

Architect's Statement

MIXED USE DEVELOPMENT

BOARDING HOUSE / CHURCH / COMMUNITY FACILITIES

28 FISHER RD / 9 FRANCIS ST, DEE WHY, NSW

AUGUST, 2022



architecture

modularisation

project management

interior design

procurement

1300 799 986

335 MONA VALE ROAD

TERREY HILLS NSW

AUSTRALIA 2084

www.georgegroup.com.au

August, 2022

Northern Beaches Council

To whom it may concern,

**RE: ARCHITECT'S STATEMENT
MIXED USE COMMUNITY FACILITIES AND BOARDING HOUSE
28 FISHER RD & 9 FRANCIS ST, DEE WHY, NSW**



We are pleased to be submitting this project for DA Application after a rigorous Pre-DA process with council. Further to the DA Application for this project we note our initial response as follows -

- **DA Documents Link** - <https://www.dropbox.com/sh/imkm2er4ciytuf/AACKRJqmcCiXlfJVrlsZOXQJa?dl=0>
- **History of the Site** - This site is owned by the Baptist Church. It was first purchased around 100 years ago and was developed as a place of worship during the 1940s as a part of the earlier fabric of Dee Why. The church has a long history of community involvement and the site currently plays host to a Baptist Church congregation, a Korean church congregation, community connect groups and a range of regular dance, music drama and other community uses.
- **The General Proposal** - The Baptist Church is seeking to better-utilise its existing site resources and to extend the care and community supports that it offers in Dee Why. It is proposed to update its current facilities with a new state-of-the-art conference centre/multi-purpose community facility. This will provide much-needed professional standard facilities for Dee Why community use. The church will retain ownership of the facility to ensure the community use continues as a good legacy. The church proposes to develop a range of Specialist Disability Accommodation as boarding house units targeted for use by a variety of persons. This is allied with their mission and is consistent with their social stance to help those in need as there is a dire need for community crisis care Centres and accommodation of this type on the Northern Beaches.
- **Fisher Rd development** - that directly addresses Fisher Rd and activates to the street with a café and other seating areas. Below this, basement carparking is proposed that accesses from the rear Francis St entry. Above this and also to the rear, 52 Boarding House units under the State Environmental Planning Policy (Housing) 2021 are proposed plus 1 Managers unit. The Francis St end of the site features an 11m max height building with complying road frontage setbacks similar or in excess to the neighbouring properties. Green wall and small balcony articulation personalise and soften the street appearance and set the green/sustainable tone of the development. The Fisher St end of the site features a 16m max height building of a more commercial nature with a 2-level frontage and entry podium. This is set back the required 4m from the kerb and the accommodation set back 8m from the kerb. The building form is articulated along its length with boarding units focusing to either the front or rear or the internal substantial light well. This central light well features privacy, landscape, gardens and skylighting to the communal conference area below. These lightwell centres focus from communal areas beyond and allow for a people-focused well-being as well as sustainable reuse of site stormwater. Both ends of the site have significant setback from the rear central boundary that provides a space corridor complying with setback requirements and in excess of other development within the immediate area. The buildings are connected at level 1 with a glazed and privacy-screened connection walkway. This is practical connection for staff and residents that runs above the communal focus of the ground level (at Fisher Rd) to the ground level at Francis St and will have minimal impact (if any) upon the local environment. It runs over the green landscaped area between the buildings.
- **Site use to be maintained across the integral site** – This site has always been used as an integral site spanning right through from Fisher Rd to Francis St. (although consisting of 2 titles). This strategy has proved successful for the Baptist Church and the local community in that carparking has been accessed from Francis St. (and this is proposed to be continued). A similar pattern is seen in development along the street with the Builders Club a few doors down operating in a similar way. Where there has been required carparking access from Fisher Rd (as exhibited 2 doors up) this has brought about a poor streetscape with carparking access overtaking the street level



interface. We believe that with the long history of the site being used as an integral site that this view of the site use should be maintained, regardless of the current different zonings across each end of the site. The proposal illustrates integral parking, integral communal areas, integral service systems, garbage collection and the like. Previous DA Application has illustrated negotiated support on traffic issues, carparking numbers, garbage collection process and visual up Francis St (and this negotiated status for approval is proposed to be maintained). We believe that this should extend across the sites in relation to landscape, FSR, POS and the range of other elements that make up the integral use of this site.





- **Site Width** - The narrowness of the site means that there is difficulty with presenting little more than a façade to either the Francis St or Fisher Rd frontage. It has also meant that internal courtyards have been designed to allow for meaningful light and air to be delivered to accommodation and to the community centre at the ground level. The design features a Communal area bridge section that directly gains northern sun and provides a significant allowance to maintain this should future development of the neighbouring properties occur. Neighbours have been approached with no desire expressed for joint redevelopment.
- **Central setbacks** - Council have requested significant rear setbacks of both the Fisher Rd and Francis St sites and this has in essence been delivered for compliance with council request. This includes 6m to the rear of Francis St and 6.5m to the rear of Fisher Rd. The connection walkway is a negotiated incursion between the building and is necessary to allow staff and participants to connect between the 2 buildings.
- **Side setbacks at Francis St** – Council have requested 4.5m minimum setback to the Francis St site and this has been delivered. The Francis St building also confirms with building envelope cut-off parameters.
- **Building Heights** – Fisher Rd end complies fully with the 16m maximum height requirements. The Francis St end complies fully with the 11m height requirements (and it is noted that the Francis St (west end) design height is situated well below this mark to ensure meaningful sunlight, light, air and outlook are maintained to the southern neighbour)
- **Garbage** – A fully enclosed bin room has been located adjacent to Francis St with a negotiated 1:8 maximum access basement of the Francis St end of the development. Disabled Accessibility is achieved to the space from the entire development via internal and external accessible pathways and ramps. Accessibility is achieved to the street via a similar path that will allow service to the street for pickup. Previous agreement has been reached for kerbside collection of bins with council staff collecting the bins from the bin room. The garbage collection truck is to park temporarily at the Francis St open visual area (to the north of the carpark entry driveway crossover). This may occur up to twice weekly.
- **Accessibility** – A qualified Accessibility Consultant has completed an accessibility report for the development. The majority of the accommodation rooms are fully accessible to AS1428.1 as outlined in his report. BCA requirements are fully achieved for accessibility. Publicly accessible bathrooms are located on the ground level to ensure service to the public and to the common areas and café portions of the development. Fully accessible bathrooms have been located to around the majority of all accommodation rooms
- **Previous DA Application** – The site has undergone a DA Application previously where refusal was given from council. The DSAP and SNPP provided comment and this comment has now been incorporated into this scheme for resubmission. We have further engaged with a specialist Urban Designer and Landscape Architect who both sit on various Planning Panels and who have provided reporting and worthwhile design pointers into this scheme. Hence, we believe this proposal to be well-considered and complying with the requirements set out in the various legislation.


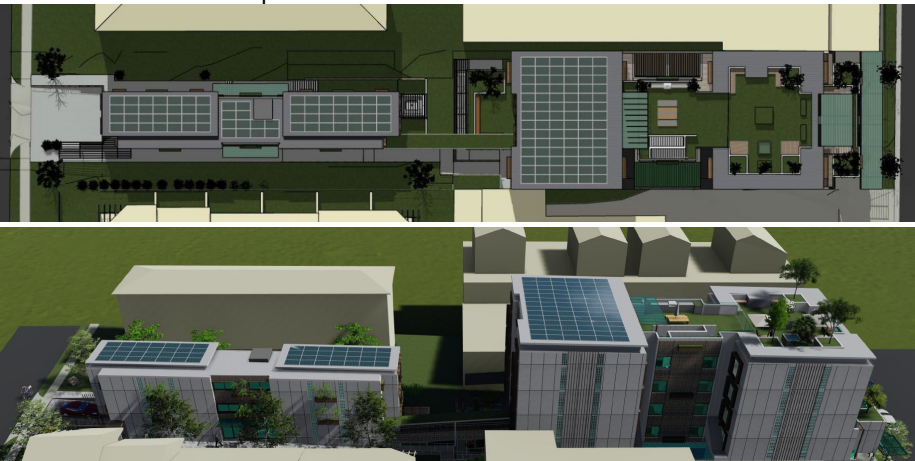

Yours faithfully,

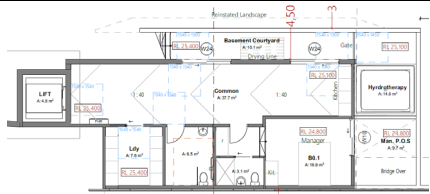
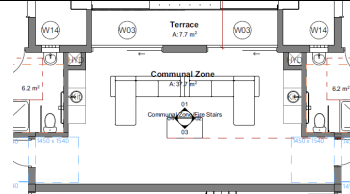
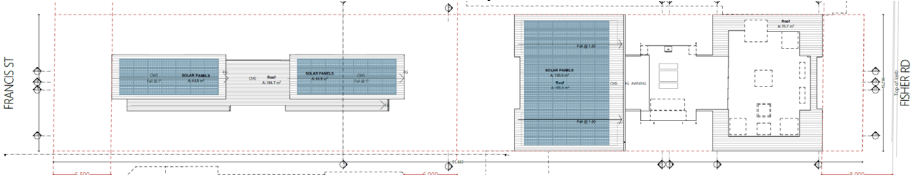

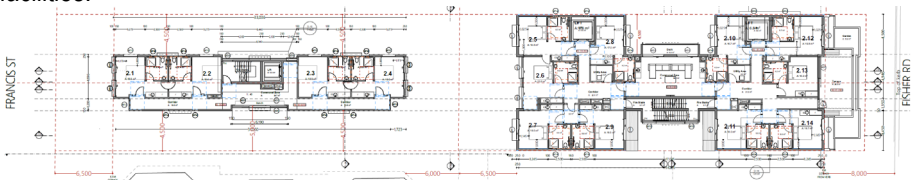
Philip George - 0412 015 955

MANAGING DIRECTOR – THE GEORGE GROUP PTY LTD
Reg Architect NSW 7318, VIC 17640, QLD 2525
B Arch (Hons) B Ap Sc (Blt Envir) RAI
NOMINATED ARCHITECT



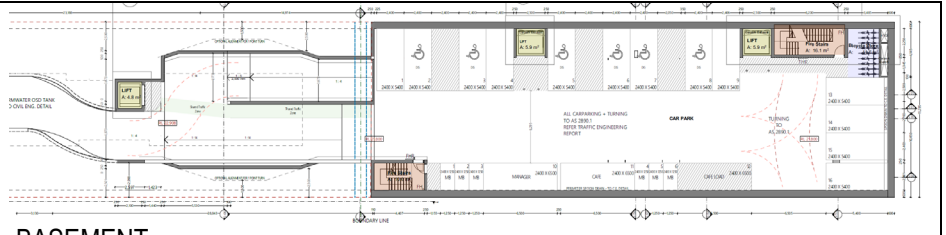
PROVISION	ARCHITECT STATEMENT ITEMS ADDRESSED IN DESIGN & DOCUMENTS
<p>Generally</p> <p>This project has been the subject of a previous DA Application DA2020/1167 that was refused. We note that this proposal gained Engineering endorsement across the board within council and also went through the DSAP and SNPP processes.</p> <p>The council introduction to the project at right still is an adequate description of the site background.</p> <p>The project as per this DA Application is essentially the same in format, but has been reduced in scale to match the requirements stated by DSAP and SNPP and hence is a complying development in relation to the heights, setbacks, coverages, landscape etc applied to the design</p> <p>Application is now made under the State Environmental Planning Policy (Housing) 2021 in lieu of the previously noted Affordable Rental Housing 2009.</p>	<div data-bbox="619 219 783 286">  <p>northern beaches council</p> </div> <p>INTRODUCTION</p> <p>The purpose of this Briefing Note is to provide a brief overview of the proposal for Development Application No. DA2020/1167 and obtain a review by the Design and Sustainability Advisory Panel.</p> <p>LOCATION and SITE</p> <div data-bbox="659 450 927 658">  </div> <div data-bbox="943 450 1225 658">  </div> <p>Figure 1 – Site Zoning (part R3/part B4) Figure 2 – Aerial view of the site</p> <p>OVERALL DESCRIPTION</p> <p>Site description</p> <p>The subject site is located on the western side of Fisher Road approximately 100m north of the intersection of Fisher Road and Pittwater Road. The site has a split zoning of B4 Mixed Use on the eastern portion fronting Fisher Road and R3 Medium Density Residential on the western portion fronting Francis Street.</p> <p>The site has a total area of approximately 1,391.2m², with a frontage of approximately 15.0m to Fisher Road to the east and a frontage of approximately 15.0m to Francis Street to the west. The site currently contains a place of public worship.</p> <p>Surrounding development comprises a mix of commercial and community land uses and low and medium density residential land uses located further north and east of the site.</p> <p>The subject site represents an opportunity for redevelopment for the purposes of a community and residential land use located in close proximity to existing services, the Dee Why Town Centre and public transport located on Pittwater Road.</p> <p>In addition to being subject to a split zoning, the site has a split maximum building height control applying, comprising of 11.0m on the R3 zoned land and 16.0m on the B4 Mixed Use zoned land.</p> <p>Proposed Development</p> <p>The proposal involves the demolition of existing structures and construction of a boarding house and associated works under the provisions of State Environmental Planning Policy (Affordable Rental Housing) 2009 at 28 Fisher Road and 9 Francis Street, Dee Why.</p> <div data-bbox="659 1373 919 1391"> <p>Design + Sustainability Advisory Panel Report</p> </div> <div data-bbox="1270 1373 1319 1391"> <p>Page 2</p> </div> <div data-bbox="552 1462 1469 1984">  </div> <p>PROPOSED SITE CONTEXT STUDY</p>

FSR	<p>The GFA of the project has been calculated using usual definitions. FSR complies across the Fisher Rd end of the site (east) requirement of 2.99:1 and is delivered as 2.98:1 (hence is under the maximum allowable). This includes 5 car parking spaces that are in excess of requirements and hence attract GFA / FSR calculation.</p>  <table border="1" data-bbox="598 728 686 817"> <thead> <tr> <th colspan="2">FISHER RD FLOOR SPACE RATIO (FSR)</th> </tr> </thead> <tbody> <tr> <td>AREA</td> <td>AREA</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> <tr> <td>2,079.84</td> <td>695.6</td> </tr> </tbody> </table> <table border="1" data-bbox="710 739 941 817"> <thead> <tr> <th colspan="2">MAX GFA</th> </tr> </thead> <tbody> <tr> <td>FSR DELIVERED</td> <td>2,075.79 / 695.6 =</td> </tr> <tr> <td>2.98:1</td> <td>2.9841</td> </tr> <tr> <td>FSR MAXIMUM</td> <td>695.6 x 2.99 =</td> </tr> <tr> <td>2.99:1</td> <td>2,079.84</td> </tr> </tbody> </table> <p>AVAILABLE GFA: 2,079.84 - 2,075.79 = 4.05m2 (ADDITIONAL) DOES COMPLY WITH REQUIREMENTS</p> <p>NOTE FSR MAXIMUM = 2.99:1 FSR DELIVERED = 2.98:1</p> <p>NOTE: SITE AREA OF FISHER RD END = 695.6m2</p> <p>PROPOSED FLOOR SPACE RATIO</p>	FISHER RD FLOOR SPACE RATIO (FSR)		AREA	AREA	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	2,079.84	695.6	MAX GFA		FSR DELIVERED	2,075.79 / 695.6 =	2.98:1	2.9841	FSR MAXIMUM	695.6 x 2.99 =	2.99:1	2,079.84
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Roof space	<p>Roof space communal areas are diminished to maintenance access primarily to service area closest to the Fisher Rd (and below 16m height). Other on-roof planting and stormwater tanks are planned as a part of the sustainability approach to re-using stormwater in the development.</p> 																																		
Site facilities – Mail boxes	<p>Main accommodation mail-boxes are noted adjacent to the pedestrian entry off Francis St frontage as per the following visuals. Pedestrian access at 1:40 from the street. Site topography will meet the path edge</p> 																																		
Laundry and Clothes drying	<p>There are multiple laundry areas proposed throughout the facility, but there is a main laundry area proposed at the lower ground level Francis St end adjacent to the Manager's Apartment and office as per the illustration below.</p>																																		

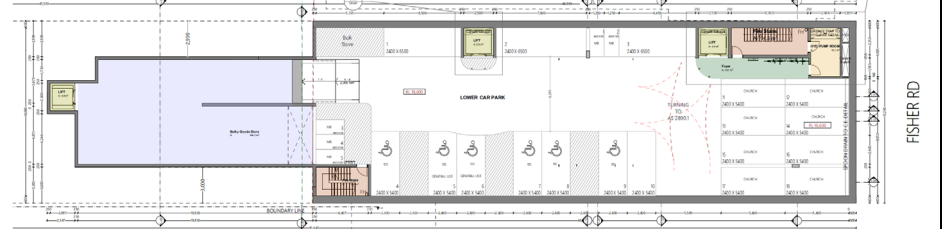
	  <p>In addition, there are laundry facilities noted at the communal areas as a part of the central kitchenette facilities on each level of the Fisher Rd end of the development, Solar panels are located on the roof maintenance access (closest to Fisher Rd). This is in a maintenance only access area. These are ideally oriented toward the north, but can be addressed in a flatter manner if required.</p>
<p>Sustainability - Conservation of energy and water - Water harvesting & solar design</p>	  <p>Roof stormwater catchment is detailed in the Civil Engineers stormwater design (refer to provided link). Water harvesting is proposed for reuse with the green walls and landscaping requirements for the facility. Also this can be used for toilet flushing and other grey water applications as may be required. An OSD system has been designed into the facility at the lower basement carpark level.</p>
<p>Lifts</p>	<p>There are three lifts spaced across the development at the major core points. These relate to the Francis St central core and also to the 2 main core areas relating to the Fisher Rd accommodation groupings. Secured lift lobby allows access to intended levels and zones of the facilities. The 3 lifts are noted on the typical Level 1 plan below in gold colour. All have access to the carparking facilities and garbage facilities.</p> 
<p>Traffic – Carpark Traffic Engineer to report to AS2890 requirements. requirements indicate 29 Carparking spaces required, but 34 carparking spaces are indicated + 11 bikes + 11 motorbike parking spaces</p>	<p>The Traffic Engineer report is in the link provided. This illustrates that the indicated 34 Carparking spaces (including 12 disabled carparking spaces) comply with requirements to AS2890. This notes 34 carparking spaces (in excess of 29 required and with a high proportion of disabled accessible spaces). The Current Church use has been recorded and this is included in the link provided. 11 Motorbike parking spaces and 11 bike parking spaces are located.</p>

ALL CARPARKING SPACES TO CONFORM WITH AS 2890.1 @ 2500mm x 5400mm

SEPP 0.2/unit x 52 = 10 spaces
 Manager = 1 spaces
 Cafe = 2 spaces
 Church = 15 spaces
 Staff = 4 spaces
 Dis. general use = 2 spaces
 = **29 Req. (34 supplied)**
 Motorcycle Parking = 11 spaces
 Bicycle Parking = 11 spaces



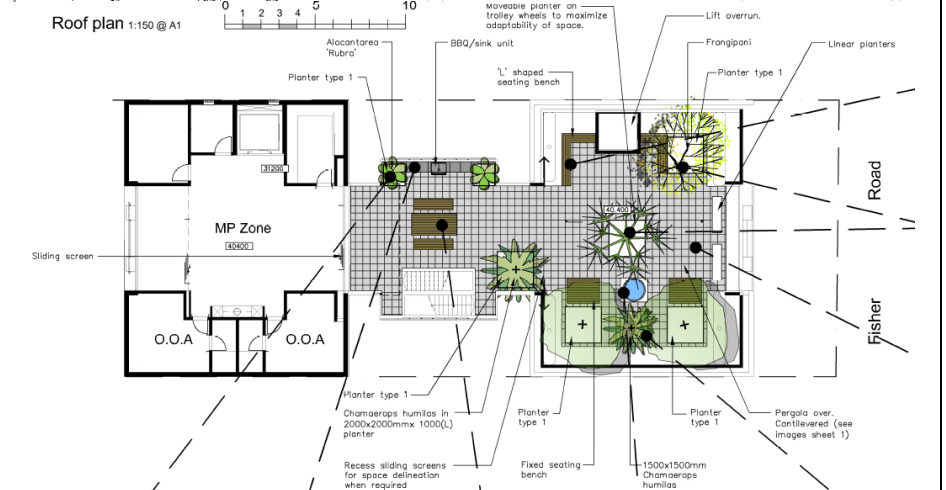
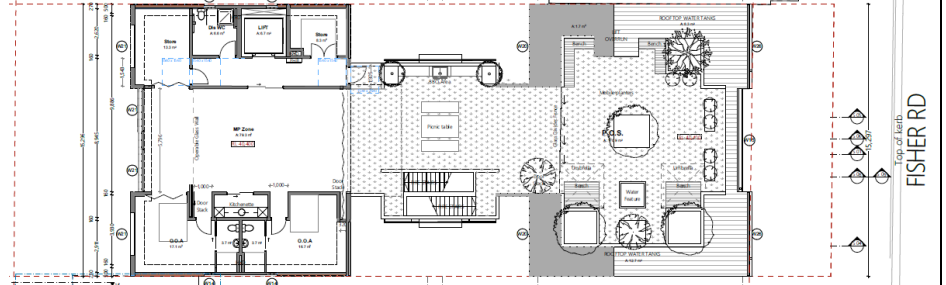
BASEMENT



LOWER BASEMENT

Water Quality plus OSD
 Stormwater treatment to be provided for site to council water policy requirements
 Water Management Plan required with Treatment Train Approach.
 Reuse of water runoff for planter boxes and landscape and other elements required.
 Soil and water management plan required
 Bores to be drilled to greater depth than carpark

Civil Engineering Consultants have provided reporting and documentation that is included in the link provided. A Geotech report is also included in the link provided. Roof top tanks with maintenance access have been employed to enable reuse for landscape irrigation and other elements.



Environmental Health – Noise
 Noise – acoustic report required

An Acoustic Report has been completed by TTM and is included in the link provided. This illustrates noise impacts to and from the community auditorium areas, accommodations, café and carpark zones.

ftm

Acoustic Assessment DRAFT

Community & Boarding House Development
 28 Fisher Road & 9 Francis Street, Den Willy



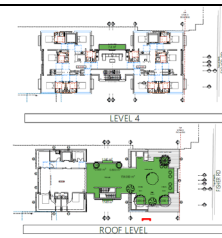
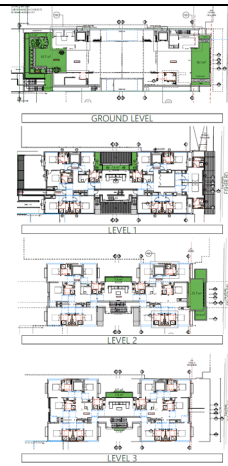
Waste Management – Garbage

A bin enclosure room is located in the basement carpark area and is nominated to be



Landscape Area – Fisher Rd (east) end of site

Landscape open area is primarily located and the open roof area that can be communally used by participants and the church. It has a range of associated undercover and fully enclosed areas associated. Other podium areas will be good breakout zones toward the street and each communal area has a breakout deck facing to the north along the middle "bridge" section fo the building



TOTAL LANDSCAPED AREA FOR 28 FISHER RD: 388.95m²
DOES COMPLY WITH REQUIREMENTS OF 20% LANDSCAPED AREA WHICH IS 139.12m²

NOTE: 20% OF LANDSCAPED AREA
= SITE AREA OF FISHER END X 20%
= 695.6 X 20%
= 139.12m²

	LANDSCAPED OPEN AREA	GARDEN BED
GF	110m ²	22.5m ²
LV 1	18.8m ²	-
LV 2	33.1m ²	14.9m ²
LV 3	7.4m ²	1.8m ²
LV 4	7.4m ²	-
ROOF LV	159m ²	14.05m ²
TOTAL	335.7m ²	53.25m ²
GRAND TOTAL: 388.95m ²		

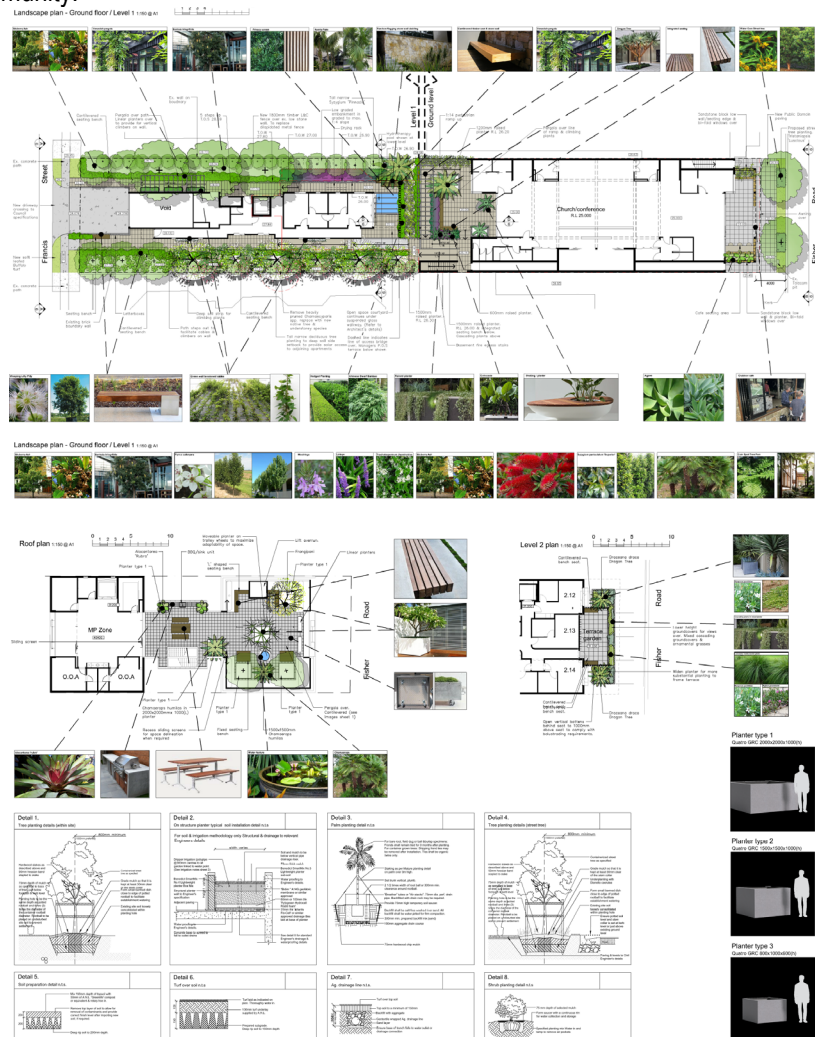
PROPOSED FISHER RD LANDSCAPED AREA

Required Fisher Rd landscape area is 20% and can include are at roof top, podium and deck areas. The are of this end of the site is 695.5m² and it is noted that the requirement is achieved with a 55.9% delivery on the requirement & hence complies.

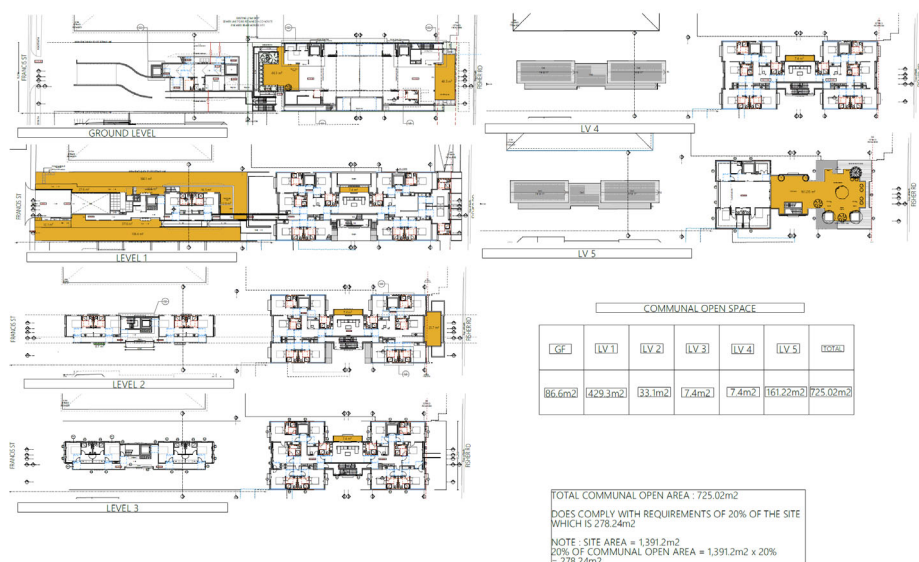
Landscaping –
Landscape plan required.
Landscape Architect Drawings



The Landscape Consultant has completed design and documentation that is included in the link provided. This indicates appropriate planting types for the development that will enhance the living conditions for the occupants as well as benefit the community.



Communal Open Space Area
Entire site.



PROPOSED FISHER RD COMMUNAL OPEN SPACE AREA

The Communal Open Space of the entire site is arranged across multiple floors of the development, but particularly at ground level, level 1, level 2 and roof level. These open areas are located around the building (Francis St), at entry courtyards (Fisher Rd), at podium top (fisher Rd) and at roof top level (Fisher Rd). The total site is 1,391.2m² and the requirement is for 20% (278.24m²). The available Communal Open Space is approx.. 725m² and hence the proposal complies with the requirements.

Communal Living Area Fisher Rd
(east) end of the site

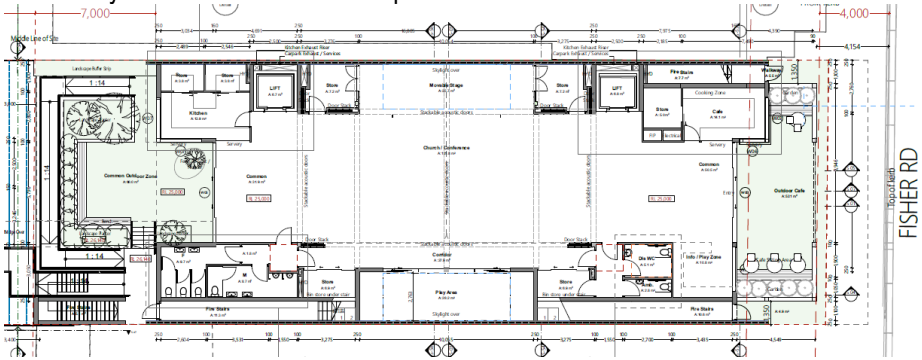
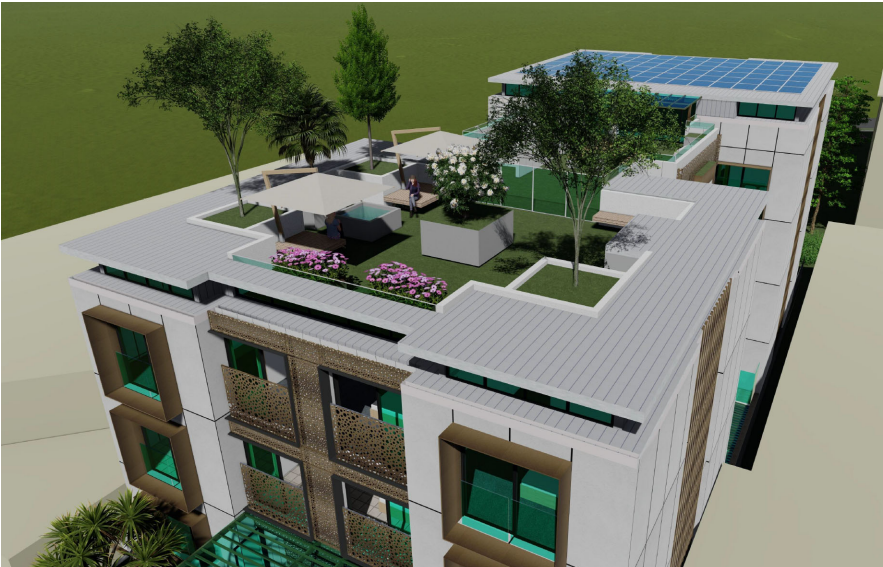



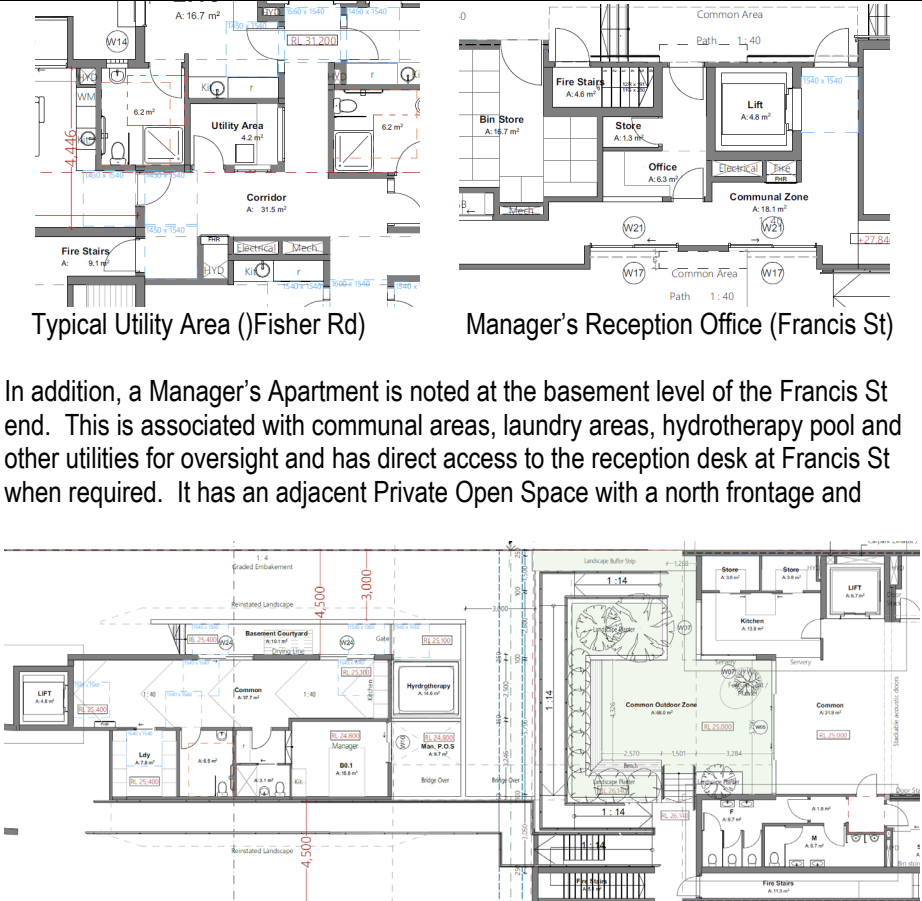

PROPOSED FISHER RD COMMUNAL LIVING AREA


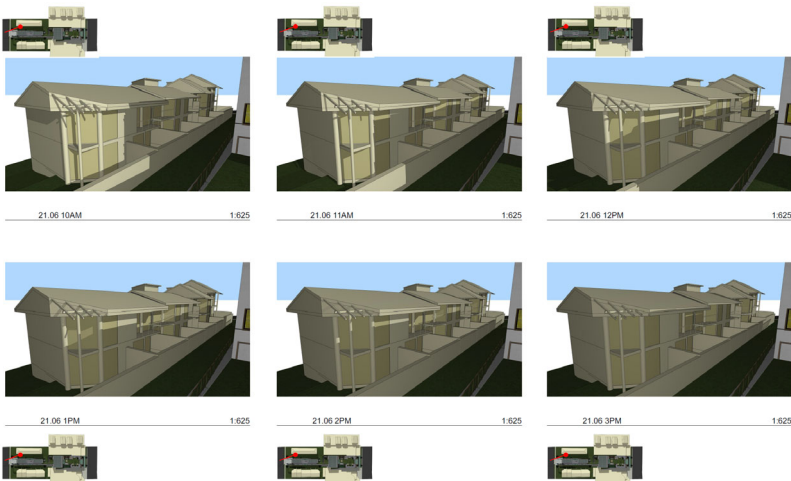
The internal communal living area is arranged centrally within the "bridge" section of the Fisher Rd (east) end of the development is required at a rate of 30m² plus 2m² each for rooms in excess of 6 persons. Generally this equates to 10 persons per level for a 38m² requirement, but on the level 1 the requirement is for 40m² (11 persons). The proposal complies with the requirements at each level.

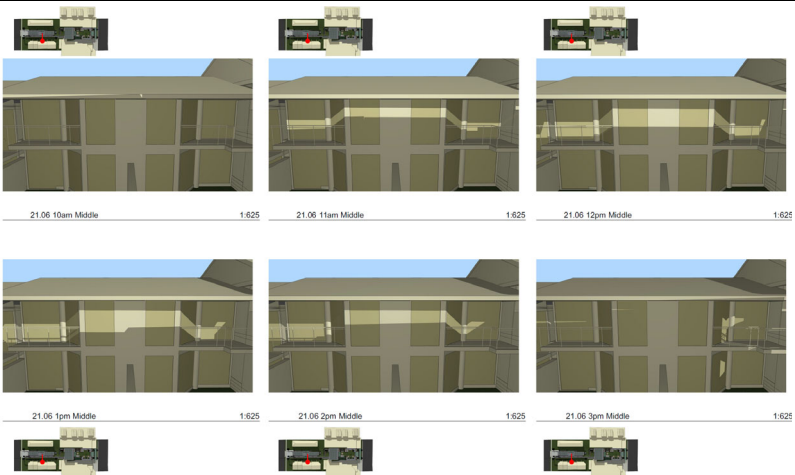
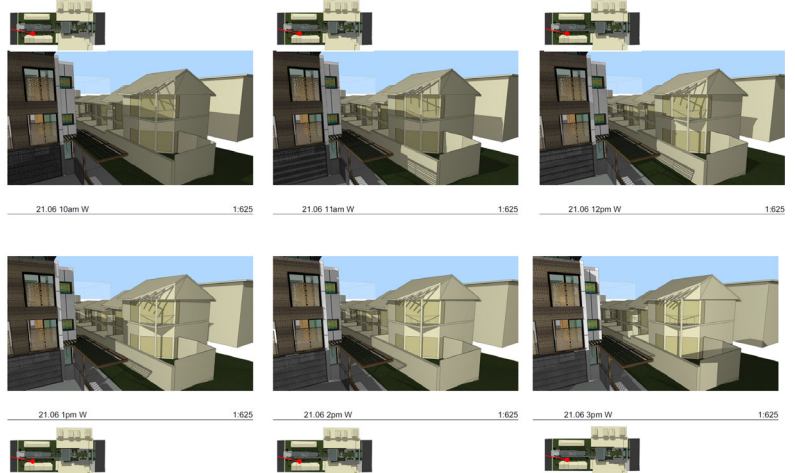
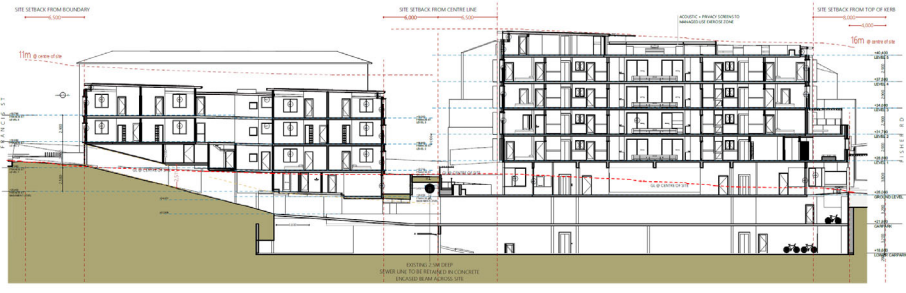
Accommodation size -
Boarding House room areas

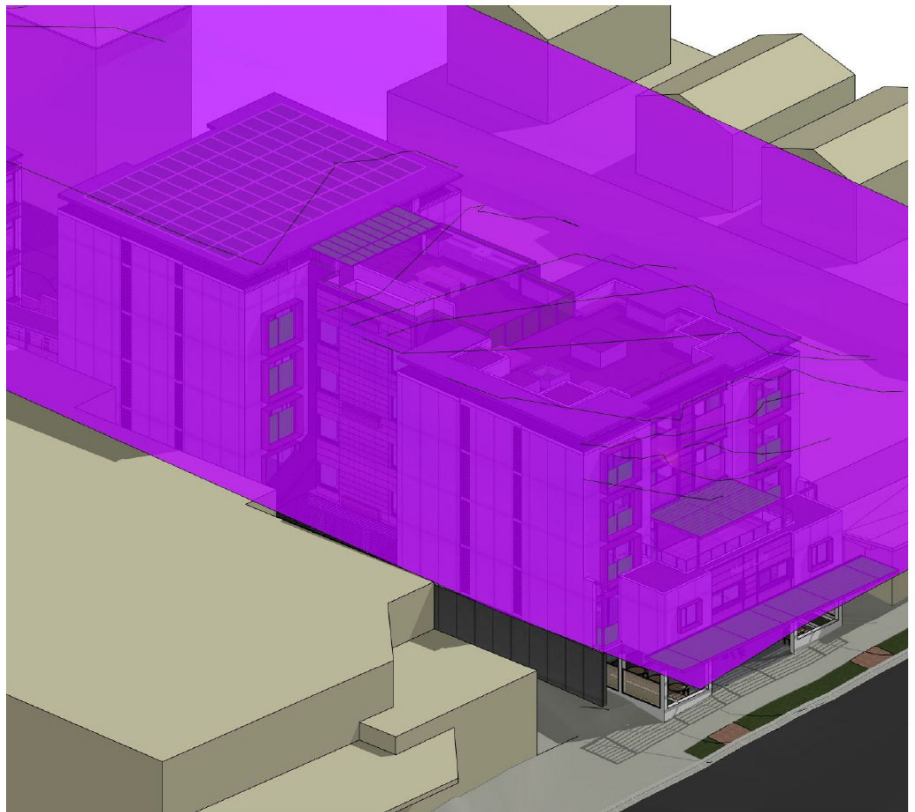
Each boarding house room area varies slightly internally but generally is approx.. 5m x 3.8m = approx.19m² internal each (less any small areas related to entry or other elements). In addition to this are additional individual bathroom areas ranging from 3m²–7m² dependent upon location. The area measurements mean that each Boarding room is between the required SEPP areas and are capable of having 2 persons in habitation. Each boarding house unit has an individual bathroom, with around 70%+ of these bathrooms designed to full disabled access standards

	<p>complying with AS1428.1, but otherwise to confirm with BCA requirements. Each Boarding house room has a small kitchenette to enable self-contained living, but also there are communal facilities available.</p>
<p>Communal areas Required to SEPP</p>	<p>Common areas have been provided on each level of the facility. These are targeted to deal with each grouping of accommodation and have been designed in a flexible manner with moveable walls to allow for flexible use. The contain kitchen/dining areas as well as sitting areas. They arranged with good outlook and sun access with green wall planting adjacent. Accommodation will have use of the ground level community facilities as well when required</p>  <p>Ground Level Community Facilities</p>  <p>Roof Level Communal Facilities (Fisher Rd)</p> 
<p>Manager Required to SEPP</p>	<p>A Manager's Utility Area (X2) is noted at each level (particularly at Fisher Rd accommodation). This is to allow office space and review area for staff.</p>

	 <p>In addition, a Manager's Apartment is noted at the basement level of the Francis St end. This is associated with communal areas, laundry areas, hydrotherapy pool and other utilities for oversight and has direct access to the reception desk at Francis St when required. It has an adjacent Private Open Space with a north frontage and</p>
<p>Landslip - Landslip Area indication</p>	<p>A Geotech report has been completed and is included in the Dropbox link</p>
<p>Sun/shadow detail to southern Francis neighbour</p>	<p>We have completed sun/shadow studies for the project. These include shadow plans and elevations of the southern Francis St neighbour.</p> <p>We believe that these documents indicate compliance with requirements and this demonstrates that there is at least 3 hours of sun to each of the units in the southern Francis St units during June 21 Winter solstice (9am – 3pm).</p> <p>We note that our proposal has been recessed in height to a point that is way lower than the allowable 11m height to ensure that it complies with the envelope requirements of 4.5m and 45 degrees from the fence line. On both sides of the Francis St building. Also it is noted that the required 4.5m side setback has been delivered for the length of the Francis St building and hence the proposal is in full compliance with the design requirements.</p>  <p>We note that the existing Francis St southern neighbour building is an under-developed building of 2 levels in relation to the allowable height requirements and that</p>

	<p>Francis St has been undergoing an updating process that is likely to continue over the coming period due to its proximity. Accordingly we have indicated an 11m building height that could be applied to this site. We note that even at worst case of June 21 that a more developed building would be in majority sun during the day. The current building has a varying and stepped roof ridge of around 7 - 8m above ground level, with current upper living area at around 5.5-6.5m above ground level. This means that there is an available extra 4.5m plus of space for development over (that would be in full sun). This represents a large percentage of space that we believe needs to be considered as a part of the overall development along Francis St.</p>  <p>We note that the baseline study of the existing Francis St southern neighbour indicates that the large brick fence and battened screens obscures sun entry into their northern yards courtyards and lower level is obscured from the sun. It is noted that our northern neighbours at Francis St represents a 10-11m building that is just over 2.5m side setback to our site with no relief and as a full brick construction. This represents significant impost onto our site and is exceedingly worse a condition than what we are proposing.</p>
<p>Access to sunlight - Required shadow diagrams</p>	<p>Shadow Diagrams are included in the link provided. In essence they indicate that in excess of 3 hours sun between 9am and 3pm to southern neighbour at Francis St. is achieved. We note that the more eastern units achieve more sun at this time than currently (due to the removal of the existing church hall that shadows the building). We note that the central neighbour units achieve sunlight below the diminished height of the Francis St building proposal that is well below the allowable 11m height to allow sun to the southern neighbour. We also note that required side setbacks and envelope controls have been achieved.</p>  <p>PROPOSED FRANCIS ST SOUTHERN NEIGHBOUR SUN STUDY - JUNE 21</p>

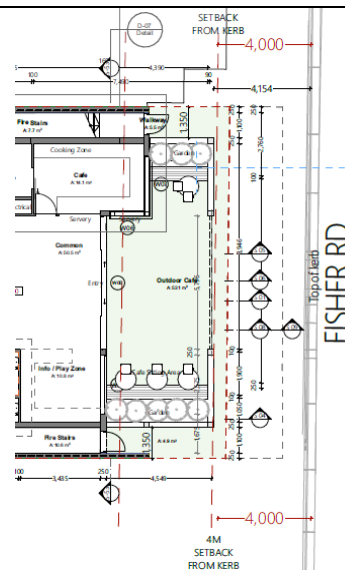
	 <p>21.06 10am Middle 1:625 21.06 11am Middle 1:625 21.06 12pm Middle 1:625</p> <p>21.06 1pm Middle 1:625 21.06 2pm Middle 1:625 21.06 3pm Middle 1:625</p> <p>PROPOSED FRANCIS ST SOUTHERN NEIGHBOUR MIDDLE SUN STUDY - JUNE 21</p>  <p>21.06 10am W 1:625 21.06 11am W 1:625 21.06 12pm W 1:625</p> <p>21.06 1pm W 1:625 21.06 2pm W 1:625 21.06 3pm W 1:625</p> <p>PROPOSED FRANCIS ST SOUTHERN NEIGHBOUR WEST SUN STUDY - JUNE 21</p>
<p>Views View sharing required</p>	<p>This has been undertaken by the Town Planner and is included in his report</p>
<p>Fisher St Items</p>	
<p>16m height at Fisher Rd end of the site</p>	<p>Complies</p> 



Fisher Road:

Allowable height limit of 16m is not exceeded

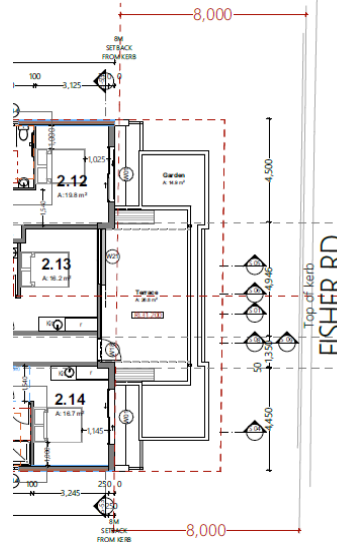
4m kerb setback at Fisher –
 Provided 4m plus provided
 (around 4159 at centre line)
 Diagram at right shows 4,150 –
 4,000mm setback at podium. It is
 noted that the kerb is not at right
 angles to the side boundaries of
 the site.



8m tower setback kerb setback at
 Fisher –
 Provided 8m plus provided with
 some sunscreen articulation of
 the frontage. We are aware it is
 not a corner site, but this will help
 the building a lot.
 Diagram at right shows in excess
 of 8000mm setback at tower to
 south and greater to the north. It
 is noted that the kerb is not at

Complies – requesting small sunshade articulation elements where appropriate

right angles to the side boundaries of the site.



Podium

Podium - 2 levels at Fisher - 2 podium levels noted to Fisher Rd.

Complies – requesting podium roof open deck recessed.



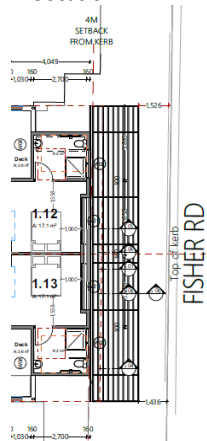


We are suggesting a possible recessed podium level deck or balcony extension off the front rooms at this level. Suggesting perimeter planting toward the street and sides and privacy screening to the sides to mitigate. We note that upper decks at this level are evident 4 doors to the east (around 16 Fisher Rd) and these run right out to the street as roofed deck areas (refer photo at right). This is a relatively new building.

Activated Foyer to the Street

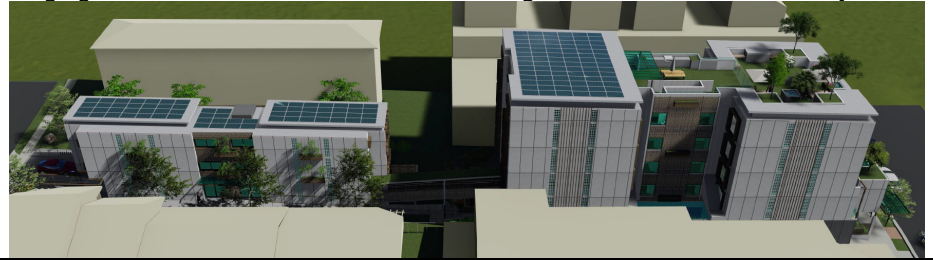


The illustration indicates a large foyer with recessed glass shopfront entry and café and seating areas to ensure pedestrian activation to the street. The levels are arranged so that the footpath can flow directly into the facility at the central entry point. Signage is to be added to personalise the entry and space in a subsequent application (details under a subsequent signage application). Landscape has been added to planters in front of the required fire escapes and toilet areas (refer to the

	<p>detailed Landscape Architect's drawings). Podium and other elements personalise the building to a lower street frontage height with awning and pergola activation.</p>
<p>Fire Stairs – Suggested to not be central at the Fisher St frontage</p>	<p>Have been moved to the sides to allow good internal access centrally. Note that the footpath slopes markedly from north down to south, so centralised access for street activation works well</p>
<p>Articulation of the skyline required with spaced buildings to break up the form</p> <p>Roof office zone buildings (spaced as requested) are located under 16m height.</p>	 <p>Articulation is evident and similar in context to neighbouring building to the north. Large green wall slot centrally on the Fisher Rd end helps to add significant wall and skyline articulation at the side walls and to the side skyline. Roof office zone provides further articulation under the 16m height limit</p>
<p>Fisher windows – Separations suggested</p> <p>Note that these are Boarding House rooms under the ARH SEPP and not apartments</p>	<p>Rooms look out to green garden wall slots with green wall and privacy screening that will operate between rooms and to ensure privacy to neighbours. Bridge-style communal areas look into these garden slots as well to take the sense of openness through the building at regular intervals.</p> 
<p>Fisher St awnings - 1m setback from kerb and continuous</p>	<p>Complies, with in excess of 1500mm setback</p> 

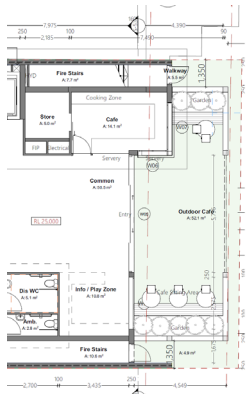
Façade treatment to common boundaries - Articulation required

Large green wall slots indicated at intervals along all common built-to boundary walls



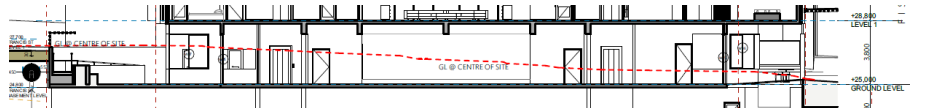
Café zone

A Small café zone is located primarily to serve persons associated with the internal use of the facility (Church and communal conference centre). In addition some small patronage from external passers-bys is expected. As per current patronage, parents of children attending dance, drama and other classes within the centre are expected.



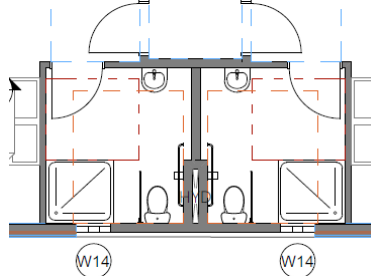
Church and communal zone – 3.6m ceiling required

The entire ground level of the Fisher Rd end of the site has a 3,600mm ceiling height (RLs noted indicated this on the drawings). This has been provided to ensure good height from the entry foyer through the community areas. There is excellent light and air supply from either end of the open plan space as well as skylighting centrally into the main auditorium area.

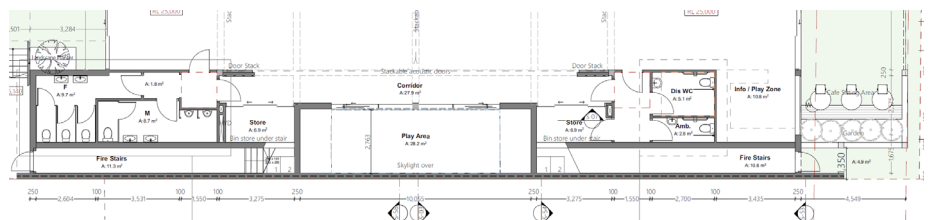


Toilets and amenities – Required to BCA

Each individual Boarding house room has its own toilet facilities, with the majority of these delivered to highest accessibility standard AS1428.1






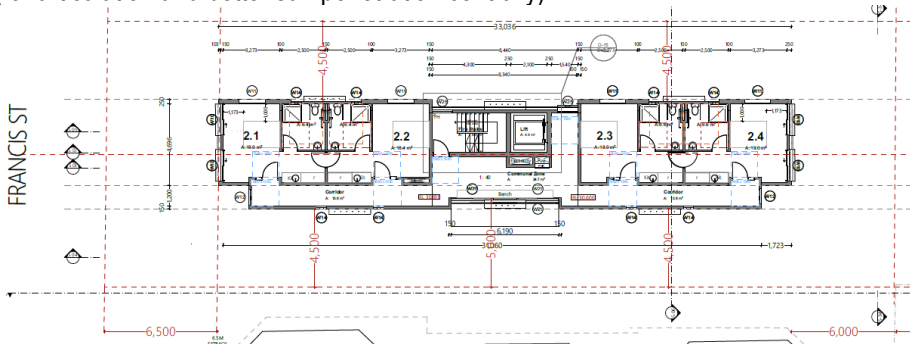
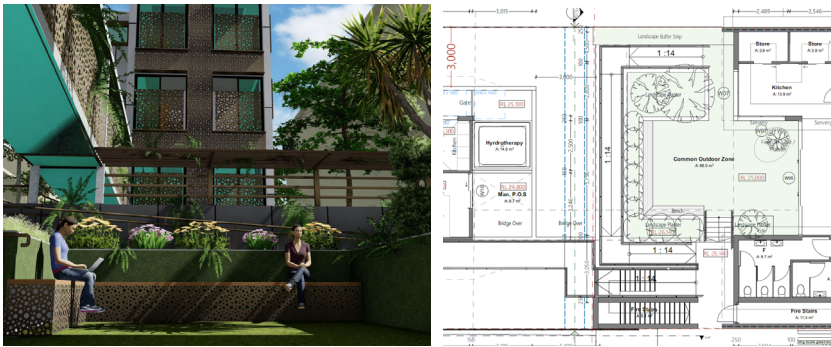
All Communal Areas have access to ambulant or higher toilet facilities to AS1428.1 including the foyer, cafe and community facilities at the ground level and each communal facility at the Fisher Rd accommodation levels.

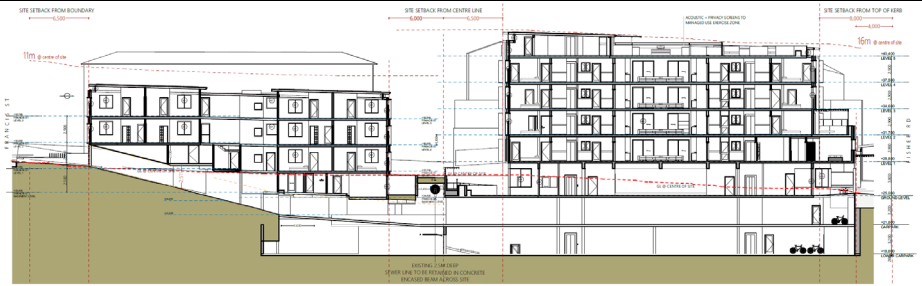
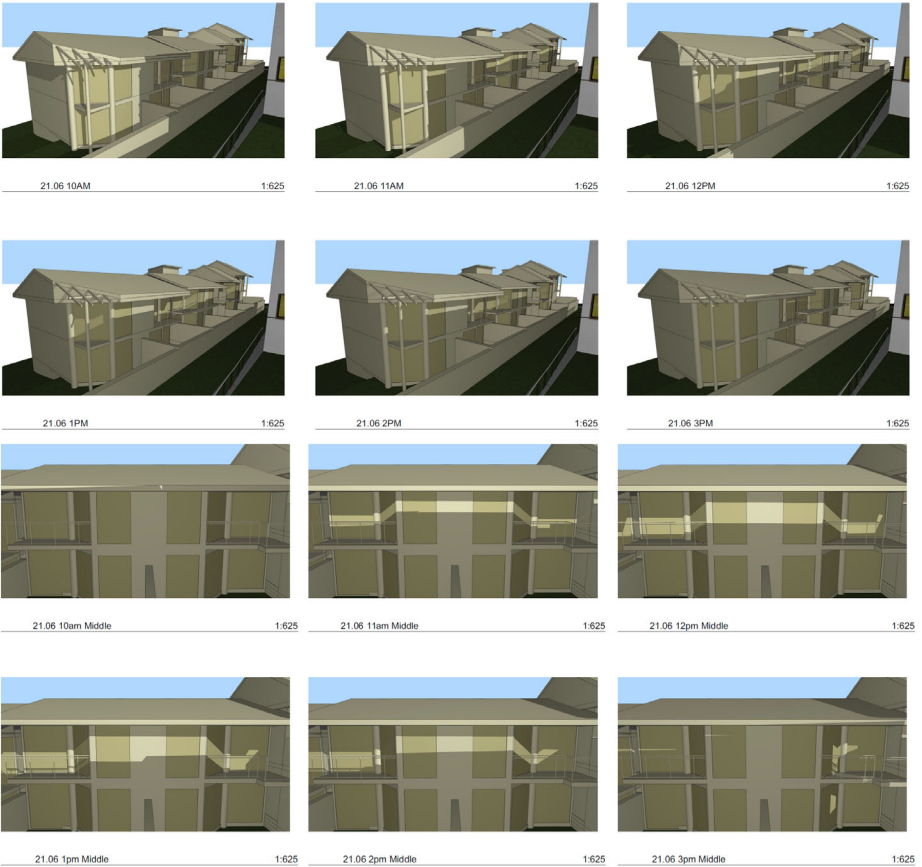


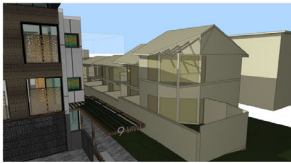

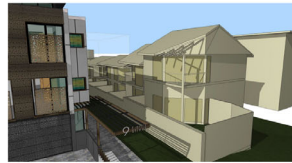
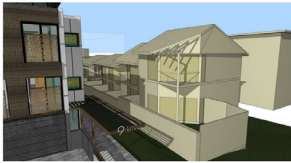
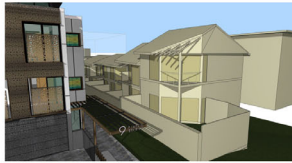

Typical communal toilets Ambulant Facilities at Fisher Rd end accommodation

<p>Treatment of the space between the buildings</p>	<p>A clear corridor of space between the Fisher Rd and Francis St ends of the development can be seen. This responds to councils request for a 6m Francis St Setback and a 5m Fisher Rd Setback. Articulation is achieved at the rear of Fisher Rd via use of cantilever style bathroom pods suspended off the rear of the Fisher Rd building. These are addressed as landscape garden wall elements with cascading planting. Lower level light-weight connection between the buildings at level 1 is provided with privacy screening and is indicated as a glass, see-through connection and is at an angle to the buildings to further break down any rectilinear appearance. It is intended to have a garden roof as a part of the landscape sculpture of the space. Although this is at level one of the building, it is barely above natural ground line in comparison with the neighbouring properties and does not present any shadow to the southern neighbour.</p>  <p>Central Courtyard at the Fisher Rd end is at the Ground level off Fisher Rd, but is at semi-basement level by the midpoint of the site. The overbridge connecting the buildings is just above natural ground level and is decorated in landscape screens, has darker landscape colours and full length screening. Pergola spaces at the Francis St frontage are illustrated on the landscape architects plans</p>  <p>The gap between the buildings complies with eh required boundary setbacks and is seen as greater than the adjacent buildings, allowing viewing corridors and penetration of sunlight to the landscape heart of the development.</p>
<p>Building side beautification</p>	<p>Recessed screens and articulation features centrally at both the Francis St end and Fisher St end of the site. Landscape feature is evident – refer to the landscape architect drawings</p>

	
<p>Francis St Items</p> <p>Generally</p>	 <p>Generally, the Francis St proposal is characterised as a 3 storey residential accommodation building with large, articulated side setbacks (similar to the neighbours). The street façade is softened with small balconies and the road setback is similar to and in context with the neighbouring properties. Side setback is in excess of 4.5m at the frontage and averages in excess along the length of the Francis St building.</p> <p>Basement carparking for the entire development is accessed from Francis St in a similar location to the current carpark driveway. This entry point is historic and expected in its pattern and is spaced well in relation to the neighbouring developments. Pedestrian entry is concentrated to the SW side adjacent to the driveway. This entry point also features the letterboxes and full pedestrian ramp access to all levels of the development with disabled access ramps to AS1428.1 standard.</p>

	
11m height limit at the Francis St end of the site	11m height is fully complied with across the Francis St portion of the site (with large margin at the street frontage). The following purple 11m height plane illustrates this.
Francis St setback - 6.5m setback required and/or drawn between neighbours	Setback matches adjacent neighbours and is noted as 5,916mm to main wall line when drawing a line between the frontage of the neighbouring properties. We have proposed small and light-weight Juliette balconies as articulation elements to the façade forward of this. This proposal is consistent with the streetscape and will provide a friendlier frontage.
Side boundary Setback – 4.5m side boundary setback requested with side wall articulation	Proposed articulated side setbacks ranging from 4,500mm (min) up to 5,000 centrally (for articulation and better sun penetration centrally) 
Recreation area and Private Open Space	Located primarily at the Francis St end of the site. Primary focus to the north side adjacent to the central communal area. South side zone as well. 
3 storey building - 3 levels storeys noted	Basement rooms at the Francis St end of the site are located primarily sub- natural ground level adjacent to the entry and turning areas of the basement carpark

	
Documentation to accompany DA	
Cost of works	Architect and Builder quotes / estimate attached
Plans	Site plans, floor plans, elevations and sections included in drawing sets
Statement of Environmental Effects	Provided by the Town Planning Consultant.
Geotech	Provided
Architects Statement	Provided
Flood Risk Assessment Report	Provided
Construction / Site Management Plan	Provided
Construction Traffic Management Report	Provided
Access Report	Provided
BCA Report	Provided
Traffic and Parking report	Provided
Shadow Diagrams	<p>Provided. These indicate sun access to the southern neighbours in the morning and the afternoon for a total of more than 3 hours</p> 

	     
View Impact Analysis	Provided
3D Model	Only 3-D Drawings provided – physical model not required
Colour photo montages	Provided
Landscape Plan	Provided
Sample Board	Provided
Stormwater Management	Provided
Soil and Water Management	Provided
Waste Management Plan	Provided
Erosion and Sediment Control Plan	Provided
BASIX	Provided
Boarding House Operational Management Plan	Provided
Public Domain Treatment Report	Provided
Wind Loading Report	Provided
Acoustic Report	Provided
Water sensitive urban design report	Provided
QS report verifying the cost	Provided