

1 SITE ANALYSIS

1 : 200

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project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 41 FRANCIS STREET , FAIRLIGHT 2094 LOT 23 SECTION A DP978391

client

JACQUILINE & WARNER SMITH . LAUREN WEATHERAL AND NICK SMITH

true north

drawing

SITE ANALYSIS

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www.rkdesigns.com.au
admin@rkdesigns.com.au
02 9633 4797
abn. 66 659 200 389
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DESIGNS

ANY DAMAGE TO EXISTING &/OR ADJOINING PROPERTY &/OR SERVICES IS TO BE MADE GOOD WITH MINIMAL IF ANY INCONVENIENCE TO ALL PROPRIETORS. IF ANY DAMAGE IS DUE TO NEGLIGENCE, IT IS TO BE RECTIFIED AT THE COST OF THE NEGLIGENT PARTY WHICH CAUSED THAT DAMAGE.

DEMOLISH & REMOVE FROM THE SITE. AS PER THE SPECIFICATION, THE COUNCIL REQUIREMENTS & AS. 2601 ALL THE EXISTING BUILDINGS, CARPORT, FENCES, DRIVEWAY, PATHS AND THE LIKE, AS SHOWN HATCHED AND/OR AS REQUIRED TO ACHIEVE THE PROPOSED WORK. DISCONNECT, CAP OFF & SEAL ALL REDUNDANT SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION

METHOD OF SUPPORT OF EXCAVATION ADJACENT TO ADJOINING PROPERTIES TO ENG'S DETAILS AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING

NOTES

1. SOIL AND EROSION CONTROL MEASURES:
i) NO PARKING OR STOCKPILING OF MATERIAL IS PERMITTED ON FOOTPATH.
ii) ACCESS IS TO BE GAINED VIA TEMPORARY

ENTRY
iii) SILT STOP FENCING TO BE PLACED ALONG THE NORTH, SOUTH AND WEST BOUNDARIES. PROVIDE SILT STOP FENCING ON THE EASTERN SIDE WHERE SHOWN ON PLAN.

2. MAINTENANCE PROCEDURES DURING CONSTRUCTION:
i) ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL/OPERATIONAL DURING THE CURRENCY OR WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL/ OPERATIONAL SHOULD WORK OPERATIONS CEASE TEMPORARILY. (eg WEEKENDS, ROSTERED DAYS OFF, etc.)
ii) ALL FILTER BARRIERS ARE TO BE REGULARLY INSPECTED, PARTICULARLY FOLLOWING RUNOFF EVENTS, SO THAT DISLODGED OR BROKEN BALES/BAGS CAN BE IMMEDIATELY REPLACED. SEDIMENT ACCUMULATION BEHIND STRAWBALE SANDBAGS SHALL BE REMOVED.
iii) RESPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES.
3. MINIMISE DISTURBED AREAS.
4. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
6. ALL TRUCK LOADS ARE TO BE COVERED WHEN ENTERING AND EXITING THE SITE SO AS TO AVOID SPILLAGE.

PROVIDE 1800mm HIGH SAFETY & SECURITY FENCE FOR THE DURATION OF THE DEMOLITION & CONSTRUCTION WORKS. SILT FENCE, GEOTEXTILE FABRIC OR THE EQUIVALENT TO ALL BOUNDARIES

DISPLAY COMPLIANCE SIGN

PROVIDE 1800mm HIGH ACCESS GATE WITH PADLOCK.

CONSTRUCTION MATERIALS STORAGE AREA LOCATION OF STOCKPILE MATERIAL AND WASTE. ie. BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL

LOCATION OF STOCKPILE MATERIAL AND WASTE. ie. BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL TOP SOIL, SAND STOCKPILE TO BE COVERED AND PROTECTED WITH GEOTEXTILE FABRIC

VEHICLES CARRYING LOOSE BUILDING MATERIALS TO BE COVERED IN COMPLIANCE WITH ROAD TRAFFIC REGULATIONS. SAFE ACCESS FOR HEAVY EQUIPMENT PLANT AND MATERIALS DELIVERY.

LEGEND

- - - TO BE DEMOLISHED

1

DEMOLITION PLAN

1 : 200

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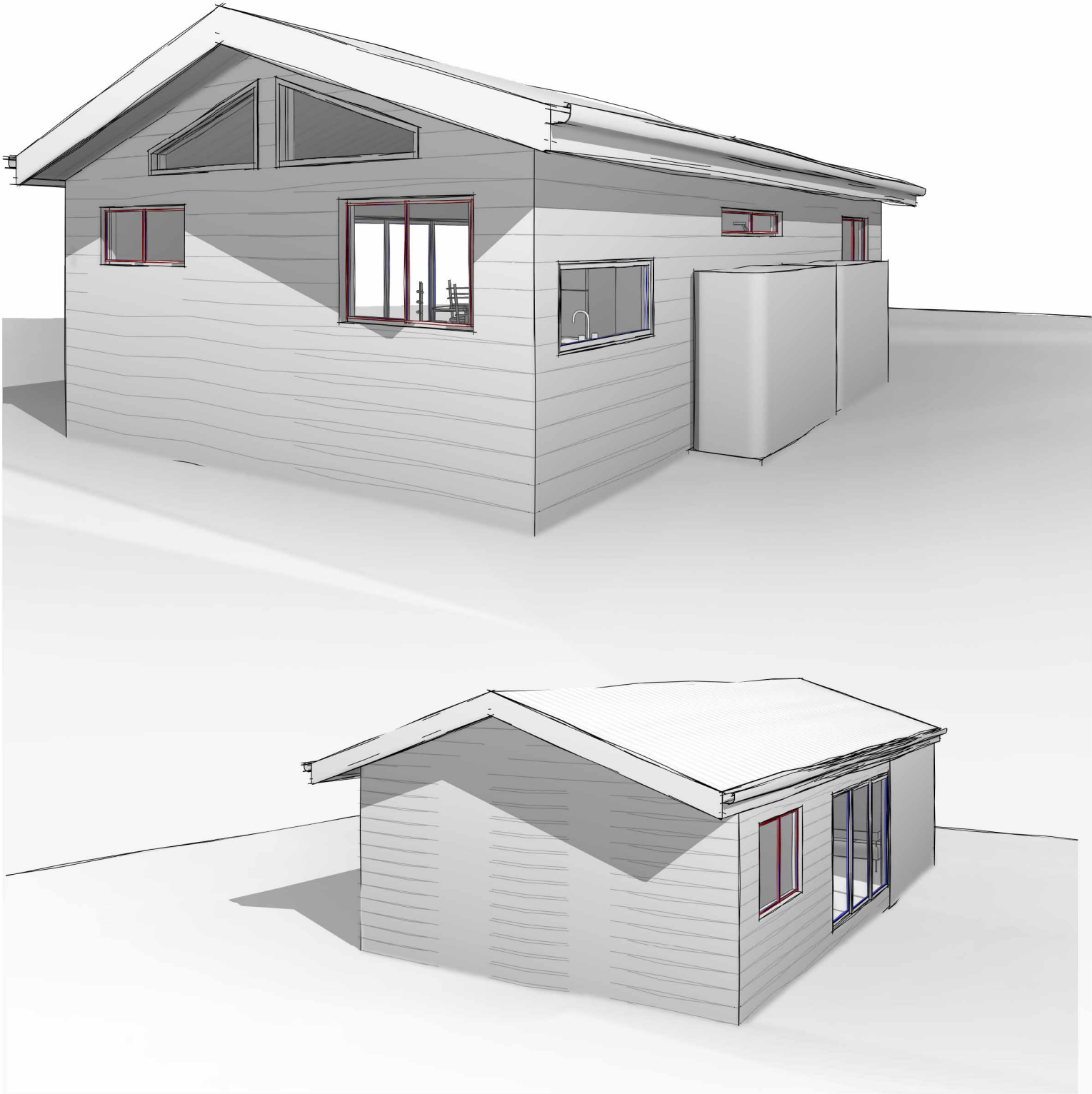
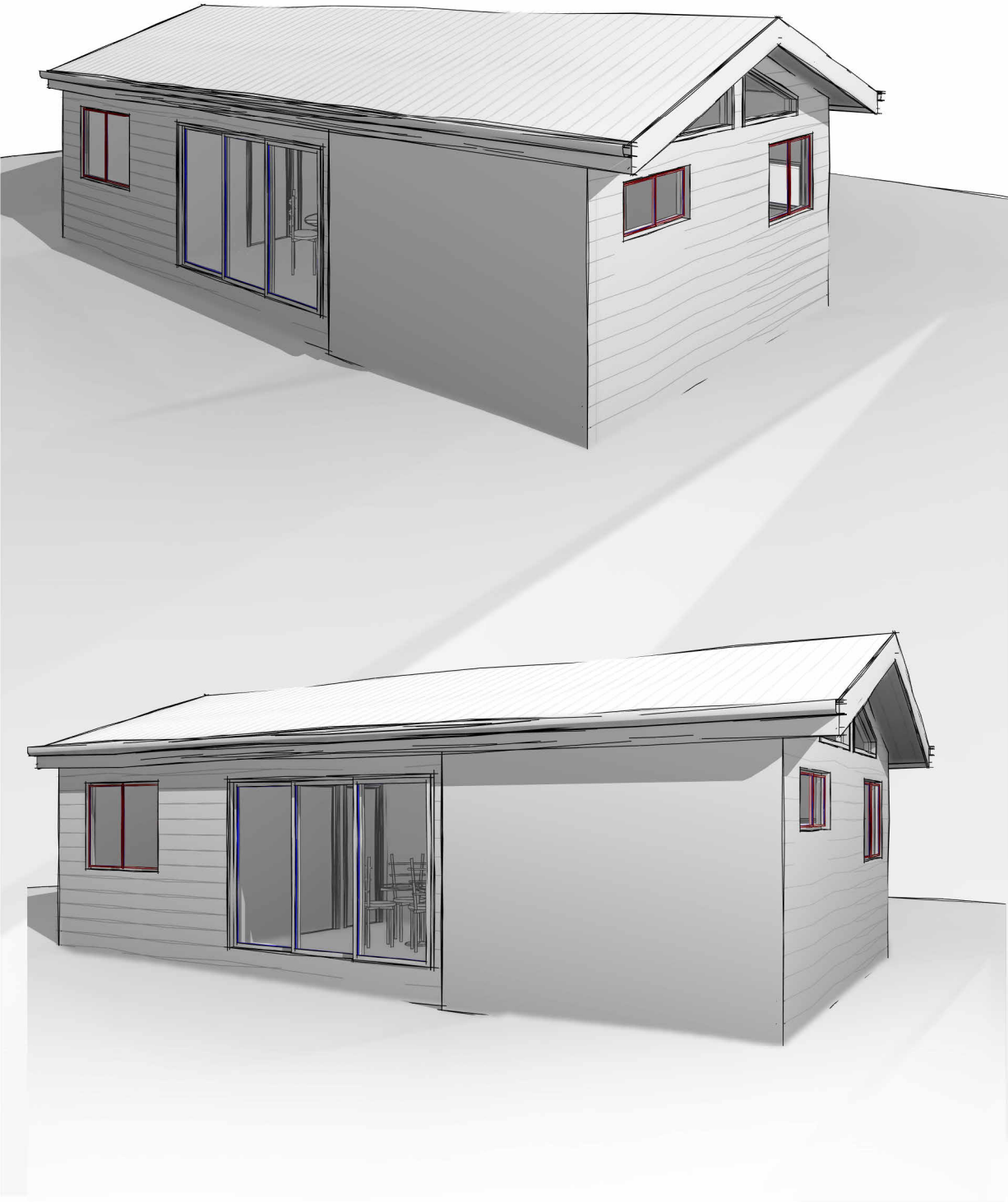
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ADDRESS 41 FRANCIS STREET, FAIRLIGHT

RESIDENCE

SHEET LIST (A)

| SHEET NUMBER | SHEET NAME | ISSUE |
|--------------|------------------------|-------|
| A 0 | COVER PAGE | D |
| A 1 | NOTES | D |
| A 2 | SITE AND ROOF PLAN | D |
| A 3 | GROUND FLOOR PLAN | D |
| A 4 | ELEVATIONS AND SECTION | D |
| A 5 | AREA CALCULATIONS | D |
| A 6 | BASIX | D |



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ALL ASPECTS OF CONSTRUCTION ARE TO COMPLY WITH THE APPLICABLE PERFORMANCE REQUIREMENTS OF THE NCC 2022 AND THE HOUSING PROVISIONS

NO SURVEY HAS BEEN MADE ON THE BOUNDARIES, ALL BEARINGS, DISTANCES AND AREAS HAVE BEEN TAKEN FROM THE CONTOUR SURVEY PLAN. A SURVEY MUST BE CARRIED OUT TO CONFIRM THE EXACT BOUNDARY LOCATIONS

IN THE EVENT OF ENCOUNTERING ANY DISCREPANCIES ON THESE
DRAWINGS, SPECIFICATION OR SUBSEQUENT INSTRUCTIONS
ISSUED, THE BUILDER/SUBCONTRACTOR SHALL CONTACT THE
DESIGNER BEFORE PROCEEDING FURTHER WITH ANY WORK

MEASUREMENTS FOR THE FABRICATION OF SECONDARY COMPONENTS SUCH AS, WINDOWS, DOORS, INTERNAL FRAMES STRUCTURAL STEEL COMPONENTS AND THE LIKE, ARE NOT TO BE TAKEN FROM THESE DOCUMENTS. MEASUREMENTS MUST BE TAKEN ON SITE TO SUIT THE WORK AS CONSTRUCTED

ALL EXISTING STRUCTURES NEED TO BE EXAMINED FOR STRUCTURAL ADEQUACY, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT A CERTIFICATE OF STRUCTURAL ADEQUACY IS AVAILABLE PRIOR TO THE START OF ANY WORK

FINISHED FLOOR LEVELS MAY VARY (+/- 50MM) FROM THOSE
INDICATED
ON PLAN, DUE TO SITE CLEARING, DEMOLITION, CONTOUR
INCONSISTENCIES ETC

ANY STRUCTURE SHOWN AS EXEMPT DEVELOPMENT IS TO BE
WORKED OUT ON SITE, CONTRACTOR TO ENSURE THE
CONSTRUCTION IS DONE IN ACCORDANCE TO THE EXEMPT
DEVELOPMENT CONTROLS IN FULL PRIOR TO CONSTRUCTING

TERMITE MANAGEMENT MUST BE CARRIED OUT IN ACCORDANCE WITH NCC 2022 PART 3.4 OF THE HOUSING PROVISIONS AND THE RELEVANT GUIDELINES SETOUT IN THE AUSTRALIAN STANDARDS AS3660.1 TERMITE MANAGEMENT

BULKHEADS TO BE INSTALLED IN ACCORDANCE WITH RELEVANT
NCC REQUIREMENTS. LOCATIONS OF BULKHEADS TO BE
CONFIRMED ON SITE BY THE BUILDER ON SITE

CONTRACTOR IS TO ENSURE THAT ANY SHARED WALLS ARE FIRE RATED IN ACCORDANCE WITH CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022, HAVE NO PENETRATIONS AND A SOUND SEPARATION AS PER CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022

IF AIR CONDITIONING IS TO BE PROVIDED, ALLOW FOR THE AIR CONDITIONING TO BE CONCEALED IN THE CEILING, THE ROOF AND IN DUCTS. AIR CONDITIONING IS TO BE AS PER THE AIR CONDITIONING CONSULTANTS DETAILS AND THE BASIX CERTIFICATE REQUIREMENTS








THE CONTRACTOR MUST ALLOW FOR ALL LABOUR AND MATERIALS NECESSARY FOR THE SUPPLY AND INSTALLATION OF ALL WINDOWS AND DOORS INDICATED THROUGHOUT THE PROPOSED BUILDING. HE MUST ALSO ALLOW FOR THE PREPARATION OF A DETAILED WINDOW AND DOOR SCHEDULE THAT PROVIDES DETAIL INFORMATION AS TO THE TYPE, NUMBER AND CONFIGURATION OF EACH AND EVERY DOOR AND WINDOW FOR THE APPROVAL OF THE OWNERS BEFORE ORDERING AND OF THE DOORS AND WINDOWS. THIS DETAIL SCHEDULE IS NOT PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION AND MUST BE ALLOWED FOR BY THE CONTRACTOR IN THE TENDER PRICE. ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING THESE ITEMS

THE CONTRACTOR IS TO ALLOW FOR FLOOR WASTES TO BE PROVIDED TO EACH AND EVERY BALCONY (IRRESPECTIVE OF WHETHER THEY ARE INDICATED IN THE CONSULTANTS DRAWINGS OR NOT. THESE FLOOR WASTES ARE TO BE CONNECTED TO STORMWATER GRATES PVC AND THEN TO DOWNPIPES LOCATED DIRECTLY IN ONE INTERNAL CORNER OF EACH AND EVERY BALCONY. CONFIRM THE LOCATIONS OF THESE DOWNPIPES WITH THE OWNERS. THE CONTRACTOR MUST ALLOW FOR ALL ASSOCIATED WORKS (SUCH A CONNECTION TO BE STORMWATER LINES AND THE LIKE) THAT IS REQUIRED IN ORDER FOR ALL SUCH FLOOR WASTES TO ADEQUATELY DRAIN EACH AND EVERY BALCONY

ALL OFF-STREET PARKING FACILITIES INCLUDING DRIVEWAY WIDTHS, RAMP GRADES, AISLE WIDTHS, TURNING PATHS, SIGHT DISTANCES AND PARKING BAY SIZES MUST CONFORM TO CURRENT AUSTRALIAN STANDARDS AS 2890.1 AND AS 2890.2-2002

PROVIDE 100MM MINIMUM AGRICULTURAL PIPE WITH A FILTER STOCKING AROUND PERIMETER OF THE BUILDING AND CONNECT TO STORMWATER LINES AS PER THE STORMWATER ENG DETAILS AND SYDNEY WATER REQUIREMENTS

CONTRACTOR MUST ENSURE THAT THE ACCESS LIFT COMPLIES WITH THE REQUIREMENTS OF AS1735.12. THE LIFT SHAFT IS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MANUFACTURERS AND STRUCTURAL ENG DETAIL. THE CONTRACTOR MUST LIAISE WITH THE LIFT MANUFACTURERS AND ALLOW FOR THE ITEMS TO BE PROVIDED BY OTHER CONTRACTORS AS REQUIRED IN THE "WORK BY OTHERS" THE LIFT SHAFT AND PIT ARE TO BE WATERPROOFED AS PER THE ARCHITECTURAL SPECIFICATION AND MANUFACTURERS REQUIREMENTS.

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| project | | true north | | drawing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 41 FRANCIS STREET , FAIRLIGHT 2094 LOT 23 SECTION A DP978391 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| client | | | | NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| JACQUILINE & WARNER SMITH . LAUREN WEATHERAL AND NICK SMITH | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|  | | project no | date | sheet no. | scale @ A3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 21-109 | 13/03/24 | A 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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|  | | 6/7 Parkes Street, Parramatta NSW 2150 www.rkdesigns.com.au admin@rkdesigns.com.au 02 9633 4797 abn. 68 659 200 389 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ACCREDITED BUILDING DESIGNER | | spaces designed for life | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

1

SITE AND ROOF PLAN

1 : 200

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| LS | 13/03/24 | A | ISSUE FOR DA |
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| LS | 27/11/24 | C | ISSUE FOR DA |
| LS | 10/12/24 | D | ISSUE FOR DA |
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project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 41 FRANCIS STREET , FAIRLIGHT 2094 LOT 23 SECTION A DP978391

client
JACQUILINE & WARNER SMITH . LAUREN WEATHERAL AND NICK SMITH



true north



drawing
SITE AND ROOF PLAN

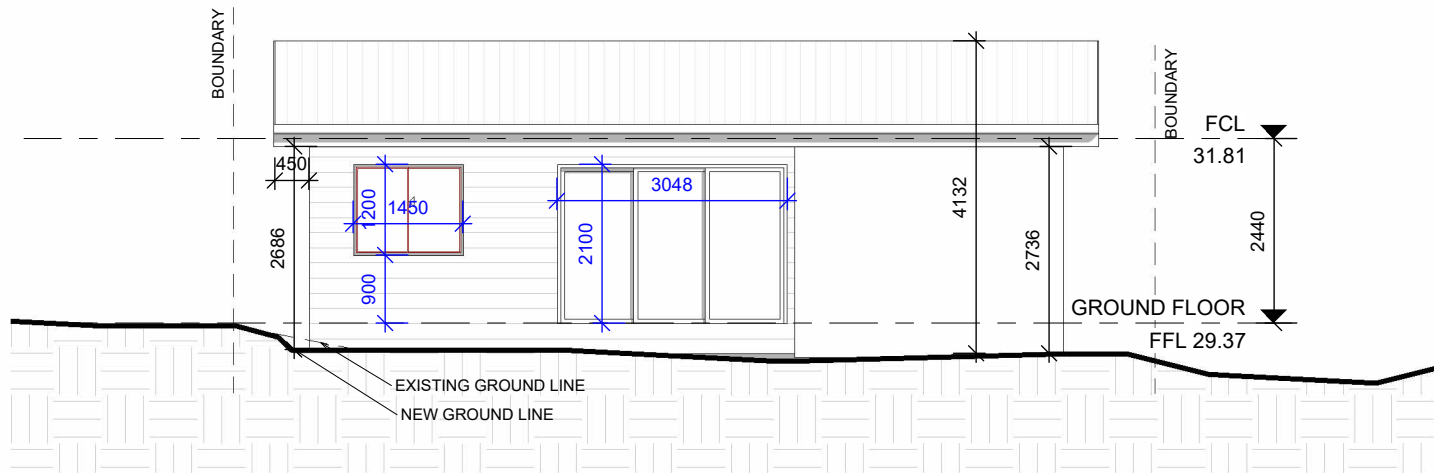
| project no | date | sheet no. | scale @ A3 | issue | checked |
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| 21-109 | 13/03/24 | A 2 | 1 : 200 | D | ? |

IMPORTANT NOTE
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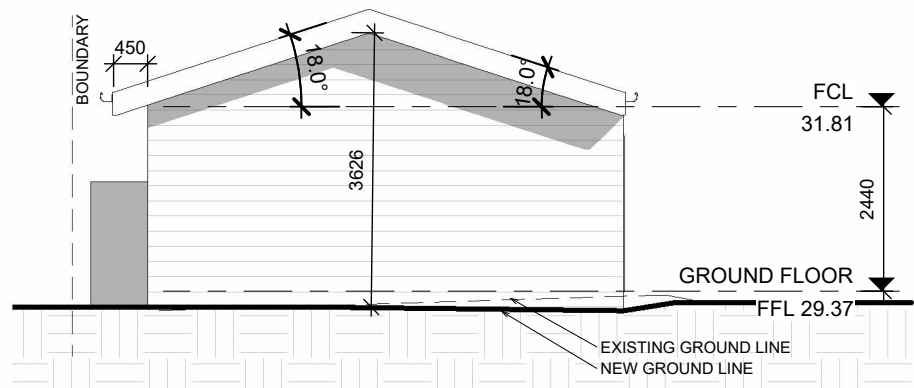


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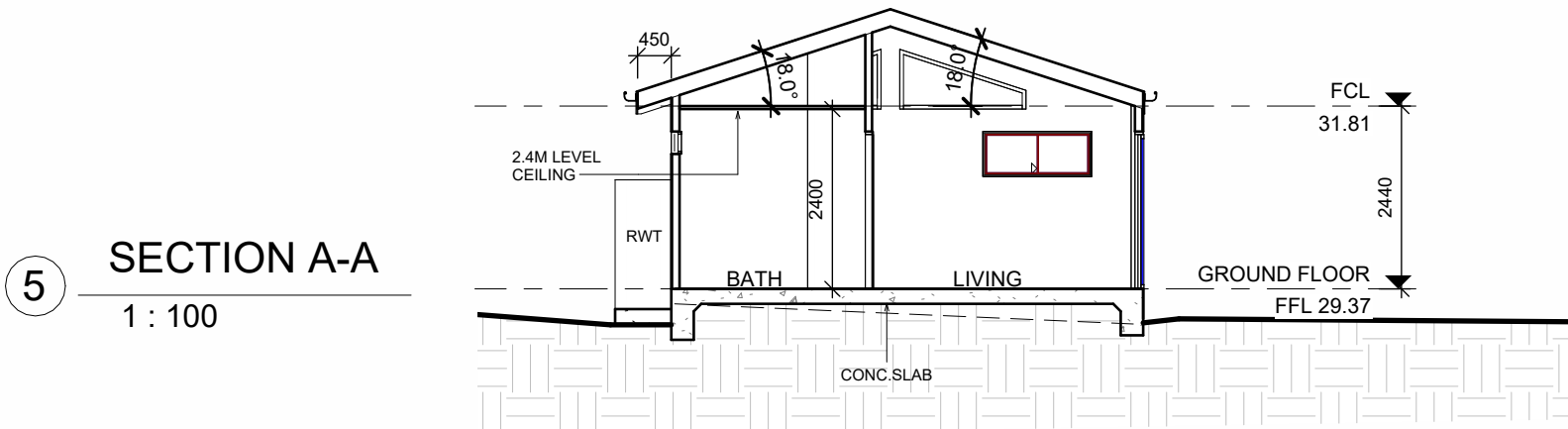
RK
DESIGNS



1 EAST ELEVATION
1 : 100

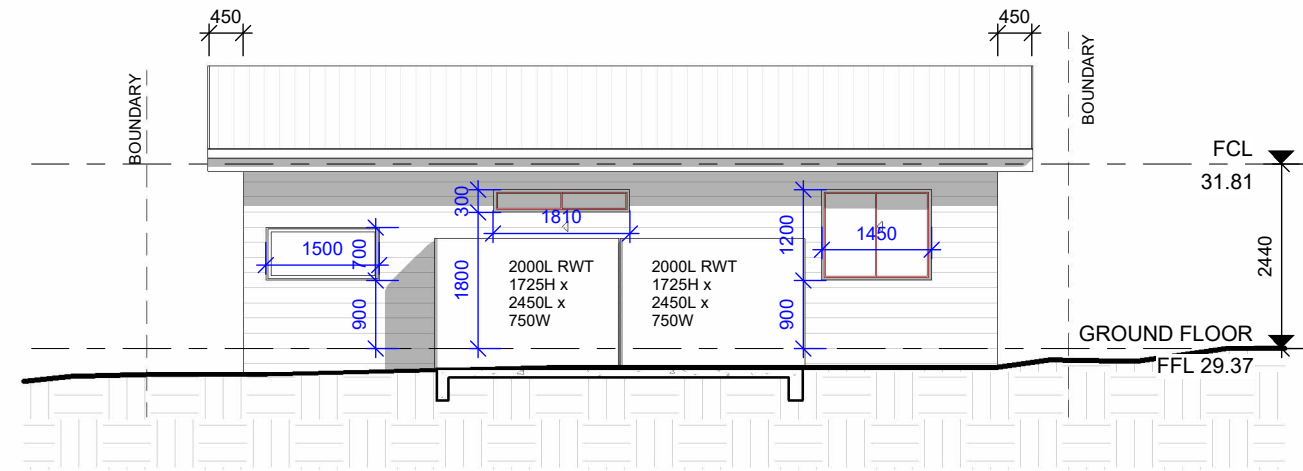


2 SOUTH ELEVATION
1 : 100

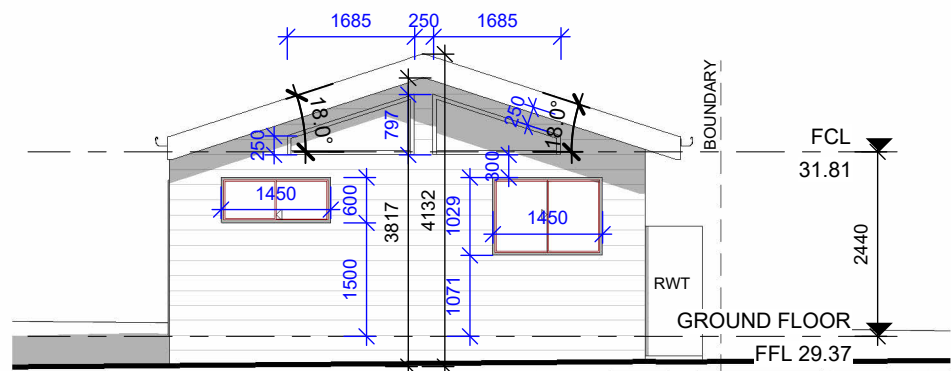


5 SECTION A-A
1 : 100

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3 WEST ELEVATION
1 : 100



4 NORTH ELEVATION
1 : 100

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| LS | 10/12/24 | D | ISSUE FOR DA |

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 41
FRANCIS STREET , FAIRLIGHT 2094 LOT 23 SECTION A
DP978391

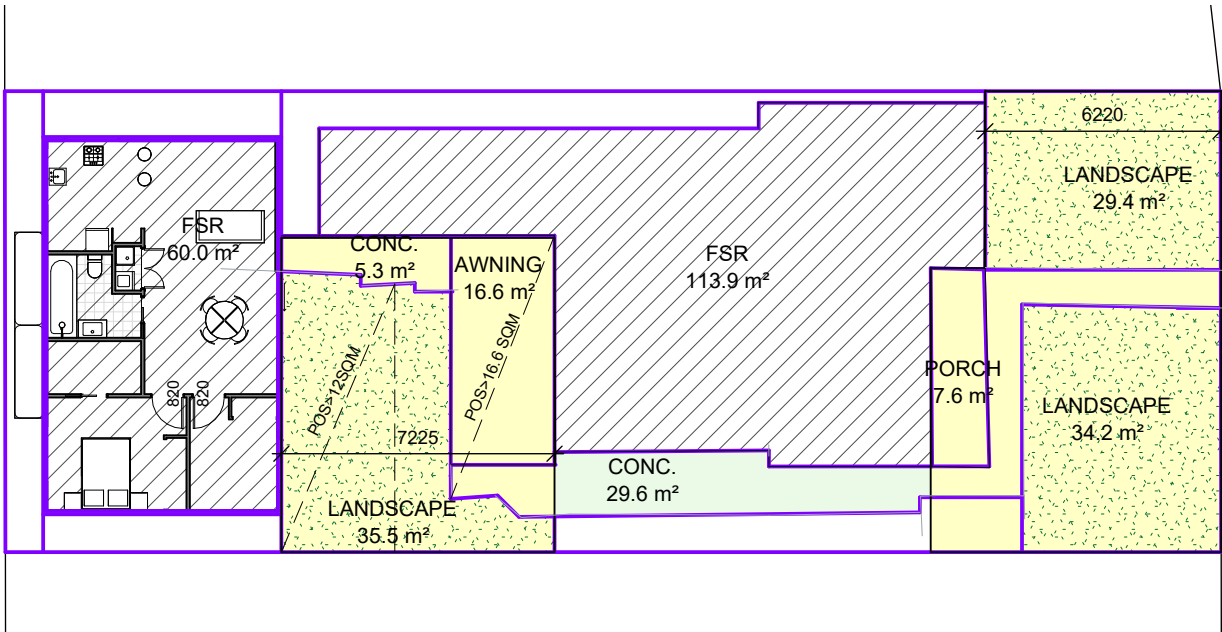
client
JACQUILINE & WARNER SMITH . LAUREN
WEATHERAL AND NICK SMITH



6/7 Parkes Street,
Parramatta NSW 2150
www.rkdesigns.com.au
admin@rkdesigns.com.au
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| 21-109 | 13/03/24 | A 4 | 1 : 100 | D | ? |

RK
DESIGNS



1 GROUND FLOOR

1 : 200

SITE AREA = 392 SQM

THE REQUIRED FSR = 0.6: 1
MAXIMUM FLOOR AREA = 235.2 SQM

EXISTING FLOOR AREA AFTER DEMOLITION= 114 SQM
PROPOSED TOTAL FLOOR AREA = 174 SQM

PROPOSED FLOOR SPACE RATIO (FSR) 0.44:1

IN ADDITION, THE TOTAL FLOOR AREA OF THE SECONDARY DWELLING (EXCLUDING ANY AREA USED FOR PARKING) MUST NOT EXCEED WHICHEVER OF THE FOLLOWING IS THE GREATER:
(A) 60 SQUARE METRES,
(B) 30% OF THE TOTAL FLOOR AREA OF THE PRINCIPAL DWELLING.

30% OF THE TOTAL FLOOR AREA OF THE PRINCIPAL DWELLING = 34.2 SQM

PROPOSED FLOOR AREA OF THE SECONDARY DWELLING = 60 SQM

TOTAL OPEN SPACE
AREA OS3

REQUIRED TOTAL OPEN SPACE = 55 % OF THE SITE AREA = 215.6SQM
(MINIMUM WIDTH NOT LESS THAN 3 METRES)
PROPOSED OPEN SPACE = 147 SQM = 38%

LANDSCAPED AREA
REQUIRED LANDSCAPING = 35 % OPEN SPACE = 75.46SQM
PROPOSED LANDSCAPED AREA = 99.2 SQM
PROPOSED LANDSCAPED AREA AS % OF OPEN SPACE = 46%

AREA CALCULATIONS SCHEDULE

| NAME | LEVEL | COUNT | TOTAL |
|--------------|--------------|-------|----------------------|
| AWNING | GROUND FLOOR | 1 | 16.6 m ² |
| AWNING: 1 | | | 16.6 m ² |
| CONC. | GROUND FLOOR | 2 | 35.0 m ² |
| CONC.: 2 | | | 35.0 m ² |
| FSR | GROUND FLOOR | 2 | 173.9 m ² |
| FSR: 2 | | | 173.9 m ² |
| LANDSCAPE | Not Placed | 4 | 0.0 m ² |
| LANDSCAPE | GROUND FLOOR | 3 | 99.2 m ² |
| LANDSCAPE: 7 | | | 99.2 m ² |
| PORCH | GROUND FLOOR | 1 | 7.6 m ² |
| PORCH: 1 | | | 7.6 m ² |

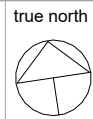
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project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 41 FRANCIS STREET , FAIRLIGHT 2094 LOT 23 SECTION A DP978391

client
JACQUILINE & WARNER SMITH . LAUREN WEATHERAL AND NICK SMITH



| drawing AREA CALCULATIONS | | | | | |
|------------------------------|----------|-----------|------------|-------|---------|
| project no | date | sheet no. | scale @ A3 | issue | checked |
| 21-109 | 13/03/24 | A 5 | 1 : 200 | D | ? |



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DESIGNS

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21/02/2025

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
CONSTRUCTION OF A GRANNY FLAT AT 41 FRANCIS STREET , FAIRLIGHT**


EXTERNAL WALLS

| | | |
|--------------|------------------|--|
| Manufacturer | Dulux |  |
| Colour | Tranquil Retreat | |
| Finish | Paint Finish | |

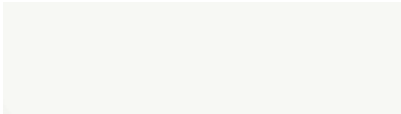
ROOF

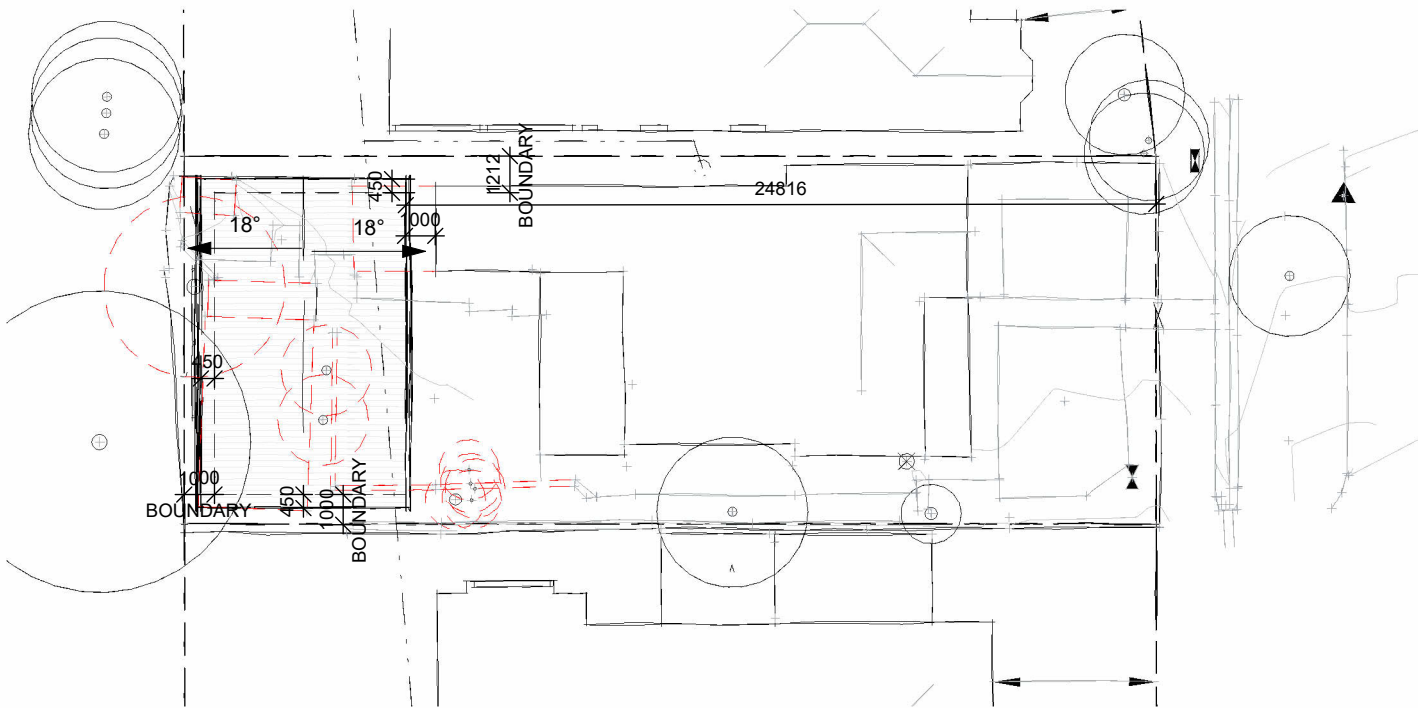
| | | |
|--------------|--------------|--|
| Manufacturer | Colorbond |  |
| Colour | Windspray | |
| Finish | Metal Finish | |

FACIA AND GUTTER

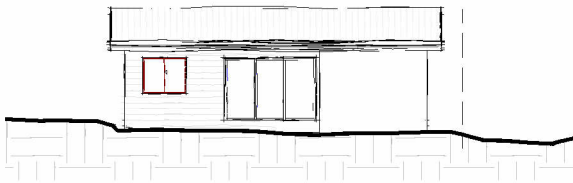
| | | |
|--------------|--------------|--|
| Manufacturer | Colorbond |  |
| Colour | Windspray | |
| Finish | Metal Finish | |

WINDOWS & DOOR TRIMS

| | | |
|----------|--------------|--|
| Manufact | Dulux |  |
| Colour | Vivid White | |
| Finish | Paint Finish | |



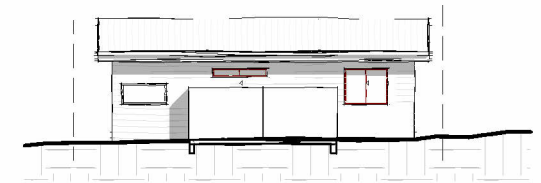
1 SITE AND ROOF PLAN .
1 : 250



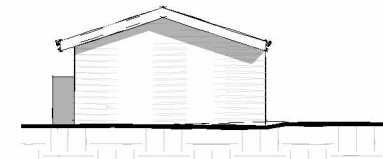
2 EAST ELEVATION .
1 : 250



3 NORTH ELEVATION .
1 : 250



4 WEST ELEVATION .
1 : 250



5 SOUTH ELEVATION .
1 : 250

project

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true north



drawing

NOTIFICATION PLAN

| | | | | | |
|------------|----------|-----------|------------|-------|---------|
| project no | date | sheet no. | scale @ A4 | issue | checked |
| 21-109 | 13/03/24 | .1 of 1 | 1 : 250 | D | ? |



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