

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

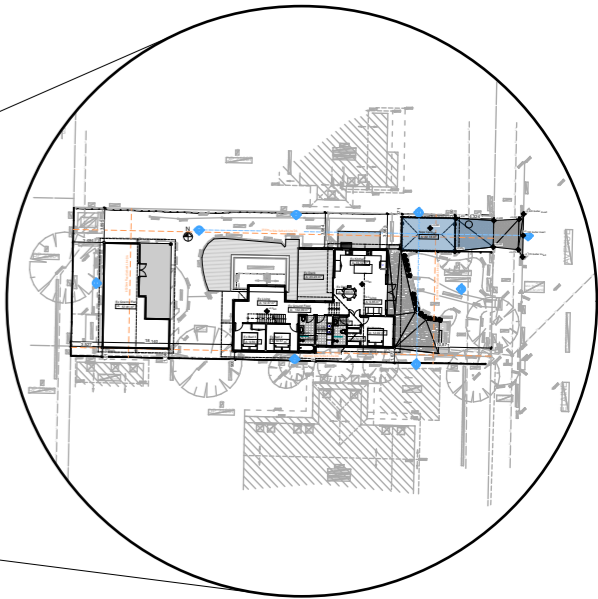
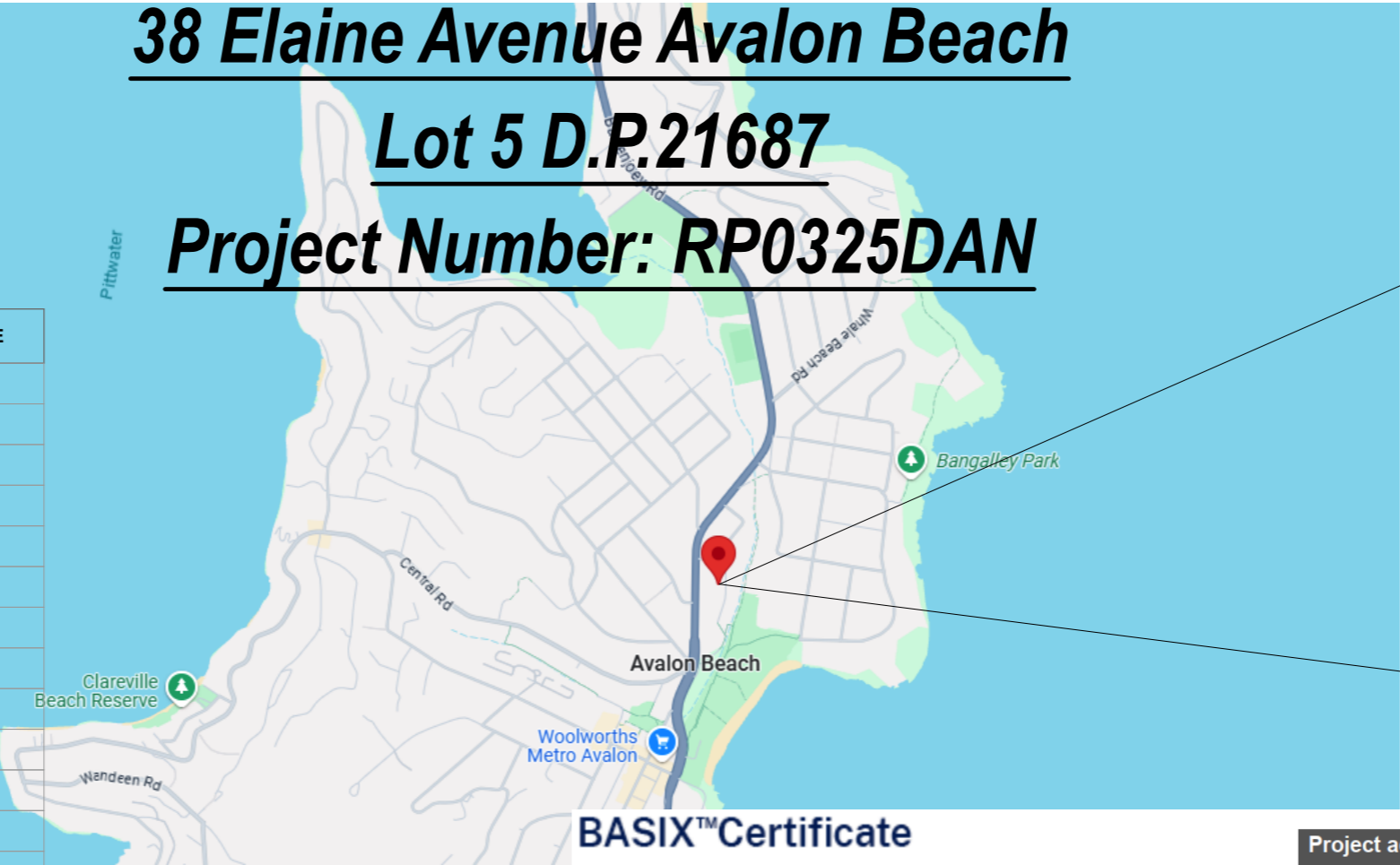


ACCREDITED
BUILDING DESIGNER

Alterations & Additions To Existing Residence
For Christina Daniel

38 Elaine Avenue Avalon Beach
Lot 5 D.P.21687
Project Number: RP0325DAN

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 29-5-2025
DA1001	A4 NOTIFICATION PLAN	1	- 29-5-2025
DA1002	SITE SURVEY	1	- 29-5-2025
DA1003	SITE PLAN	1	- 29-5-2025
DA1004	Existing Ground Floor Plan	1	- 29-5-2025
DA1005	Existing First Floor Plan	1	- 29-5-2025
DA1006	Demolition Ground Floor Plan	1	- 29-5-2025
DA1007	Demolition First Floor Plan	1	- 29-5-2025
DA1008	Excavation & Fill Plan	1	- 29-5-2025
DA1009	Landscape Open Space Plan Existing	1	- 29-5-2025
DA1010	Landscape Open Space Plan Proposed	1	- 29-5-2025
DA1011	Landscape Plan	1	- 29-5-2025
DA1012	Sediment & Erosion Plan	1	- 29-5-2025
DA1013	Waste Management Plan	1	- 29-5-2025
DA1014	Stormwater Plan	1	- 29-5-2025
DA2001	GROUND FLOOR	1	- 29-5-2025
DA2002	FIRST FLOOR	1	- 29-5-2025
DA2003	ROOF	1	- 29-5-2025
DA3000	SECTION 1	1	- 29-5-2025
DA4000	ELEVATIONS 1	1	- 29-5-2025
DA4001	ELEVATIONS 2	1	- 29-5-2025
DA5000	PERSPECTIVE	1	- 29-5-2025
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 29-5-2025
DA5002	SHADOW PLAN 21st June 9am	1	- 29-5-2025
DA5003	SHADOW PLAN 21st June 12pm	1	- 29-5-2025
DA5004	SHADOW PLAN 21st June 3pm	1	- 29-5-2025



BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

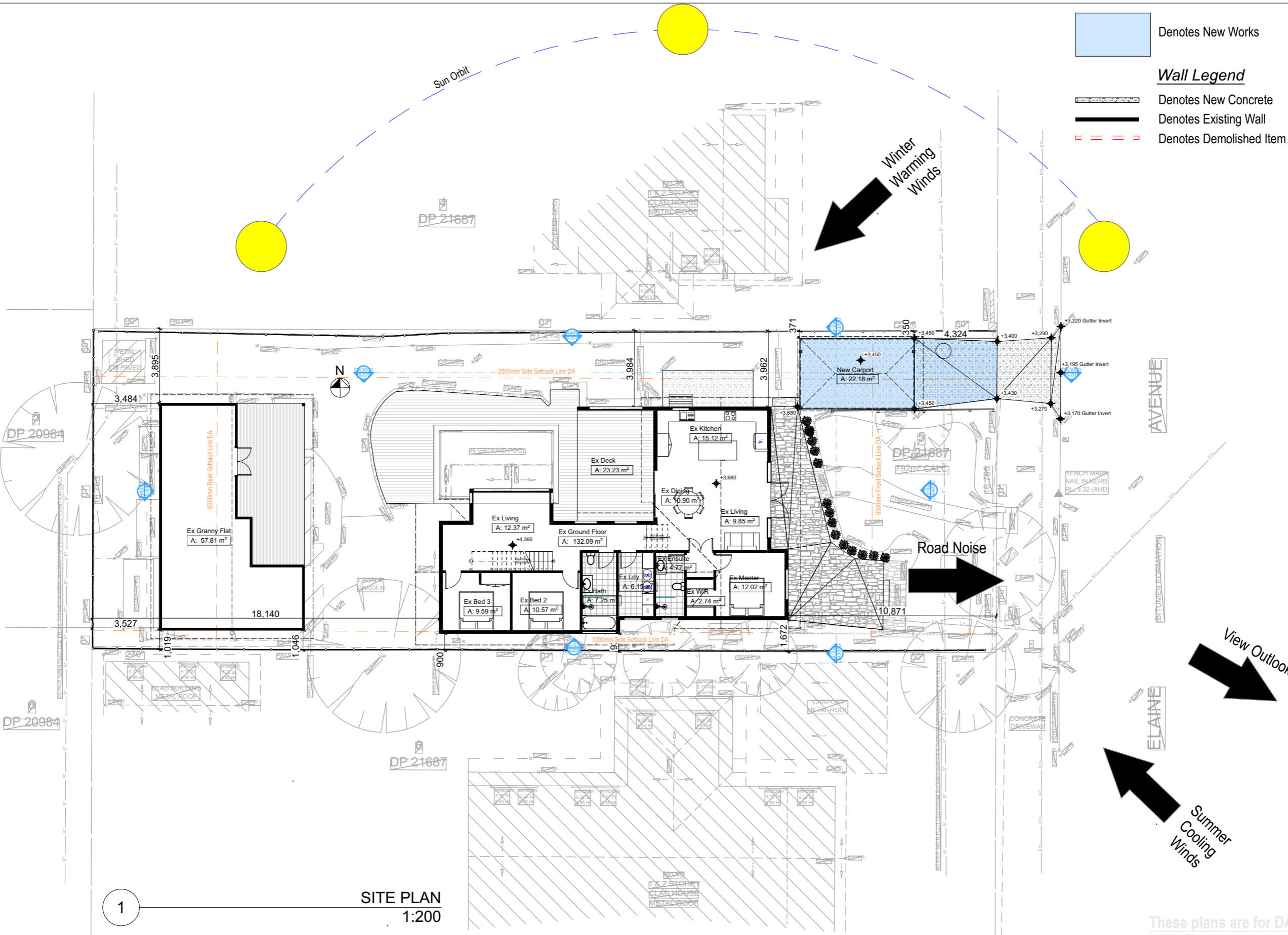
Certificate number: A1797594

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 29 May 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Daniel
Street address	38 ELAINE Avenue AVALON BEACH 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP21687
Lot number	5
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: RAPID PLANS PTY LTD	
ABN (if applicable): 43150064592	



Denotes New Works

Wall Legend

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

38 Elaine Avenue Avalon Beach is zoned R2-Low Density Residential.

38 Elaine Avenue Avalon Beach is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

Concrete Floor Drive Roof Sheet Metal to have N/A Insulation Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A1707594 All Plans to be read in conjunction with Basic Certificate. The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

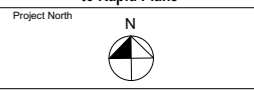
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500mm above the head of the window or glazed door and no more than 2400mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	792m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation
Building envelope	3.5m@4	Yes
% of landscape open space (50% min)	35%	Exist
Impervious area (m ²)	65%	Exist
Maximum cut into grd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/7/25
Project NO.: RP03250AN
Project Status DA

Client Christina Daniel

Site: 38 Elaine Avenue Avalon Beach

DRAWING TITLE:
**SITE AND LOCATION
SITE PLAN**

PROJECT NAME:
Alterations & Additions

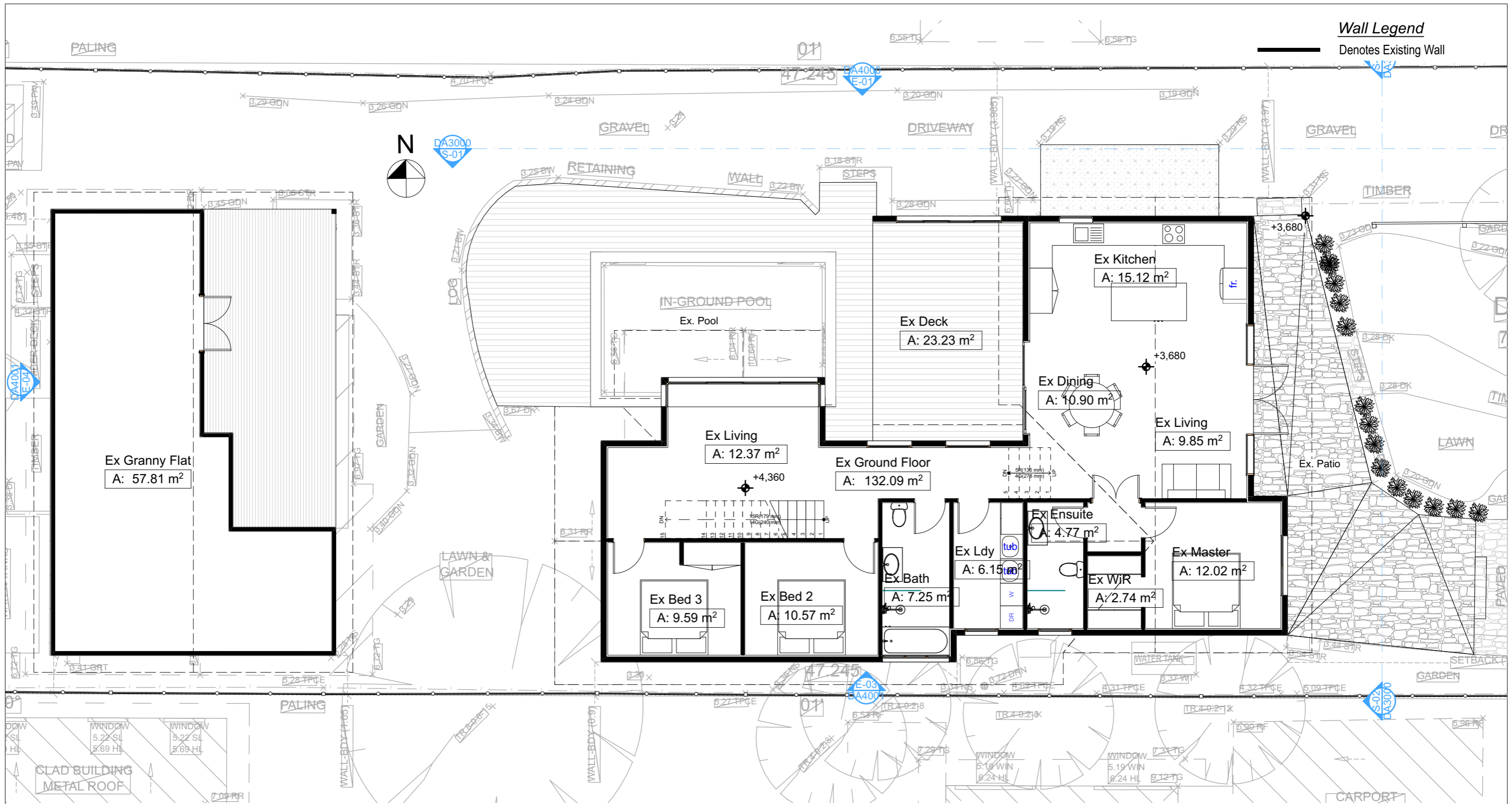
REVISION NO. DATE
1 29-5-2025

DRAWING NO.
DA1003

Plot Date: 24/7/25
Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying

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Construction

Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1797594

All Plans to be read in conjunction with Basix Certificate

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- additional insulation is not required where the area of new construction is less than 2m²,
- insulation specified is not required for parts of altered construction where insulation already exists.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

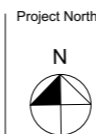
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
24/7/25
RP0325DAN
DA

Client
Site:

Christina Daniel
38 Elaine Avenue Avalon Beach

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

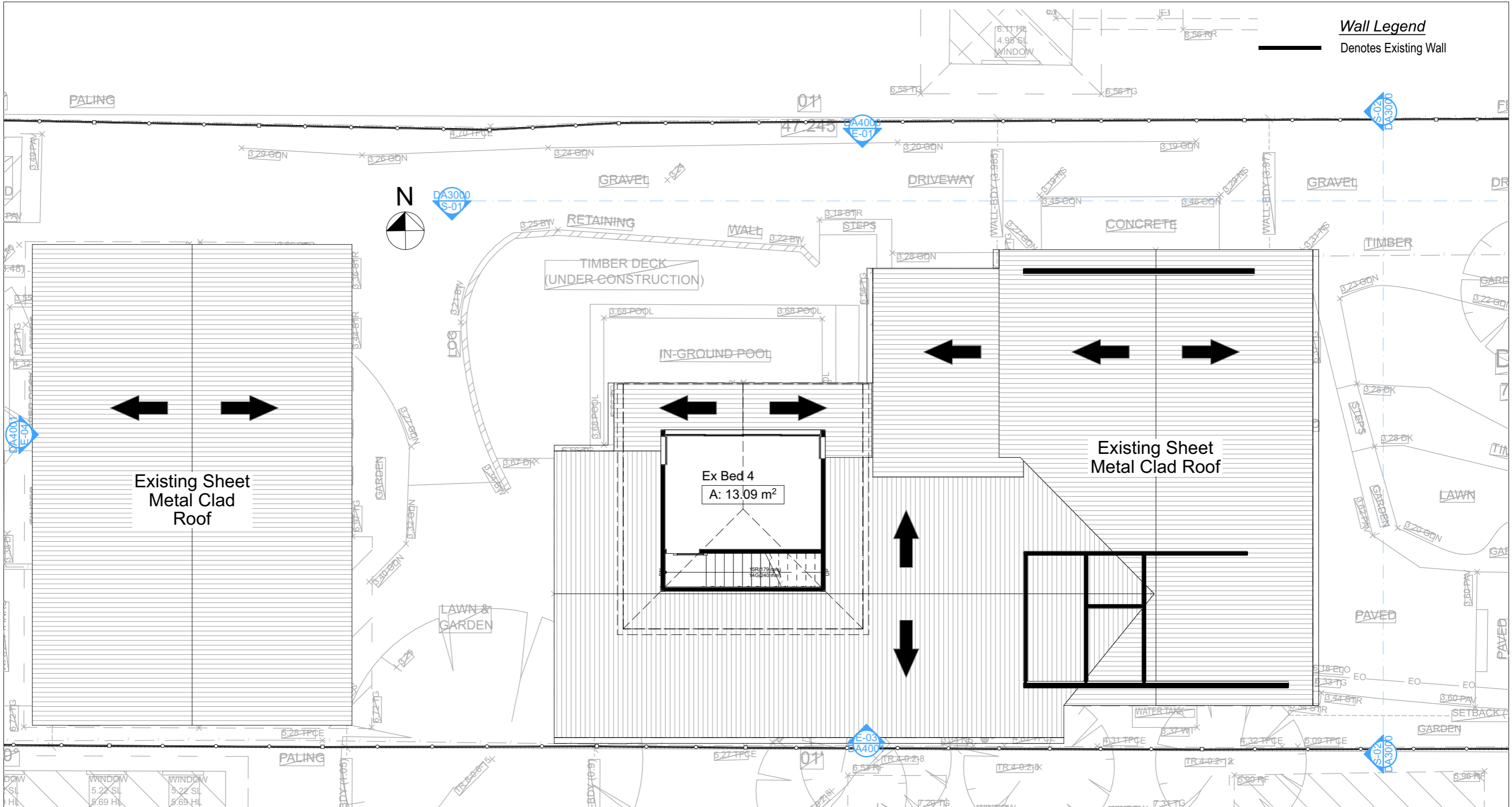
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DATE:

29-5-2025

DRAWING NO.

DA1004



Wall Legend
Denotes Existing Wall

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item
Certifying
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Construction
Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1797594
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

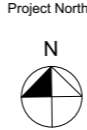
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			



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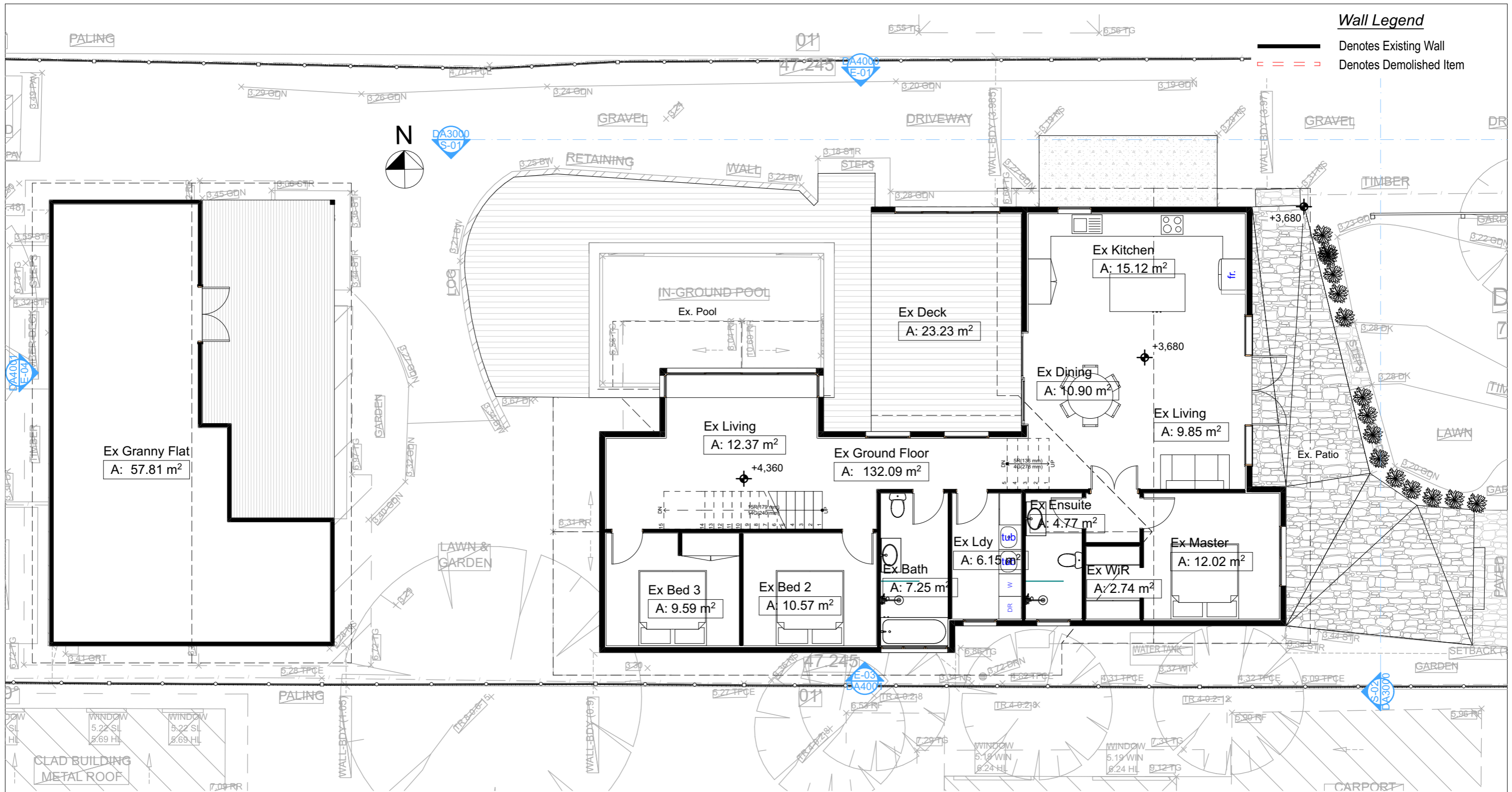
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 24/7/25
Project NO: RP0325DAN
Project Status: DA
Client: Christina Daniel
Site: 38 Elaine Avenue Avalon Beach
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
29-5-2025
DRAWING NO.
DA1005



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

1

DEMOLITION GROUND FLOOR
1:100

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NOT FOR CONSTRUCTION**

NOTES

38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying

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Construction

Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1797594

All Plans to be read in conjunction with Basix Certificate

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			

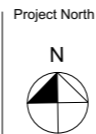


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Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
24/7/25
RP0325DAN
DA

Client
Site:

Christina Daniel
38 Elaine Avenue Avalon Beach

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
**Demolition Ground Floor
Plan**

PROJECT NAME :

Alterations & Additions

REVISION NO.

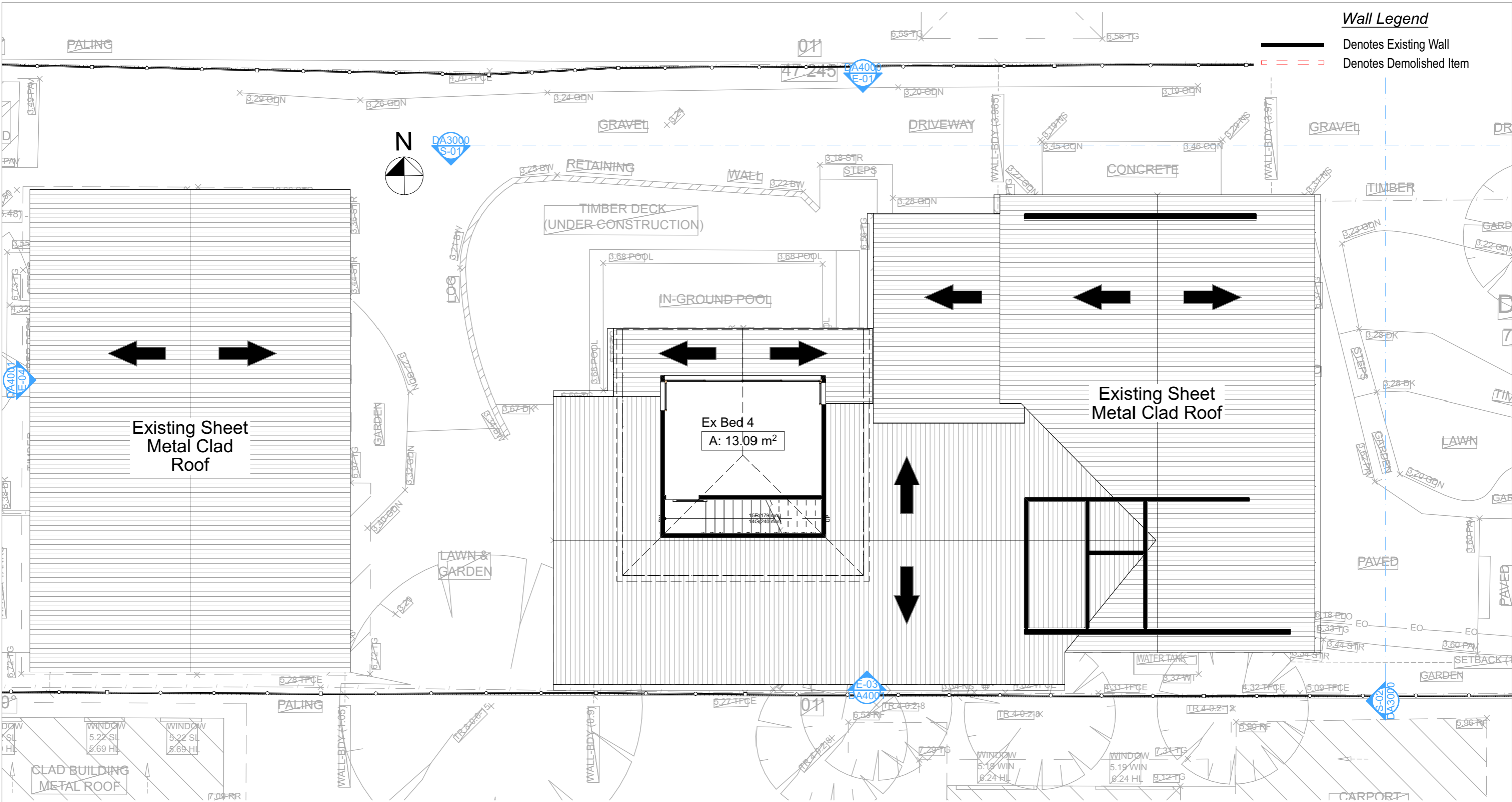
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DATE

29-5-2025

DRAWING NO.

DA1006



Wall Legend
— Denotes Existing Wall
- - - - Denotes Demolished Item

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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NOTES
38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
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Certifying
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Construction
Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1797594
All Plans to be read in conjunction with Basix Certificate
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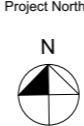
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			



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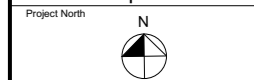
Checked
Plot Date: 24/7/25
Project NO: RP0325DAN
Project Status: DA
Client: Christina Daniel
Site: 38 Elaine Avenue Avalon Beach
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 29-5-2025
DRAWING NO.
DA1007

Site Information	Prop.	Comp.
Site Area	792m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation
Building envelope	3.5m@4	Yes
% of landscape open space (50% min)	35%	Exist
Impervious area (m ²)	65%	Exist
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/7/25
Project NO.: RP03250AN
Project Status DA

Client Christina Daniel

Site: 38 Elaine Avenue Avalon Beach

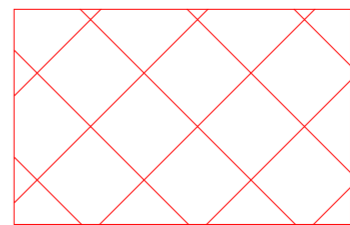
DRAWING TITLE :
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME :
Alterations & Additions

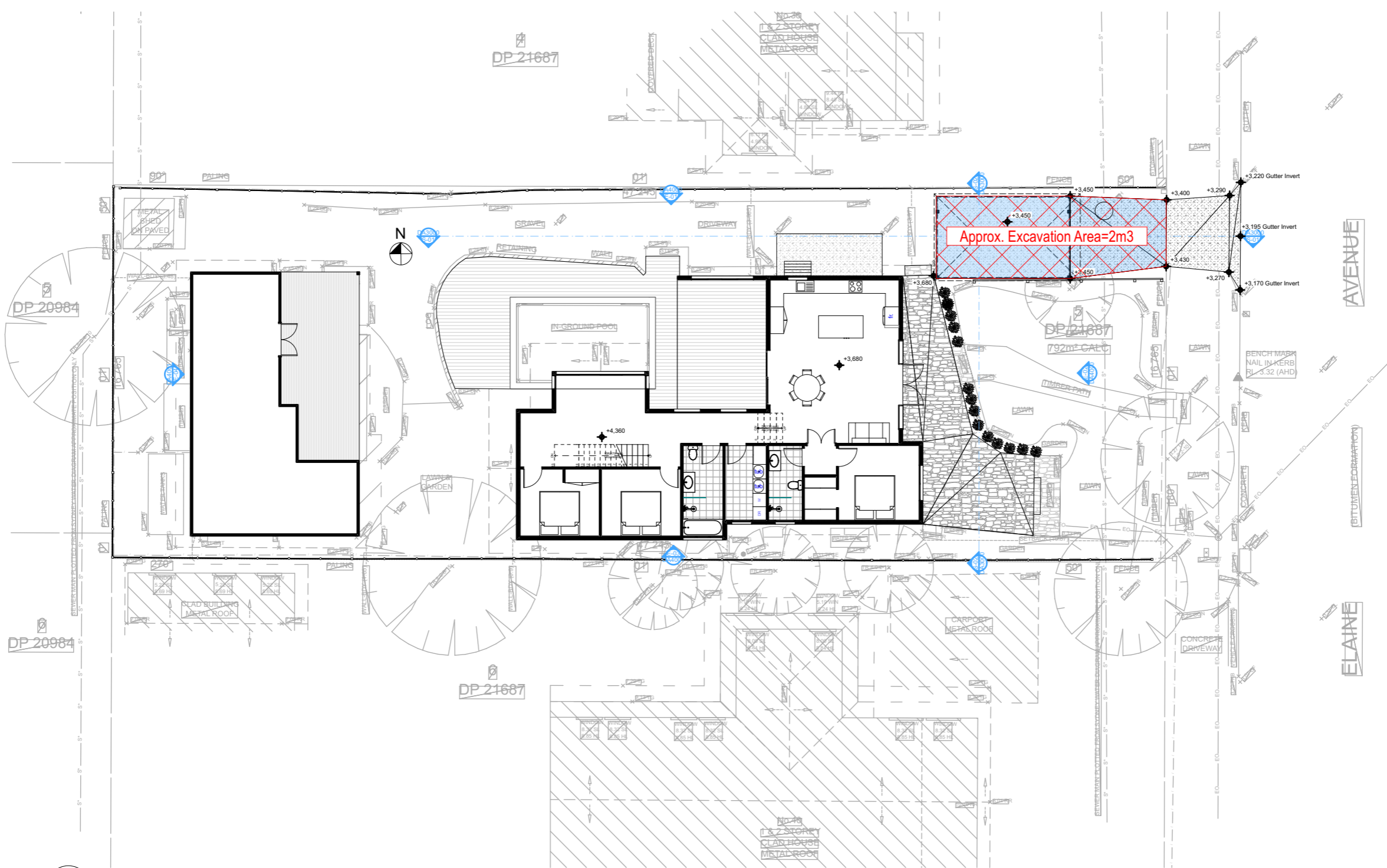
REVISION NO. DATE
1 **29-5-2025**

DRAWING NO.
DA1008

Plot Date: 24/7/25
Sheet Size: A3



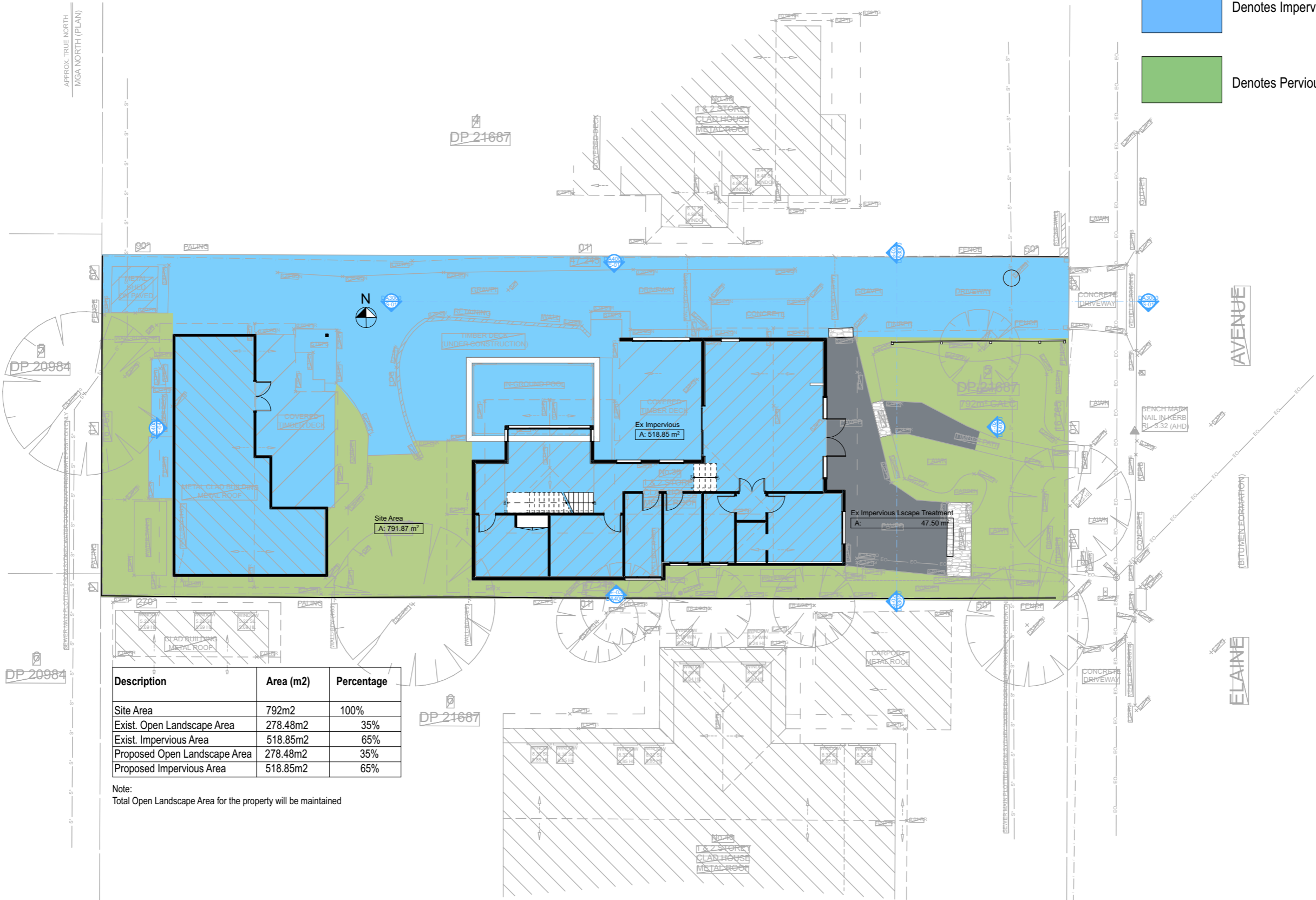
Denotes Excavation Area



1 EXCAVATION & FILL PLAN
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1 LANDSCAPE OPEN SPACE EXISTING 1:200

Wall Legend

Denotes Existing Wall

Denotes Impervious Area

Denotes Pervious Area

Rapid Plans
Building Design and Architectural Drafting

www.rapidplans.com.au
PO Box 8810, Frenchs Forest NSW 1585
Tel: (02) 9565-8865 Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

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NOTES
38 Elaine Avenue Avalon Beach is zoned R2-Low Density Residential
38 Elaine Avenue Avalon Beach is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Concrete Floor Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A1707594
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	792m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation
Building envelope	3.5m@4	Yes
% of landscape open space (50% min)	35%	Exist
Impervious area (m2)	65%	Exist
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/7/25
Project NO.: RP03250AN
Project Status DA

Client Christina Daniel

Site: 38 Elaine Avenue Avalon Beach

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
1	29-5-2025

DRAWING NO.
DA1009

Plot Date: 24/7/25
Sheet Size: A3

APPROX. TRUE NORTH
MGA NORTH (PLAN)

Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area



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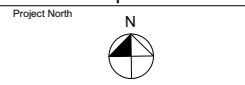
NOTES
38 Elaine Avenue Avalon Beach is zoned R2-Low Density Residential.
38 Elaine Avenue Avalon Beach is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.
Concrete Floor Drive.
Roof Sheet Metal to have N/A Insulation.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A1707594
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	792m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation
Building envelope	3.5m@4	Yes
% of landscape open space (50% min)	35%	Exist
Impervious area (m2)	65%	Exist
Maximum cut into grd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/7/25
Project NO.: RP03250AN
Project Status DA

Client Christina Daniel

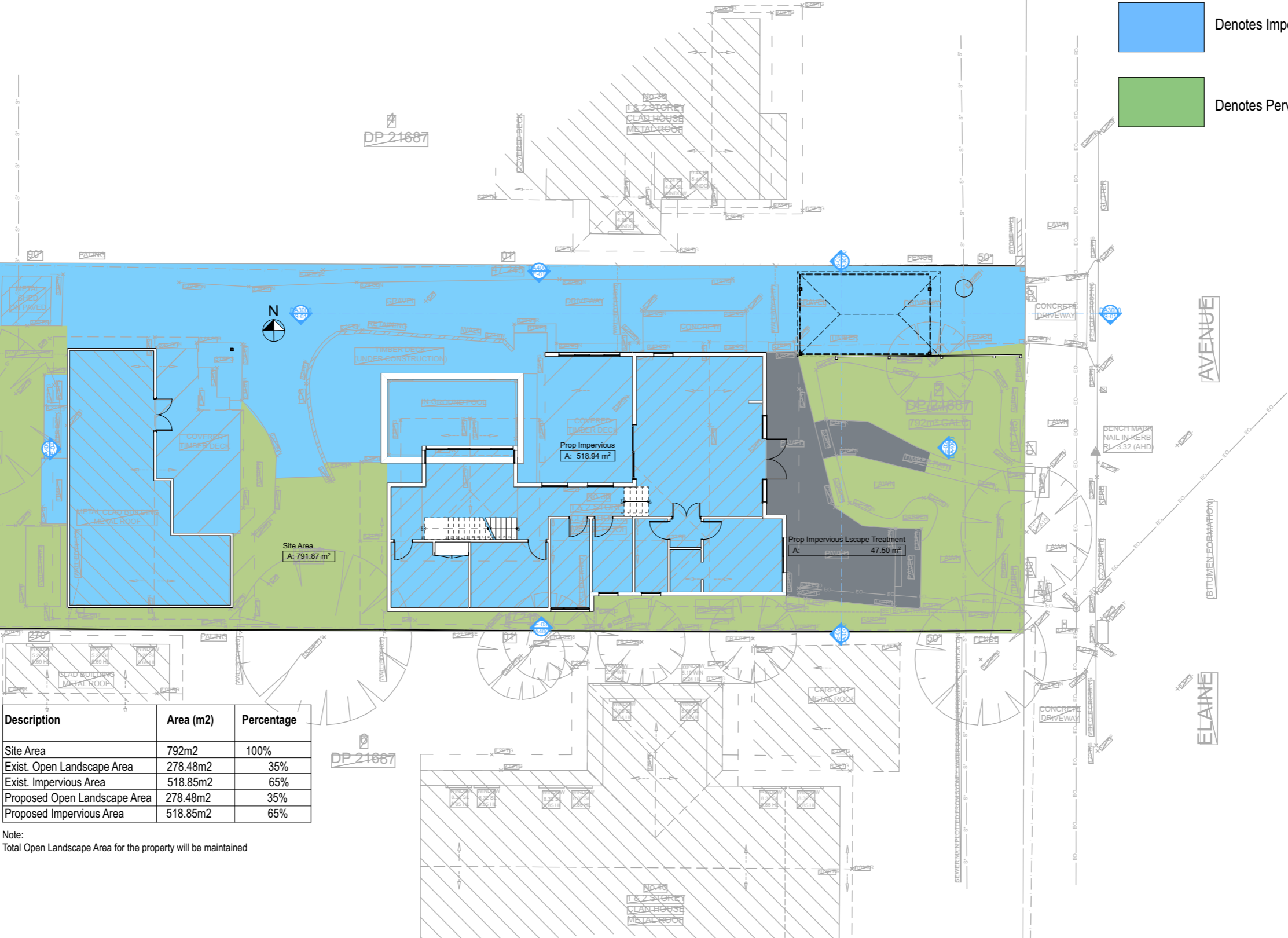
Site: 38 Elaine Avenue Avalon Beach

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
1	29-5-2025
DRAWING NO.	DA1010

Plot Date: 24/7/25
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	792m2	100%
Exist. Open Landscape Area	278.48m2	35%
Exist. Impervious Area	518.85m2	65%
Proposed Open Landscape Area	278.48m2	35%
Proposed Impervious Area	518.85m2	65%

Note:
Total Open Landscape Area for the property will be maintained

1

LANDSCAPE OPEN SPACE PROPOSED
1:200

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

1

Denotes New Works

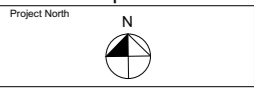
Wall Legend

Denotes New Concrete

Denotes Existing Wall

Site Information	Prop.	Comp.
Site Area	792m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation
Building envelope	3.5m@4	Yes
% of landscape open space (50% min)	35%	Exist
Impervious area (m ²)	65%	Exist
Maximum cut into grd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/7/25
Project NO.: RP03250AN
Project Status DA

Client Christina Daniel

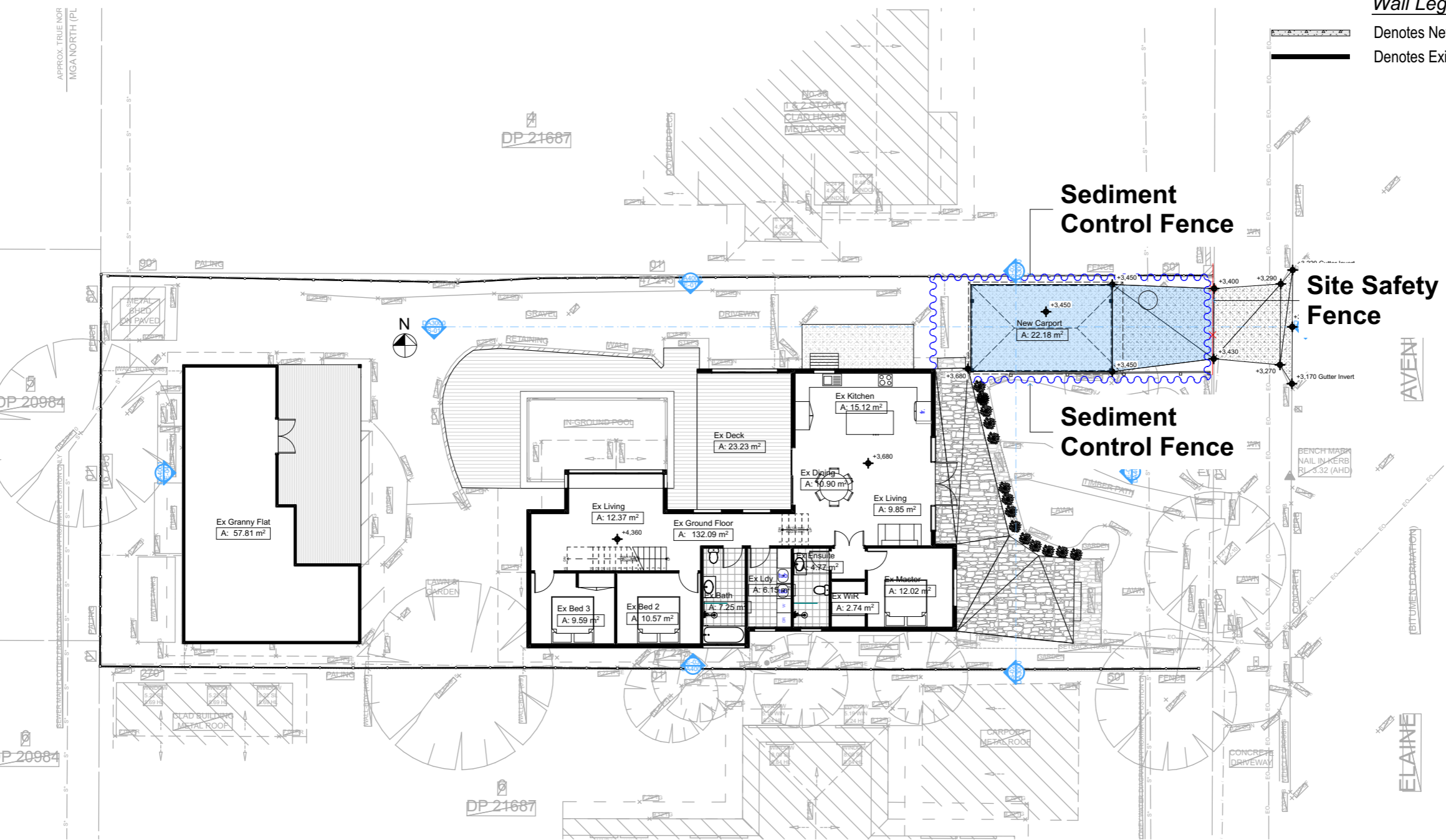
Site: 38 Elaine Avenue Avalon Beach

DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan

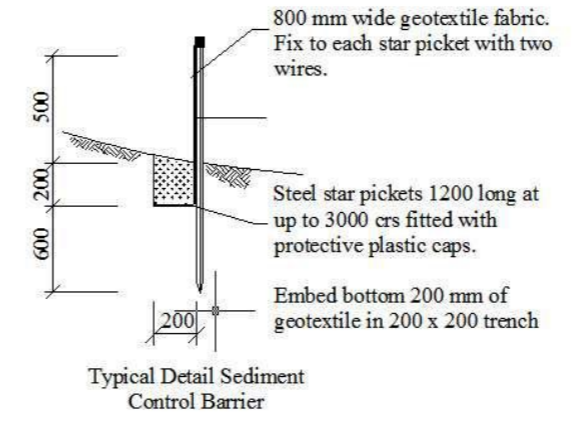
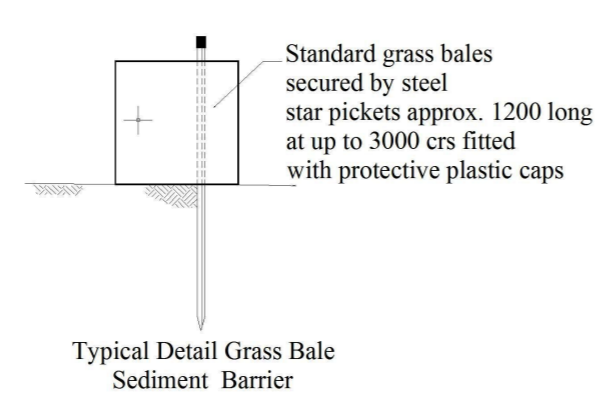
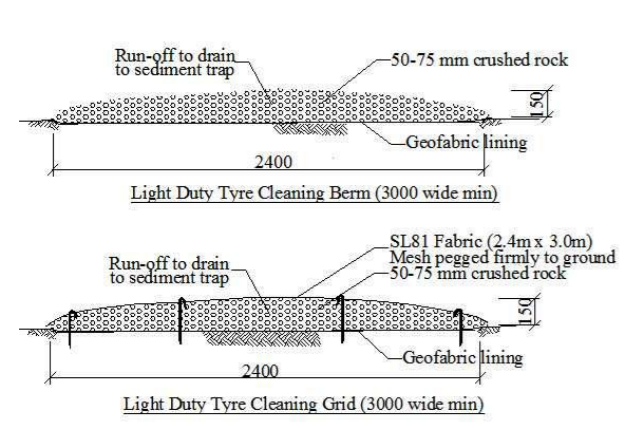
PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
1 **29-5-2025**
DRAWING NO.
DA1012

Plot Date: 24/7/25
Sheet Size: A3



1 SEDIMENT & EROSION CONTROL PLAN
1:200

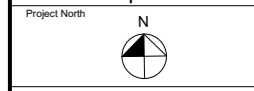


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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	792m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation
Building envelope	3.5m@4	Yes
% of landscape open space (50% min)	35%	Exist
Impervious area (m ²)	65%	Exist
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/7/25
Project NO.: RP03250AN
Project Status DA

Client Christina Daniel

Site: 38 Elaine Avenue Avalon Beach

DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
1	29-5-2025
DRAWING NO.	DA1013

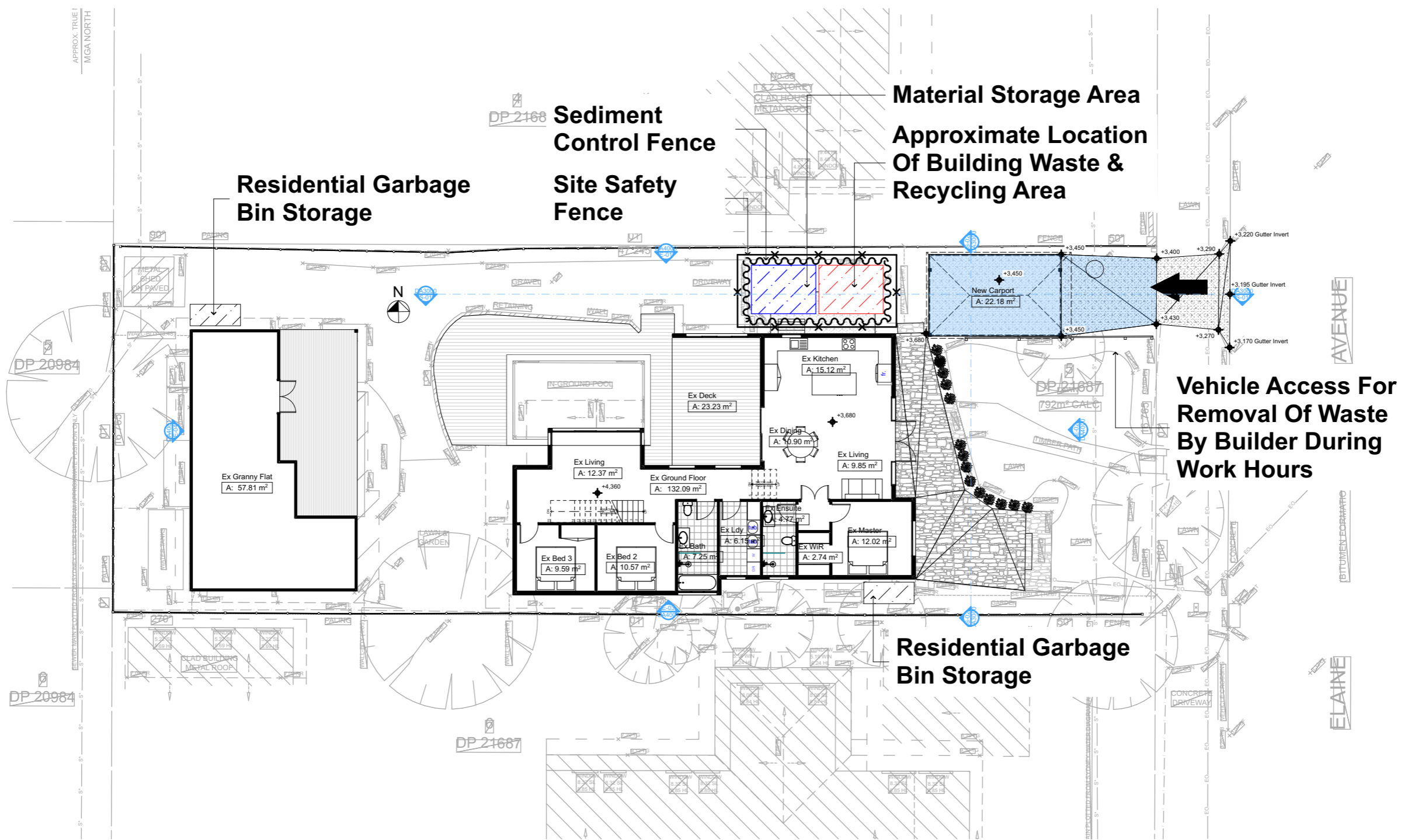
Plot Date: 24/7/25
Sheet Size: A3

Denotes New Works

Wall Legend

Denotes New Concrete

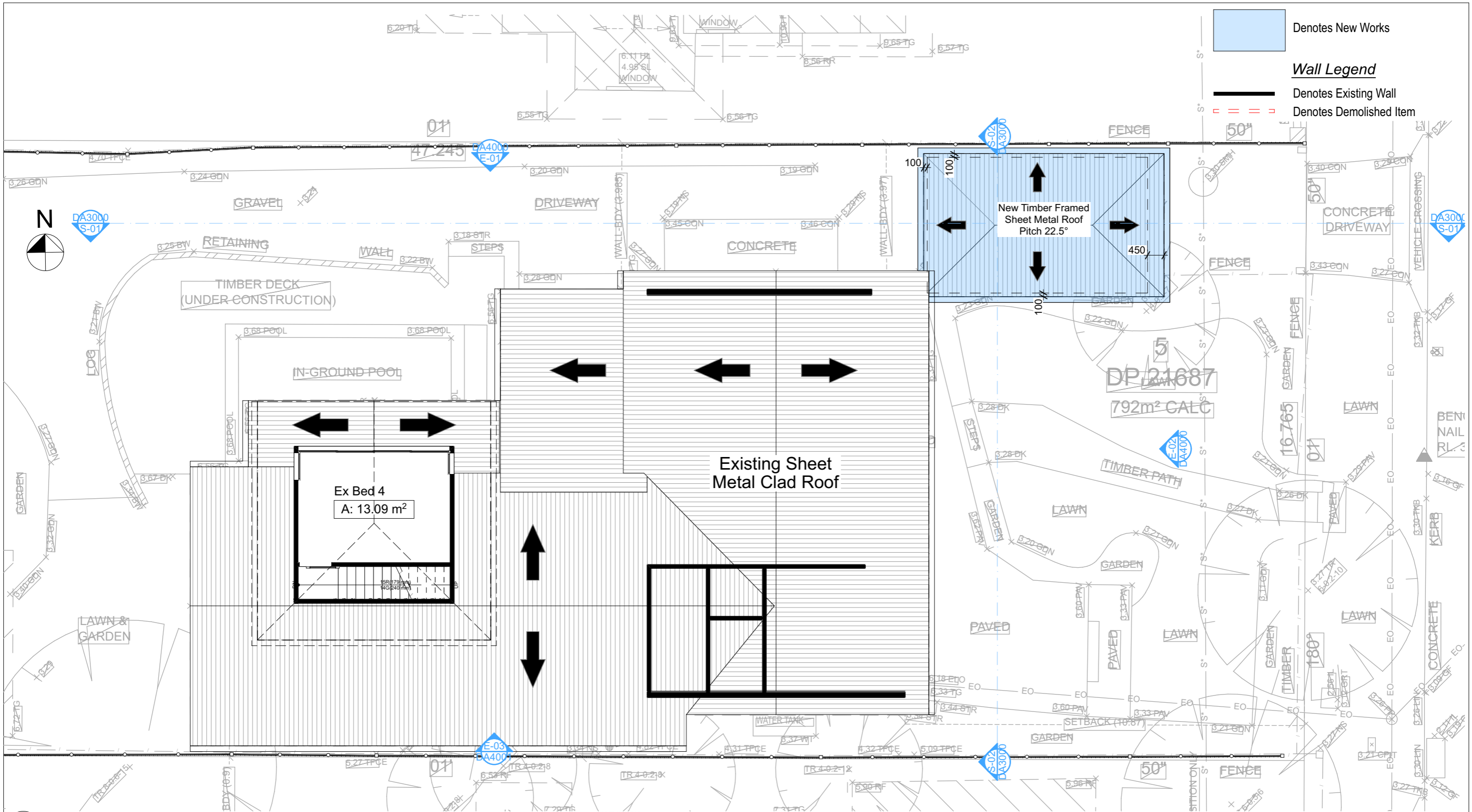
Denotes Existing Wall



1 WASTE MANAGEMENT PLAN
1:200

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1

FIRST FLOOR
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1797594
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			



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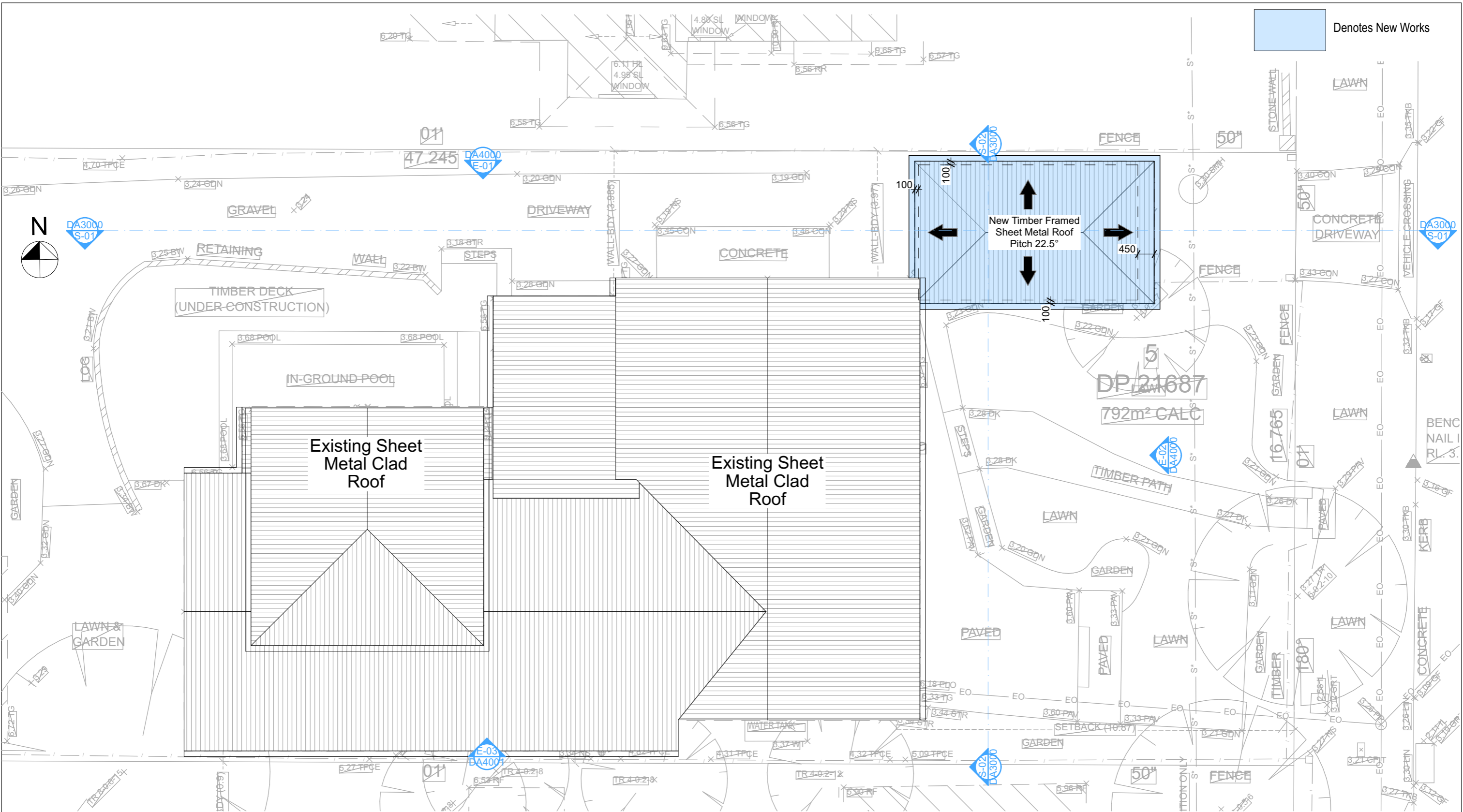
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 24/7/25
Project NO. RP0325DAN
Project Status DA
Client
Site: Christina Daniel
38 Elaine Avenue Avalon Beach
Sheet Size: A3

DRAWING TITLE :
PLANS
FIRST FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 29-5-2025
DRAWING NO.
DA2002



Denotes New Works

1
Roof Plan
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1797594
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			

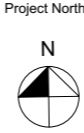


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Mobile: 0414-945-624
Email: gregg@rapidplans.com.au

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Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
24/7/25
RP0325DAN
DA

Client
Site:

Christina Daniel
38 Elaine Avenue Avalon Beach

Sheet Size: A3

DRAWING TITLE :

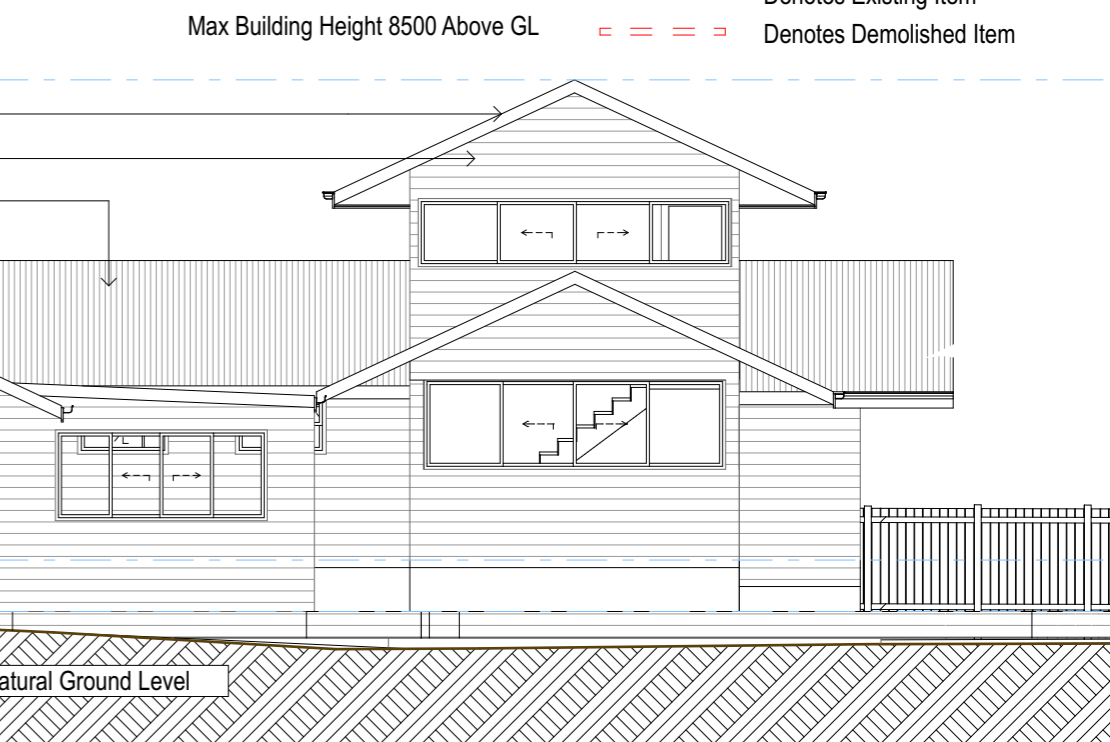
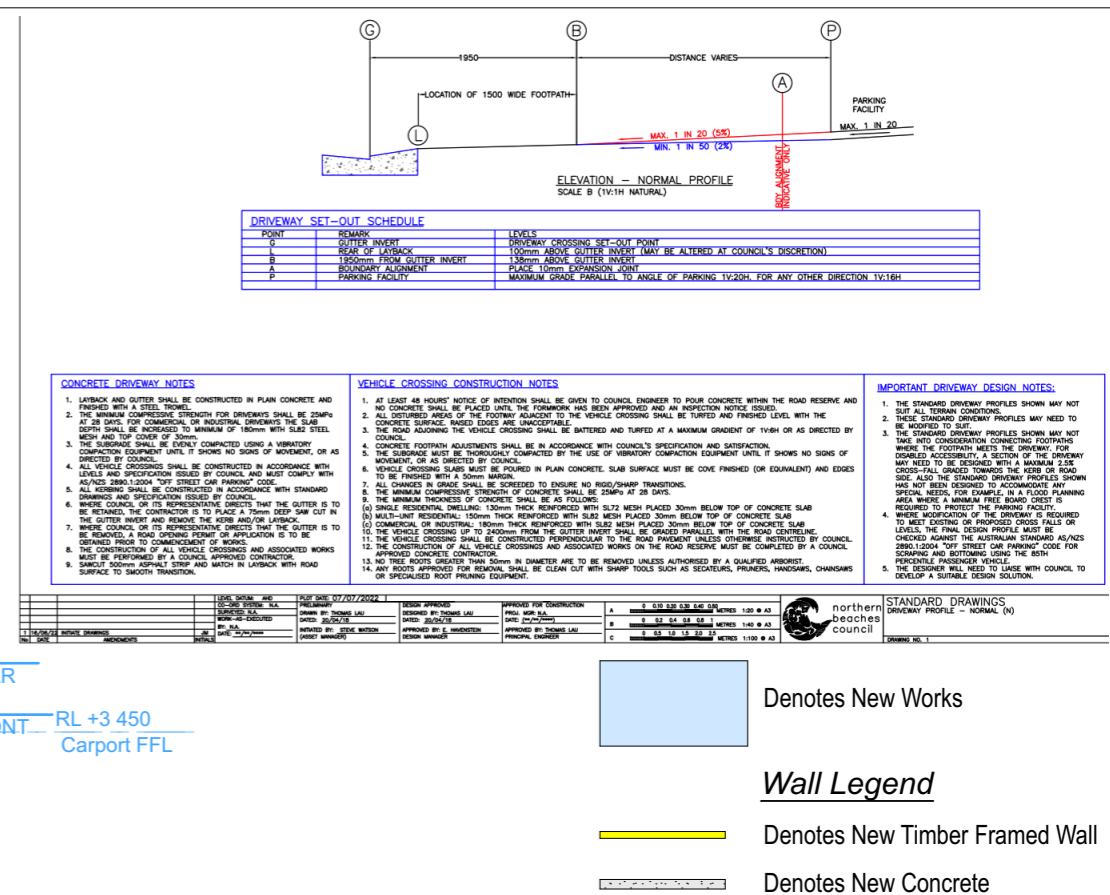
PLANS
ROOF

PROJECT NAME :

Alterations & Additions

REVISION NO.

1
DATE:
29-5-2025
DRAWING NO.
DA2003



S-01

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

SECTION 1

1:100

NOTES

38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying

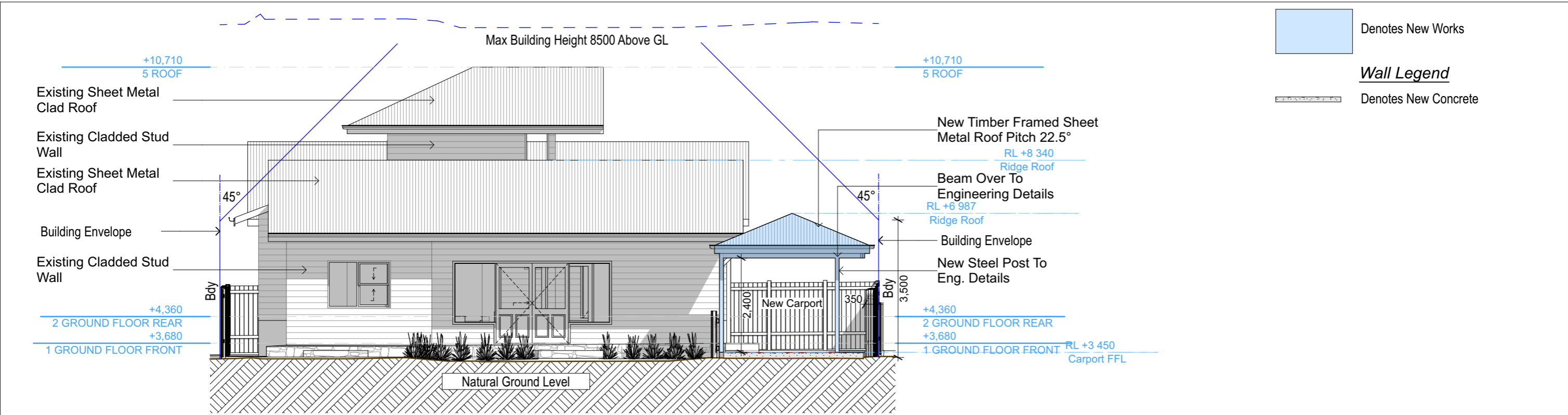
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Construction

Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

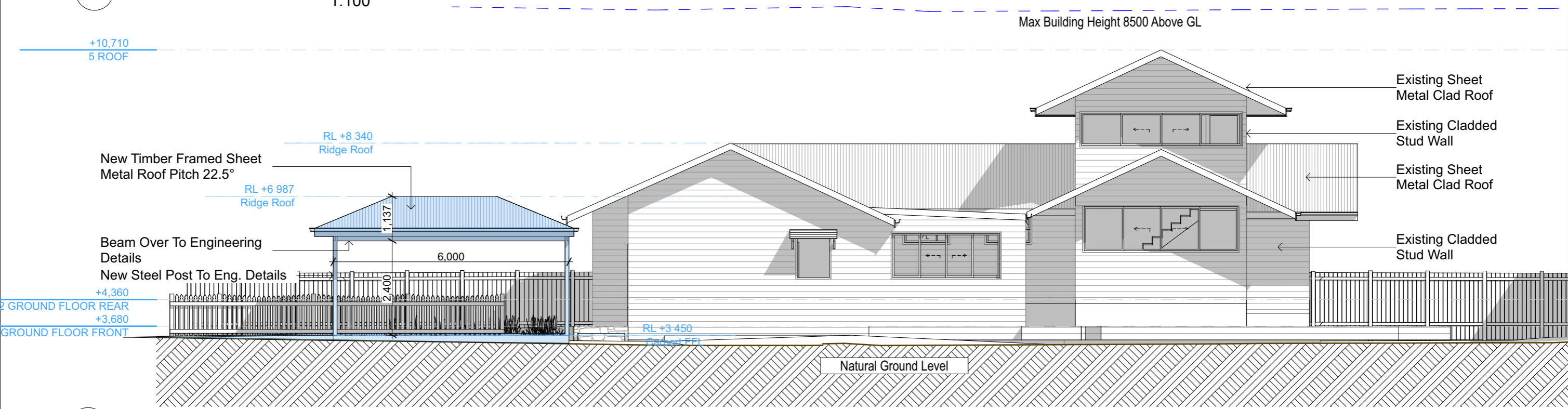
Basix Certificate Number A1797594
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Denotes New Works

Wall Legend

Denotes New Concrete



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying
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Construction
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Roof Sheet Metal to have N/A Insulation
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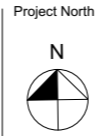
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 24/7/25
Project NO: RP0325DAN
Project Status: DA

Client: Christina Daniel
Site: 38 Elaine Avenue Avalon Beach

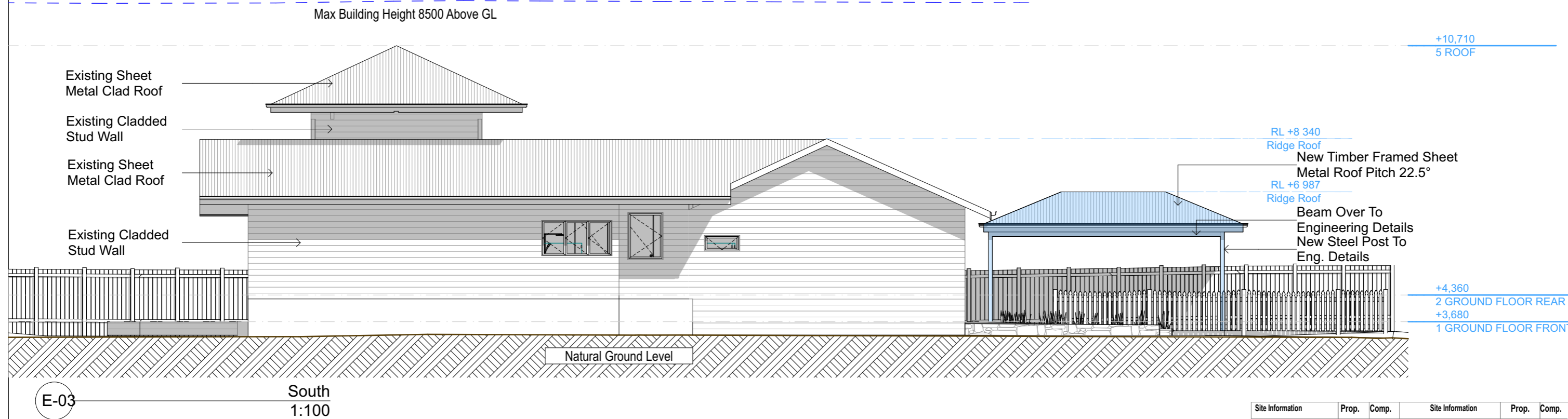
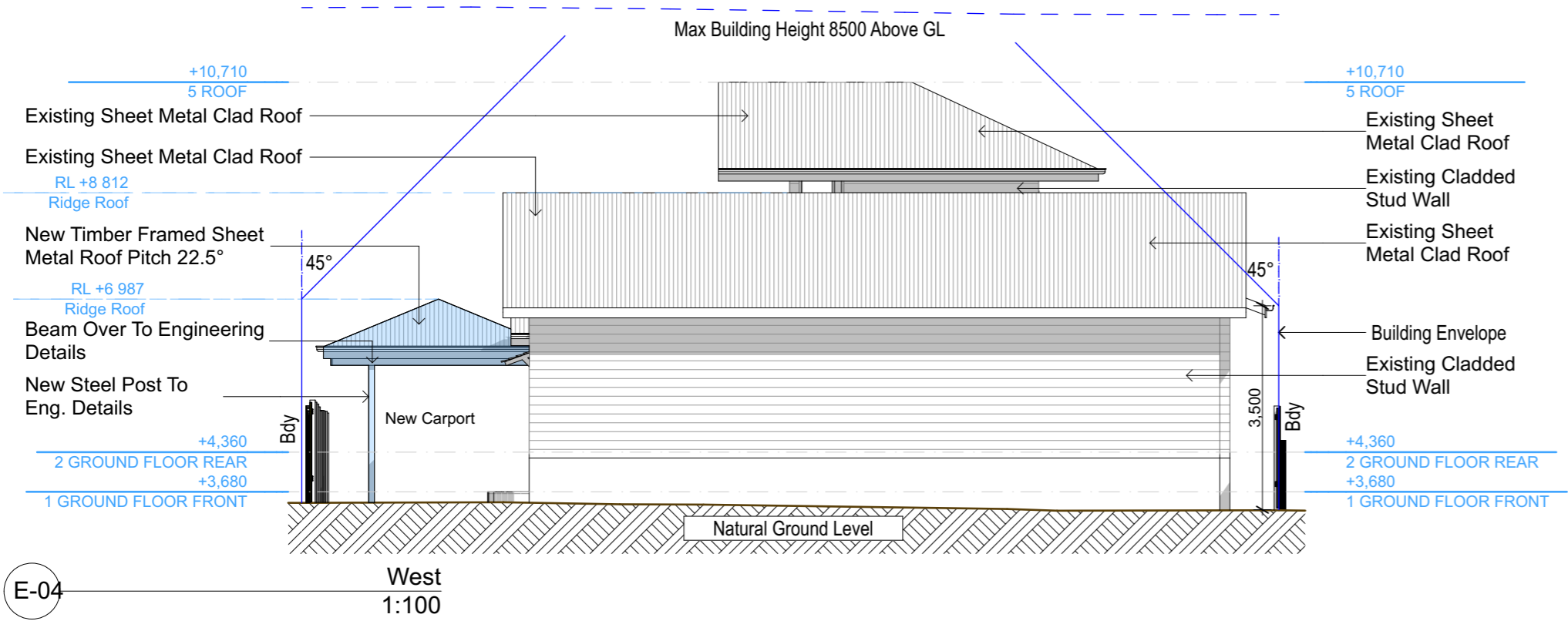
Sheet Size: A3

DRAWING TITLE :
ELEVATIONS 1

PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
29-5-2025
DRAWING NO.
DA4000

Denotes New Works



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying
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Construction
Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
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All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
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Waterproofing to BCA and AS 3740
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Basix
Basix Certificate Number A1797594
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
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Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			



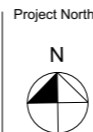
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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
24/7/25
RP0325DAN
DA

Client
Site:

Sheet Size: A3

DRAWING TITLE :

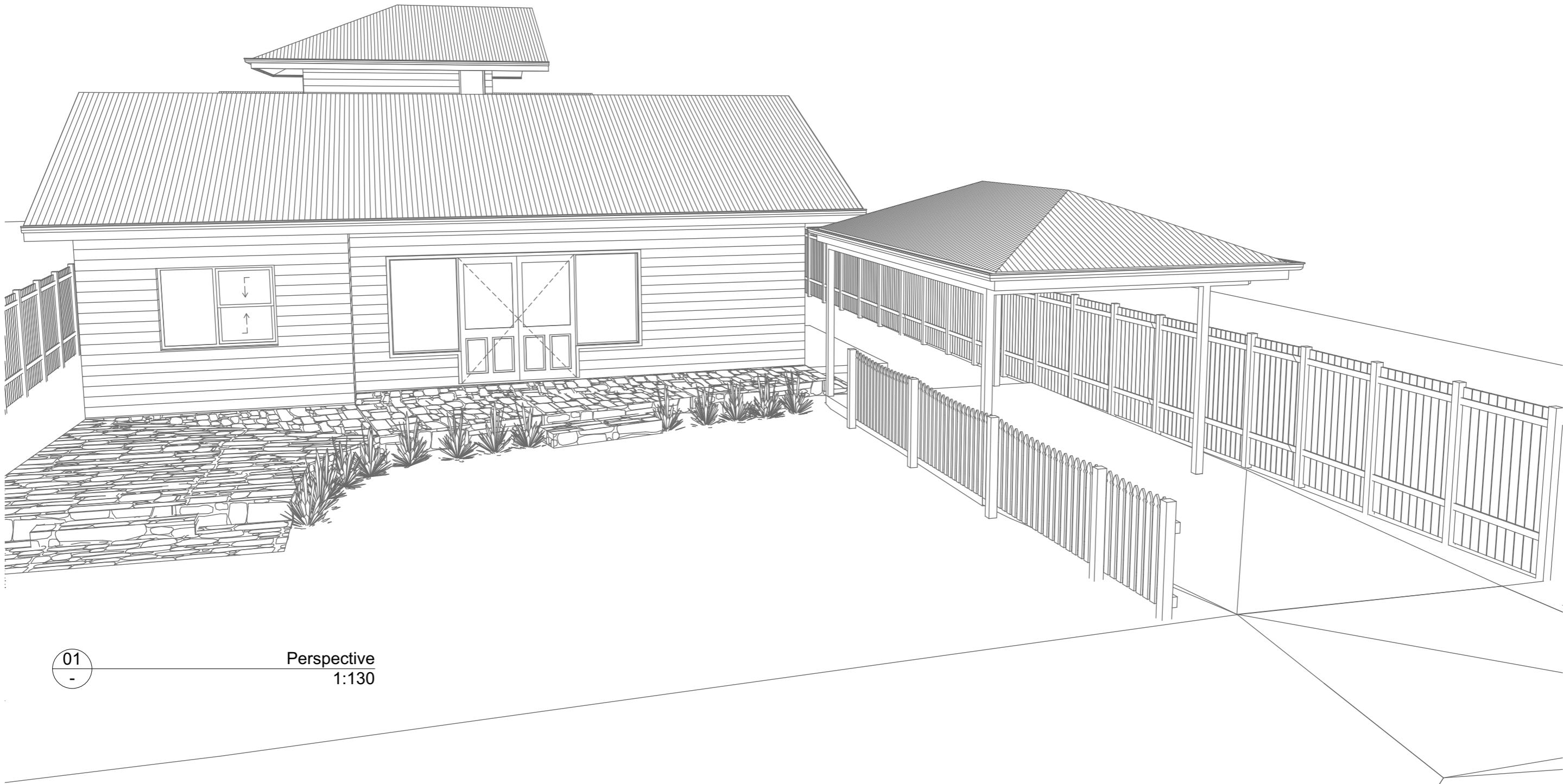
ELEVATIONS
ELEVATIONS 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

1
DATE:
29-5-2025
DRAWING NO.
DA4001



01
-

Perspective
1:130

**DA APPLICATION
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NOTES

38 Elaine Avenue Avalon Beach is zoned R2- Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Elaine Avenue Avalon Beach is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Concrete Floor/Drive
Roof Sheet Metal to have N/A Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1797594
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	792m ²	Yes	Building envelope	3.5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	35%	Exist
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	65%	Exist
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	0.5m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation			



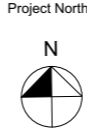
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Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
24/7/25
RP0325DAN
DA

Client
Site:

Christina Daniel
38 Elaine Avenue Avalon Beach

Sheet Size: A3

DRAWING TITLE :

SHADOW PLANS
PERSPECTIVE

PROJECT NAME :

Alterations & Additions

REVISION NO.

1
DATE:
29-5-2025
DRAWING NO.
DA5000



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Steel Framed Posts & Beam (Typical).
Owner To Confirm Type & Colour



Denotes Concrete Driveway (Typical).
Owner To Confirm Type & Colour

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Rapid Plans

Building Design and Architectural Drafting

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NOTES

38 Elaine Avenue Avalon Beach is zoned R2-Low Density Residential

38 Elaine Avenue Avalon Beach is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Concrete Floor/Drive

Roof Sheet Metal to have N/A Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A1707594

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	792m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	2.5m & 1m	Variation
Building envelope	3.5m@4	Yes
% of landscape open space (50% min)	35%	Exist
Impervious area (m2)	65%	Exist
Maximum cut into gnd (m)	0.5m	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 24/7/25
Project NO.: RP03250AN
Project Status DA

Client Christina Daniel

Site: 38 Elaine Avenue Avalon Beach

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

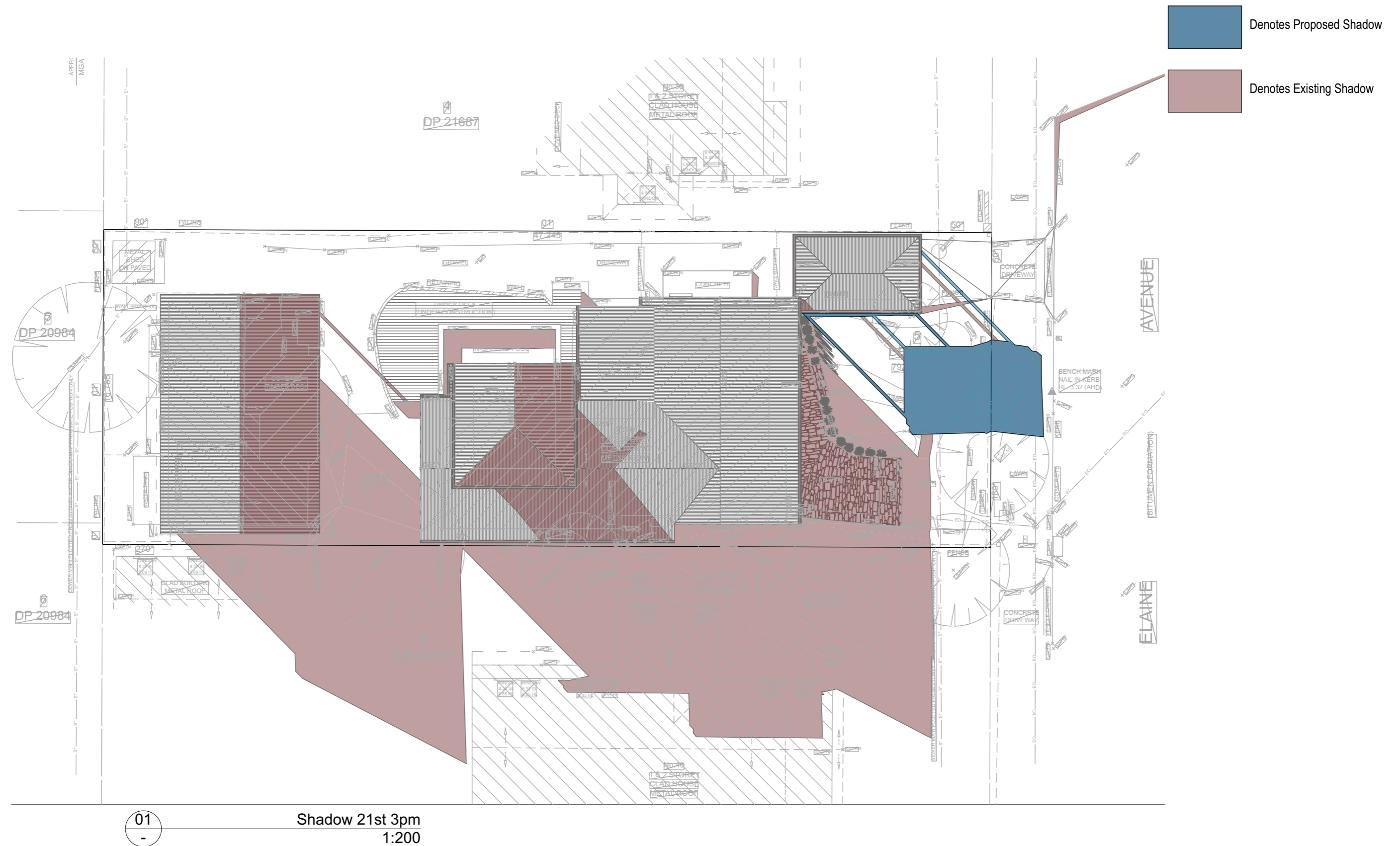
PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 29-5-2025

DRAWING NO.
DA5001

Plot Date: 24/7/25
Sheet Size: A3

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01
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Shadow 21st 3pm
1:200

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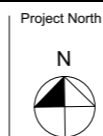


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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
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Checked
Plot Date:
Project NO.
Project Status

Client Christina Daniel
Site: 38 Elaine Avenue Avalon Beach

Sheet Size: A3

GBJ
24/7/25
RP0325DAN
DA

DRAWING TITLE : **SHADOW PLANS**
SHADOW PLAN 21st June
3pm

PROJECT NAME : **Alterations & Additions**

REVISION NO.
1
DATE.
29-5-2025
DRAWING NO.
DA5004