

CONTENTS

DA1 PERSPECTIVES, MATERIALS & FINISHES
DA2 SURVEY
DA3 SITE, SITE ANALYSIS & WASTE MANAGEMENT PLAN
DA4 LOWER FLOOR PLAN
DA5 GROUND FLOOR PLAN
DA6 UPPER FLOOR PLAN
DA7 ROOF PLAN
DA8 ELEVATIONS, N, S
DA9 ELEVATIONS, E, W
DA10 ELEVATIONS, N, S 1:200
DA11 ELEVATIONS, E (Streetscape), W 1:200
DA12 SECTIONS A-A, B-B
DA13 SECTIONS C-C, D-D
DA14 SECTIONS B-B, C-C, D-D 1:200
DA15 FLOOR SPACE RATIO PLAN
DA16 SOLAR JUNE 21 - 9AM
DA17 SOLAR JUNE 21 - 12PM
DA18 SOLAR JUNE 21 - 3PM
DA19 LANDSCAPING PLAN
DA20 ELEVATIONAL SHADOWS - EXISTING & PROPOSED
DA21 ELEVATIONAL SHADOWS - FIRST FLOOR REMOVED AS COMPARISON
DA22 BASIX
DA23 BASIX

WALLS
PAINTED
WHITE
or similar



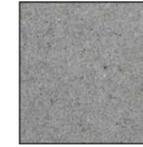
WINDOWS
BLACK
ALUMINIUM
or similar



ROOF
METAL
WINDSPRAY
or similar



ROOF
CONC.
or similar



ROOF
PEBBLES
or similar

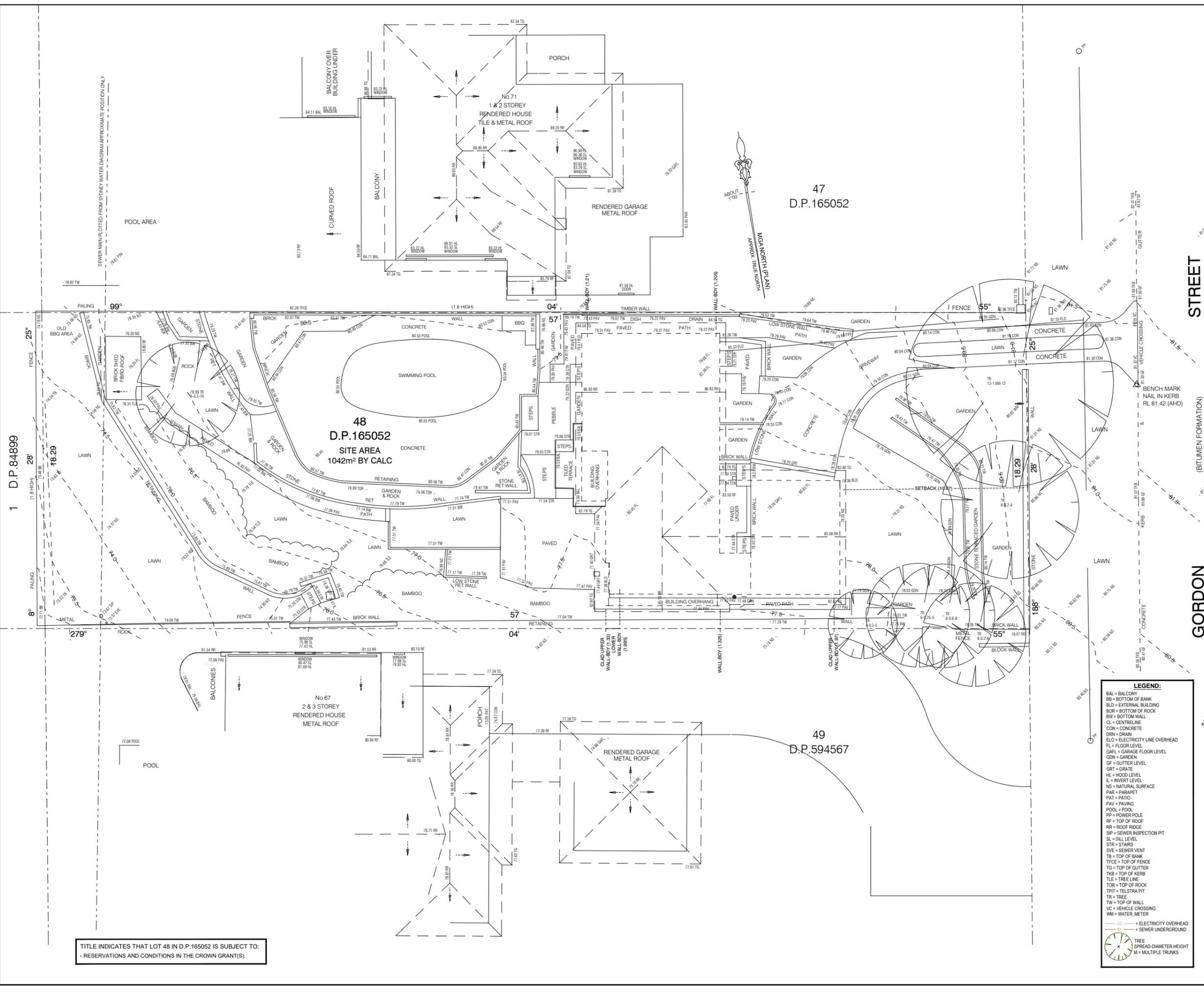


private residence

69 gordon st, clontarf

new dwelling
development application

architectural perspectives



- NOTES:**
- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
 - WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
 - IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
 - THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
 - TREE SIZES ARE ESTIMATES ONLY.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF CHARLES DAVIS.
 - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. BEFORE YOU DIG AUSTRALIA (www.youdig.com.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
 - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
 - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
 - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 - CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
 - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
 - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
 - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
 - COPYRIGHT © CMS SURVEYORS 2024.
 - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
 - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
 - THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT
REGISTERED SURVEYOR BOSSI NUMBER 1462

1	FIRST ISSUE	10/07/2024
---	-------------	------------

BEFORE YOU DIG
www.youdig.com.au
Zero Damage - Zero Harm

SCALE 1:100

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 1143
R.L. 80.127 (CLASS LB)
SOURCE: S.C.I.M.S. (4/07/2024)

CLIENT:
CHARLES DAVIS

LGA: NORTHERN BEACHES

BOUNDARY IDENTIFICATION AND DETAIL & LEVEL SURVEY OVER LOT 48 IN DP165052 No.69 GORDON STREET CLONTARF, NSW, 2093

CMS SURVEYORS PTY LTD
ACN 096 240 201
PO Box 463 Dee Why, NSW, 2099
2/99A South Creek Road, Dee Why, NSW, 2099
(02) 9971 4802
info@cmssurveyors.com.au
www.cmssurveyors.com.au

SURVEYED	DRAWN	CHECKED	APPROVED
HH	HH	HH	RM
SURVEY INSTRUCTION	SCALE	DATE OF SURVEY	
23595	1:100@A1	8/07/2024	
DRAWING NAME		SHEET	ISSUE
23595detail		1 OF 1	1
CAD FILE	23595detail 1.dwg		

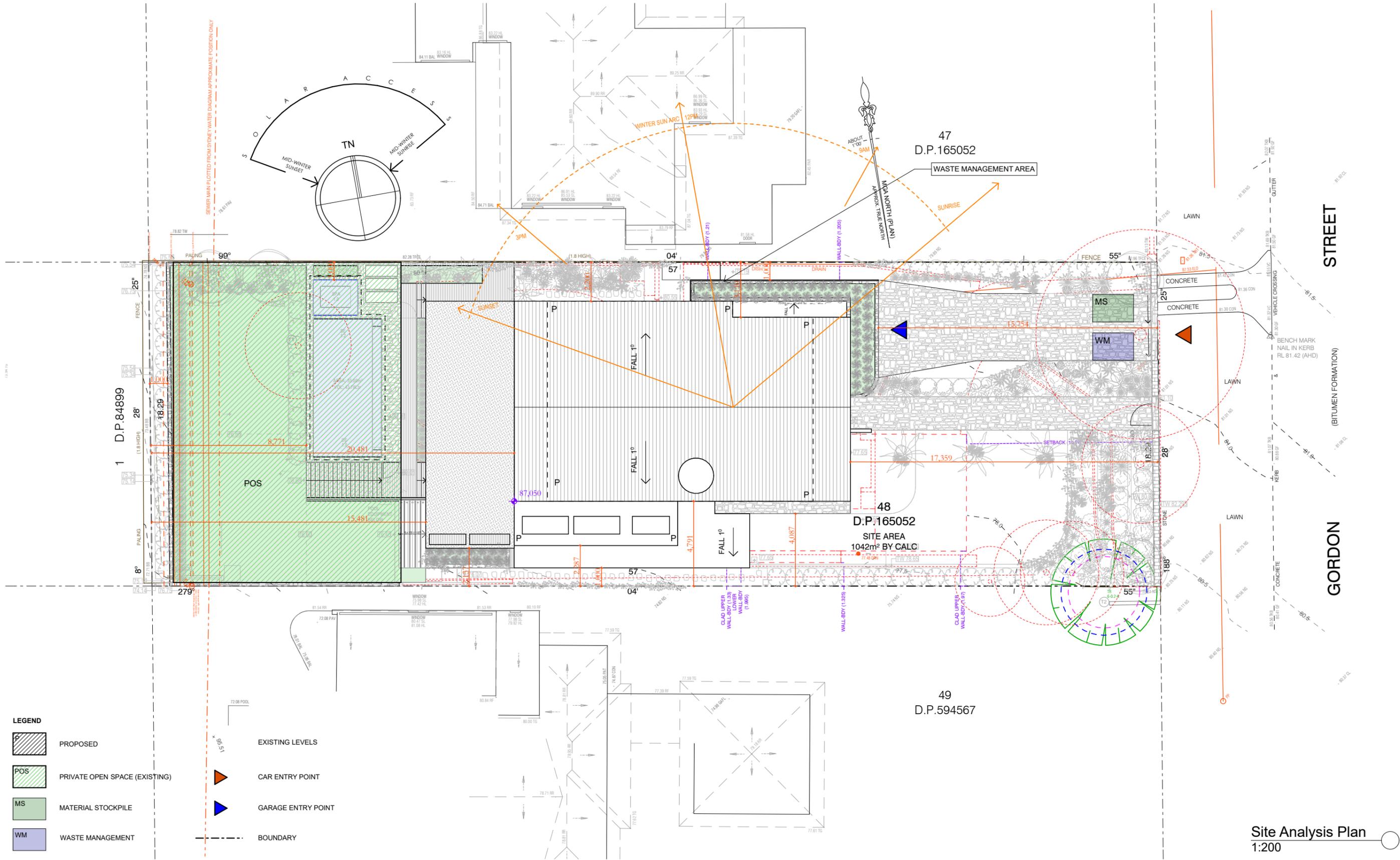
LEGEND:

- BAL = BALCONY
- BB = BOTTOM OF BANK
- BLD = EXTERNAL BUILDING
- BOR = BOTTOM OF ROCK
- BW = BOTTOM WALL
- CL = CENTRELINE
- CON = CONCRETE
- DRN = DRAIN
- ELO = ELECTRICITY LINE OVERHEAD
- FL = FLOOR LEVEL
- GARFL = GARAGE FLOOR LEVEL
- GDN = GARDEN
- GF = GUTTER LEVEL
- GRT = GRATE
- HL = HOOD LEVEL
- IL = INVERT LEVEL
- NS = NATURAL SURFACE
- PAR = PARAPET
- PAT = PATIO
- PAV = PAVING
- POOL = POOL
- PP = POWER POLE
- RF = TOP OF ROOF
- RR = ROOF RIDGE
- SP = SEWER INSPECTION PIT
- SL = SILL LEVEL
- STR = STAIRS
- SVE = SEWER VENT
- TB = TOP OF BANK
- TFCE = TOP OF FENCE
- TG = TOP OF GUTTER
- TKB = TOP OF KERB
- TLE = TREE LINE
- TOR = TOP OF ROCK
- TPIT = TELSTRA PIT
- TR = TREE
- TW = TOP OF WALL
- VC = VEHICLE CROSSING
- WM = WATER METER

— E = ELECTRICITY OVERHEAD
— S = SEWER UNDERGROUND

TREE SPREAD-DIAMETER-HEIGHT
M = MULTIPLE TRUNKS

TITLE INDICATES THAT LOT 48 IN D.P. 165052 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).



1 D.P. 84899

47 D.P. 165052

48 D.P. 165052

49 D.P. 594567

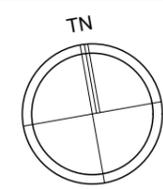
STREET

GORDON

LEGEND

- PROPOSED
- PRIVATE OPEN SPACE (EXISTING)
- MATERIAL STOCKPILE
- WASTE MANAGEMENT
- EXISTING LEVELS
- CAR ENTRY POINT
- GARAGE ENTRY POINT
- BOUNDARY

Site Analysis Plan
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

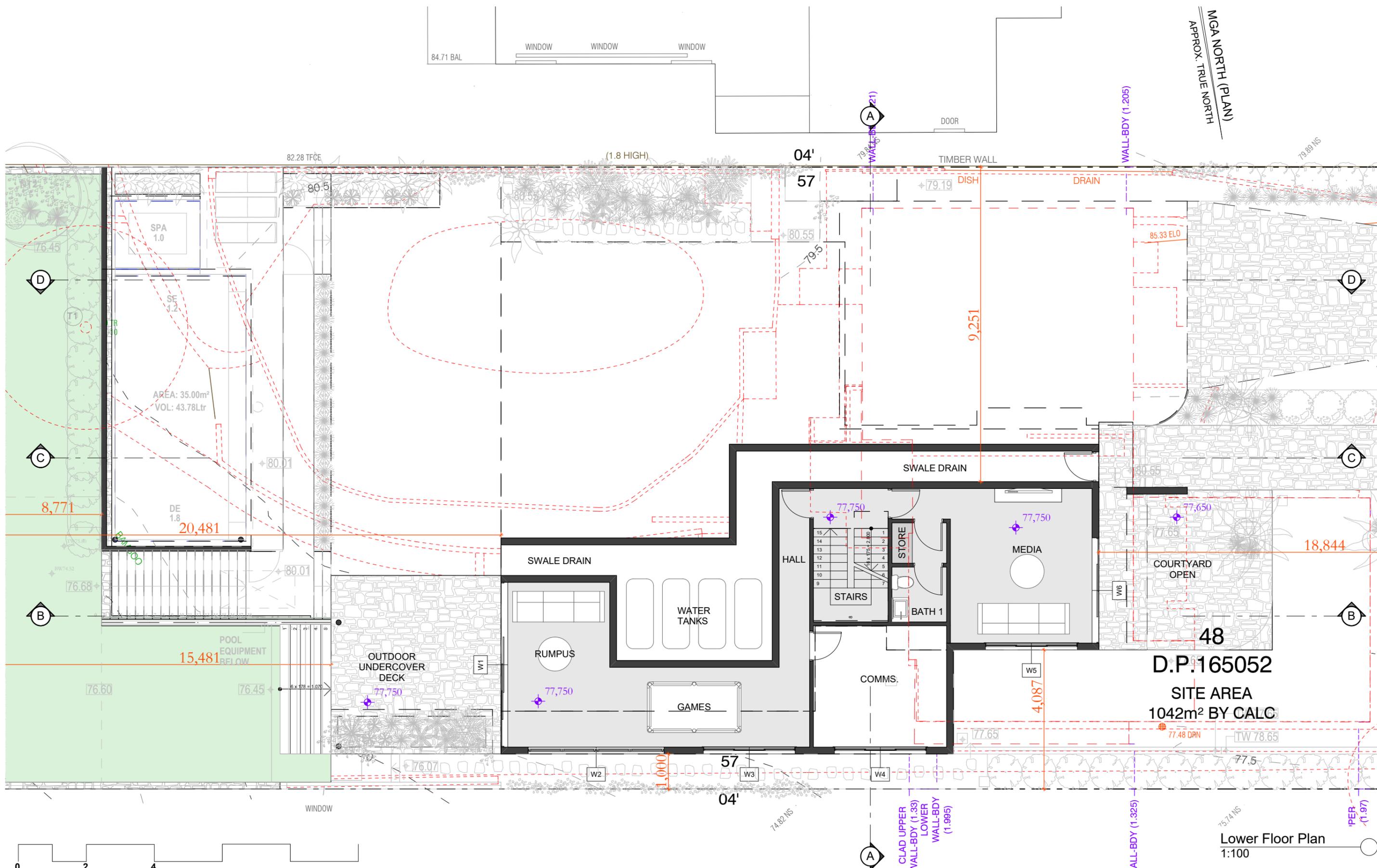
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

- Demolition
- Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:200@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA3		



D.P.165052
SITE AREA
1042m² BY CALC

Lower Floor Plan
 1:100

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

sketchArc
 Po Box 377 Manly 1655
 m : 0422 521 871
 e : power@sketcharc.com.au
 w : www.sketcharc.com.au

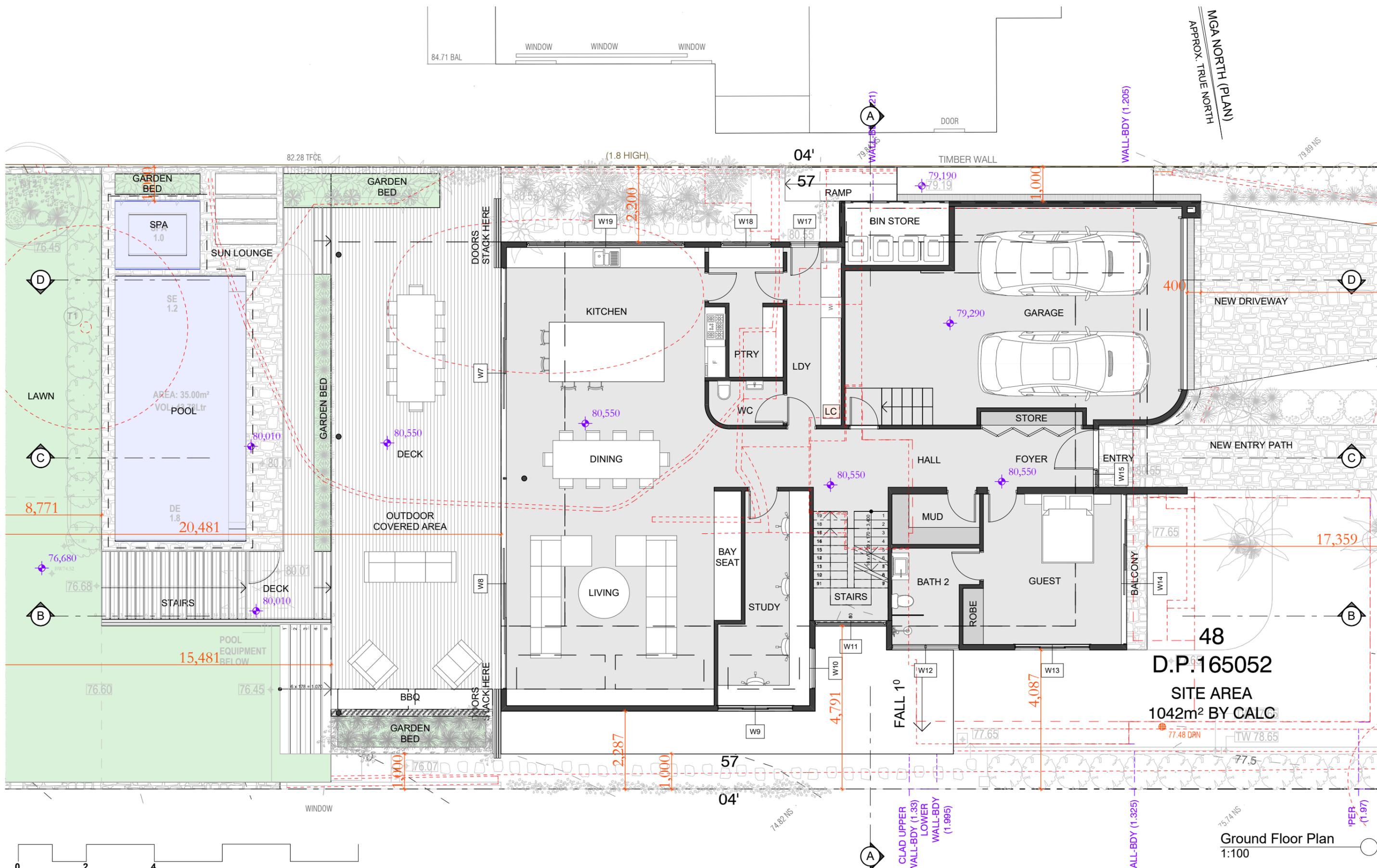
PROJECT: 69 Gordon St, Clontarf, 2093,
 NSW
 New Dwelling
 LOT 48 in DP 165052 - 1042m²

CLIENT: Private

■ - Demolition
 ■ - Proposed

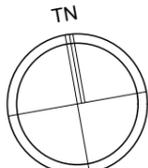
STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA4		

REV	DATE	DESCRIPTION



D.P.165052
SITE AREA
1042m² BY CALC

Ground Floor Plan
 1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

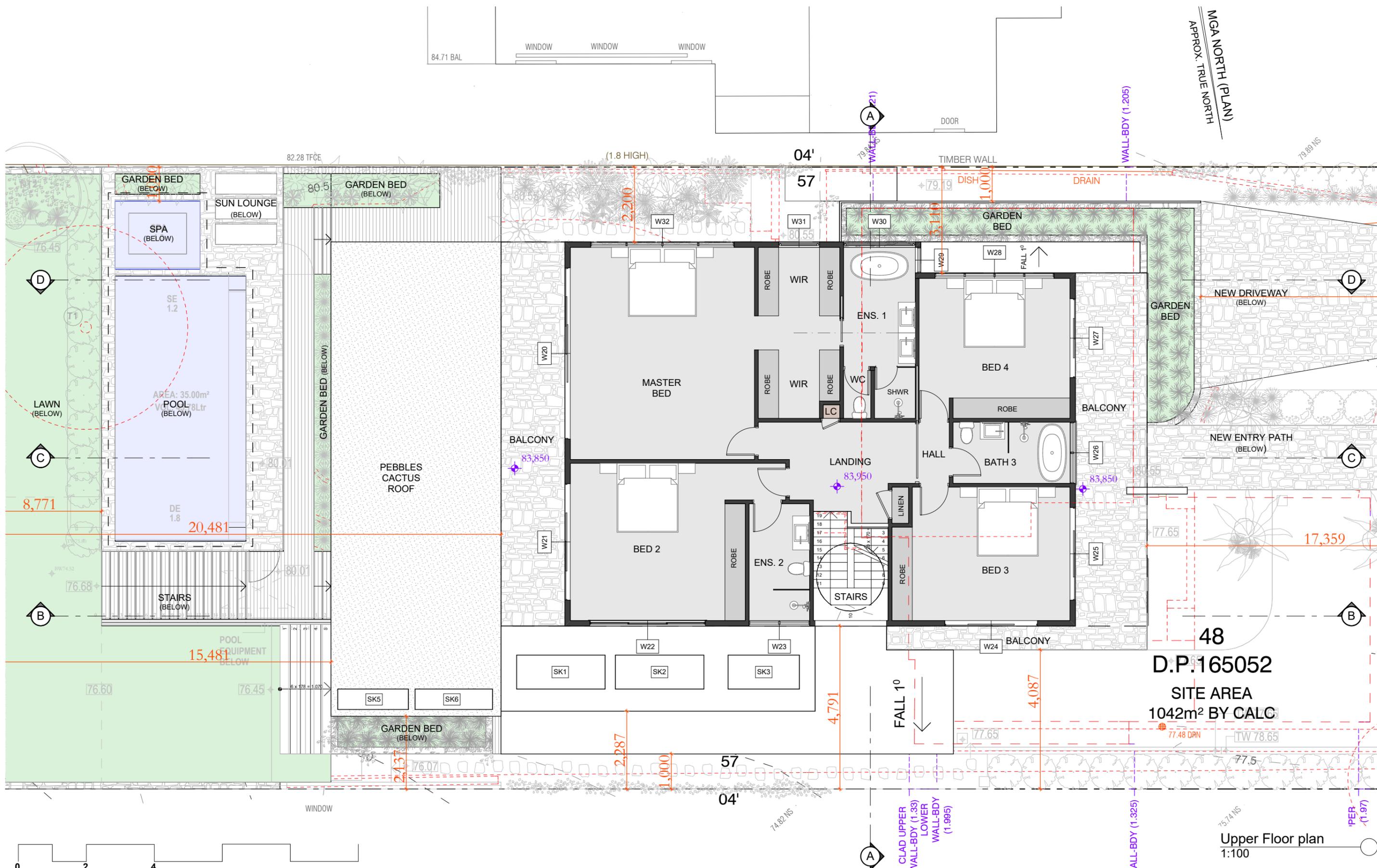
REV	DATE	DESCRIPTION

sketchArc
 Po Box 377 Manly 1655
 m : 0422 521 871
 e : power@sketcharc.com.au
 w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
 New Dwelling
 LOT 48 in DP 165052 - 1042m2
 CLIENT: Private

■ - Demolition
■ - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA5		



D.P.165052
SITE AREA
1042m² BY CALC

Upper Floor plan
 1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

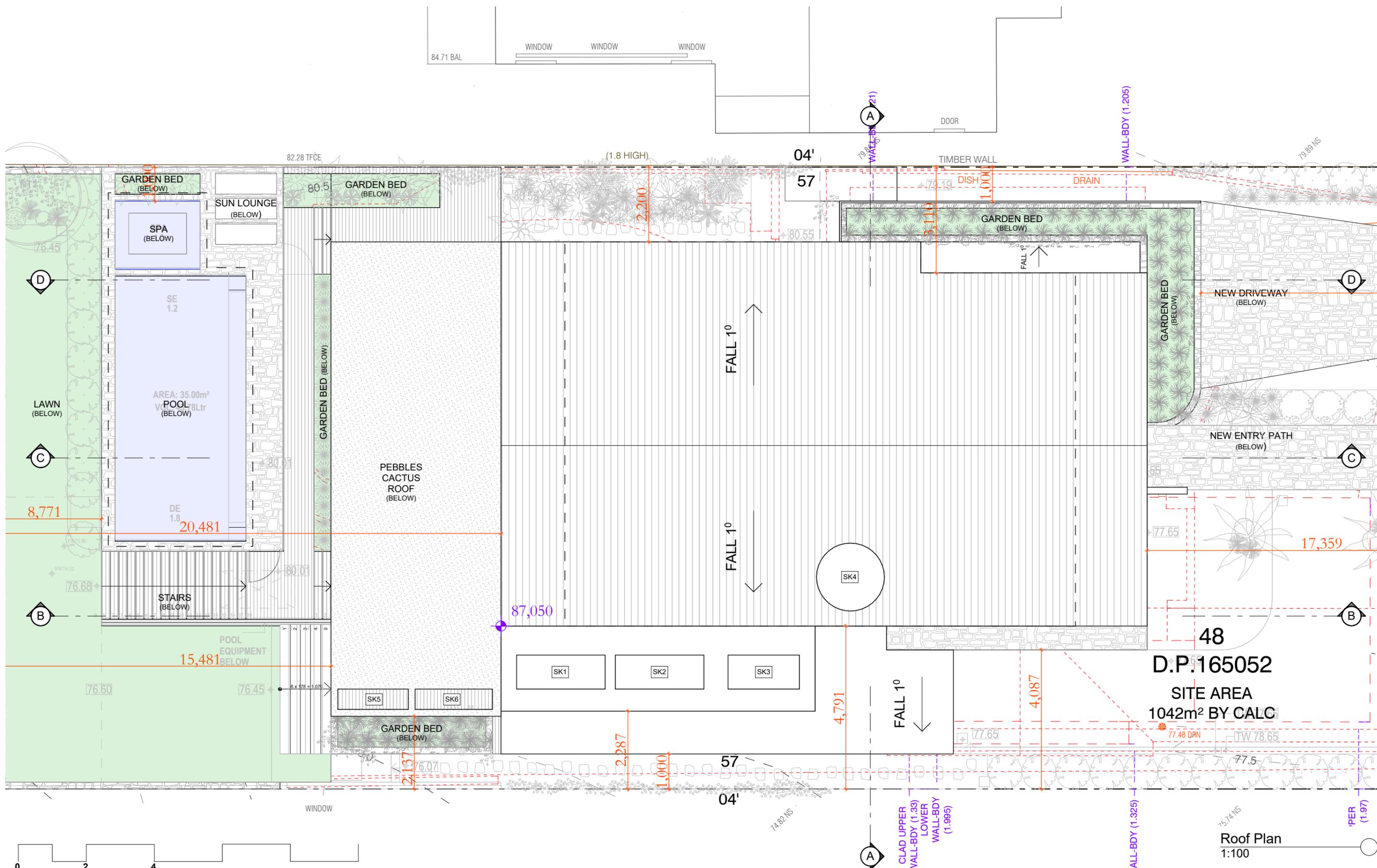
REV	DATE	DESCRIPTION

sketchArc
 Po Box 377 Manly 1655
 m : 0422 521 871
 e : power@sketcharc.com.au
 w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
 New Dwelling
 LOT 48 in DP 165052 - 1042m²
 CLIENT: Private



STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA6		



48
D.P. 165052
 SITE AREA
 1042m² BY CALC

Roof Plan
 1:100

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
 The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

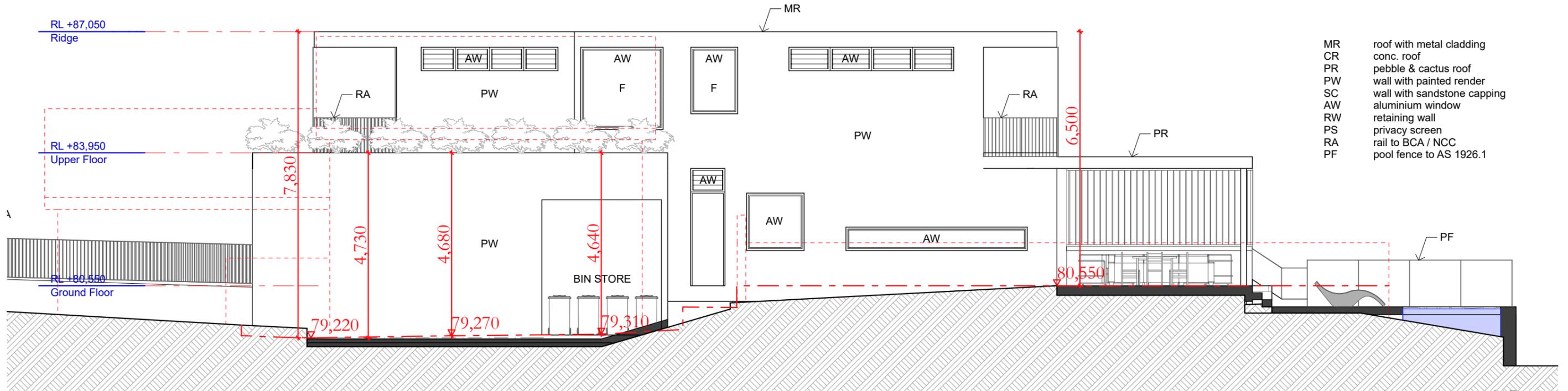
sketchArc
 Po Box 377 Manly 1655
 m : 0422 521 871
 e : power@sketcharc.com.au
 w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
 NSW
 New Dwelling
 LOT 48 in DP 165052 - 1042m²
 CLIENT: Private

■ - Demolition
 ■ - Proposed

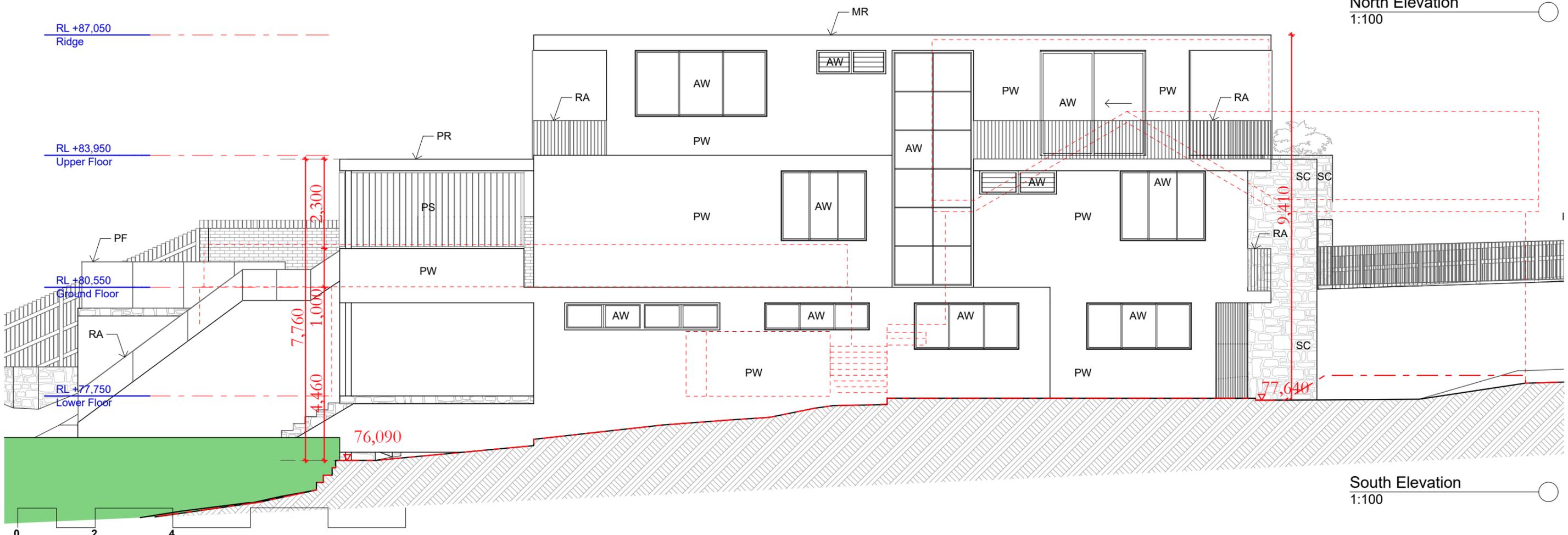
STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA7		

REV	DATE	DESCRIPTION



- MR roof with metal cladding
- CR conc. roof
- PR pebble & cactus roof
- PW wall with painted render
- SC wall with sandstone capping
- AW aluminium window
- RW retaining wall
- PS privacy screen
- RA rail to BCA / NCC
- PF pool fence to AS 1926.1

North Elevation
1:100



South Elevation
1:100

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

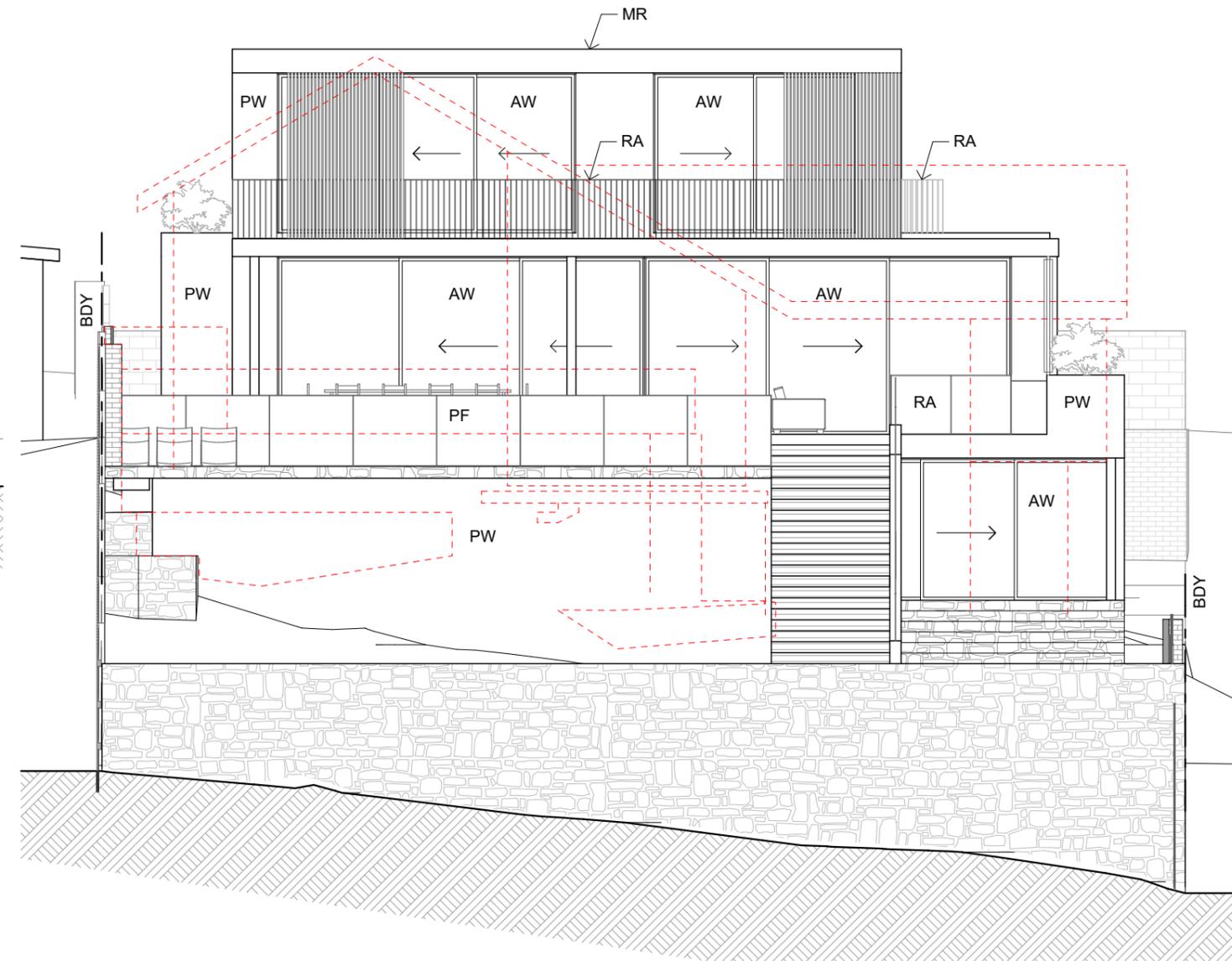
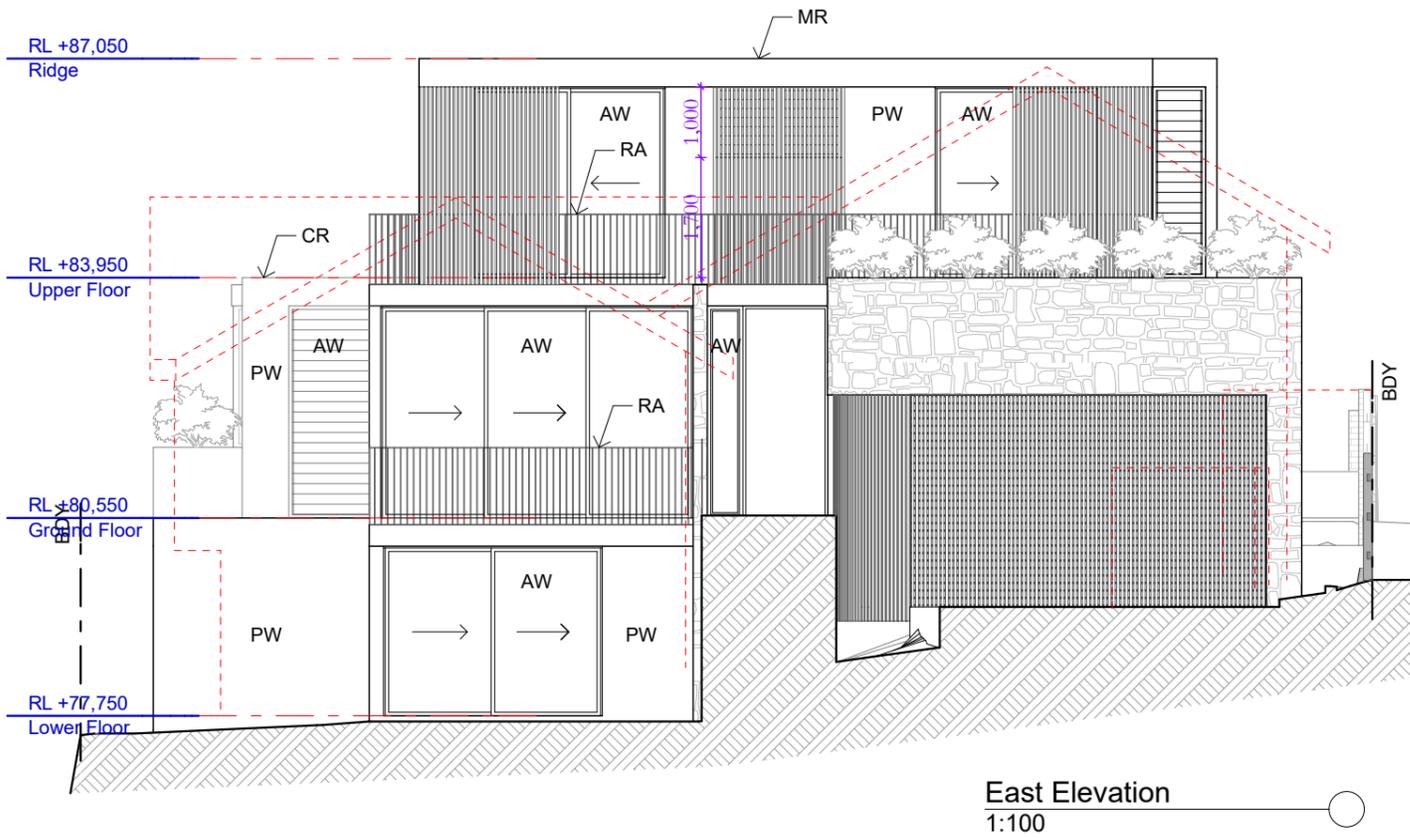
■ - Demolition
■ - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA8		

REV	DATE	DESCRIPTION



- MR roof with metal cladding
- CR conc. roof
- PR pebble & cactus roof
- PW wall with painted render
- SC wall with sandstone capping
- AW aluminium window
- RW retaining wall
- PS privacy screen
- RA rail to BCA / NCC
- PF pool fence to AS 1926.1



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

sketchArc
 Po Box 377 Manly 1655
 m : 0422 521 871
 e : power@sketcharc.com.au
 w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
 New Dwelling
 LOT 48 in DP 165052 - 1042m2
 CLIENT: Private

■ - Demolition
■ - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA9		

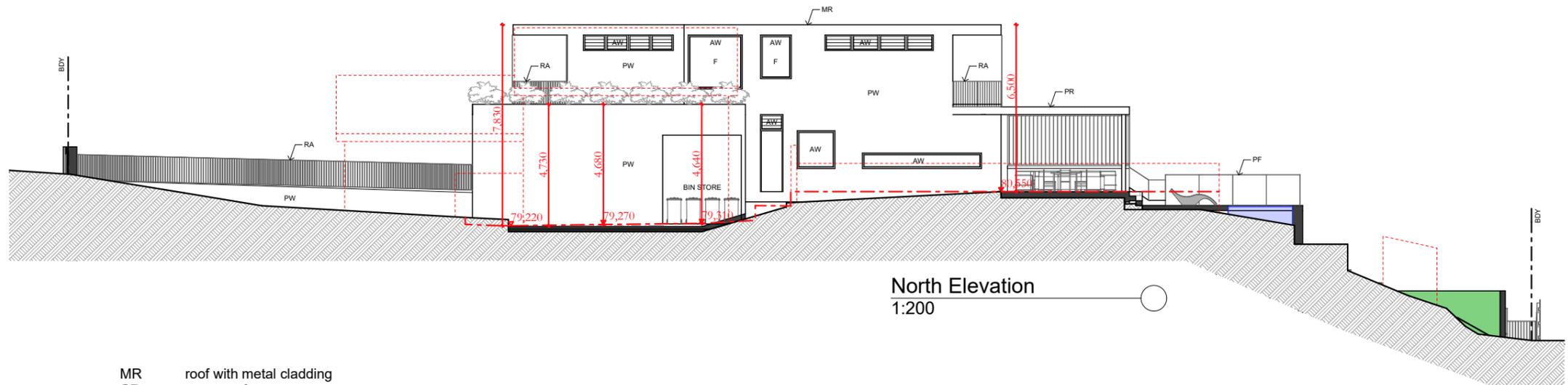
REV	DATE	DESCRIPTION

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



North Elevation
1:200

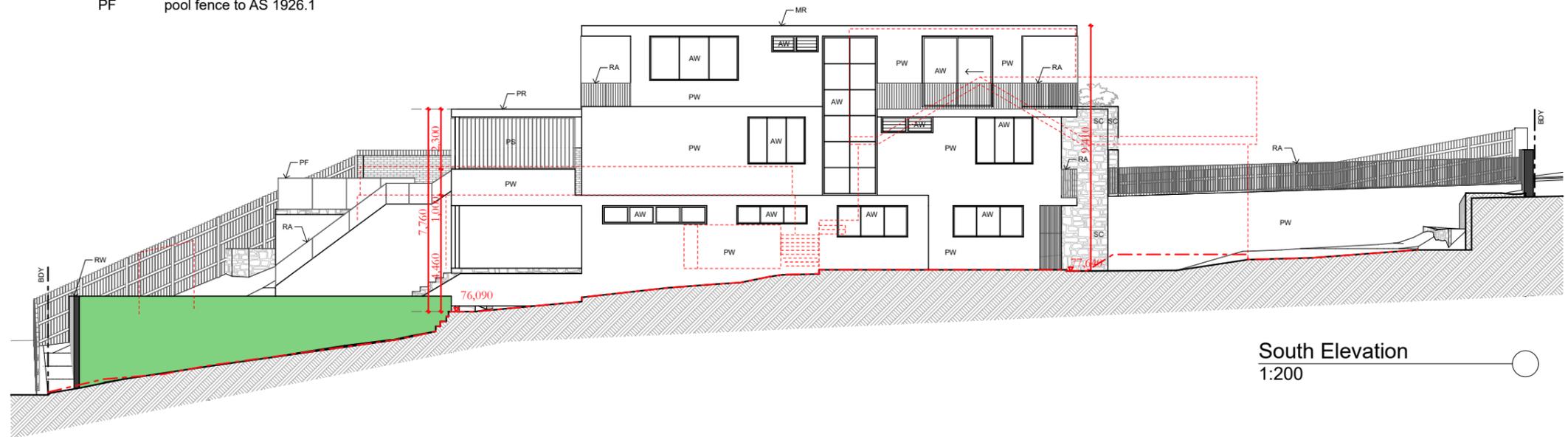
- MR roof with metal cladding
- CR conc. roof
- PR pebble & cactus roof
- PW wall with painted render
- SC wall with sandstone capping
- AW aluminium window
- RW retaining wall
- PS privacy screen
- RA rail to BCA / NCC
- PF pool fence to AS 1926.1

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



South Elevation
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

= Demolition
 = Proposed

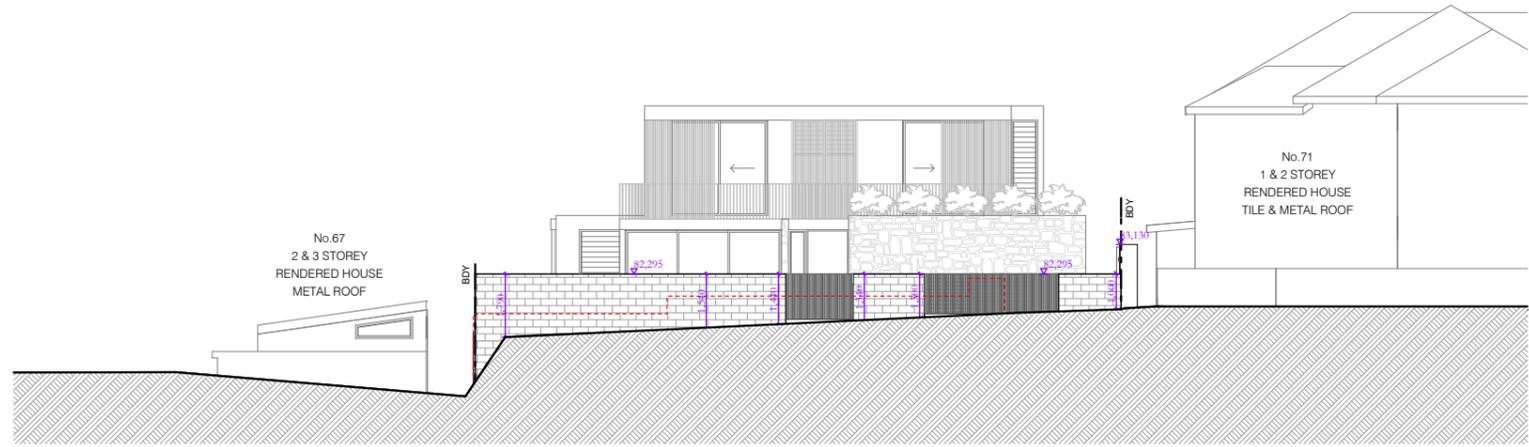
STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA10		

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



Streetscape Elevation
1:200

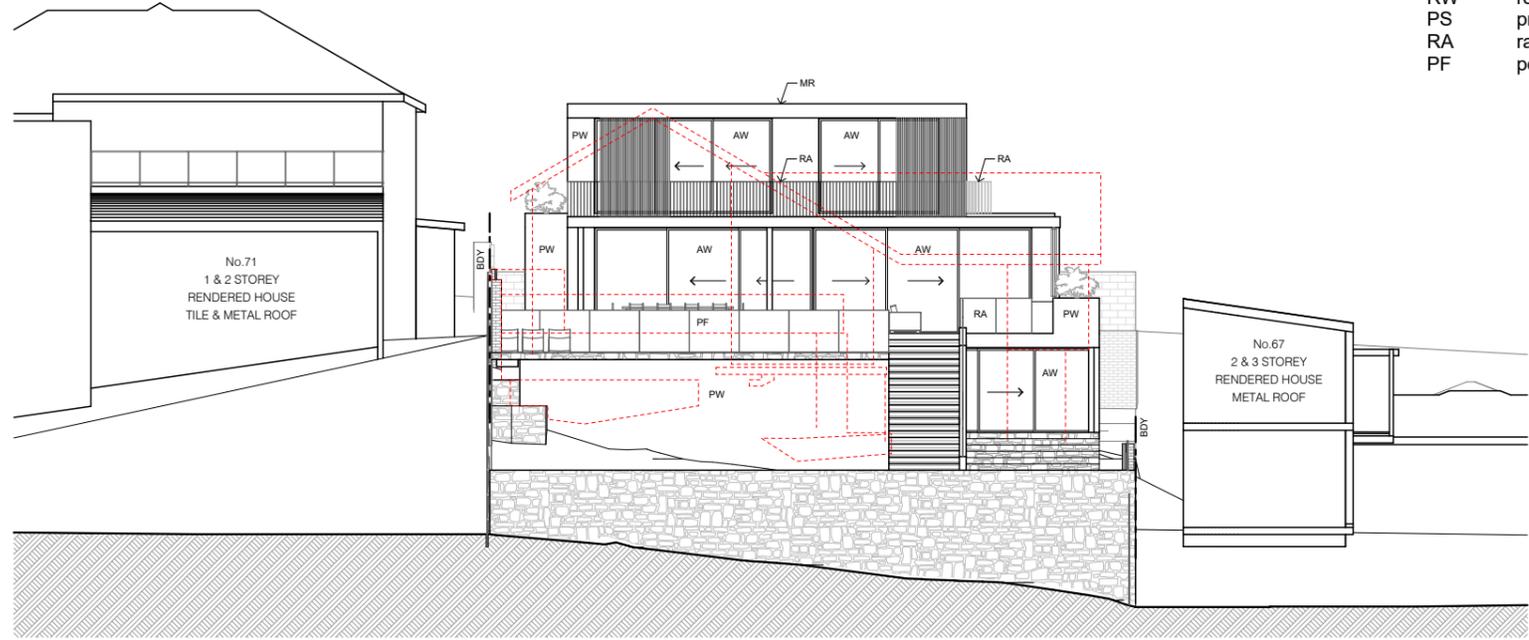
- MR roof with metal cladding
- CR conc. roof
- PR pebble & cactus roof
- PW wall with painted render
- SC wall with sandstone capping
- AW aluminium window
- RW retaining wall
- PS privacy screen
- RA rail to BCA / NCC
- PF pool fence to AS 1926.1

RL +87.050
Ridge

RL +83.950
Upper Floor

RL +80.550
Ground Floor

RL +77.750
Lower Floor



West Elevation
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private



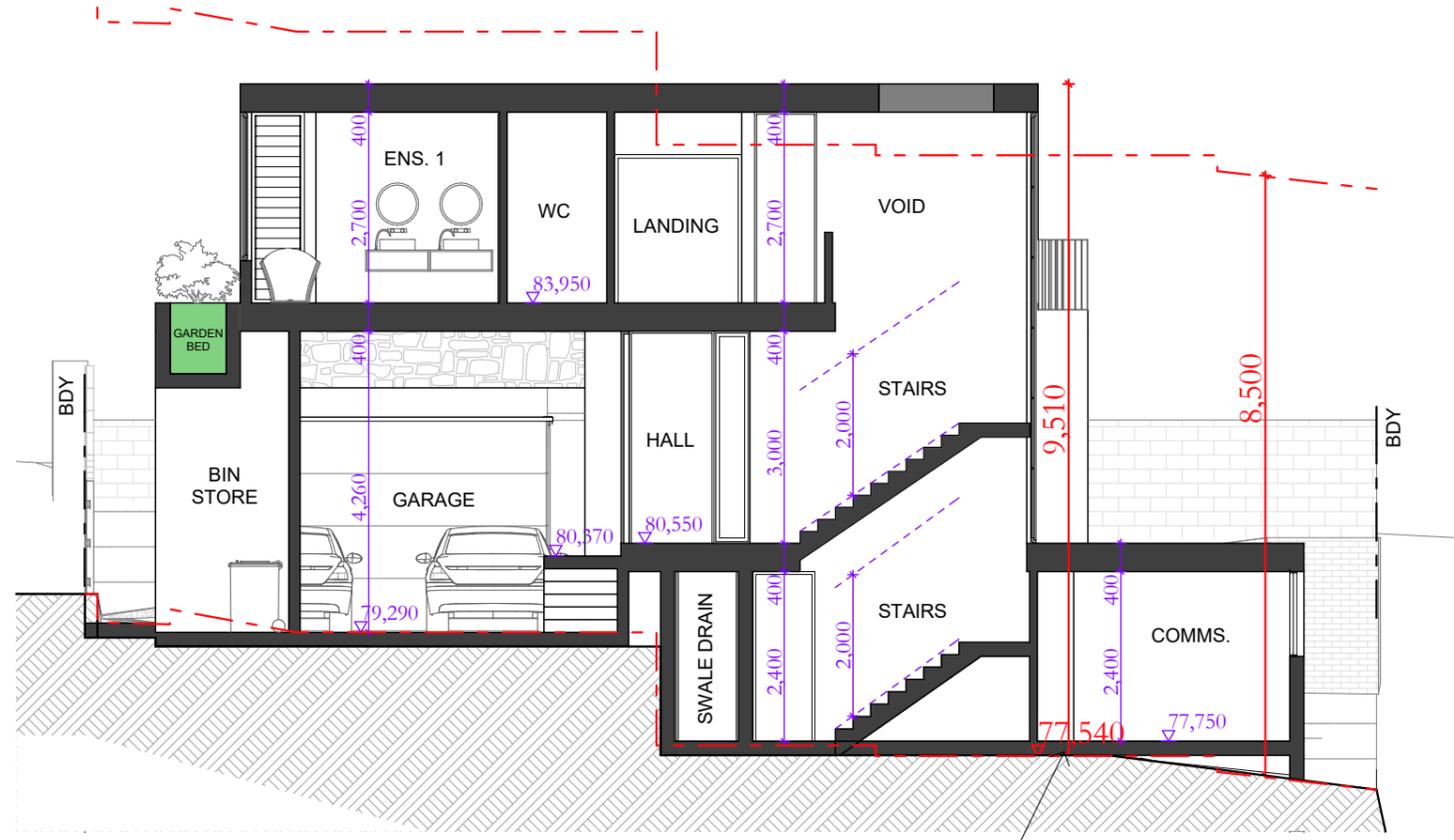
STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA11		

RL +87,050
Ridge

RL +83,950
Upper Floor

RL +80,550
Ground Floor

RL +77,750
Lower Floor



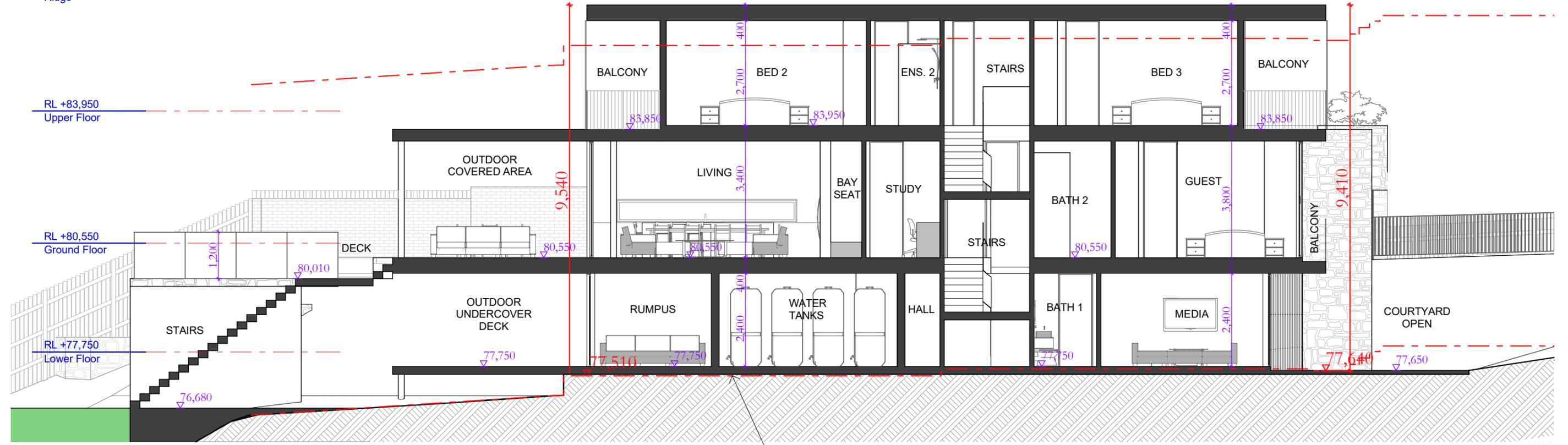
line of existing ground
Section A-A
1:100

RL +87,050
Ridge

RL +83,950
Upper Floor

RL +80,550
Ground Floor

RL +77,750
Lower Floor



line of existing ground
Section B-B
1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

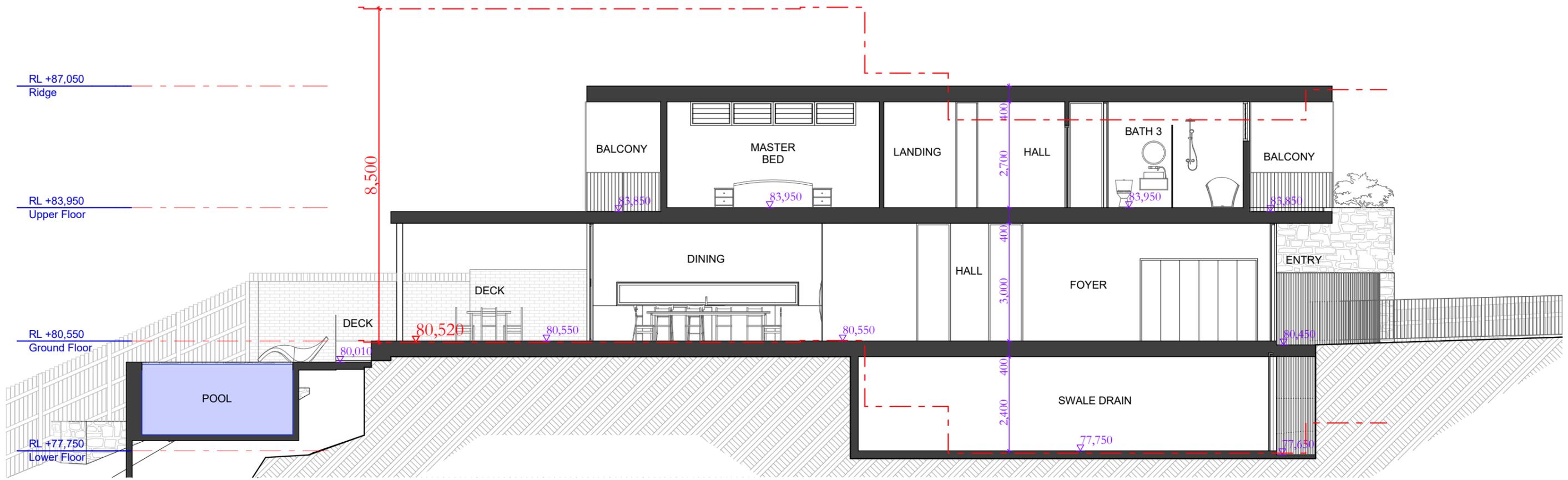
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2
CLIENT: Private

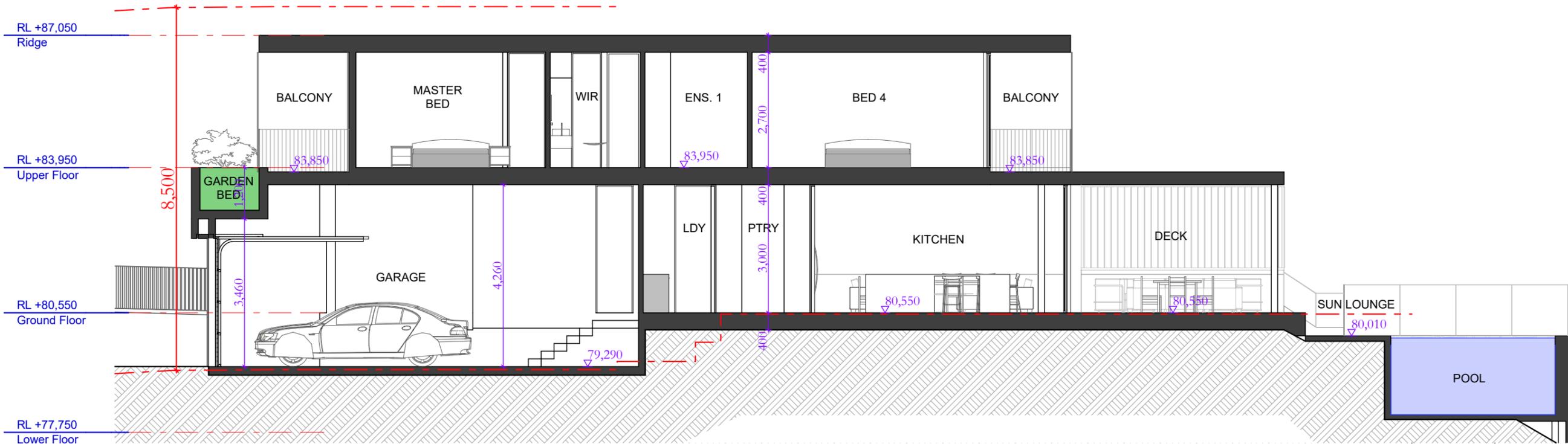
= Demolition
 = Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA12		

REV	DATE	DESCRIPTION



Section C-C
1:100



Section D-D
1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

■ - Demolition
■ - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA13		

RL +87,050
Ridge

RL +83,950
Upper Floor

RL +80,550
Ground Floor

RL +77,750
Lower Floor



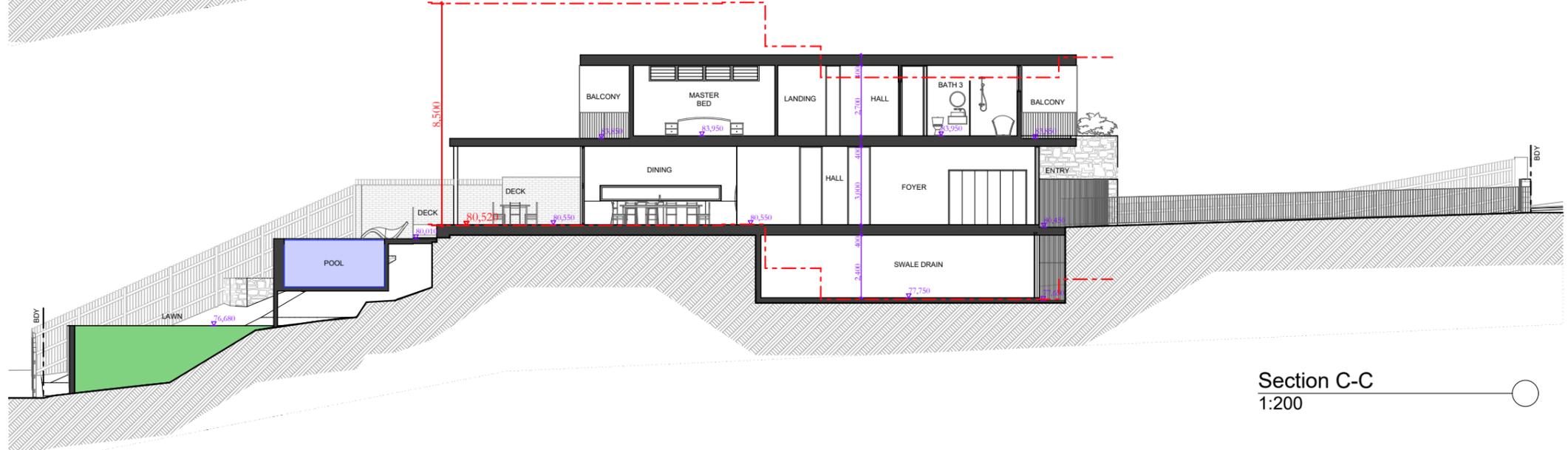
Section B-B
1:200

RL +87,050
Ridge

RL +83,950
Upper Floor

RL +80,550
Ground Floor

RL +77,750
Lower Floor



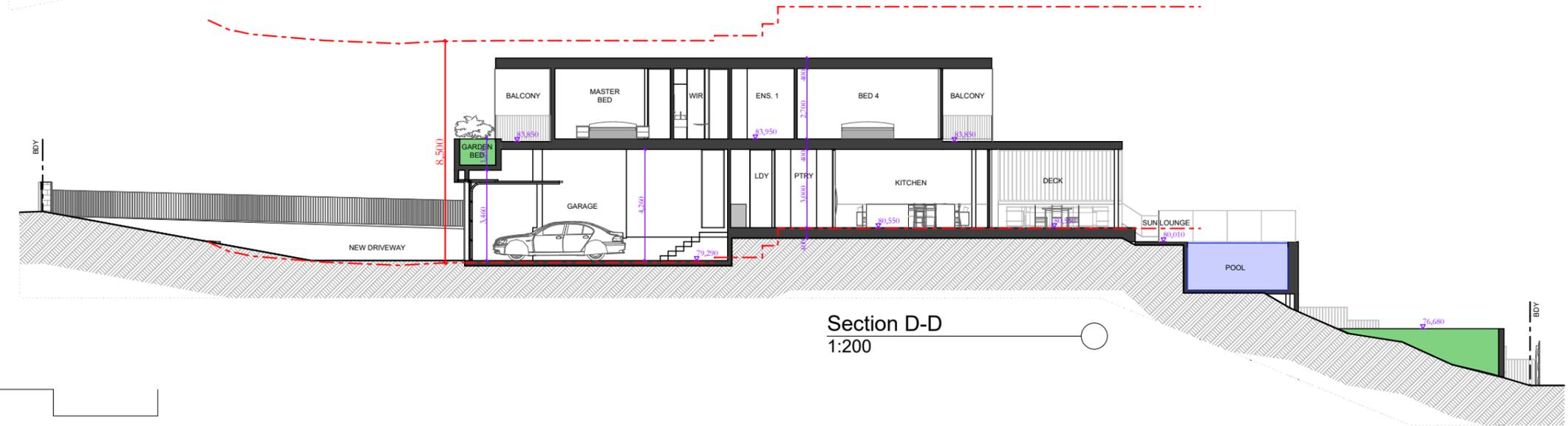
Section C-C
1:200

RL +87,050
Ridge

RL +83,950
Upper Floor

RL +80,550
Ground Floor

RL +77,750
Lower Floor



Section D-D
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

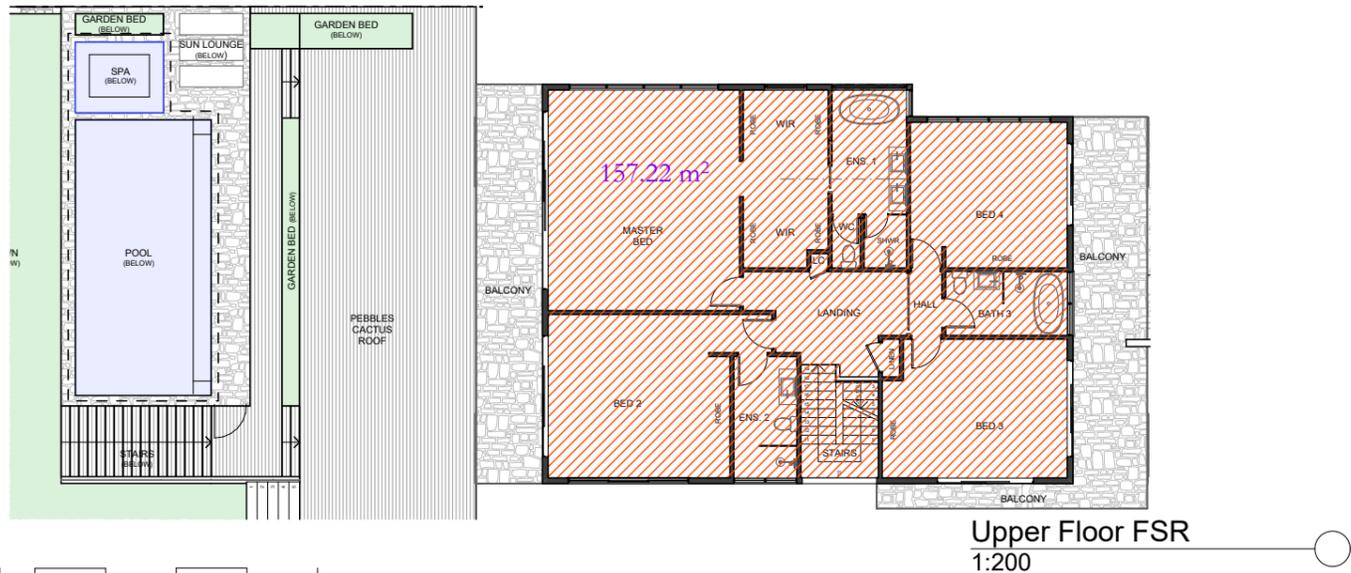
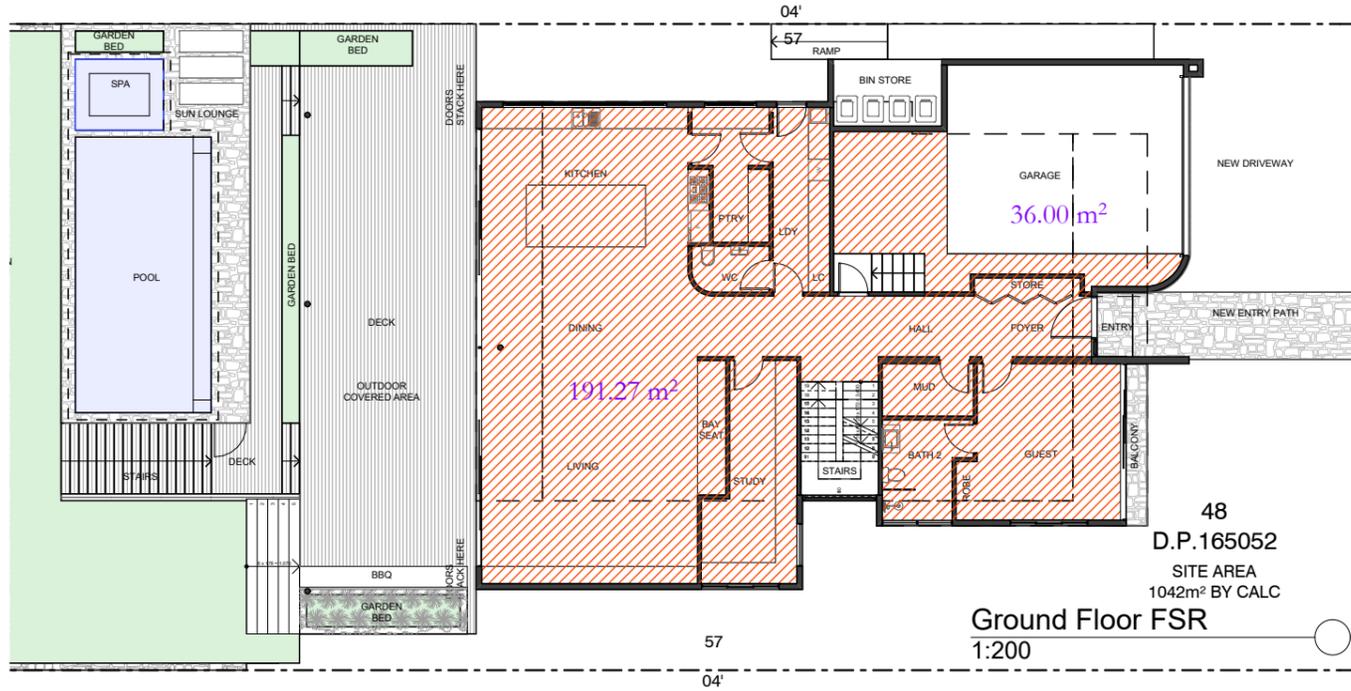
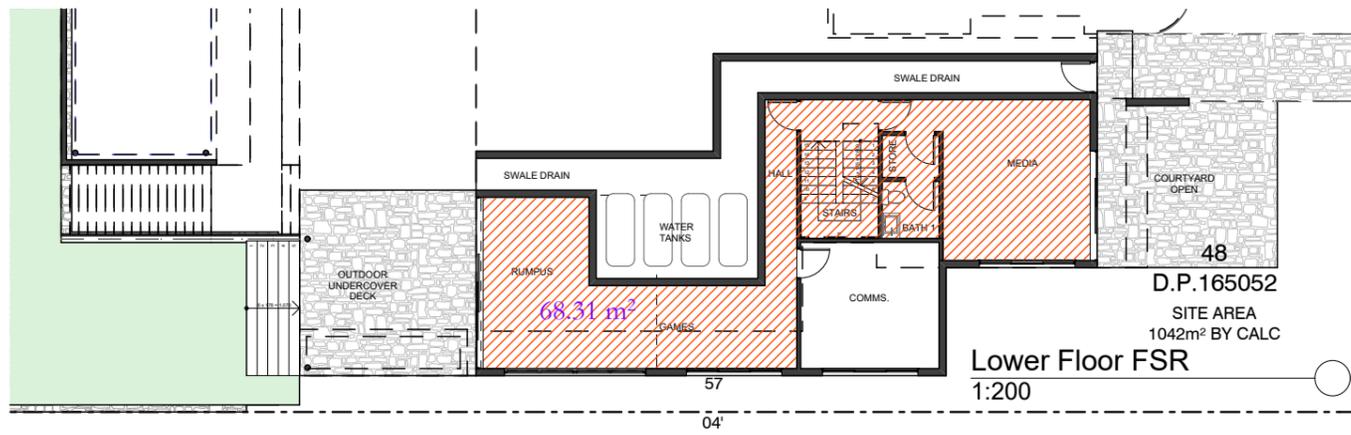
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

- Demolition
 - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA14		



SITE AREA = 1042m²
FLOOR SPACE RATIO 0.4 max FSR = 416.8m²

EXISTING GROSS FLOOR AREAS

LOWER GROSS FLOOR AREA = 48.91m²

GROUND GROSS FLOOR AREA = 143.72m²

FIRST GROSS FLOOR AREA = 54.81m²

TOTAL EXISTING GROSS FLOOR AREA = 247.44m²

SITE AREA = 1042m²
FLOOR SPACE RATIO 0.4 max FSR = 416.8m²

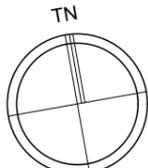
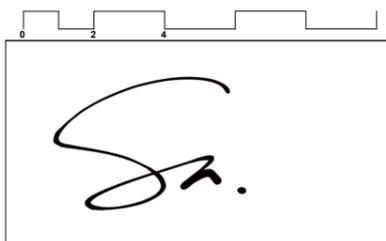
PROPOSED GROSS FLOOR AREAS

 LOWER GROSS FLOOR AREA = 68.31m²

 GROUND GROSS FLOOR AREA = 191.27m²

 FIRST GROSS FLOOR AREA = 157.22m²

TOTAL PROPOSED GROSS FLOOR AREA = 416.8m²



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

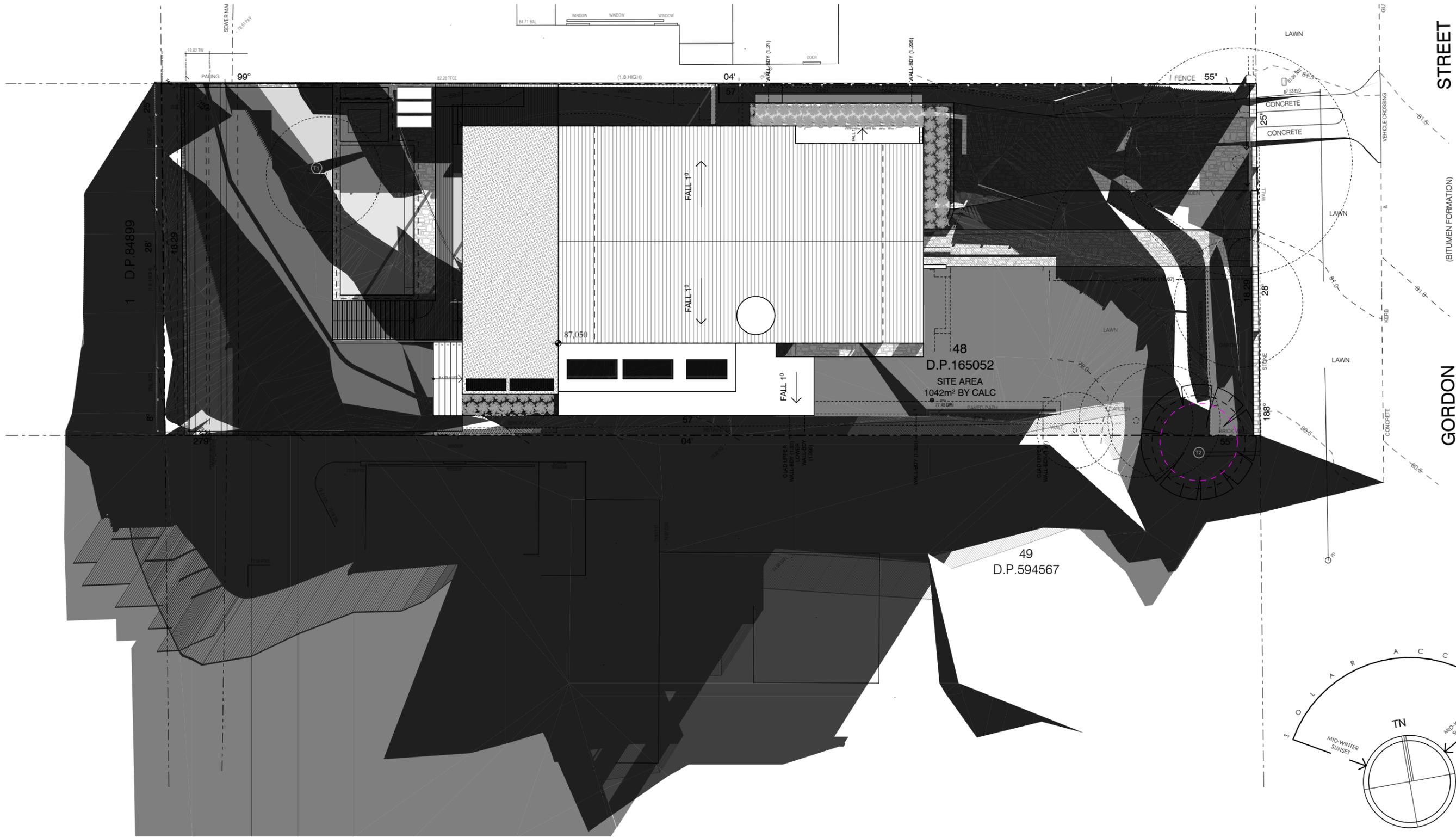
sketchArc
 Po Box 377 Manly 1655
 m : 0422 521 871
 e : power@sketcharc.com.au
 w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
 New Dwelling
 LOT 48 in DP 165052 - 1042m2

CLIENT: Private



STATUS: DA		
DATE: 180525	SCALE: 1:200@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA15		



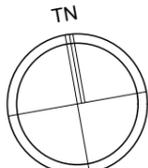
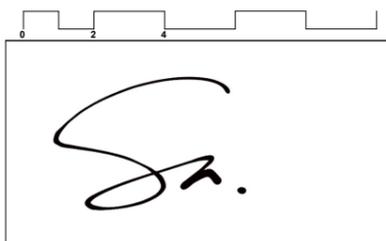
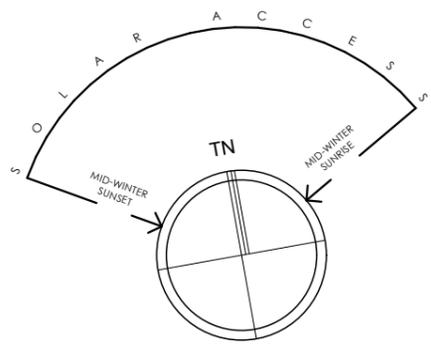
STREET

GORDON

Existing shadow

Proposed shadow

Solar June 21 9am
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

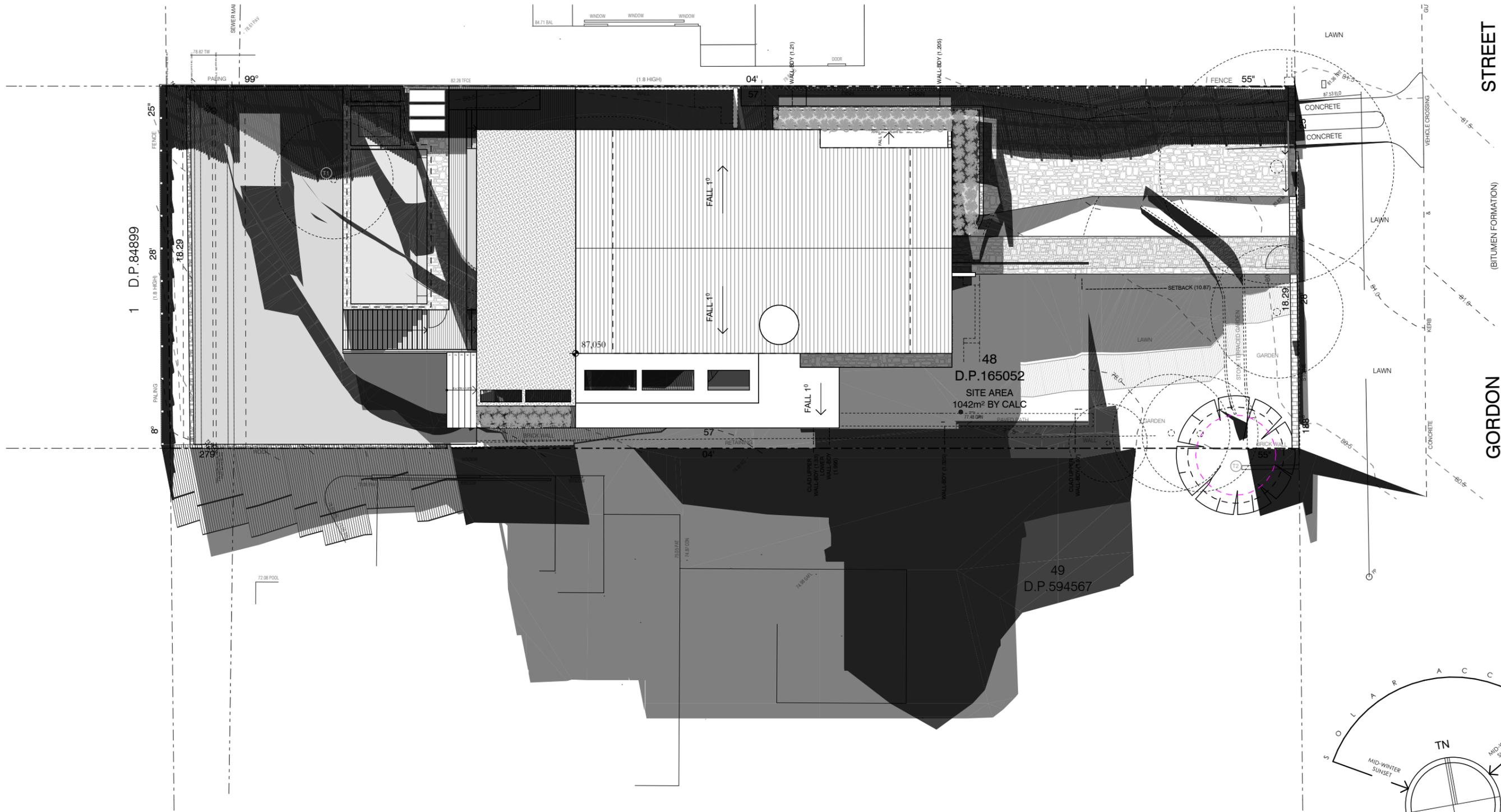
REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2
CLIENT: Private

- Demolition
 - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA16		



STREET

GORDON

(BITUMEN FORMATION)

1 D.P.84899

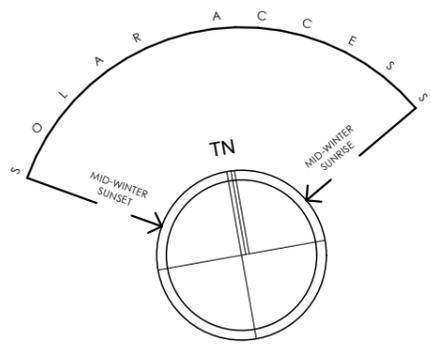
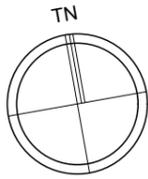
48
D.P.165052
SITE AREA
1042m² BY CALC

49
D.P.594567

Existing shadow

Proposed shadow

Solar June 21 12pm
1:200

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2
CLIENT: Private

- Demolition
 - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA17		



1 D.P.84899

48
D.P.165052
SITE AREA
1042m² BY CALC

49
D.P.594567

STREET

GORDON

Existing shadow Proposed shadow

Solar June 21 3pm
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2
CLIENT: Private

Legend:
■ - Demolition
■ - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA18		

Boundary

Sewer

Existing contours 80.5

Existing site elements to be demolished

Proposed turf

Proposed concrete

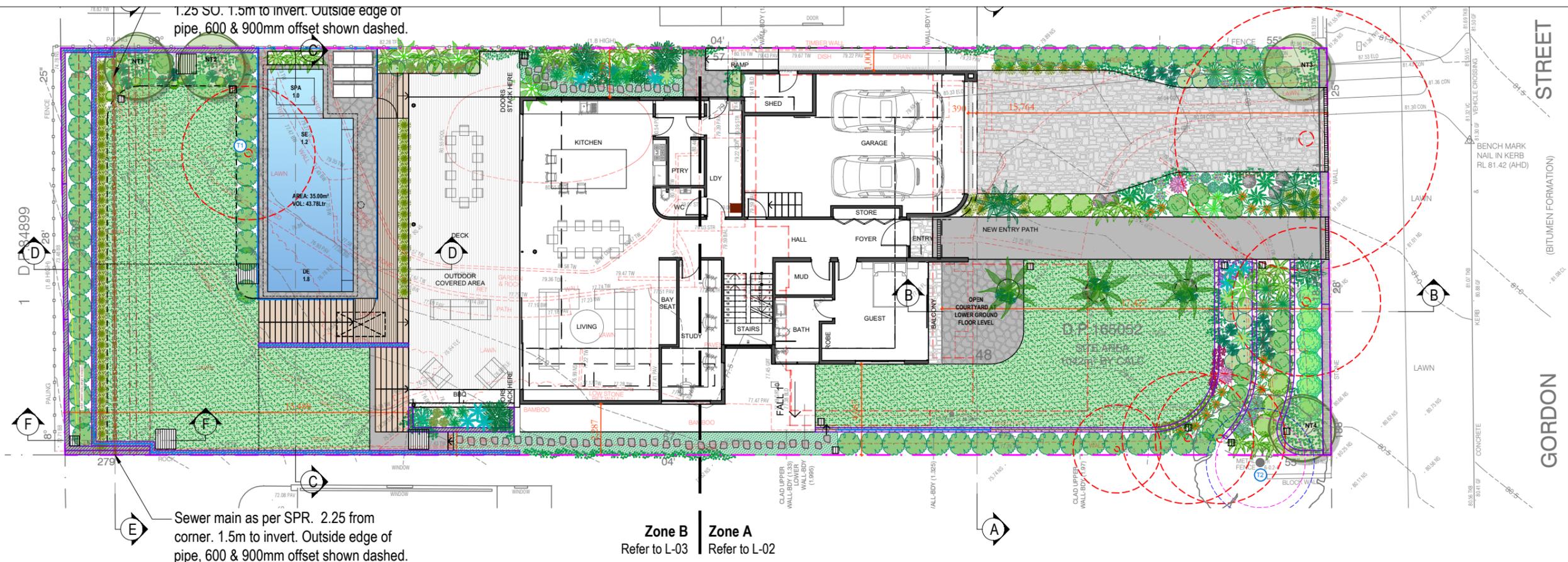
Proposed tiles

Proposed deck

Galv. garden edge

Stepping stones in ground covers / pebbles

Masonry retaining wall

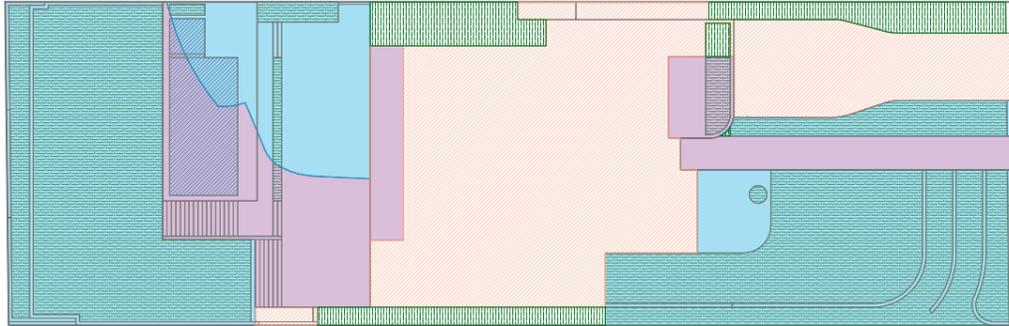


Landscape Site Plan
Scale 1:200

Landscape Site Plan

OPEN SPACE CALCULATIONS		Required	Proposed	
Site Area		1,042.00m ²	100.00%	
Total Open Space - (TOS)		625.20m ²	60.00%	646.56m ² 62.05%
Pool - max 30% of TOS		193.97m ²	30.00%	34.42m ² 5.32%
Above ground - (dwelling) - 25% of TOS		161.64m ²	25.00%	37.26m ² 5.76%
Above ground - (other) - 40% of TOS		258.62m ²	40.00%	133.51m ² 20.65%
Landscape - 40% of TOS		258.62m ²	40.00%	361.23m ² 55.87%

EXISTING TREE SCHEDULE										
Tree Number	Species	Height	Lowest Scaffold	Spread (m)				DBH	DAB	Remove / Retain
				N	S	E	W			
1	Callistemon viminalis	5m	4m	1	1	1	1	39cm	44cm	Remove
2	Olea europaea subsp. cuspidata	4m	2m	2	1	1	2	20cm	30cm	Retain



Open Space Calculations
Scale 1:400

Open Space Area

Pool component of Open Space

Landscape Area

Open Space Area (Above Ground)

Excluded From Open Space

Landscape Areas (Excluded from open space)



Existing ES June 21 - 9am



Existing ES June 21 - 12pm



Existing ES June 21 - 3pm

ELEVATIONAL SHADOWS JUNE 21
9AM, 12PM, 3PM
EXISTING & PROPOSED



Proposed ES June 21 - 9am



Proposed ES June 21 - 12pm



Proposed ES June 21 - 3pm

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

- Demolition
 - Proposed

STATUS: DA		
DATE: 180525	SCALE: 1:100@A3	PROJECT NUMBER: 2427
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA20		



Proposed (No top floor) ES June 21 - 9am FAR



Proposed (No top floor) ES June 21 - 12pm FAR



Proposed (No top floor) ES June 21 - 3pm FAR

ELEVATIONAL SHADOWS JUNE 21
9AM, 12PM, 3PM
Proposed - First Floor removed as comparison



Proposed ES June 21 - 9am FAR



Proposed ES June 21 - 12pm FAR



Proposed ES June 21 - 3pm FAR



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093,
NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private

■ - Demolition
■ - Proposed

STATUS: DA	SCALE: 1:100@A3	PROJECT NUMBER: 2427
DATE: 180525	DRAWN/DESIGNED: PB / MP	ISSUE:
STAGE: DA	DRAWING NO: DA21	

BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 1795799S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Friday, 16 May 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate H43KQ9S181.

Project summary		
Project name	69 Gordon Street Clontarf	
Street address	69 GORDON Street CLONTARF 2093	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP165052	
Lot no.	48	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	5	
Project score		
Water	✓ 40	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 78	Target 72
Materials	✓ -100	Target n/a

Certificate Prepared by	
Name / Company Name:	PAUL&DAVID CONSULTING PTY LTD.
ABN (if applicable):	

Description of project

Project address	
Project name	69 Gordon Street Clontarf
Street address	69 GORDON Street CLONTARF 2093
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP165052
Lot no.	48
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	5
Site details	
Site area (m²)	1042
Roof area (m²)	208
Conditioned floor area (m²)	372.4
Unconditioned floor area (m²)	20.0
Total area of garden and lawn (m²)	392
Roof area of the existing dwelling (m²)	0

Assessor details and thermal loads			
NatHERS assessor number	101225		
NatHERS certificate number	H43KQ9S181		
Climate zone	56		
Area adjusted cooling load (MJ/m².year)	11		
Area adjusted heating load (MJ/m².year)	19		
Project score			
Water	✓ 40	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	✓ 78	Target 72	
Materials	✓ -100	Target n/a	

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• a tap that is located within 10 metres of the outdoor spa in the development		✓	✓
Swimming Pool			
The swimming pool must not have a volume greater than 42 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	
Outdoor Spa			
The spa must not have a volume greater than 2 kilolitres.	✓	✓	
The spa must have a spa cover.		✓	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m²	Insulation
floor - concrete slab on ground, conventional slab.	222.4	polyurethane
floor - suspended floor above garage, concrete - suspended; frame: no frame.	225.3	polyurethane
garage floor - concrete slab on ground.	55.3	polyurethane
external wall: cavity brick; frame: no frame.	all external walls	polyurethane
external garage wall: cavity brick; frame: no frame.	56	polyurethane
internal wall: single skin masonry; frame: no frame.	448	none
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	208	ceiling: fibreglass batts or roll; roof: none.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓

Frames	Maximum area - m2
aluminium	178.99
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	35.39
double	143.6
triple	0

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 69 Gordon St, Clontarf, 2093, NSW
New Dwelling
LOT 48 in DP 165052 - 1042m2

CLIENT: Private



STATUS: DA
DATE: 180525
SCALE: 1:100@A3
PROJECT NUMBER: 2427
STAGE: DA
DRAWN/DESIGNED: PB / MP
ISSUE:
DRAWING NO: DA22



Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 2.5 star (average zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): no heating		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 5 stars.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Outdoor spa			
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa): no heating		✓	
The applicant must install a timer for the spa pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 3 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

	DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.		sketchArc Po Box 377 Manly 1655 m : 0422 521 871 e : power@sketcharc.com.au w : www.sketcharc.com.au	PROJECT: 69 Gordon St, Clontarf, 2093, NSW New Dwelling LOT 48 in DP 165052 - 1042m2 CLIENT: Private		STATUS: DA
	REV DATE DESCRIPTION	DATE: 180525 STAGE: DA DRAWING NO: DA23				SCALE: 1:100@A3 DRAWN/DESIGNED: PB / MP