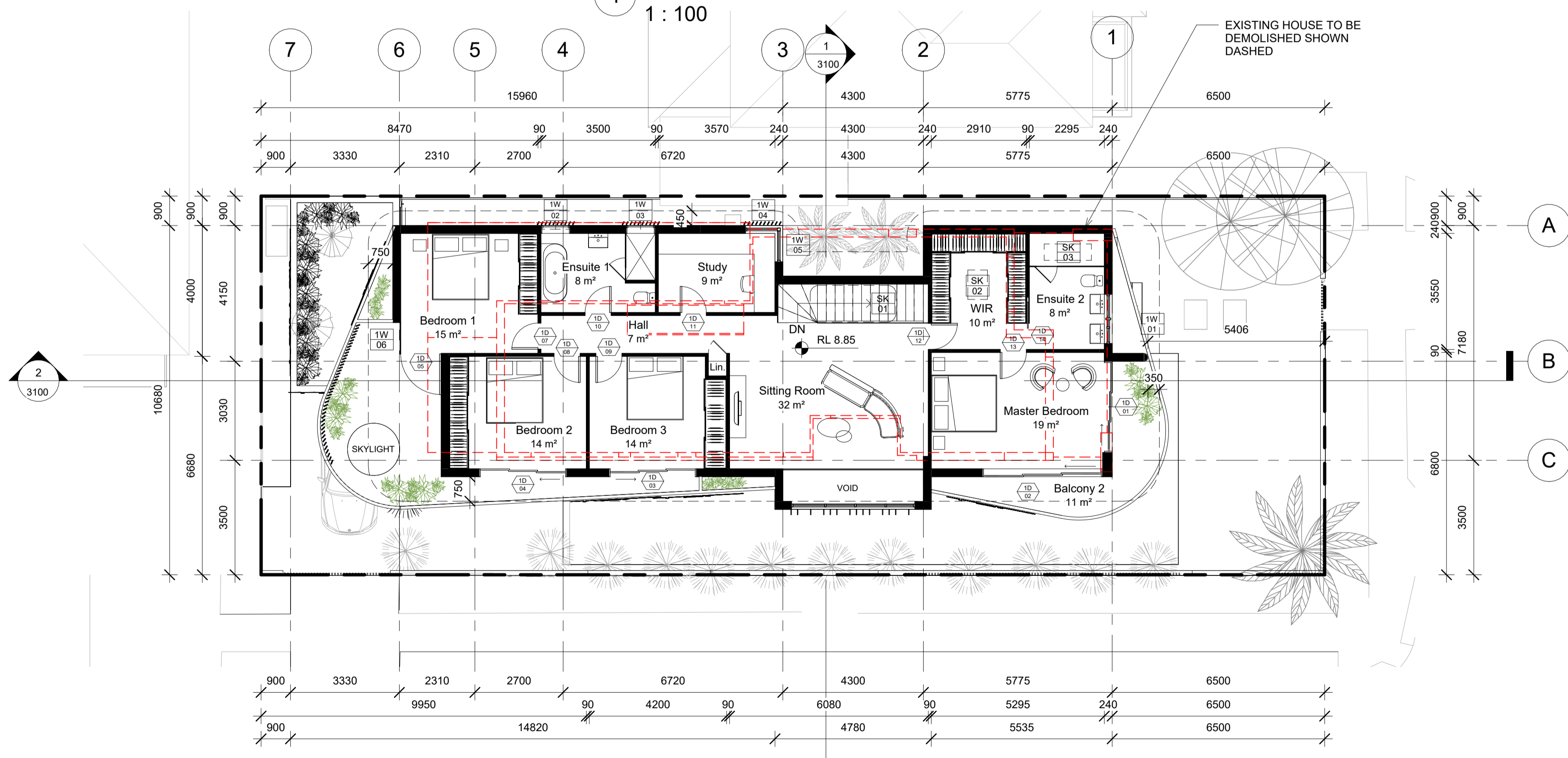


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Ground Floor Room Schedule	
Name	Area
Media Room	13 m ²
Kitchen	9 m ²
L'Dry	7 m ²
WIP	4 m ²
Sitting Room	24 m ²
Entrance	6 m ²
Office	8 m ²
Powder Room	2 m ²
Living Room	18 m ²
Dining Room	22 m ²
Stair	6 m ²
119 m ²	
Garage	16 m ²
Alfresco	9 m ²
Car Space	21 m ²
46 m ²	
Landscape Area Schedule	
Name	Area
Garden	34 m ²
Garden	57 m ²
Pool	48 m ²
Garden	10 m ²
149 m ²	



1
1 : 100
PROPOSED GROUND FLOOR



First Floor Room Schedule	
Name	Area
Balcony 1	21 m ²
Bedroom 1	15 m ²
Ensuite 1	8 m ²
Study	9 m ²
Bedroom 2	14 m ²
Bedroom 3	14 m ²
Hall	7 m ²
WIR	10 m ²
Ensuite 2	8 m ²
Master Bedroom	19 m ²
Balcony 2	11 m ²
Sitting Room	32 m ²
170 m ²	

2
1 : 100
PROPOSED FIRST FLOOR


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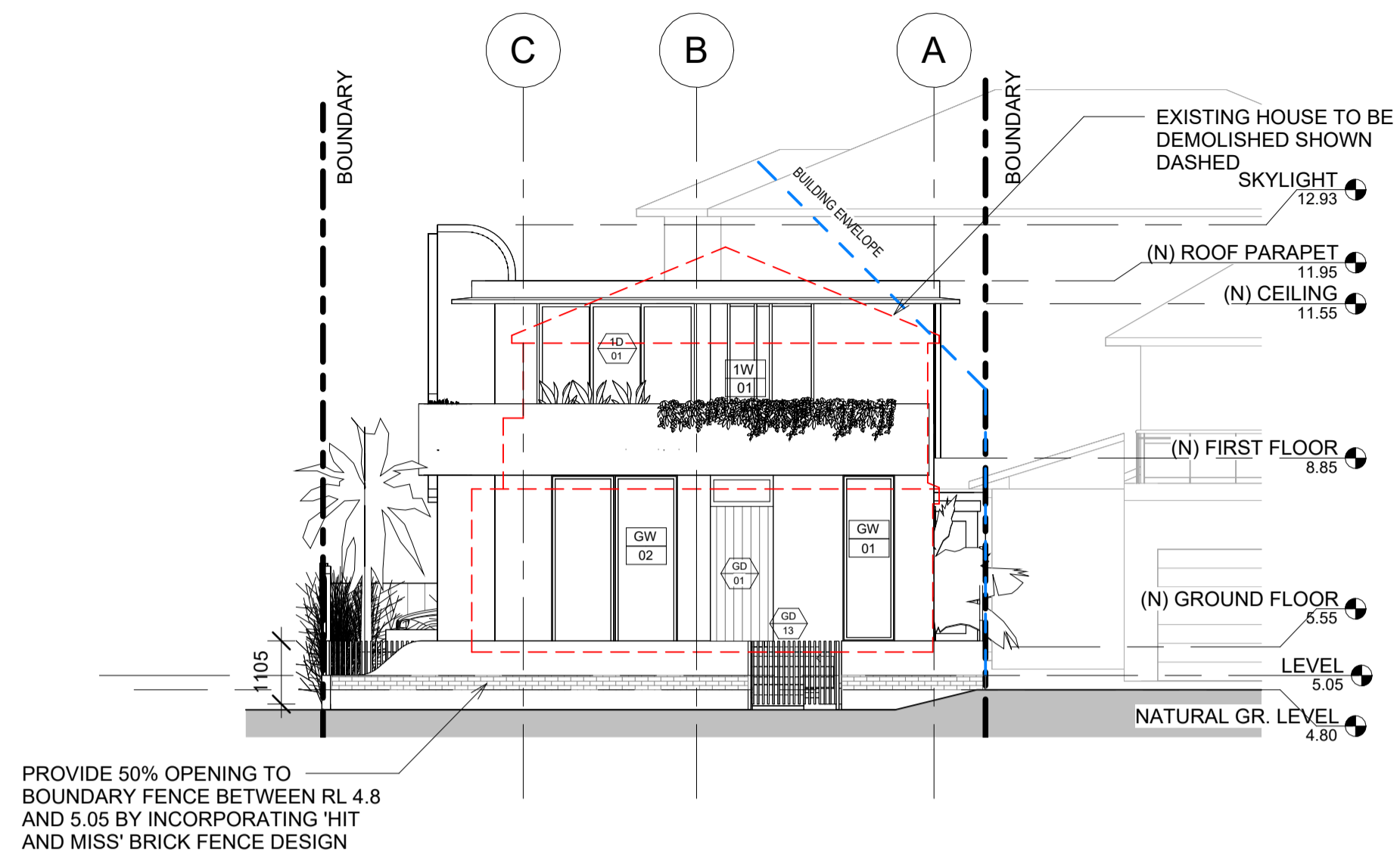
DESIGN ARCHITECT R SQUARED STUDIOS	SURVEYOR DONOVAN ASSOCIATES
PLANNER VMDC PLANNING	STRUCTURAL & HYDRAULIC ENGINEER BMY BUILDING CONSULTANTS
LANDSCAPE CONSULTANT TCGD	ENERGY CONSULTANT GREEN FUTURE GROUP

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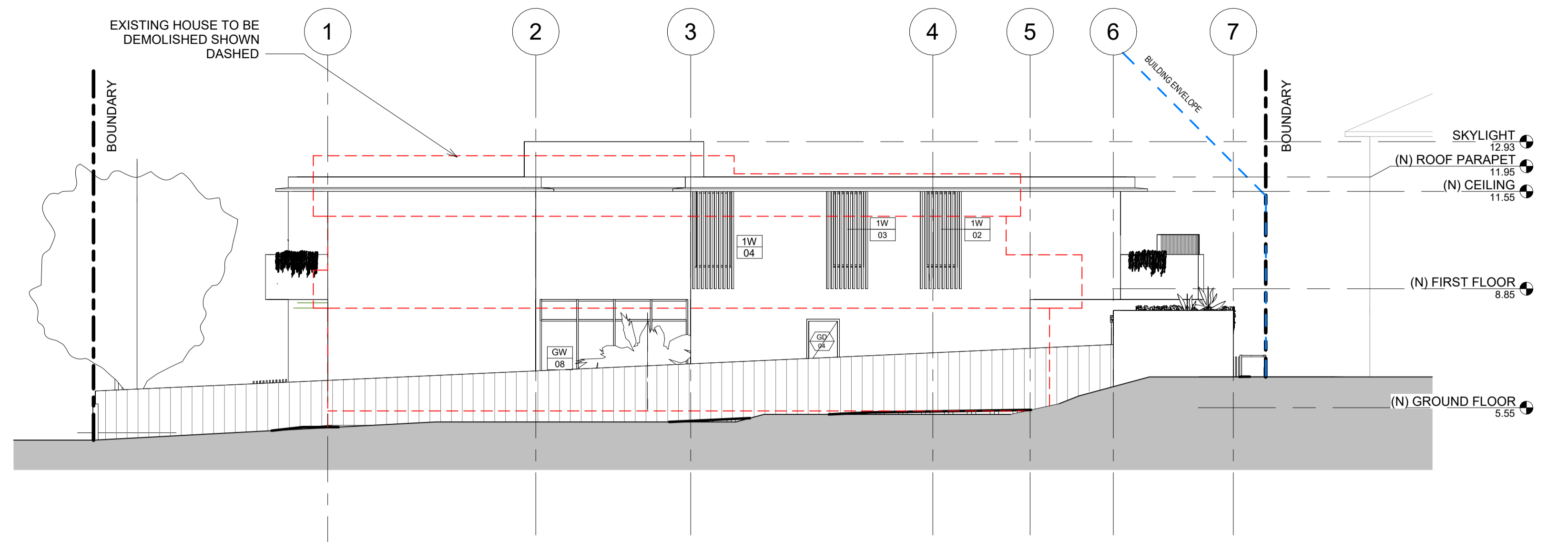
Proj. Arch: **RR** Drawn: **TI**
 Date: **MAY 2024** Scale: **1 : 100**
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Project: **FRESHWATER HOUSE**
 31 Kooloora Avenue, Freshwater
 Project Architect
 Drawing Title: **PROPOSED GROUND AND FIRST FLOOR PLAN**
 Drawing No.: **AR.DA. 1100** Revision: **C**
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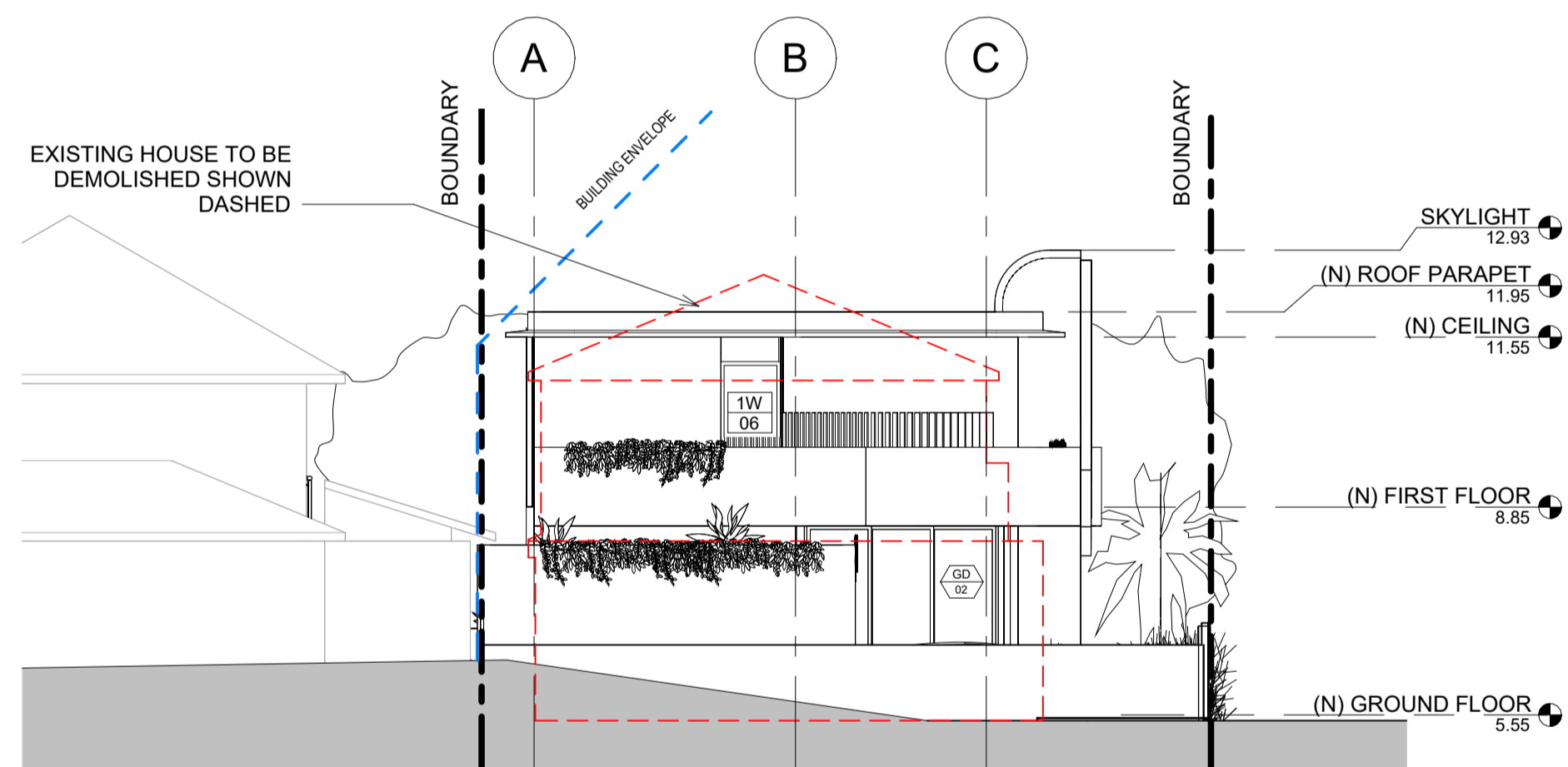




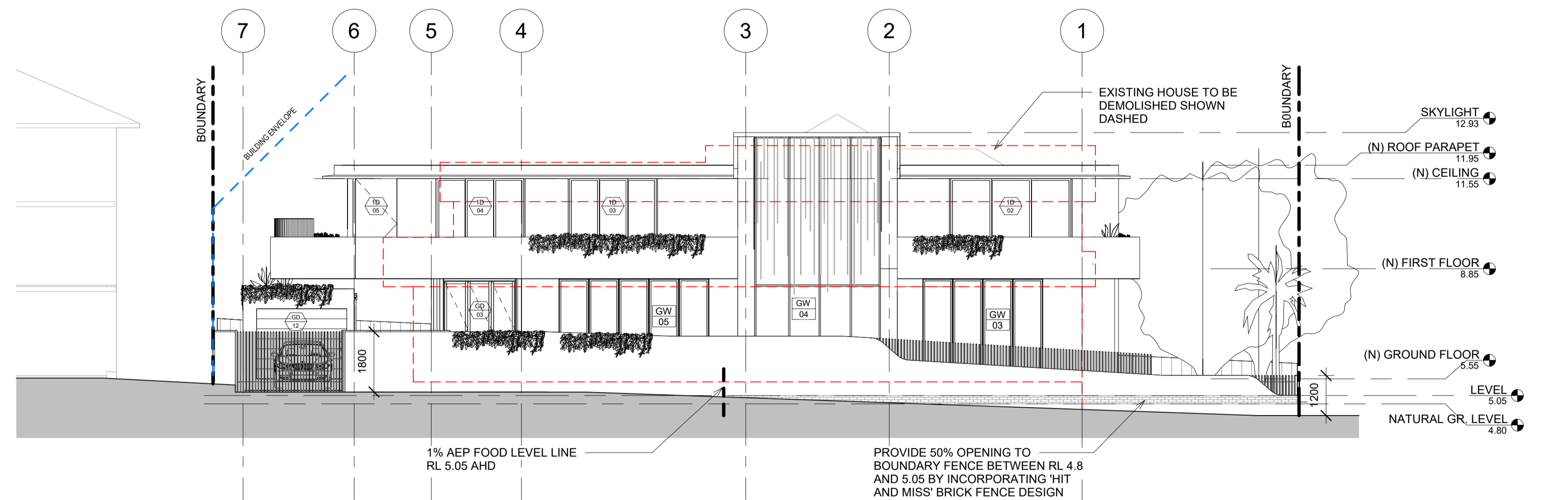
1 North Elevation
1 : 100



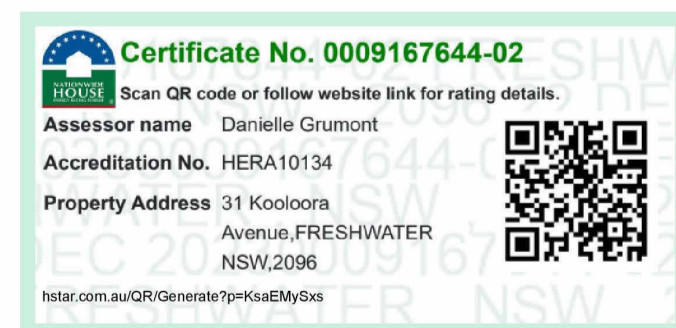
2 West Elevation
1 : 100



4 South Elevation
1 : 100



3 East Elevation
1 : 100



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Proj. Arch	Drawn
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MAY 2024	1 : 100

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Project
FRESHWATER HOUSE

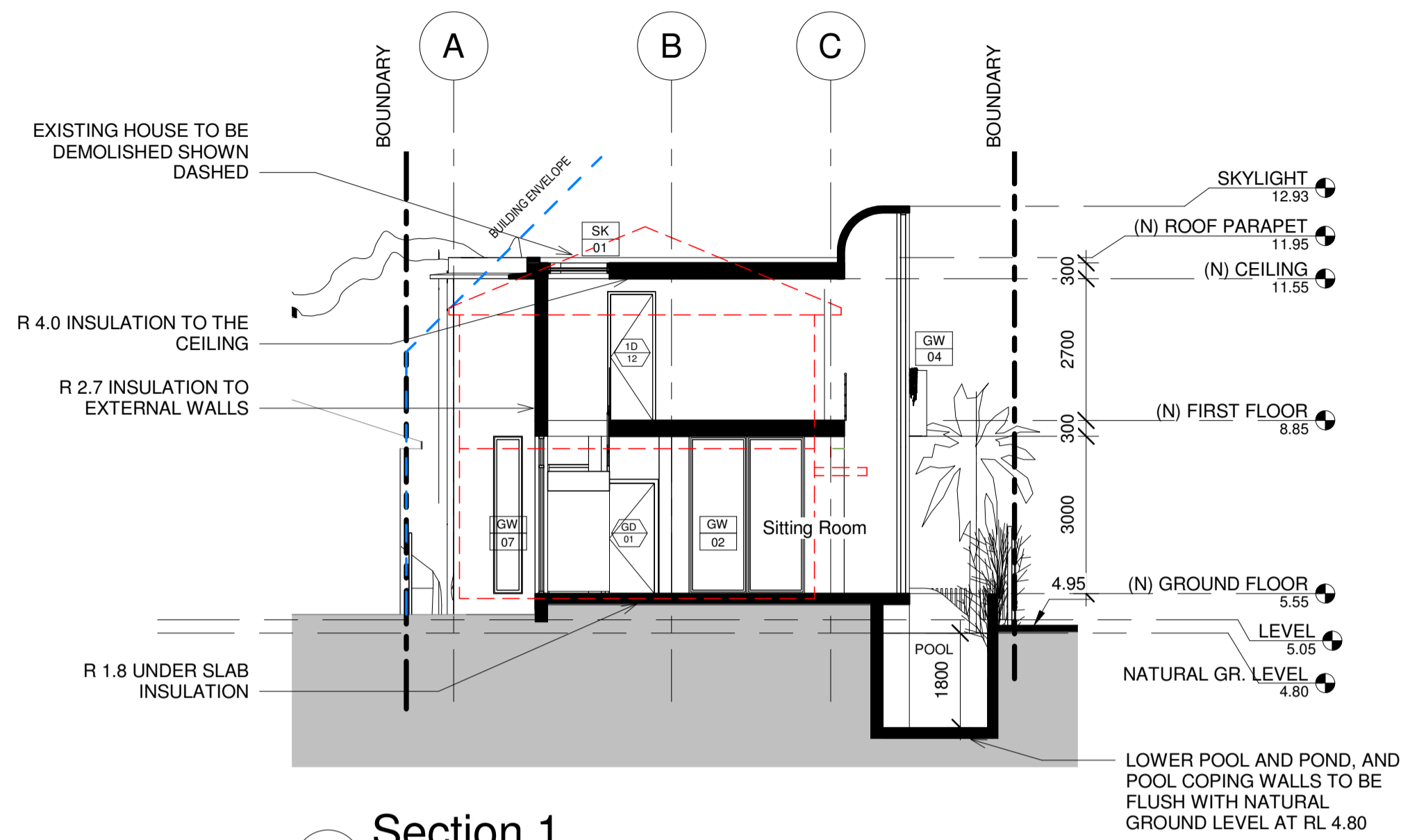
31 Kooloora Avenue, Freshwater

Drawing Title
(N) ELEVATIONS

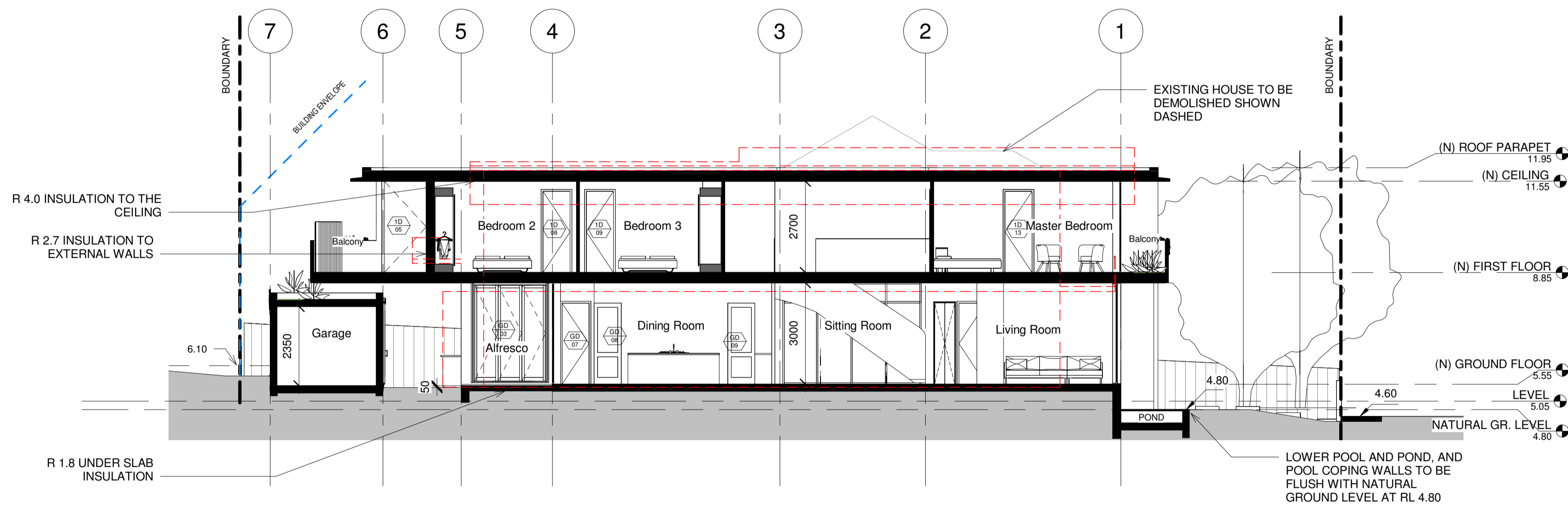
Drawing No.
AR.DA. 3000

Project Architect
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Revision
C



1 Section 1
1 : 100



2 Section 2
1 : 100

Job No.	Revision	Notes	Date
Hsu & Hudson	A	NatHERS & BASIX Assessment	22/12/2023

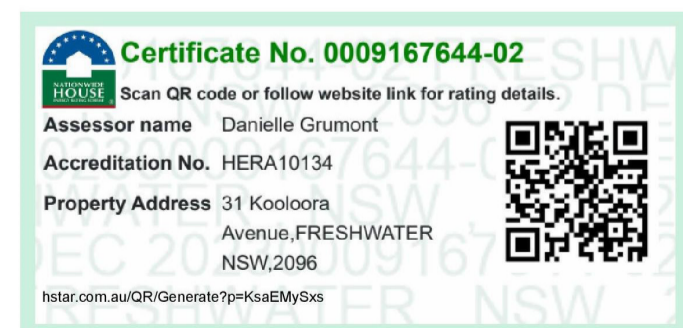
Thermal Comfort Specifications	
Glazing:	Default codes modelled which are not brand specific. You can use any brand/manufacturer and type of glass and frame; these are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.
Doors/Windows:	Group A - bifold and casement doors: PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (±10%) Group B - sliding doors/windows + fixed glazing: PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC, total window system values (glass and frame)
Skylights:	Double glazed with timber or aluminium frame
Roof:	Concrete roof with waterproof membrane Colour: Light (0.475<SA)
Ceiling:	Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above No insulation required to Garage ceiling Ground Floor ceiling is concrete between levels
Ceiling penetrations:	Sealed LED downlights to Ground Floor, modelled: One per 3m ²
External Walls:	Concrete with R2.7 insulation (insulation only value) No insulation required to Garage walls
Internal walls:	Plasterboard on studs Note: Tested also with single skin masonry which performs 0.1 Stars better. Have applied worst case scenario with plasterboard on studs. Single skin masonry can be installed as an alternative.
Floors:	Concrete slab on ground with R1.8 under slab insulation (insulation only value) Concrete to First Floor (between levels) with R2.0 insulation (insulation only value) to any suspended floor with open subfloor Floor coverings: Tiles to Ground Floor and the wet areas of First Floor, carpet to upstairs bedrooms, timber elsewhere upstairs
Ceiling fans:	Three Ceiling Fans: one to Upper Sitting Room, one to Dining Room, and one to either the GF Sitting Room or Living Room
External Shading:	Covered Alfresco and Balconies. Shading screens to Ensuite 1 and Study windows. Eaves as shown on drawings

BASIX Water Commitments	
Fixtures:	Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bedroom
Alternative Water:	Install rainwater tank with minimum 10,000L capacity, connected to - At least one outdoor tap and toilets, and used to top up spa and pool Rainwater harvest collected from a min. 215m ² roof area
Pool and Spa:	Volume of Pool: 74kL. Volume of Spa: 6kL. Both Pool and Spa are to have a cover.
BASIX Energy Commitments	
Hot water System:	Gas instantaneous with minimum performance of 6 Stars
Cooling system:	3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Heating system:	3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation:	Kitchen - individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms - individual fan, externally ducted to roof or façade, manual on/off switch Laundry - individual fan, externally ducted to roof or façade, manual on/off switch
Pool and Spa:	Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars. Spa Heating System: solar (electric boosted), controlled by timer
Alternative Energy:	Minimum 5.5kW of solarPV, with panels sloped between >0° to <=10° and facing North West
Other:	Gas cooktop & electric oven Outdoor clothes drying line



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Project
FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title
(N) SECTIONS

Drawing No.
AR.DA. 3100

Revision
C

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