

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

# Alterations & Additions To Existing Residence For Anthony & Yaninna Byrne (Heliconia)

## 8 Orara Road Allambie Heights

### Lot 3 D.P.622166

### Project Number: RP1024BYR



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 30-7-2025
DA1001	A4 NOTIFICATION PLAN	1	- 30-7-2025
DA1002	SITE SURVEY	1	- 30-7-2025
DA1003	SITE PLAN	1	- 30-7-2025
DA1004	Existing Ground Floor Plan	1	- 30-7-2025
DA1005	Existing First Floor Plan	1	- 30-7-2025
DA1006	Demolition Ground Floor Plan	1	- 30-7-2025
DA1007	Demolition First Floor Plan	1	- 30-7-2025
DA1008	Excavation & Fill Plan	1	- 30-7-2025
DA1009	Landscape Open Space Plan Existing	1	- 30-7-2025
DA1010	Landscape Open Space Plan Proposed	1	- 30-7-2025
DA1011	Landscape Plan	1	- 30-7-2025
DA1012	Sediment & Erosion Plan	1	- 30-7-2025
DA1013	Waste Management Plan	1	- 30-7-2025
DA1014	Stormwater Plan	1	- 30-7-2025
DA2001	GROUND FLOOR	1	- 30-7-2025
DA2002	FIRST FLOOR	1	- 30-7-2025
DA2003	ROOF	1	- 30-7-2025
DA3000	SECTION 1	1	- 30-7-2025
DA3001	SECTION POOL	1	- 30-7-2025
DA4000	ELEVATIONS 1	1	- 30-7-2025
DA4001	ELEVATIONS 2	1	- 30-7-2025
DA5000	PERSPECTIVE	1	- 30-7-2025
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 30-7-2025
DA5002	SHADOW PLAN 21st June 9am	1	- 30-7-2025
DA5003	SHADOW PLAN 21st June 12pm	1	- 30-7-2025
DA5004	SHADOW PLAN 21st June 3pm	1	- 30-7-2025

### BASIX™ Certificate

Building Sustainability Index  
[www.planningportal.nsw.gov.au/development-and-assessment/basix](http://www.planningportal.nsw.gov.au/development-and-assessment/basix)

### Alterations and Additions

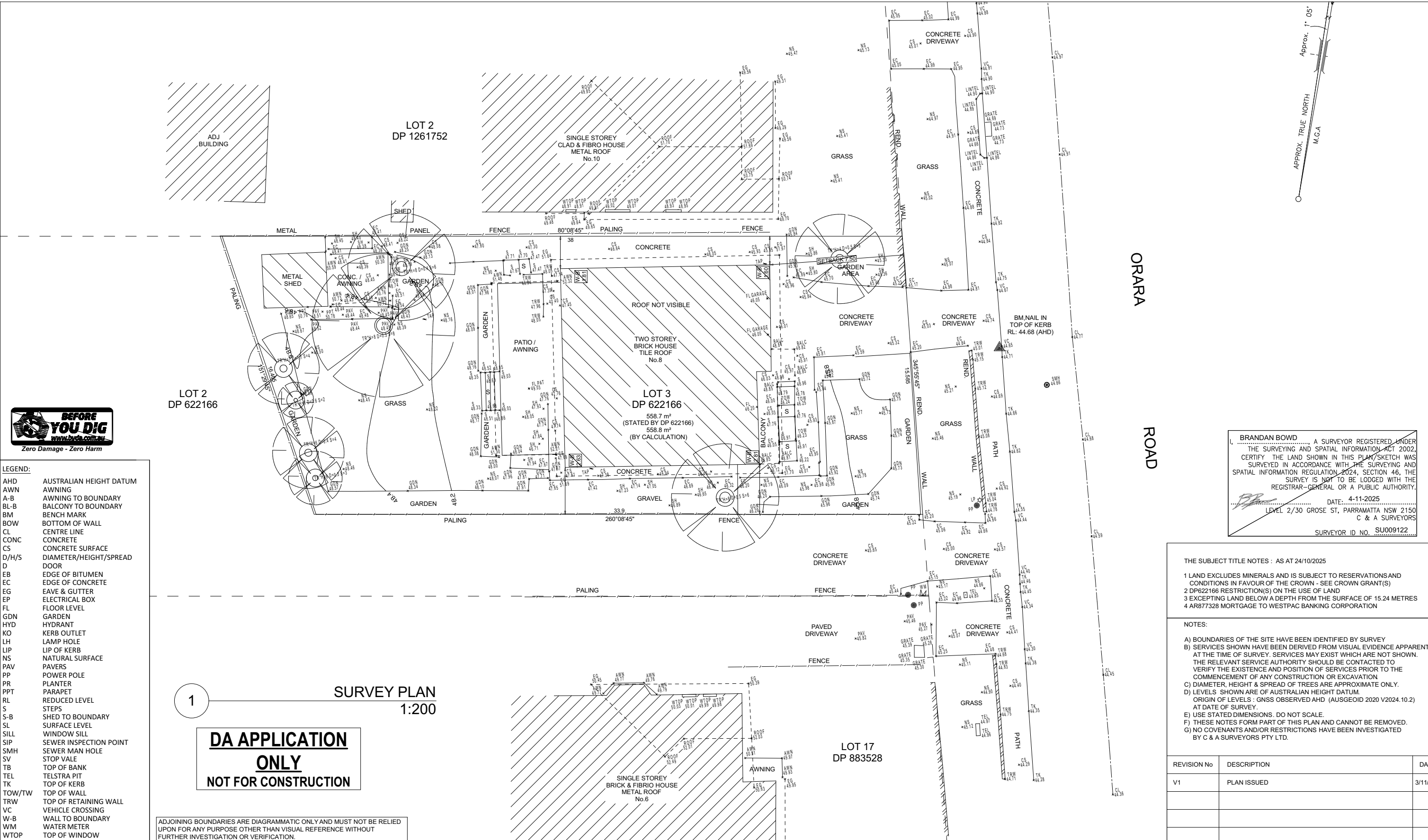
Certificate number: A1804318\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.planningportal.nsw.gov.au/definitions](http://www.planningportal.nsw.gov.au/definitions)

Secretary  
Date of issue: Thursday, 13 November 2025  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Byrne-Heliconia_02
Street address	8 ORARA Road ALLAMBIE HEIGHTS 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP622166
Lot number	3
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: RAPID PLANS PTY LTD	
ABN (if applicable): 43150064592	



- LEGEND:**
- AHD AUSTRALIAN HEIGHT DATUM
  - AWN AWNING
  - A-B AWNING TO BOUNDARY
  - BL-B BALCONY TO BOUNDARY
  - BM BENCH MARK
  - BOW BOTTOM OF WALL
  - CL CENTRE LINE
  - CONC CONCRETE
  - CS CONCRETE SURFACE
  - D/H/S DIAMETER/HEIGHT/SPREAD
  - D DOOR
  - EB EDGE OF BITUMEN
  - EC EDGE OF CONCRETE
  - EG EAVE & GUTTER
  - EP ELECTRICAL BOX
  - FL FLOOR LEVEL
  - GDN GARDEN
  - HYD HYDRANT
  - KO KERB OUTLET
  - LH LAMP HOLE
  - LIP LIP OF KERB
  - NS NATURAL SURFACE
  - PAV PAVERS
  - PP POWER POLE
  - PR PLANTER
  - PPT PARAPET
  - RL REDUCED LEVEL
  - S STEPS
  - S-B SHED TO BOUNDARY
  - SL SURFACE LEVEL
  - SILL WINDOW SILL
  - SIP SEWER INSPECTION POINT
  - SMH SEWER MAN HOLE
  - SV STOP VALE
  - TB TOP OF BANK
  - TEL TELSTRA PIT
  - TK TOP OF KERB
  - TOW/TW TOP OF WALL
  - TRW TOP OF RETAINING WALL
  - VC VEHICLE CROSSING
  - W-B WALL TO BOUNDARY
  - WM WATER METER
  - WTOP TOP OF WINDOW

1  
**SURVEY PLAN**  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

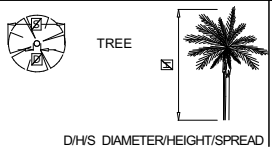
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**C&A SURVEYORS**  
30 Grose Street, Parramatta, NSW 2150  
Ph: 96309299 email: Operations@candasurveyors.com.au  
www.candasurveyors.com.au

**DETAIL & BOUNDARY IDENTIFICATION  
SURVEY OF  
LOT 3 IN DP 622166, LOCATED AT  
NO.8, ORARA ROAD, ALLAMBIE HEIGHTS.**

- S S APPROXIMATE LOCATION OF BURIED SEWER MAIN BY SYDNEY WATER DBVD RECORDS
- W W APPROXIMATE LOCATION OF BURIED WATER MAIN (WM) BY SYDNEY WATER DBVD RECORDS
- XXXXXX BOUNDARY LINE, DISTANCE & BEARING
- E E ELECTRIC LINE
- TELSTRA PIT
- STOP VALVE
- POWER POLE
- WATER METER
- HYDRANT



INSTRUCTING PARTY: CARLY TRACEY		SURVEYED BY: FH		DATUM: AHD	
LGA: NORTHERN BEACHES	AREA BDY DP: 558.7 m²	DRAWN BY: SS	CHECKED BY: DR		
SURVEY DATE: 27/10/2025	AREA BY CALC: 558.8 m²	SCALE: 1:100@A1	REF. NO: 37768-25 DET ID		
DATE DRAWN: 3/11/2025	CONTOUR INTERVAL: 0.2 m	REV No: V1	SHEET: 1 OF 1		

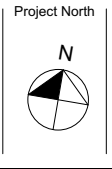


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**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Project North  
Checked Plot Date: GBJ 13/11/2025  
Project NO: RP1024BYR  
Project Status: DA Rev1  
Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights  
Sheet Size: A3

**DRAWING TITLE :**  
**SITE AND LOCATION  
SITE SURVEY**  
**PROJECT NAME :**  
**Alterations & Additions**

REVISION NO.  
**1**  
DATE:  
**30-7-2025**  
DRAWING NO.  
**DA1002**





LEGEND:

AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
A-B	AWNING TO BOUNDARY
BL-B	BALCONY TO BOUNDARY
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EB	EDGE OF BITUMEN
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
EP	ELECTRICAL BOX
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
KO	KERB OUTLET
LH	LAMP HOLE
LIP	LIP OF KERB
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
PR	PLANTER
PPT	PARAPET
RL	REDUCED LEVEL
S	STEPS
S-B	SHED TO BOUNDARY
SL	SURFACE LEVEL
SILL	WINDOW SILL
SIP	SEWER INSPECTION POINT
SMH	SEWER MAN HOLE
SV	STOP VALE
TB	TOP OF BANK
TEL	TELSTRA PIT
TK	TOP OF KERB
TOW/TW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
W-B	WALL TO BOUNDARY
WM	WATER METER
WTOP	TOP OF WINDOW



Denotes New Works



Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item

Wall Legend



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Email: info@rapidplans.com.au

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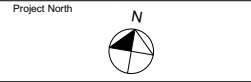
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**NOTES**  
8 Orara Road Allambie Heights is zoned R2 Low Density Residential.  
8 Orara Road Allambie Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be completed shown in Shaded/Blue.  
**Construction**  
Timber Framed Floor, Masonry Walls  
Roof Tiled Roof to have N/A Insulation  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1078-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A1804318, 02  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights

DRAWING TITLE:  
SITE AND LOCATION  
**SITE PLAN**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO. DATE  
**1 30-7-2025**

DRAWING NO.  
**DA1003**

Plot Date: 13/11/2025  
Sheet Size: A3

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

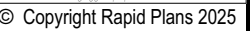
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

**DA APPLICATION ONLY**  
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These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

Wall Legend  
Denotes Existing Wall



By accepting this drawing, the Contractor shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Plans to be read in conjunction with Basic Certificate  
Works to be constructed shown in Shaded/Blue  
construction  
nber Framed Floor, Masonry Walls  
of Tiled Roof to have N/A insulation  
to External Masonry Walls N/A  
refer to Engineers drawings for structural details  
to Engineers Specification and BCA  
nber framing to BCA and AS 1684  
nber management to BCA and AS 3660.1  
to BCA and AS/NZS 4570:2008  
interpolating to BCA and AS 3740  
ing Lighting to have minimum of 40% compact fluorescent lamps  
workmanship and materials shall be in accordance with the  
requirements of Building Codes of Australia.

6. The Applicant Only plans are for the DA Application purposes only. These plans are not to be used for the construction certificate application by any other person. The Applicant must ensure that the plans are not used for the purpose of a construction certificate application without the express written consent of the Council. The Applicant must ensure that the plans are not used for the purpose of a construction certificate application without the express written consent of the Council. The Applicant must ensure that the plans are not used for the purpose of a construction certificate application without the express written consent of the Council.

Item Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Existing Ht Above Nat. GL	7.2m	Yes
Prop'd Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Side Setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
Open landscape (0% min)	41%	Yes
Pervious cur area (m <sup>2</sup> )	59%	Yes
Soil depth into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works.  
Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO. RP1024BYR  
Project Status DA Rev1

Client:	Anthony & Yaninna Byrne (Heliconia)
Site:	8 Orara Road Allambie Heights

DRAWING TITLE: SITE AND LOCATION  
**Existing Ground Floor Plan**

PROJECT NAME : **Alterations & Additions**

REVISION NO. 1 DATE 30-7-2025

DA1004

Plot Date: 13/11/2025  
 Sheet Size: A3  
 D:\Archi jobs on the go\lynnByrne CA  
 Final Rev1.ppt

## Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapid Construction Pty Ltd.</p>	<p>DRAWING TITLE SITE AND LOCATION</p> <p><b>Existing Ground Floor Plan</b></p>
	<p>PROJECT NAME :</p> <p><b>Alterations &amp;</b></p>
	<p>PROJECT ADDRESS :</p> <p><b>1/10-12/14 The Esplanade, Manly, NSW 1522</b></p>

EXISTING GROUND FLOOR  
1:100

1



Site Information	Prop.	Comp.
Site Area	558.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. Gl.	7.2m	Yes
Max Bldg Ht Above Nat. Gl.	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO. RP1024BYR  
Project Status DA Rev1

Client Anthony & Yaninna Byrne  
(Heliconia)

---

Site: 8 Orara Road Allambie Heights

DRAWING TITLE :  
SITE AND LOCATION  
**Existing First Floor Plan**

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
<b>1</b>	<b>30-7-2025</b>

DRAWING NO.

**DA1005**

Plot Date: 13/11/2025  
 Sheet Size: A3  
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 Prints Rev1.ppt

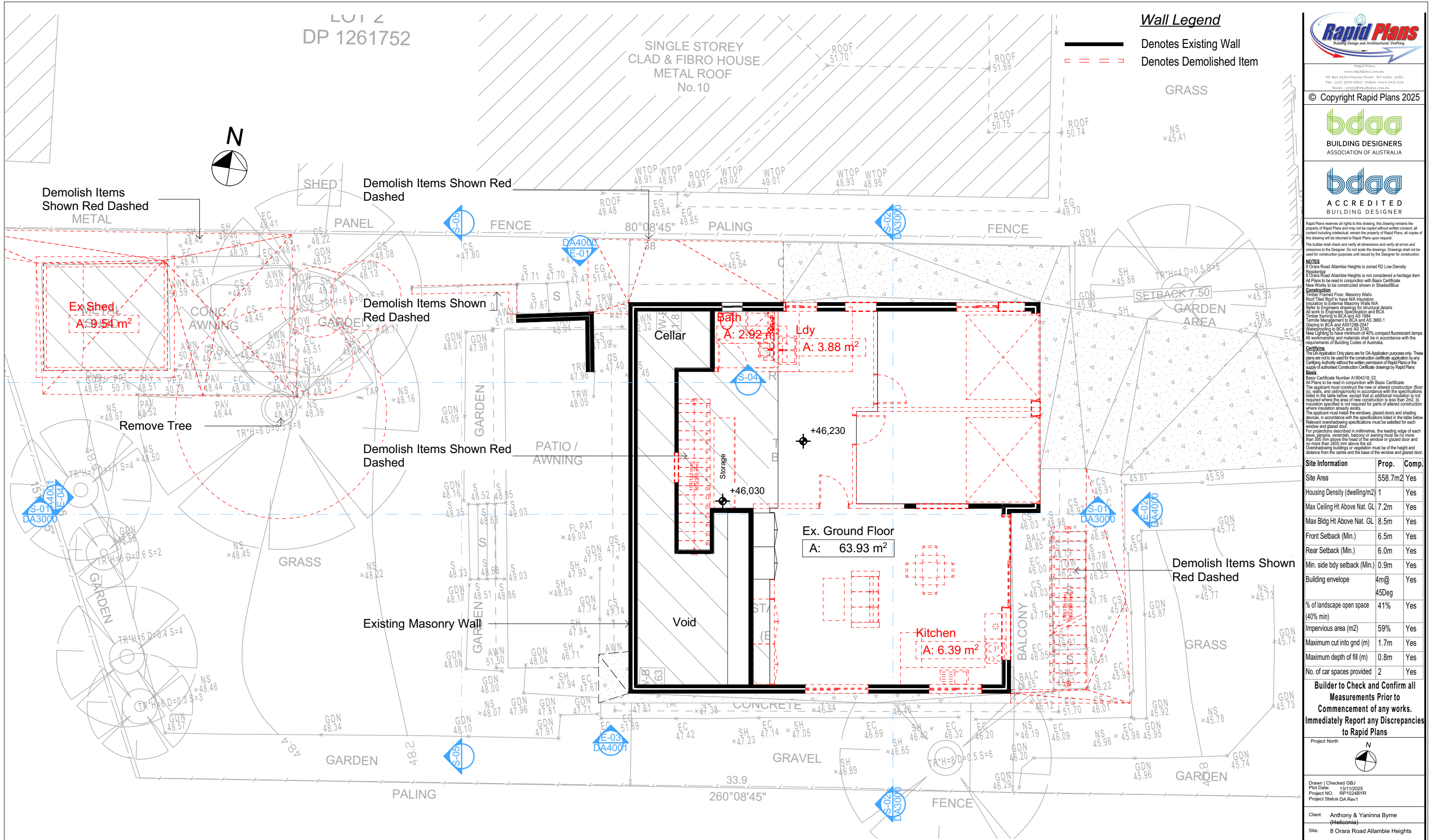
<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapid Response.</p>	DRAWING TITLE : <b>SITE AND LOCATION</b> <b>Existing First Floor Plan</b>
	PROJECT NAME : <b>Alterations &amp;</b>

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

## Builder To Check & Confirm Existing Measurements Prior to Commencement

EXISTING FIRST FLOOR  
1:100

1



1 DEMOLITION GROUND FLOOR  
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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**NOTES**

8 Orara Road Allambie Heights is zoned R2 Low Density Residential.

8 Orara Road Allambie Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to Engineers Specification and BCA.

**Construction**

Roof Tiled Roof to have NIA Insulation.

Insulation to External Masonry Walls NIA.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1550.

Termite Management to BCA and AS 3660.1.

Waterproofing to BCA and AS 3740.

Glazing to BCA and AS 1904.

Compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A1804318.02

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m <sup>2</sup> )	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliocopia)  
Site: 8 Orara Road Allambie Heights

DRAWING TITLE: SITE AND LOCATION  
**Demolition Ground Floor Plan**

PROJECT NAME:  
**Alterations & Additions**

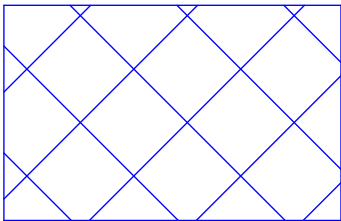
REVISION NO.	DATE
1	30-7-2025

DRAWING NO.: **DA1006**

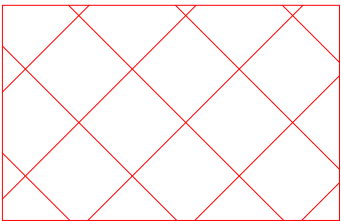
Plot Date: 13/11/2025  
Sheet Size: A3







Denotes Fill Area



Denotes Excavation Area



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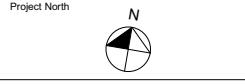
**NOTES**  
8 Orara Road Allambie Heights is zoned R2 Low Density Residential.  
8 Orara Road Allambie Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.  
Timber Framed Floor, Masonry Walls.  
Roof Tiled Roof to have N/A Insulation.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS1742-2017.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**  
Basic Certificate Number A1804318, 02.  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specifications are not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m <sup>2</sup> )	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights

**DRAWING TITLE:**  
SITE AND LOCATION  
**Excavation & Fill Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
**1** **30-7-2025**  
DRAWING NO.  
**DA1008**

Plot Date: 13/11/2025  
Sheet Size: A3



LEGEND:	
AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
A-B	AWNING TO BOUNDARY
BL-B	BALCONY TO BOUNDARY
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EB	EDGE OF BITUMEN
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
EP	ELECTRICAL BOX
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
KO	KERB OUTLET
LH	LAMP HOLE
LIP	LIP OF KERB
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
PR	PLANTER
DDACT	DDACT

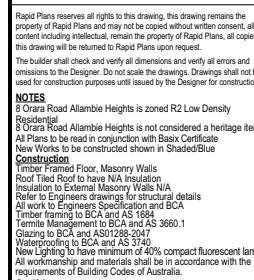
3.

**EXCAVATION & FILL**  
**1:200**

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**





**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepanci  
to Rapid Plans**



### Evaluation purposes

PROJECT NAME : **Alterations & Additions**

DRAWING NO.  
**DA1009**

---



Description	Area (m2)	Percentage
Site Area	558.7m2	100%
Exist. Open Landscape Area	253.93m2	45%
Exist. Impervious Area	304.77m2	55%
Proposed Open Landscape Area	227.17m2	41%
Proposed Impervious Area	331.53m2	59%

Note:  
Total Open Landscape Area for the property will be decreased by 4%

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

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DRAWING TITLE AND LOCATION	<b>Landscape Open Space Plan Existing</b>
PROJECT NAME :	<b>Alterations &amp;</b>

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

- Denotes Impervious Area
- Denotes Pervious Area

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Building Design and Architectural Drafting

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdaa**  
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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

8 Orara Road Allambie Heights is zoned R2 Low Density Residential.

8 Orara Road Allambie Heights is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in Shaded/Blue.

**Construction**

Timber Framed Floor, Masonry Walls

Roof Tiled Roof to have N/A Insulation

Insulation to External Masonry Walls N/A

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS/NZS 4847

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number A1804318, 02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)

Site: 8 Orara Road Allambie Heights

DRAWING TITLE SITE AND LOCATION

**Landscape Open Space Plan Proposed**

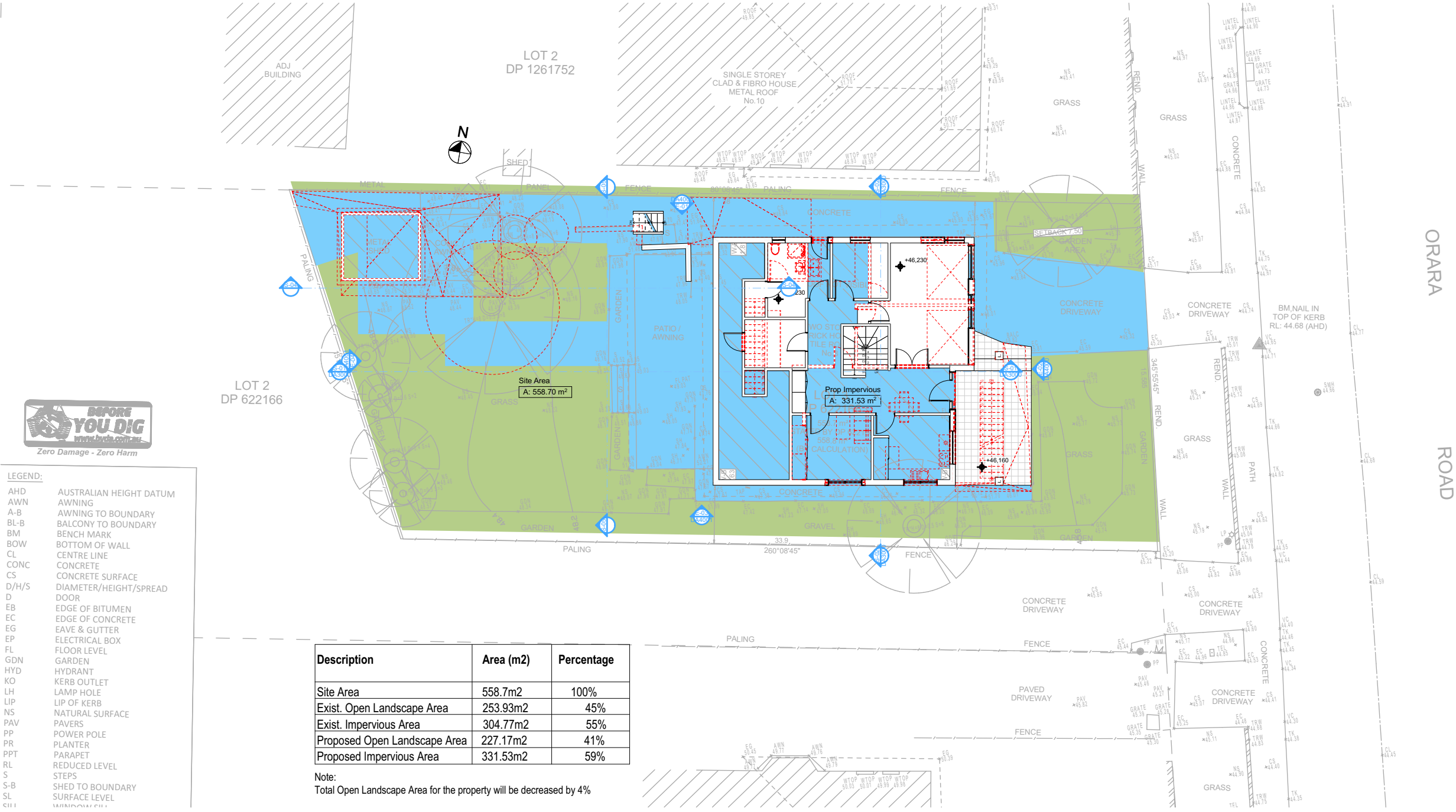
PROJECT NAME:

**Alterations & Additions**

REVISION NO.	DATE
1	30-7-2025

DRAWING NO. DA1010

Plot Date: 13/11/2025  
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	558.7m2	100%
Exist. Open Landscape Area	253.93m2	45%
Exist. Impervious Area	304.77m2	55%
Proposed Open Landscape Area	227.17m2	41%
Proposed Impervious Area	331.53m2	59%

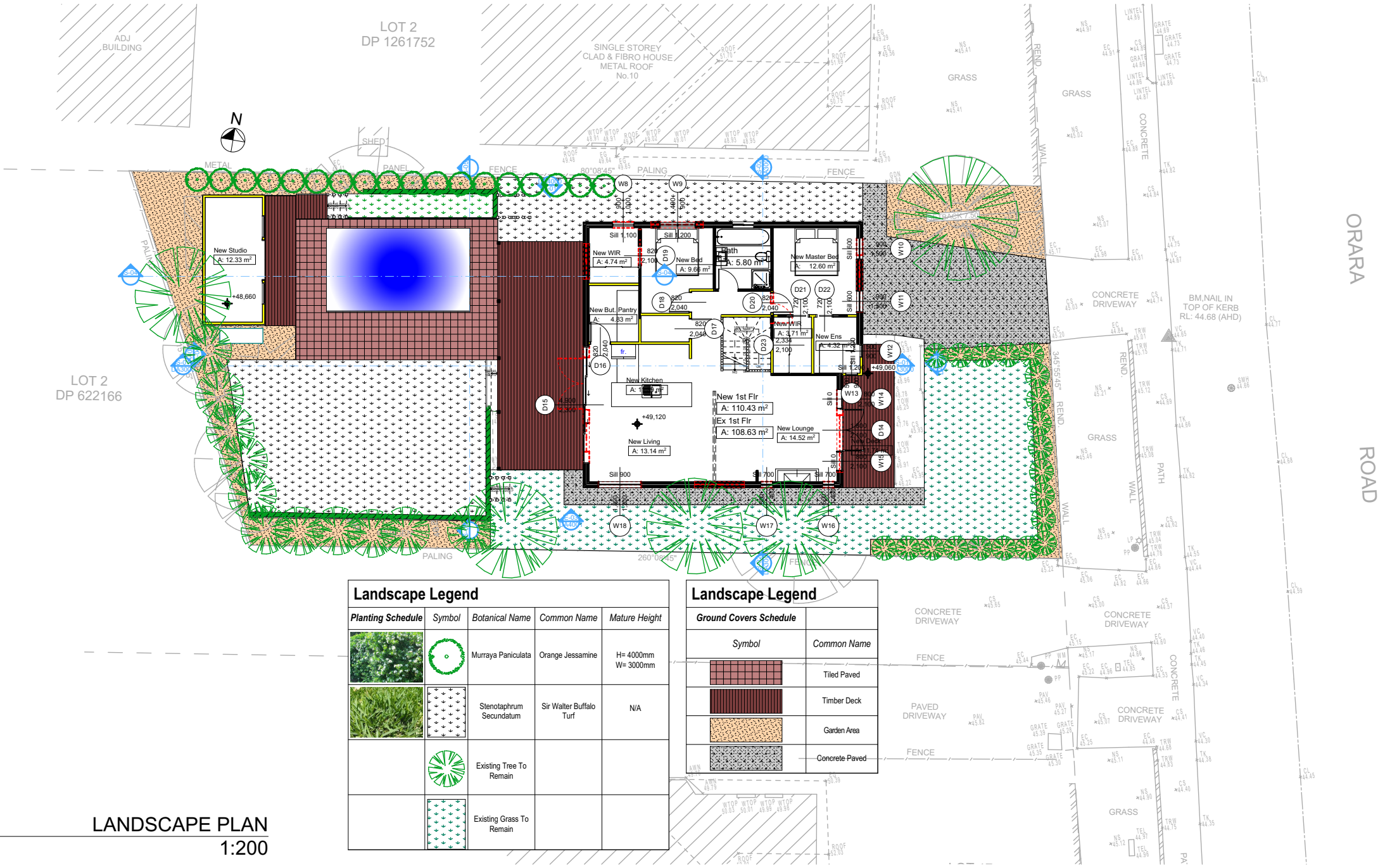
Note:  
Total Open Landscape Area for the property will be decreased by 4%

- LEGEND:
- AHD AUSTRALIAN HEIGHT DATUM
- AWNING AWNING
- A-B AWNING TO BOUNDARY
- BL-B BALCONY TO BOUNDARY
- BM BENCH MARK
- BOW BOTTOM OF WALL
- CL CENTRE LINE
- CONC CONCRETE
- CS CONCRETE SURFACE
- D/H/S DIAMETER/HEIGHT/SPREAD
- D DOOR
- EB EDGE OF BITUMEN
- EC EDGE OF CONCRETE
- EG EAVE & GUTTER
- EP ELECTRICAL BOX
- FL FLOOR LEVEL
- GDN GARDEN
- HYD HYDRANT
- KO KERB OUTLET
- LH LAMP HOLE
- LIP LIP OF KERB
- NS NATURAL SURFACE
- PAV PAVERS
- PP POWER POLE
- PR PLANTER
- PPT PARAPET
- RL REDUCED LEVEL
- S STEPS
- S-B SHED TO BOUNDARY
- SL SURFACE LEVEL
- SH SHED

1 LANDSCAPE OPEN SPACE PROPOSED 1:200

DA APPLICATION ONLY NOT FOR CONSTRUCTION





Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Murraya Paniculata	Orange Jessamine	H= 4000mm W= 3000mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		Existing Tree To Remain		
		Existing Grass To Remain		

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Tiled Paved
	Timber Deck
	Garden Area
	Concrete Paved

3.  
-

LANDSCAPE PLAN  
1:200

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**Rapid Plans**  
Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Fitzroy Street, DO NSW 2086  
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**NOTES**

8 Orara Road Allambie Heights is zoned R2 Low Density Residential

8 Orara Road Allambie Heights is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Timber Framed Floor, Masonry Walls

Roof Tiled Roof to have N/A Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1029-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A1804318, 02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m <sup>2</sup> )	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)

Site: 8 Orara Road Allambie Heights

DRAWING TITLE:  
SITE AND LOCATION  
**Landscape Plan**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
1	30-7-2025

DRAWING NO.  
**DA1011**

Plot Date: 13/11/2025  
Sheet Size: A3

Denotes New Works



Rapid Plans  
www.rapidplans.com.au  
PO Box 6293 Frenchs Forest DC NSW 2086  
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

Orara Road Allambee Heights is zoned R2 Low Density Residential

Orara Road Allambee Heights is not considered a heritage item and Plans to be read in conjunction with Basic Certificate of Work to be constructed shown in Shaded/Blue

**Construction**

- timber Framed Floor, Masonry Walls
- tiled Roof to have N/A insulation
- insulation to External Masonry Walls N/A
- refer to Engineers drawings for structural details
- suit to Engineers Specification and BCA
- timber framing to BCA and AS 1684
- termite Management to BCA and AS 3660.1
- refer to BCA and planning
- Waterproofing to BCA and AS 3740
- new Lighting to have minimum of 40% compact fluorescent lamps
- all workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic Certificate** Only plans are for DA-Application purposes only. These plans are not to be used for the construction certificate application. These plans are not to be written without the permission of RAIPR Inc. or the authorized Construction Certificate Drawing by RAIPR Plans.

**Basic Certificate Number A1403438.02**

Plans to be read in accordance with Basic Certificate

1. The applicant must install the following: a) concrete floor (slab), b) walls, and ceilings (ceiling) in accordance with the specifications listed in the table below, except that all additional insulation is not required for the ceiling. The applicant must install the following: c) insulation specified is not required for parts of altered construction.

2. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. The applicant must install the following specifications must be satisfied for each window and door:

3. For projections described in millimetres, the leading edge of each window or door must be a minimum of 100 mm above the sill and 500 mm above the base of the window or glazed door and no more than 2420 mm above the sill.

4. The window or door must be a minimum of 600 mm of the height and distance from the centre and the base of the window and the door.

Site Information	Prop.	Comp.
Site Area	558.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Maximum area (m2)	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO. RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne  
(Heliconia)

---

Site: 8 Orara Road Allambie Heights

DRAWING TITLE :  
SITE AND LOCATION  
**Sediment & Erosion Plan**

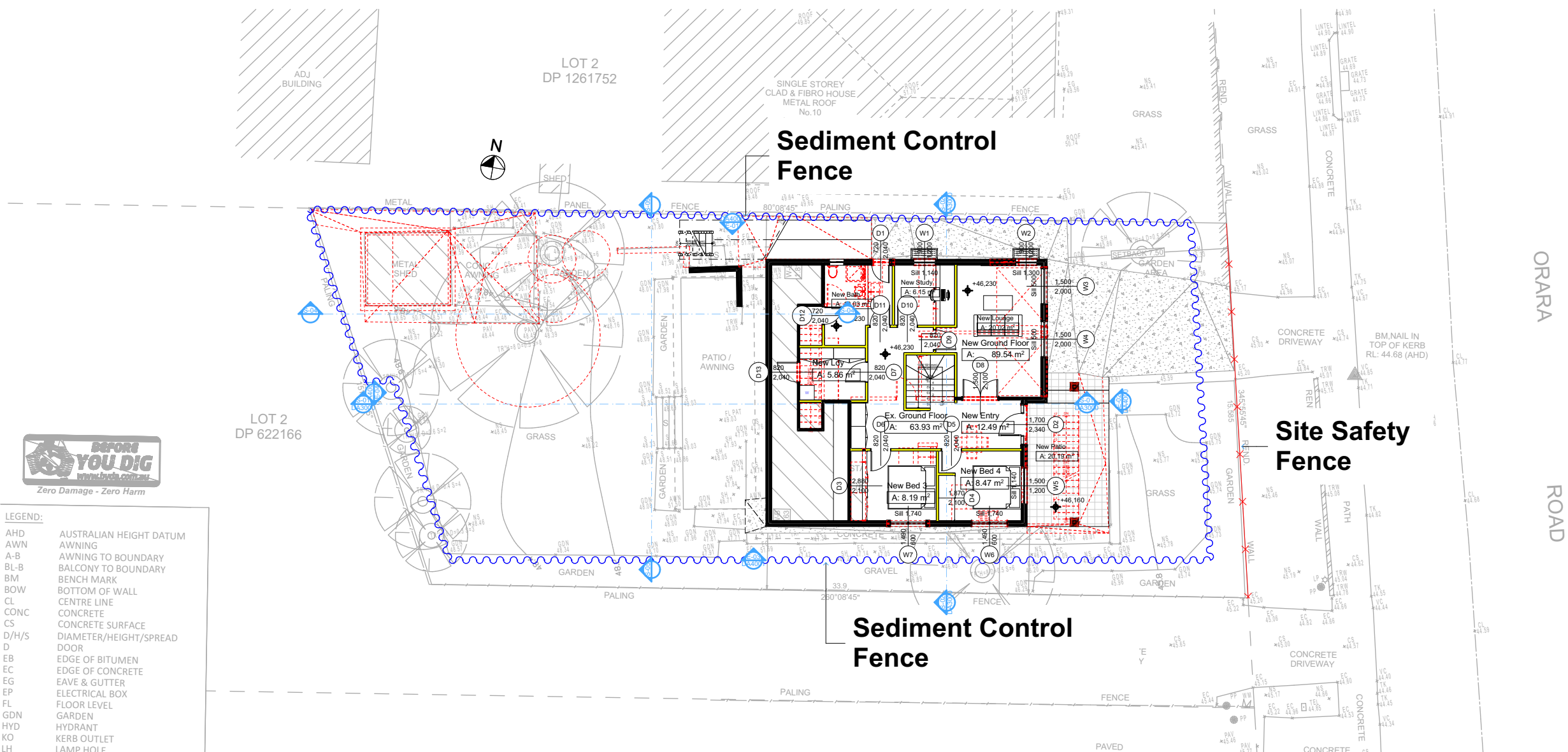
PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
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1 30-7-2025

DA1012

Plot Date: 13/11/2025

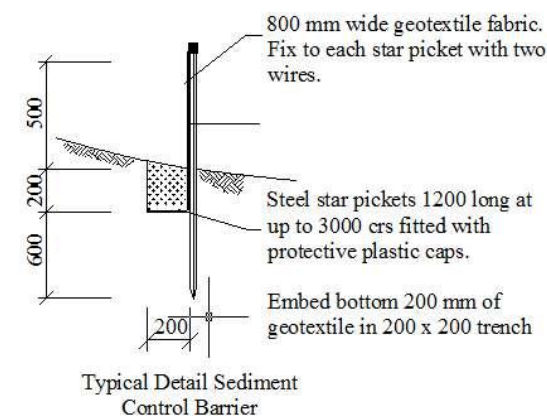
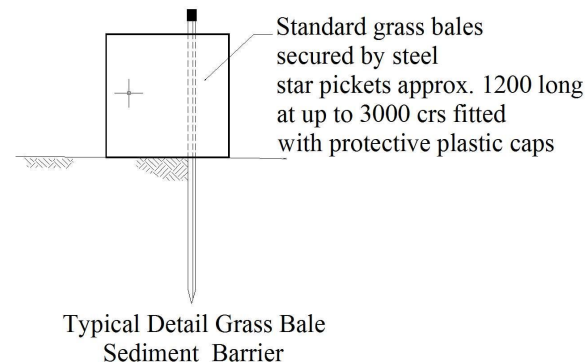
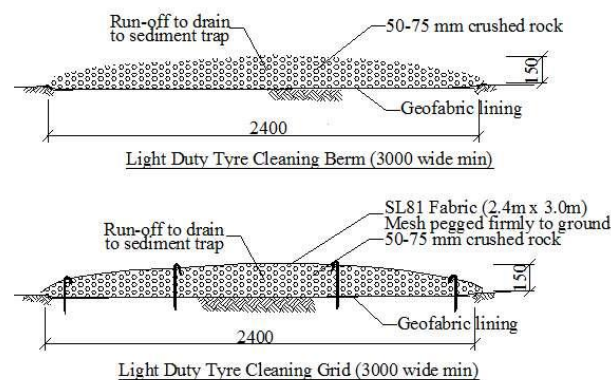


LEGEND:

AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
A-B	AWNING TO BOUNDARY
BL-B	BALCONY TO BOUNDARY
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EB	EDGE OF BITUMEN
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
EP	ELECTRICAL BOX
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
KO	KERB OUTLET
LH	LAMP HOLF

## SEDIMENT & EROSION CONTROL PLAN

1:200



<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Ralcorp Pty Ltd.</p>	<p>DRAWING TITLE : SITE AND LOCATION <b>Sediment &amp; Erosion Plan</b></p>
	<p>PROJECT NAME : <b>Alterations &amp;</b></p>

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**





Denotes New Works



**Wall Legend**



Denotes New Timber Framed Wall



Denotes Existing Wall

Denotes Demolished Item



Wendy Plans  
PO Box 6239 Fitzroy East VIC 3068  
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Email: wendy@rapidplans.com.au

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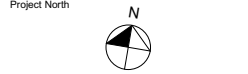
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
8 Orara Road Allambie Heights is zoned R2 Low Density Residential.  
8 Orara Road Allambie Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.  
**Construction**  
Timber Framed Floor, Masonry Walls  
Roof Tiled Roof to have N/A Insulation  
Insulation to External Masonry Walls N/A  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1019.2-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A1804318, 02  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each space, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m <sup>2</sup> )	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights

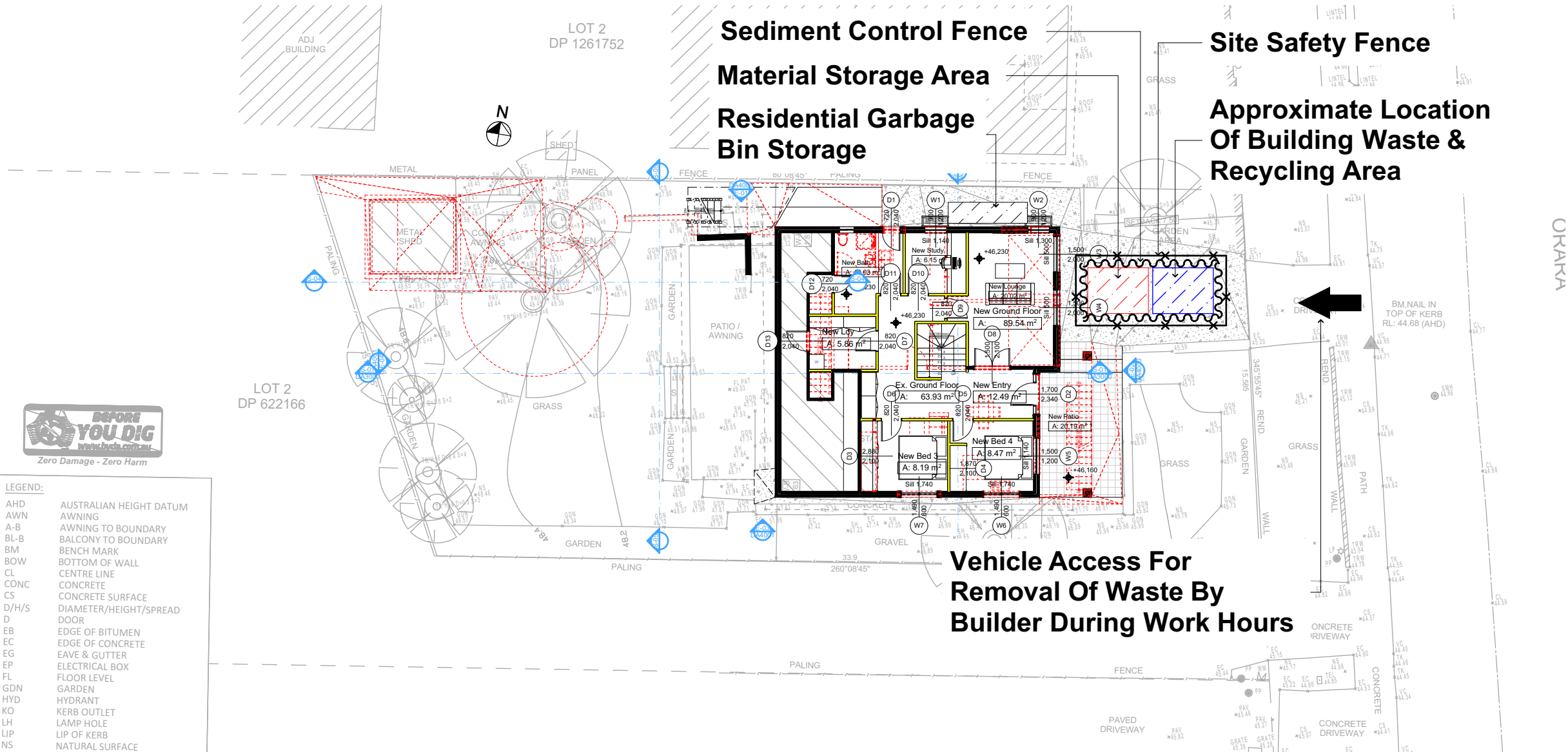
**DRAWING TITLE:**  
**SITE AND LOCATION**  
**Waste Management Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
**1** **30-7-2025**

DRAWING NO.  
**DA1013**

Plot Date: 13/11/2025  
Sheet Size: A3



**LEGEND:**

AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
A-B	AWNING TO BOUNDARY
BL-B	BALCONY TO BOUNDARY
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EB	EDGE OF BITUMEN
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
EP	ELECTRICAL BOX
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
KO	KERB OUTLET
LH	LAMP HOLE
LIP	LIP OF KERB
NS	NATURAL SURFACE

**WASTE MANAGEMENT PLAN**  
**1:200**

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



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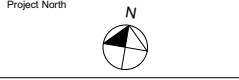
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**NOTES**  
8 Orara Road Allambie Heights is zoned R2 Low Density Residential.  
8 Orara Road Allambie Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.  
**Construction**  
Timber Framed Floor, Masonry Walls  
Roof Tiled Roof to have N/A Insulation  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1078-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Site Information**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A1804318, 02  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each space, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m <sup>2</sup> )	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024BYR  
Project Status DA Rev1

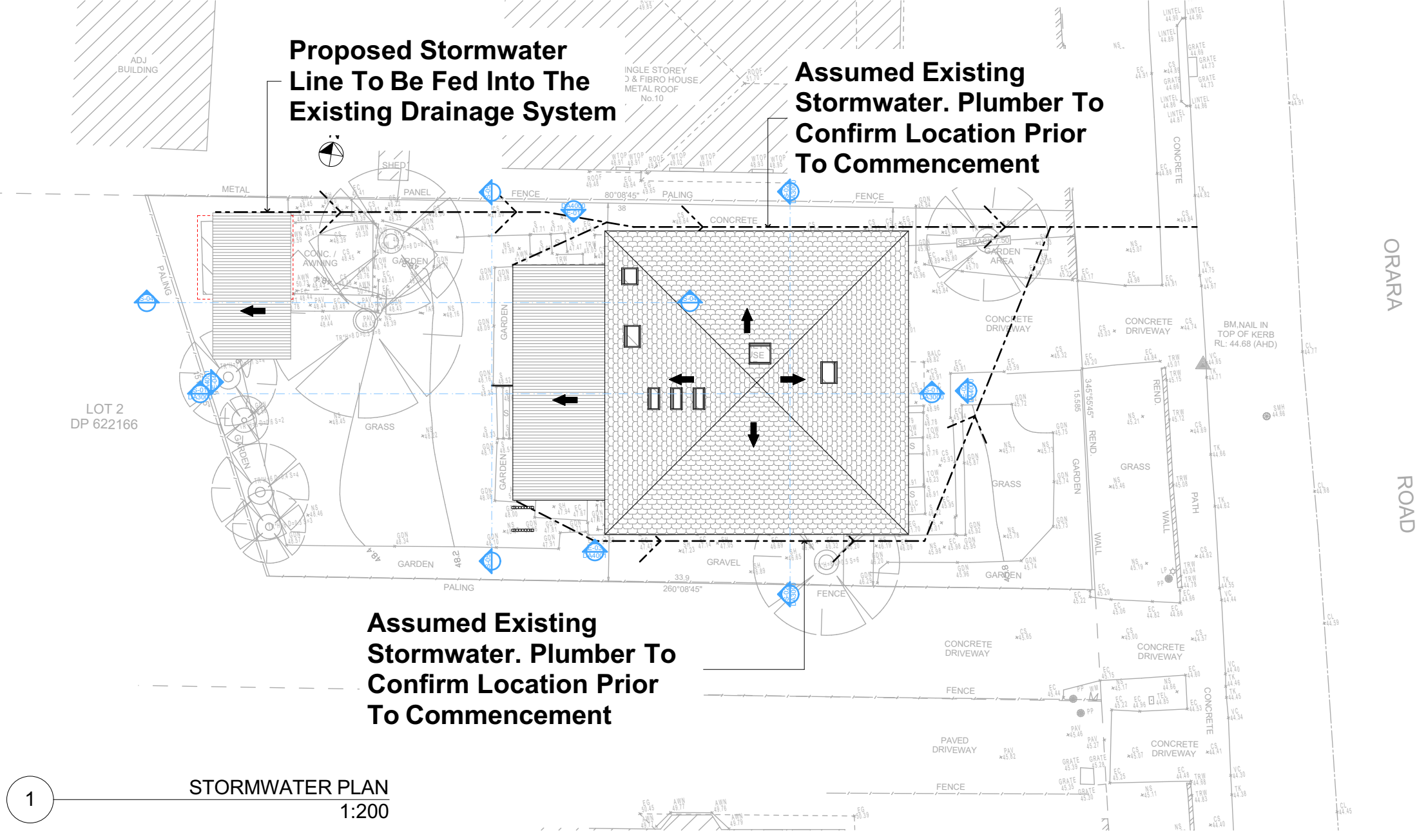
Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights

DRAWING TITLE:  
SITE AND LOCATION  
**Stormwater Plan**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
1	30-7-2025
DRAWING NO.	DA1014

Plot Date: 13/11/2025  
Sheet Size: A3



1 STORMWATER PLAN 1:200

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

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Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

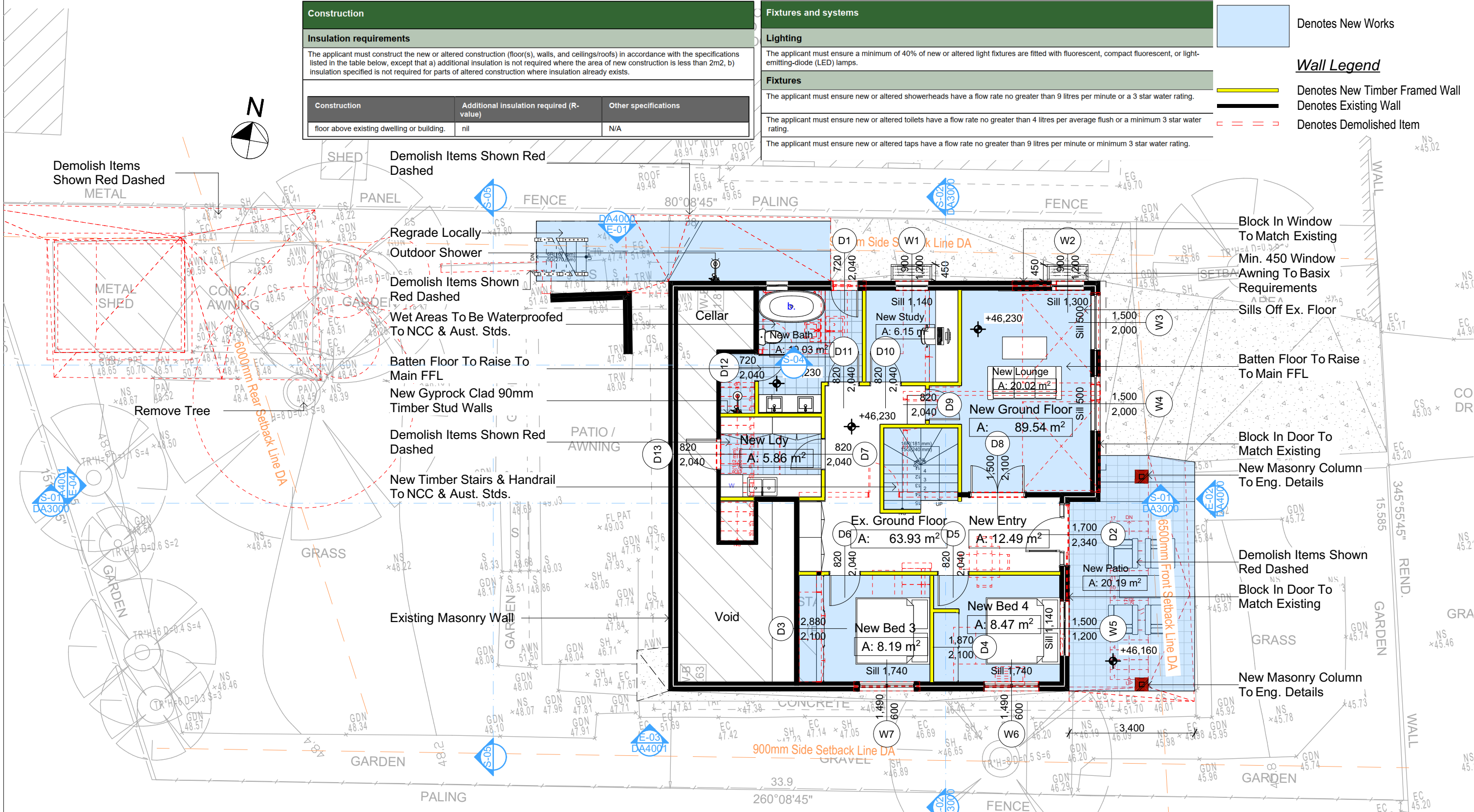
Denotes New Works

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

Wall Legend



1 GROUND FLOOR  
1:100

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

**NOTES**  
8 Orara Road Allambie Heights is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
8 Orara Road Allambie Heights is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Timber Framed Floor, Masonry Walls  
Roof Tiled Roof to have N/A Insulation  
Insulation to External Masonry Walls N/A  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1804318\_02  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	558.7m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.8m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

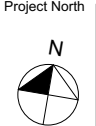


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date: 13/11/2025  
Project NO: RP1024BYR  
Project Status: DA Rev1

Client  
Site: Anthony & Yaninna Byrne (Heliconia)  
8 Orara Road Allambie Heights

Sheet Size: A3

DRAWING TITLE :  
PLANS  
GROUND FLOOR  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
1  
DATE: 30-7-2025  
DRAWING NO.  
DA2001



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

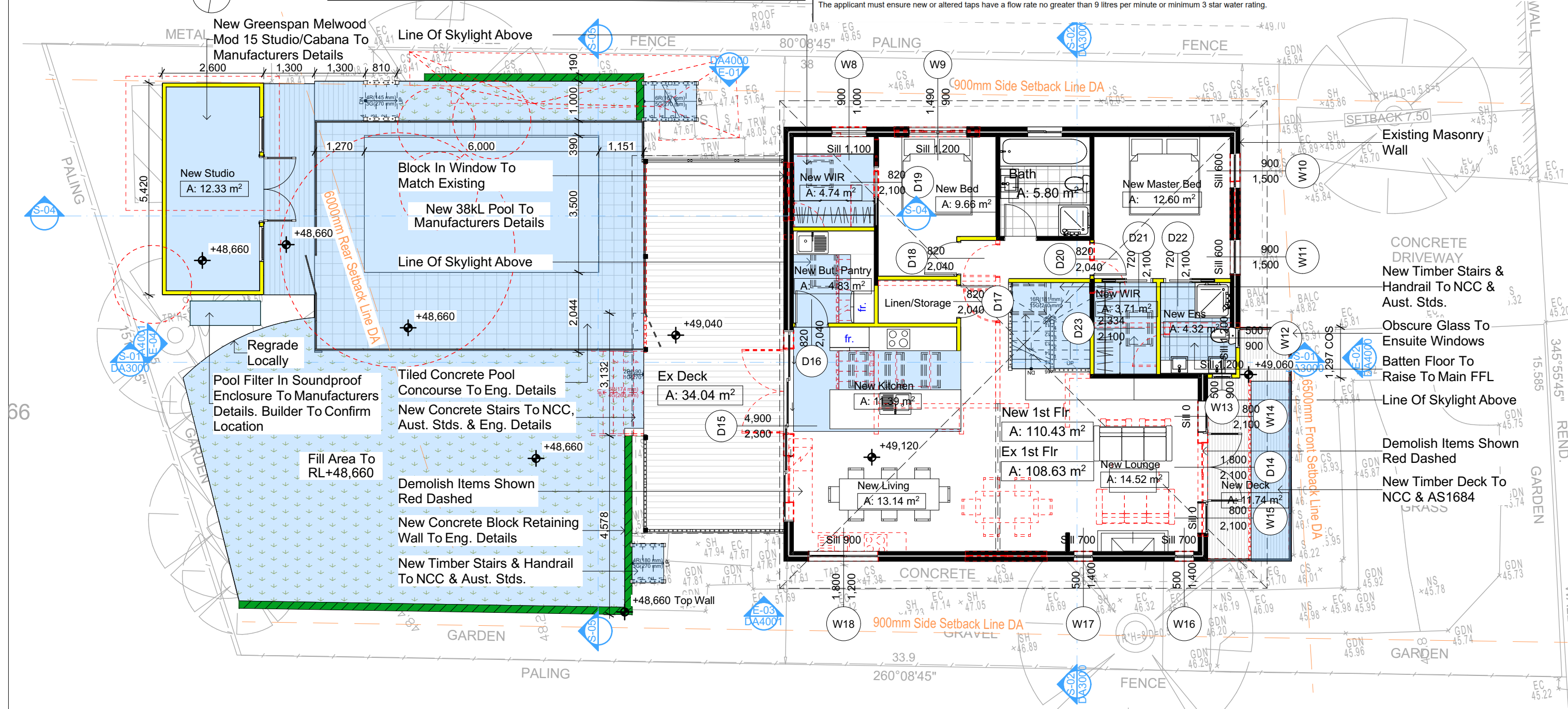
Denotes New Works

**Wall Legend**

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



1 FIRST FLOOR  
1:100

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
8 Orara Road Allambie Heights is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
8 Orara Road Allambie Heights is not considered a heritage item

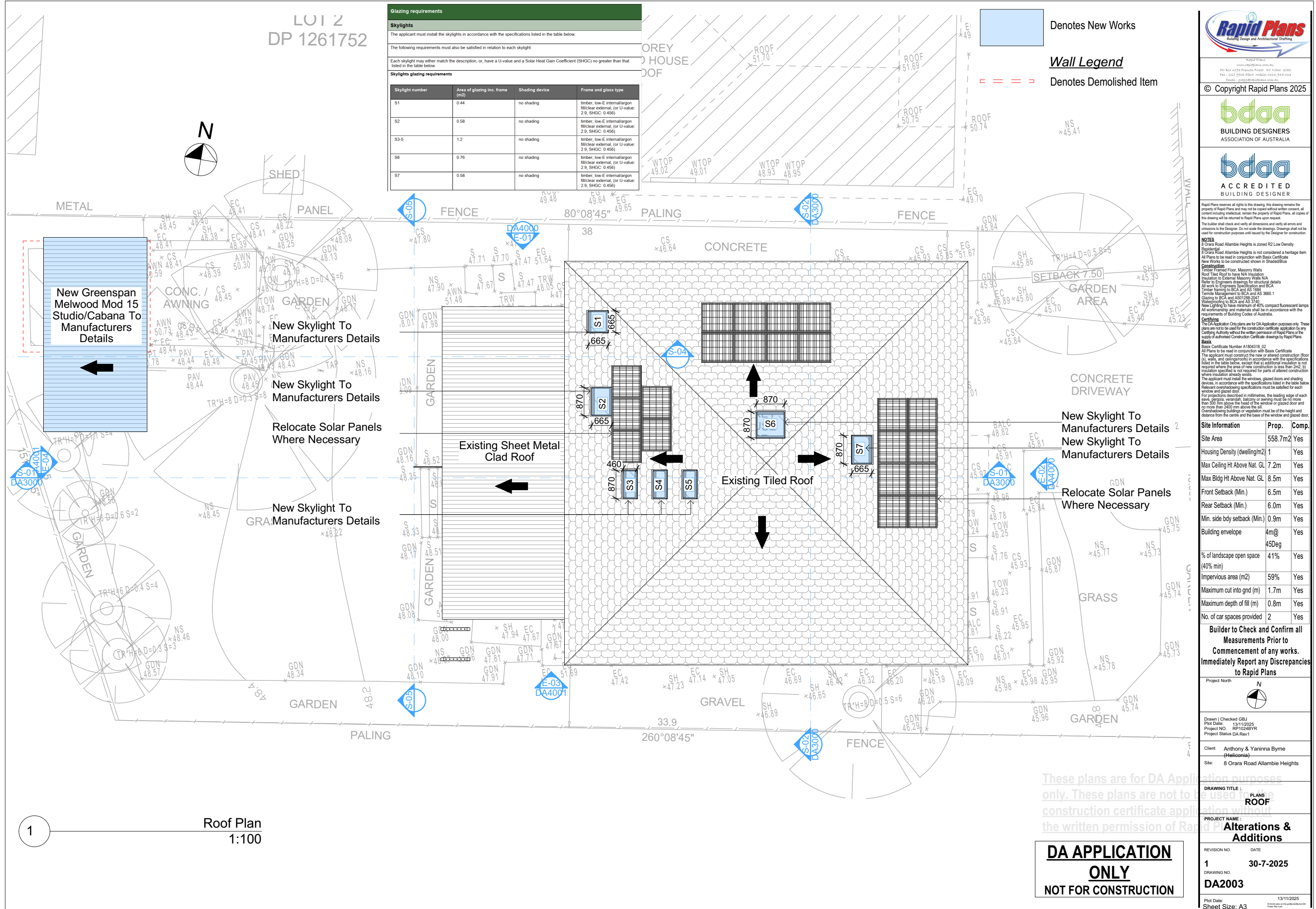
**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

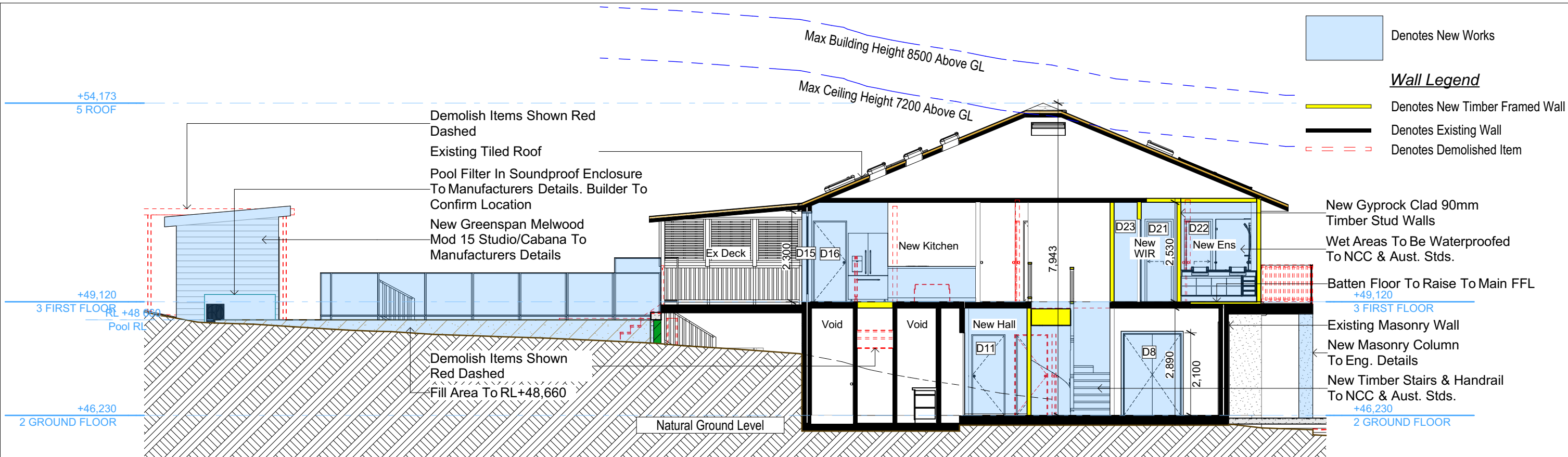
**Construction**  
Timber Framed Floor, Masonry Walls  
Roof Tiled Roof to have N/A Insulation  
Insulation to External Masonry Walls N/A  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1804318\_02  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	558.7m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.8m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			







S-01

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A

Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+54,173  
5 ROOF

+49,120  
3 FIRST FLOOR

+46,230  
2 GROUND FLOOR

Existing Tiled Roof

Existing Masonry Wall

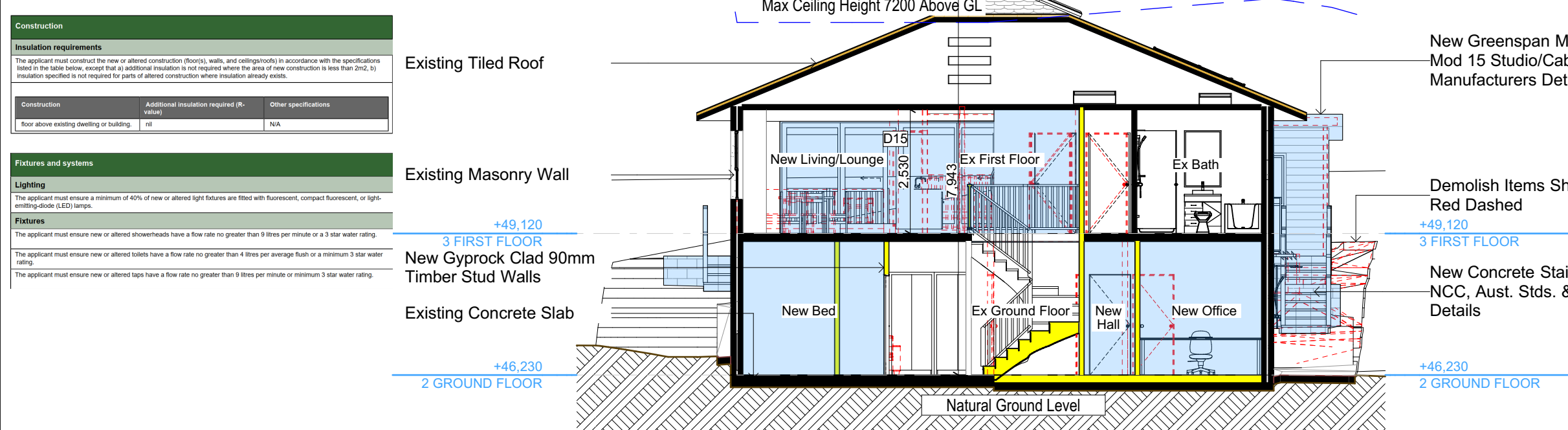
New Greenspan Melwood Mod 15 Studio/Cabana To Manufacturers Details

Demolish Items Shown Red Dashed

New Concrete Stairs To NCC, Aust. Stds. & Eng. Details

SECTION 2

1:100



S-02

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

**NOTES**

8 Orara Road Allambie Heights is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

8 Orara Road Allambie Heights is not considered a heritage item

**Certifying**

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**Construction**

Timber Framed Floor, Masonry Walls

Roof Tiled Roof to have N/A Insulation

Insulation to External Masonry Walls N/A

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A1804318\_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>

b) insulation specified is not required for parts of altered construction where insulation already exists.

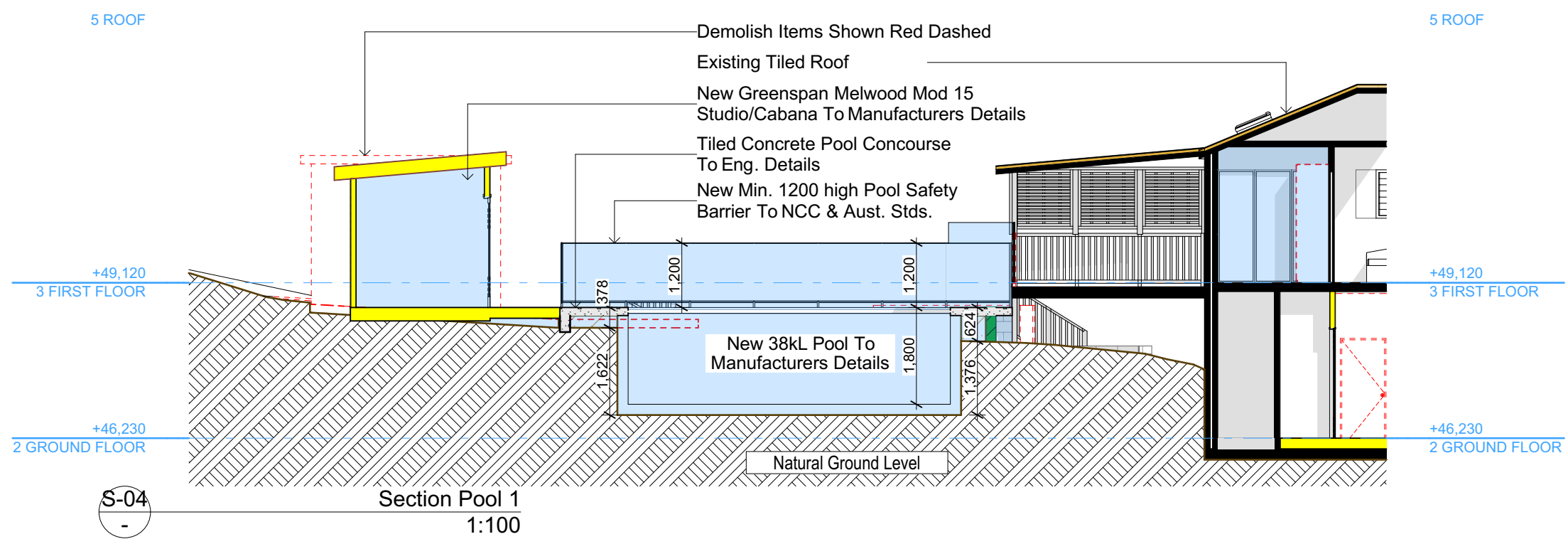
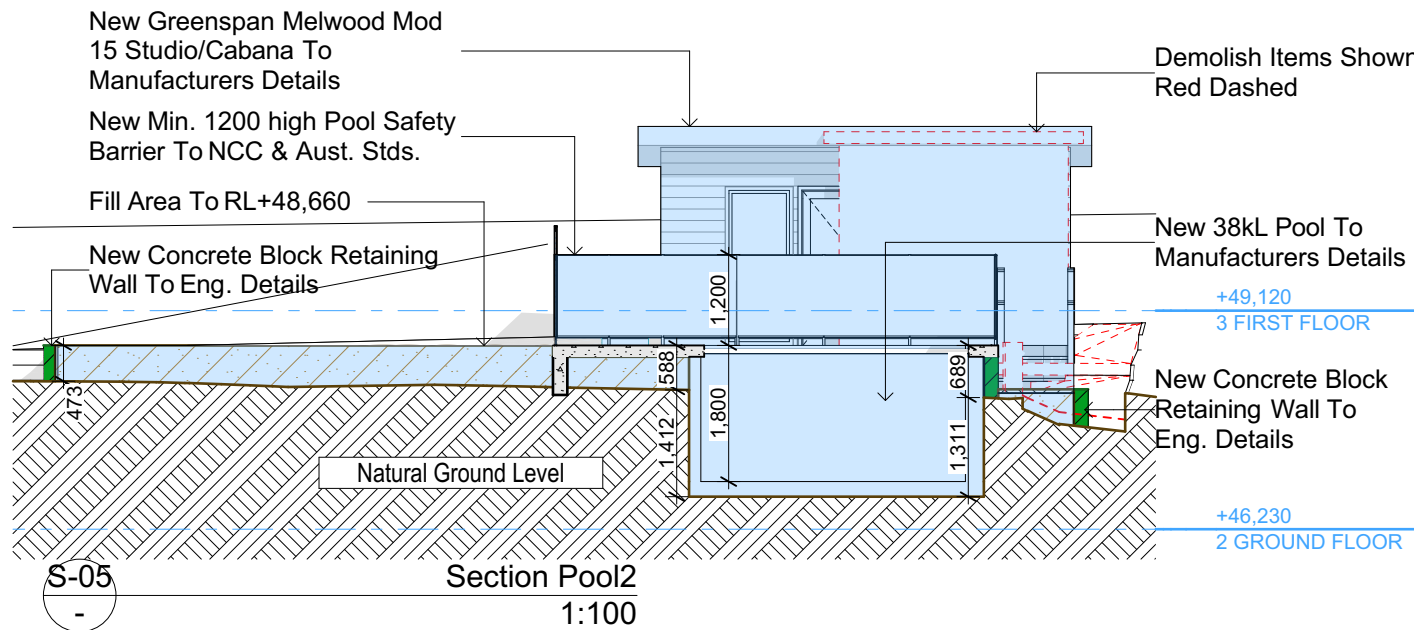
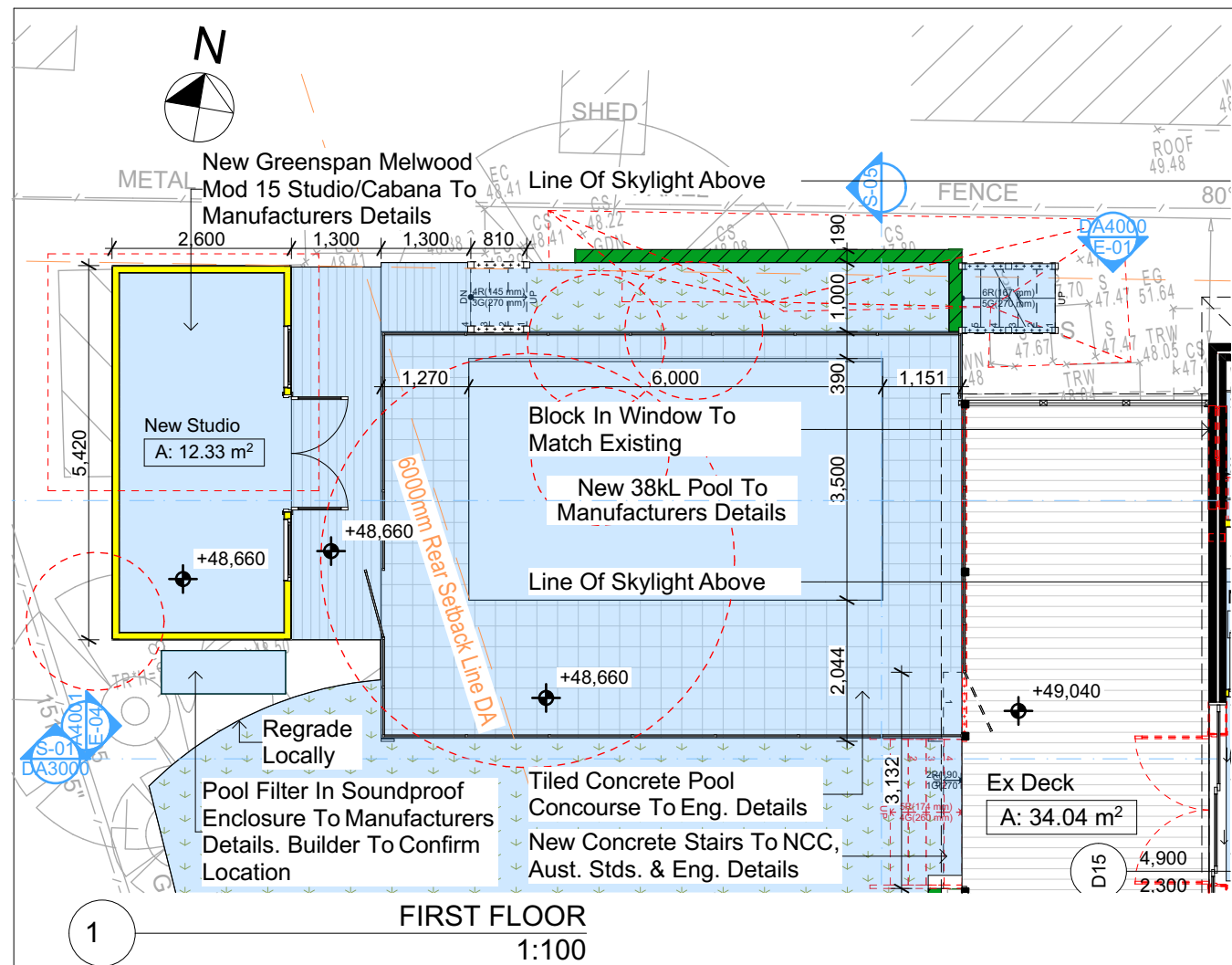
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.8m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			





- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Masonry Wall
  - Denotes New Concrete Block Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

8 Orara Road Allambie Heights is zoned R2 Low Density Residential

8 Orara Road Allambie Heights is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

**Construction**

Timber Framed Floor, Masonry Walls

Roof Tiled Roof to have NIA Insulation

Insulation to External Masonry Walls NIA

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 168

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1288-2017

Waterproofing to BCA and AS 3740

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic Certificate Number A1804318\_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)

Site: 8 Orara Road Allambie Heights

**DRAWING TITLE: SECTIONS SECTION POOL**

**PROJECT NAME: Alterations & Additions**

REVISION NO.	DATE
1	30-7-2025

DRAWING NO: DA3001

Plot Date: 13/11/2025  
Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

New Cladded 90mm  
Timber Framed Wall  
New Timber Deck To NCC  
& AS1684  
New Timber Stairs & Handrail  
To NCC & Aust. Stds.  
New Concrete Block Retaining  
Wall To Eng. Details  
Building Envelope

New Masonry Column  
To Eng. Details  
Demolish Items Shown  
Red Dashed  
New Masonry Column  
To Eng. Details

Existing Tiled Roof  
New Greenspan  
Melwood Mod 15  
Studio/Cabana To  
Manufacturers Details  
Ex Masonry Arches

New Concrete Stairs To  
NCC, Aust. Stds. & Eng.  
Details

Block In Door To Match  
Existing

Glazing requirements	
Windows and glazed doors	
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	
The following requirements must also be satisfied in relation to each window and glazed door:	
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	

Denotes New Works

**Wall Legend**

Denotes Existing Item

Denotes Demolished Item

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	1.08	2.3	2.7	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	N	1.08	2.3	2.7	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	E	3	0	0	projection/ height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W4	E	3	0	0	projection/ height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	E	1.8	0	0	eave/ verandah/ pergola/balcony >=500 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

E-02

East  
1:100

+54,173  
5 ROOF

Existing Tiled Roof

New Timber Deck To  
NCC & AS1684

New Handrail To NCC &  
Aust. Stds.

Demolish Items Shown  
Red Dashed  
New Masonry Column  
To Eng. Details

+46,230  
2 GROUND FLOOR

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

New Skylight To  
Manufacturers Details

New Outdoor Shower

Regrade Locally  
New Min. 1200 high Pool Safety  
Barrier To NCC & Aust. Stds.

Natural Ground Level

New Concrete Stairs To NCC,  
Aust. Stds. & Eng. Details

+54,173  
5 ROOF

New Melwood Deck  
New Greenspan Melwood  
Mod 15 Studio/Cabana To  
Manufacturers Details

+49,120  
3 FIRST FLOOR

+46,230  
2 GROUND FLOOR

E-01

North  
1:100

**DA APPLICATION  
ONLY**  
NOT FOR CONSTRUCTION

#### NOTES

8 Orara Road Allambie Heights is zoned R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
8 Orara Road Allambie Heights is not considered a heritage item

#### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

#### Construction

Timber Framed Floor, Masonry Walls  
Roof Tiled Roof to have N/A Insulation  
Insulation to External Masonry Walls N/A  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

#### Basix

Basix Certificate Number A1804318\_02  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.8m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



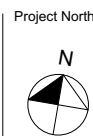
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

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BUILDING DESIGNER

Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date: 13/11/2025  
Project NO: RP1024BYR  
Project Status: DA Rev1  
Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights  
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 1

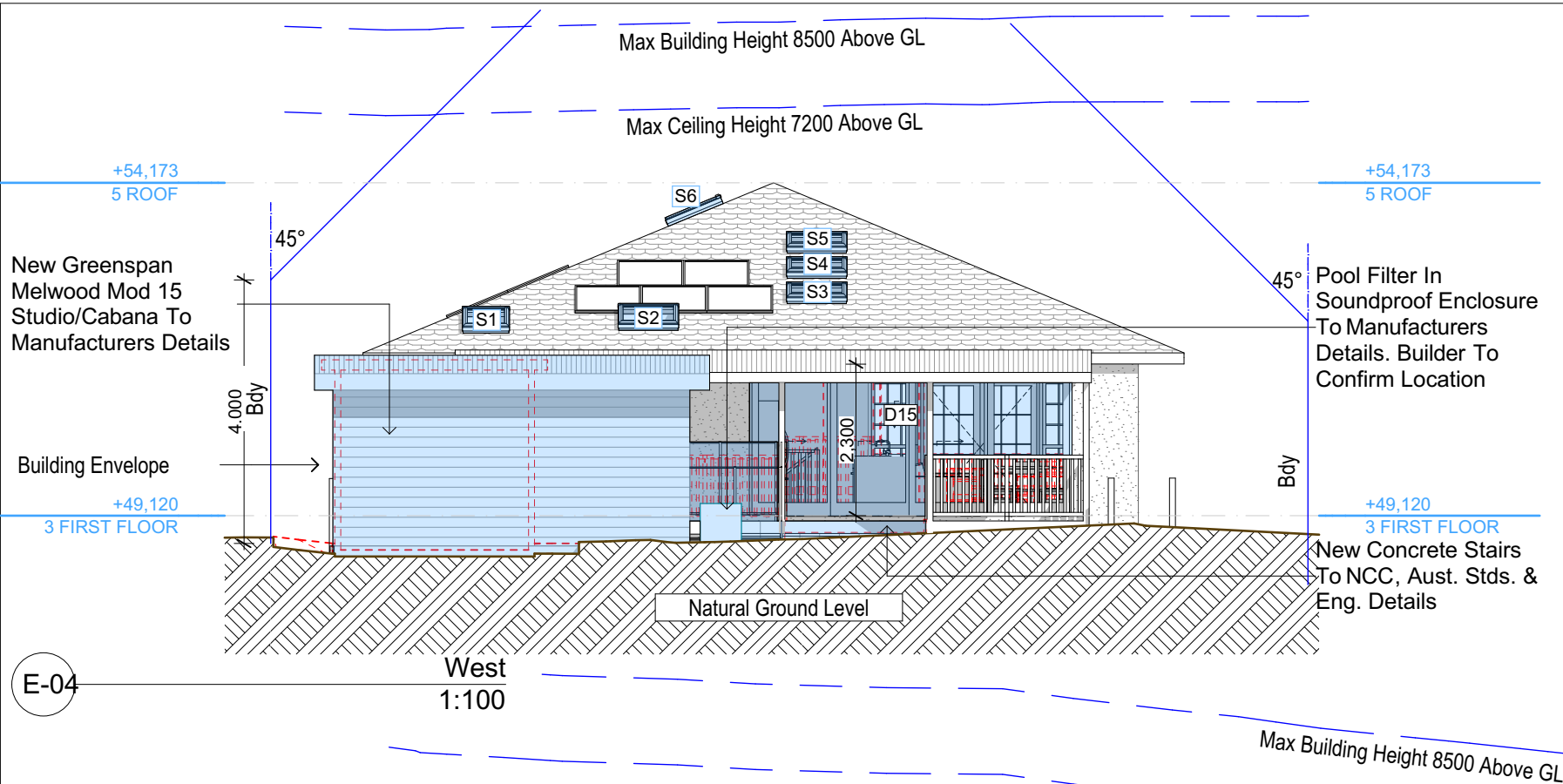
PROJECT NAME :

Alterations & Additions

REVISION NO.

1  
DATE: 30-7-2025  
DRAWING NO: DA4000





Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	S	0.89	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	0.89	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	N	0.9	1.47	6.8	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	N	1.34	1.37	6.8	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	E	1.35	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W16	S	0.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	S	0.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	S	2.16	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	E	3.98	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	E	3.78	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W11	E	1.35	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W12	E	0.45	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	S	0.45	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	E	1.68	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	E	1.68	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

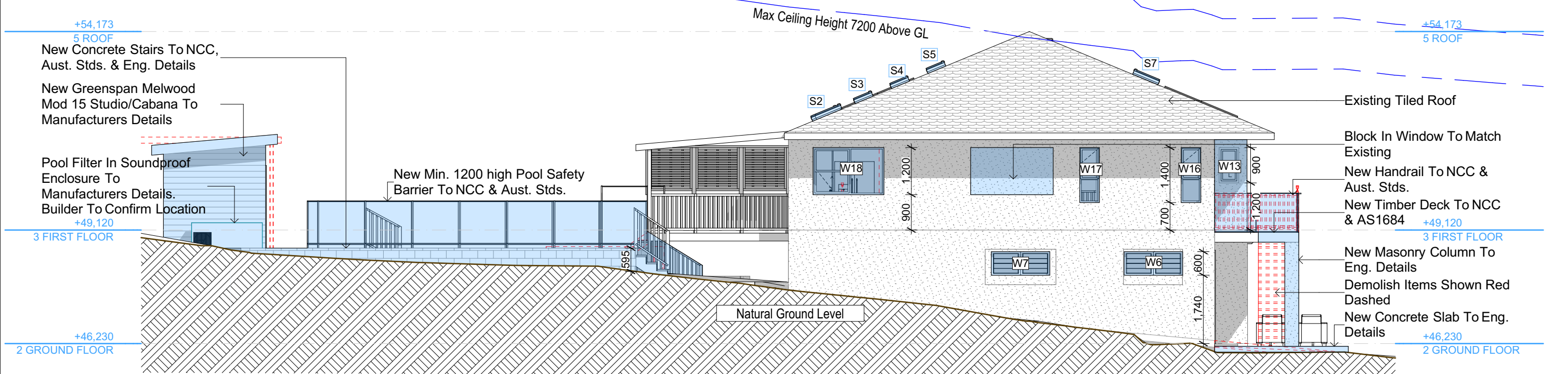
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
D15	W	11.27	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Denotes New Works

**Wall Legend**

Denotes Existing Item

Denotes Demolished Item



**NOTES**

8 Orara Road Allambie Heights is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

8 Orara Road Allambie Heights is not considered a heritage item

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**

Timber Framed Floor, Masonry Walls

Roof Tiled Roof to have N/A Insulation

Insulation to External Masonry Walls N/A

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A1804318\_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2

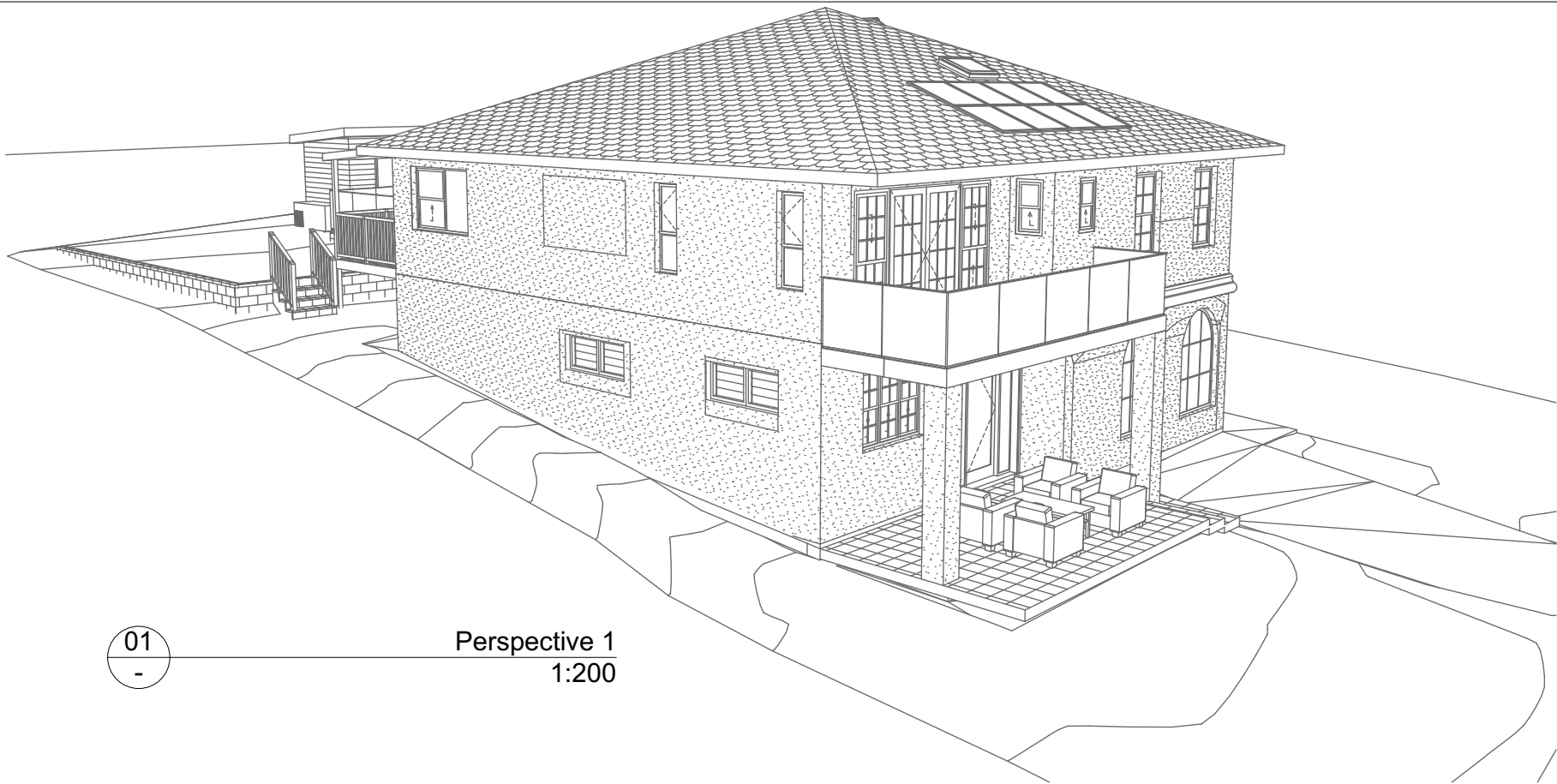
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

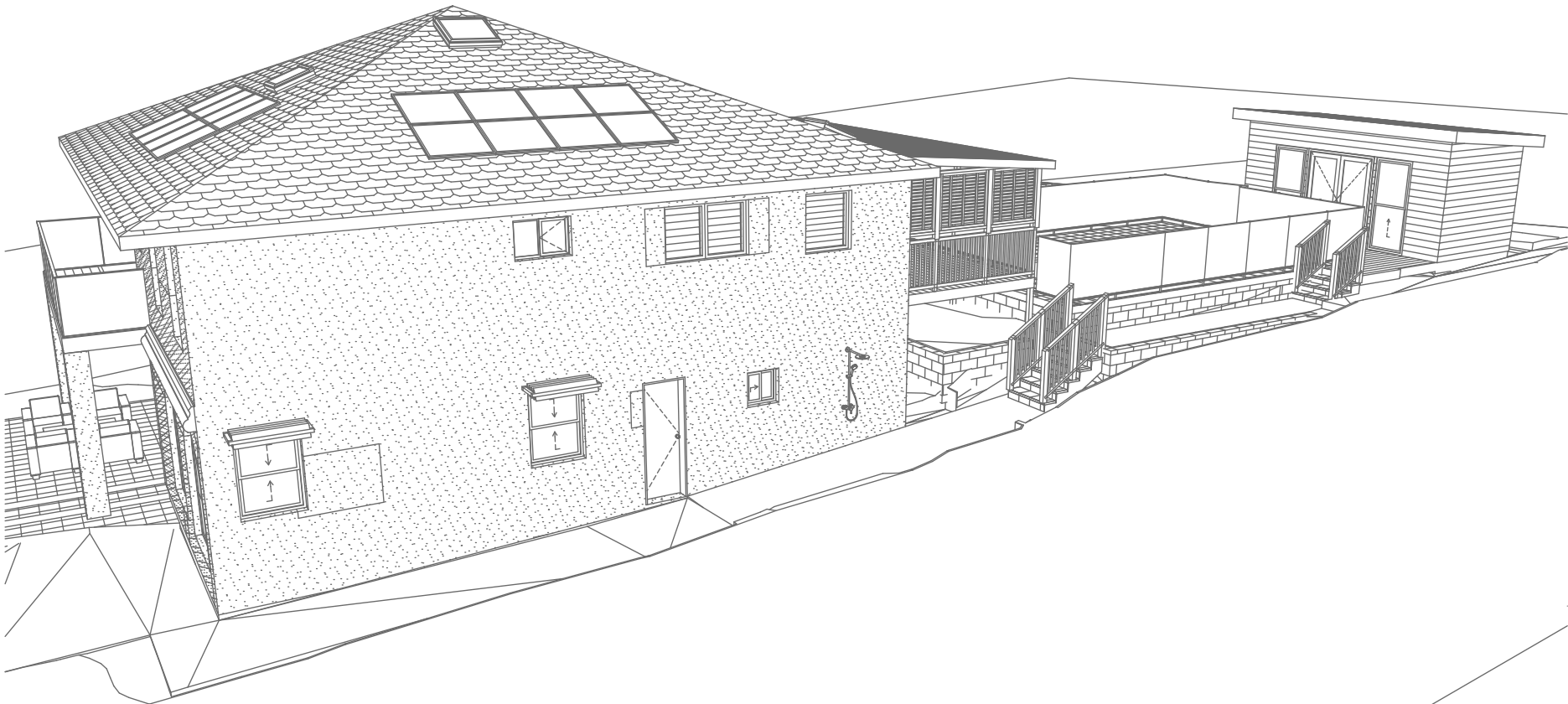
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	558.7m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	41%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	59%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.8m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



01  
-

Perspective 1  
1:200



01  
-

Perspective 2  
1:200

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ONLY  
NOT FOR CONSTRUCTION**



Rapid Plans  
Building Design and Architectural Drafting

01/11/2025  
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**NOTES**

8 Orara Road Allambie Heights is zoned R2 Low Density Residential

8 Orara Road Allambie Heights is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

**Construction**

Timber Framed Floor, Masonry Walls

Roof Tiled Roof to have N/A Insulation

Insulation to External Masonry Walls N/A

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10198-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

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**Basic**

Basic Certificate Number A1804318, 02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m <sup>2</sup> )	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024BYR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)

Site: 8 Orara Road Allambie Heights

DRAWING TITLE : SHADOW PLANS  
**PERSPECTIVE**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
1	30-7-2025

DRAWING NO.:  
**DA5000**

Plot Date: 13/11/2025  
Sheet Size: A3

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Rapid Plans Pty Ltd



Denotes Pool & Tiled Concrete Pool Surround (Typical). Owners To Confirm Type & Colour



Denotes Concrete Block Retaining Wall (Typical). Owners To Confirm Type & Colour



Denotes Greenspan Melwood 15 Studio/Cabana (Typical) To manufacturers Details. Owners To Confirm Type & Colour



Denotes Alloy Windows (Typical). Owners To Confirm Type & Colour



Denotes Alloy Doors (Typical). Owners To Confirm Type & Colour



Denotes Timber Deck (Typical). Owners To Confirm Type & Colour



Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearal/gapclear glazing, or tonedral/gapclear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	1.08	2.3	2.7	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	N	1.08	2.3	2.7	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	E	3	0	0	projection/ height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W4	E	3	0	0	projection/ height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	E	1.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Windows and glazed doors						
W6	S	0.89	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	0.89	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	N	0.9	1.47	6.8	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	N	1.34	1.37	6.8	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	E	1.35	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W11	E	1.35	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W12	E	0.45	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	S	0.45	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	E	1.08	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	E	1.08	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Windows and glazed doors						
W16	S	0.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	S	0.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	S	2.16	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	E	3.98	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	E	3.78	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
D15	W	11.27	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.44	no shading	timber, low-E internal/argon filled external, (or U-value: 2.9, SHGC: 0.456)
S2	0.58	no shading	timber, low-E internal/argon filled external, (or U-value: 2.9, SHGC: 0.456)
S3-5	1.2	no shading	timber, low-E internal/argon filled external, (or U-value: 2.9, SHGC: 0.456)
S6	0.76	no shading	timber, low-E internal/argon filled external, (or U-value: 2.9, SHGC: 0.456)
S7	0.58	no shading	timber, low-E internal/argon filled external, (or U-value: 2.9, SHGC: 0.456)

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



Rapid Plans  
Building Design and Architectural Drafting

Rapid Plans  
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Ph: (03) 9360-8845 Mob: 0414-545-024  
Email: info@rapidplans.com.au

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BUILDING DESIGNER

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**NOTES**  
8 Orara Road Allambie Heights is zoned R2 Low Density Residential  
8 Orara Road Allambie Heights is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue  
**Construction**  
Timber Framed Floor, Masonry Walls  
Roof Tiled Roof to have NIA Insulation  
Insulation to External Masonry Walls NIA  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1657  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1078-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans  
**Basic**  
Basic Certificate Number A1804318, 02  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	558.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m2)	59%	Yes
Maximum cut into gnd (m)	1.7m	Yes
Maximum depth of fill (m)	0.8m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 13/11/2025  
Project NO.: RP1024YR  
Project Status DA Rev1

Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights

**DRAWING TITLE: SHADOW PLANS MATERIAL & COLOUR SAMPLE BOARD**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
<b>1</b>	<b>30-7-2025</b>

DRAWING NO.: **DA5001**

Plot Date: 13/11/2025  
Sheet Size: A3

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10



HD	AUSTRALIAN HEIGHT DATUM
WN	AWNING
-B	AWNING TO BOUNDARY
-B	BALCONY TO BOUNDARY
VI	BENCH MARK
3W	BOTTOM OF WALL
;	CENTRE LINE
3NC	CONCRETE
;	CONCRETE SURFACE
7H/S	DIAMETER/HEIGHT/SPREAD
	DOOR
;	EDGE OF BITUMEN
;	EDGE OF CONCRETE
;	EAVE & GUTTER
	ELECTRICAL BOX
3N	FLOOR LEVEL
D	GARDEN
	HYDRANT
I	KERB OUTLET
	LAMP HOLE
	LIP OF KERB
	NATURAL SURFACE
V	PAVERS
	POWER POLE
	PLANTER
T	PARAPET
	REDUCED LEVEL
	STEPS
;	SHED TO BOUNDARY
	SURFACE LEVEL

**ONLY**  
**NOT FOR CONSTRUCTION**

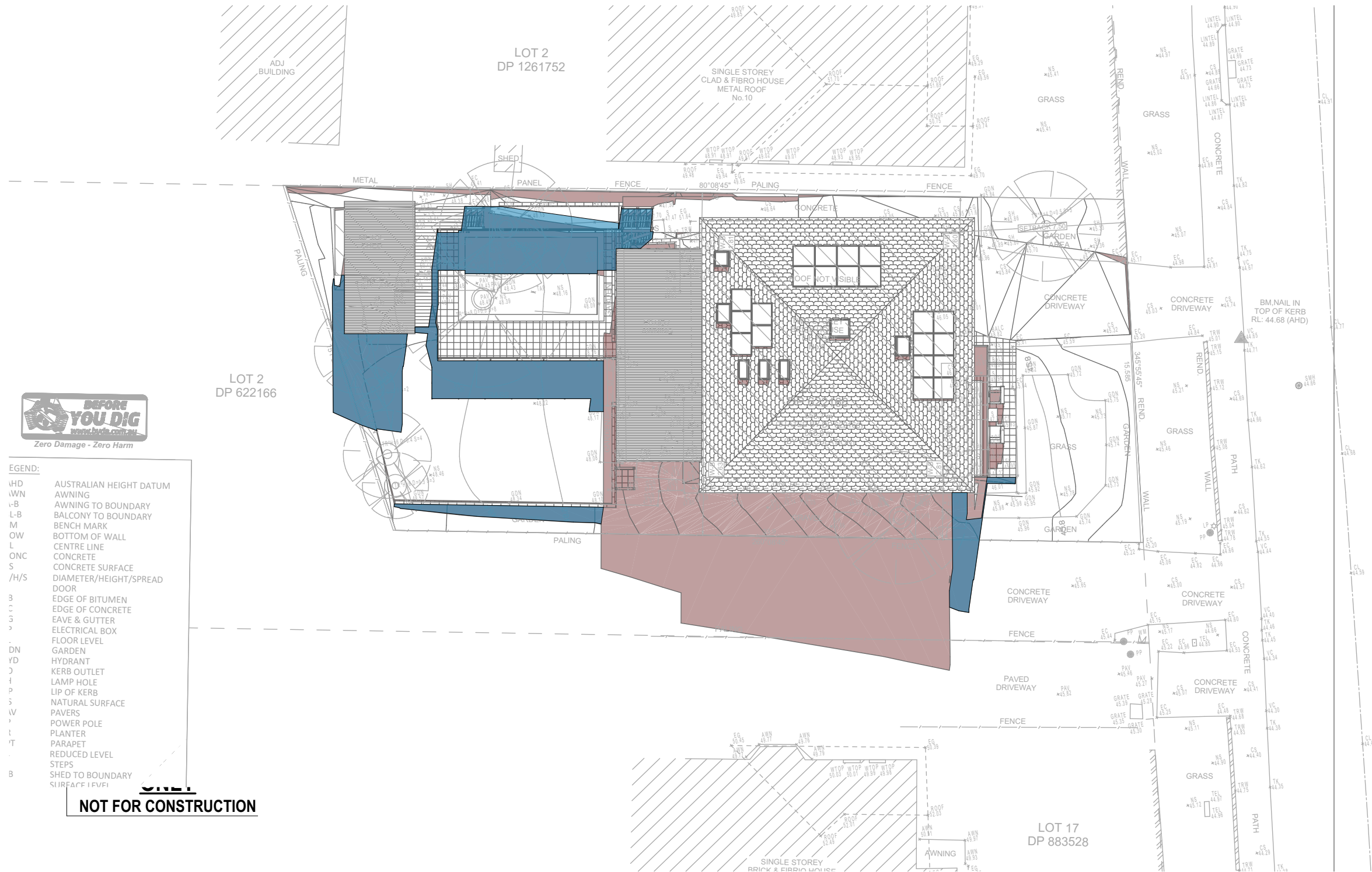
01

Shadow 21st June 9am  
1:200



Denotes Proposed Shadow

Denotes Existing Shadow



- LEGEND:
- HD AUSTRALIAN HEIGHT DATUM
  - WN AWNING
  - WB AWNING TO BOUNDARY
  - LB BALCONY TO BOUNDARY
  - M BENCH MARK
  - OW BOTTOM OF WALL
  - L CENTRE LINE
  - ONC CONCRETE
  - S CONCRETE SURFACE
  - /H/S DIAMETER/HEIGHT/SPREAD
  - DOOR
  - 3 EDGE OF BITUMEN
  - C EDGE OF CONCRETE
  - S EAVE & GUTTER
  - P ELECTRICAL BOX
  - FLOOR LEVEL
  - DN GARDEN
  - YD HYDRANT
  - O KERB OUTLET
  - L LAMP HOLE
  - P LIP OF KERB
  - S NATURAL SURFACE
  - IV PAVERS
  - P POWER POLE
  - L PLANTER
  - T PARAPET
  - REDUCED LEVEL
  - STEPS
  - B SHED TO BOUNDARY
  - SURFACE LEVEL

NOT FOR CONSTRUCTION

01  
-  
Shadow 21st June 12pm  
1:200

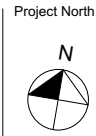


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North  
Checked Plot Date: 13/11/2025  
Project NO: RP1024BYR  
Project Status: DA Rev1  
Client: Anthony & Yaninna Byrne (Heliconia)  
Site: 8 Orara Road Allambie Heights  
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS  
SHADOW PLAN 21st June 12pm  
PROJECT NAME : Alterations & Additions

REVISION NO. 1  
DATE: 30-7-2025  
DRAWING NO. DA5003



AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
A-B	AWNING TO BOUNDARY
BL-B	BALCONY TO BOUNDARY
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
)/H/S	DIAMETER/HEIGHT/SPREAD
DO	DOOR
:B	EDGE OF BITUMEN
:C	EDGE OF CONCRETE
:G	EAVE & GUTTER
:IP	ELECTRICAL BOX
:L	FLOOR LEVEL
3DN	GARDEN
HYD	HYDRANT
:O	KERB OUTLET
H	LAMP HOLE
IP	LIP OF KERB
JS	NATURAL SURFACE
AV	PAVERS
P	POWER POLE
R	PLANTER
PT	PARAPET
L	REDUCED LEVEL

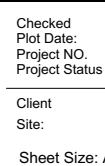
**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

01 Shadow 21st June 3pm  
- 1:200



**BUILDING DESIGNERS**  
ASSOCIATION OF AUSTRALIA

**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June**  
**3pm**

---

PROJECT NAME : **Alterations & Additions**

REVISION NO.  
**1**  
DATE.  
**30-7-2025**  
DRAWING NO.  
**DA5004**