

DEVELOPMENT APPLICATION DRAWING LIST

SHEET NUMBER SHEET NAME

- DA 000 COVER PAGE & DRAWING REGISTER
- DA 002 PROPOSED SITE PLAN
- DA 003 PROPOSED GARAGE FLOOR PLAN
- DA 004 PROPOSED GROUND FLOOR PLAN
- DA 005 PROPOSED FIRST FLOOR PLAN
- DA 006 PROPOSED ROOF PLAN
- DA 007 ELEVATION - NORTH-WEST
- DA 008 ELEVATION - NORTH-EAST
- DA 009 ELEVATION - SOUTH-EAST
- DA 010 ELEVATION - SOUTH-WEST
- DA 011 SECTION A - MAIN HOUSE
- DA 012 SECTION B - POOL, HOME OFFICE & GARAGE
- DA 013 SECTION C - GARAGE AND LIVING
- DA 020 EXTERNAL FINISHES & MATERIALS



LOCATION PLAN
1:1000



VIEW FROM BOWER STREET



62 IVY STREET DARLINGTON, SYDNEY, NSW 2008
P: +61 2 9690 2211
E: info@cplusc.com.au
W: www.cplusc.com.au

PROJECT
19-030 HOLOCENE HOUSE

PROJECT ADDRESS
7 BOWER STREET
MANLY, 2095

CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

PROJECT CONTACT
CARMEN CHAN (PROJECT ARCHITECT)
E: carmen@cplusc.com.au
P: +61 2 9690 2211

DOCUMENTS BY OTHER CONSULTANTS

- SURVEY PLAN BY C.M.S. SURVEYORS
- BASIX CERTIFICATE BY CERTIFIED ENERGY
- STATEMENT OF ENVIRONMENTAL EFFECTS BY WILLANA URBAN
- LANDSCAPE PLAN BY DUNCAN GIBBS
- STORMWATER MANAGEMENT PLANS BY STELLEN CONSULTING
- GEOTECHNICAL REPORT BY WITT CONSULTING
- BUSHFIRE REPORT BY BUSHFIRE PLANNING SERVICES
- ECOLOGICAL IMPACT STATEMENT BY ACS ENVIRONMENTAL

FOR SECTION 4.55

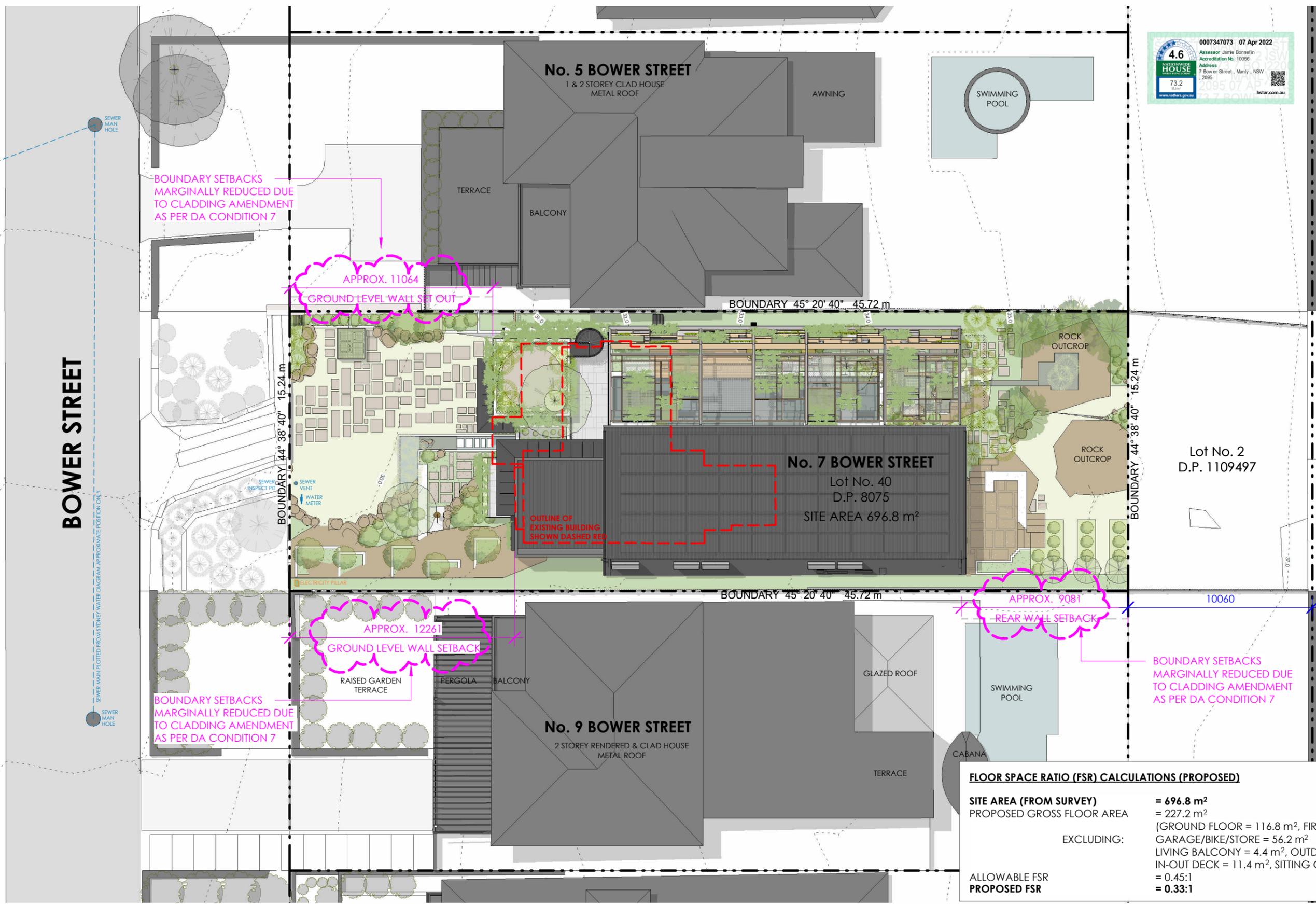
DRAWING TITLE
COVER PAGE & DRAWING REGISTER

REVISION DATE REVISION DRAWING NUMBER

04/04/2022

2

DA 000



FLOOR SPACE RATIO (FSR) CALCULATIONS (PROPOSED)	
SITE AREA (FROM SURVEY)	= 696.8 m²
PROPOSED GROSS FLOOR AREA	= 227.2 m ² (GROUND FLOOR = 116.8 m ² , FIRST FLOOR = 110.4 m ²)
EXCLUDING:	GARAGE/BIKE/STORE = 56.2 m ² LIVING BALCONY = 4.4 m ² , OUTDOOR SITTING = 32.1 m ² IN-OUT DECK = 11.4 m ² , SITTING GARDEN = 8.7 m ²
ALLOWABLE FSR	= 0.45:1
PROPOSED FSR	= 0.33:1

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19-030 HOLOCENE HOUSE

PROJECT ADDRESS
7 BOWER STREET
MANLY, 2095

CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

SCALE
1 : 200 @ A3

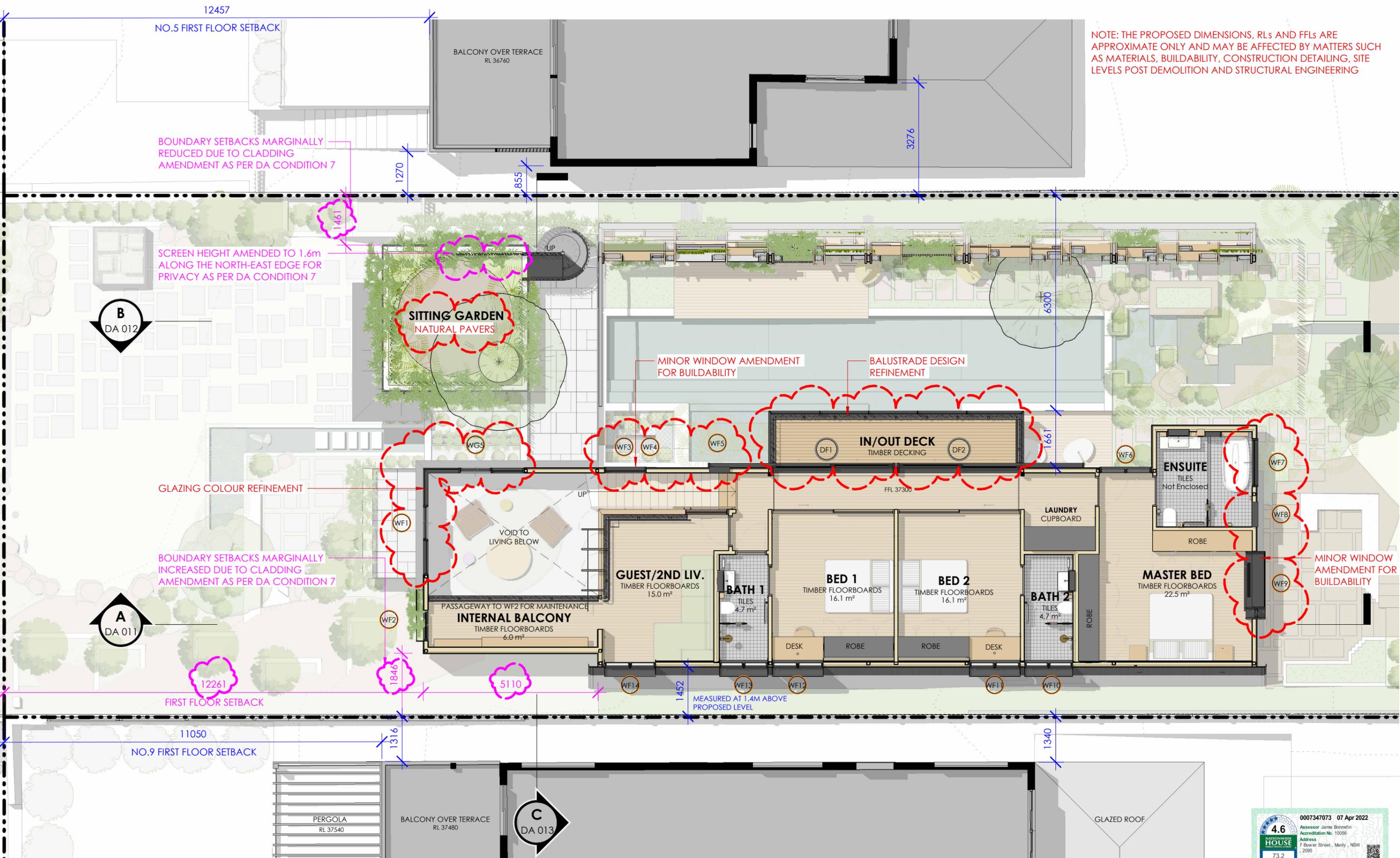
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DRAWING TITLE
PROPOSED SITE PLAN

REVISION DATE
04/04/2022

REVISION
2

DRAWING NUMBER
DA 002



NOTE: THE PROPOSED DIMENSIONS, RLs AND FFLs ARE APPROXIMATE ONLY AND MAY BE AFFECTED BY MATTERS SUCH AS MATERIALS, BUILDABILITY, CONSTRUCTION DETAILING, SITE LEVELS POST DEMOLITION AND STRUCTURAL ENGINEERING

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		<p>PROJECT ADDRESS 7 BOWER STREET MANLY, 2095</p>	<p>CLIENT JURGEN SPANGL & KARIN MUNDSPERGER</p>	<p>DRAWN BY RN/CAR</p> <p>REVIEWED BY CC</p>	<p>REVISION DATE 04/04/2022</p>	<p>REVISION 2</p>



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DESIGN REFINEMENT TO GREEN CANOPY /PERGOLA STRUCTURE FOR BUILDABILITY, IMPROVED PRIVACY, SOLAR CONTROL

STEEL FINISH AMENDED TO ALIGN WITH UPDATED EXTERNAL CLADDING AS PER DA CONDITION 7

PEBBLE ROOF REPLACED WITH SHEET METAL ROOFING FOR IMPROVED STORMWATER MANAGEMENT AND WATERPROOFING.

GREEN CANOPY

GREEN CANOPY

GREEN CANOPY

GREEN CANOPY

PHOTOVOLTAIC PANELS TO BASIX REQUIREMENTS

SHEET METAL ROOF TO BASIX REQUIREMENTS

SHEET METAL ROOF TO BASIX REQUIREMENTS

B DA 012

A DA 011

C DA 013



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MANLY, 2095

CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

SCALE
1 : 100 @ A3

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DRAWING TITLE
PROPOSED ROOF PLAN

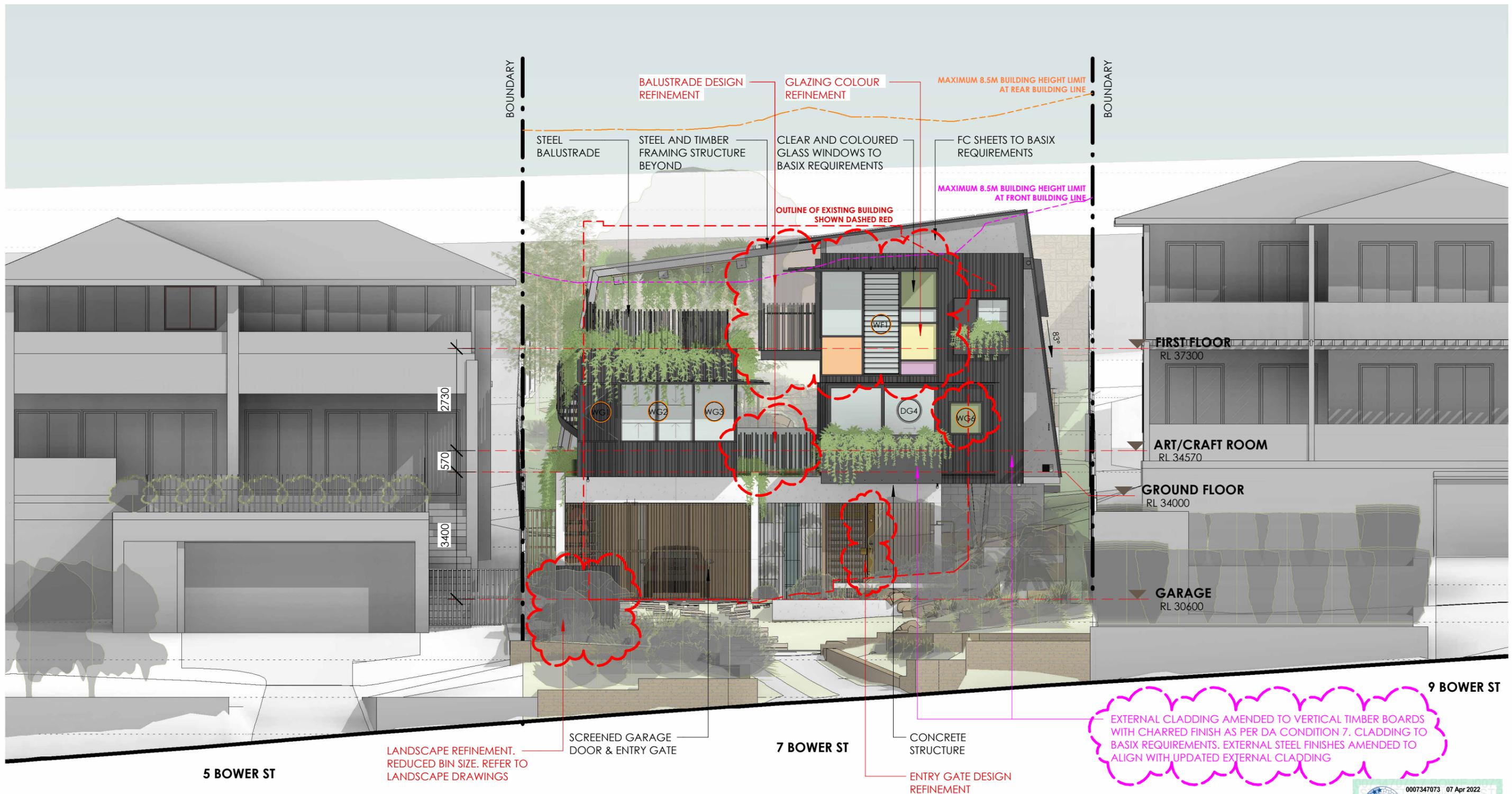
REVISION DATE
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REVISION
2

DRAWING NUMBER
DA 006

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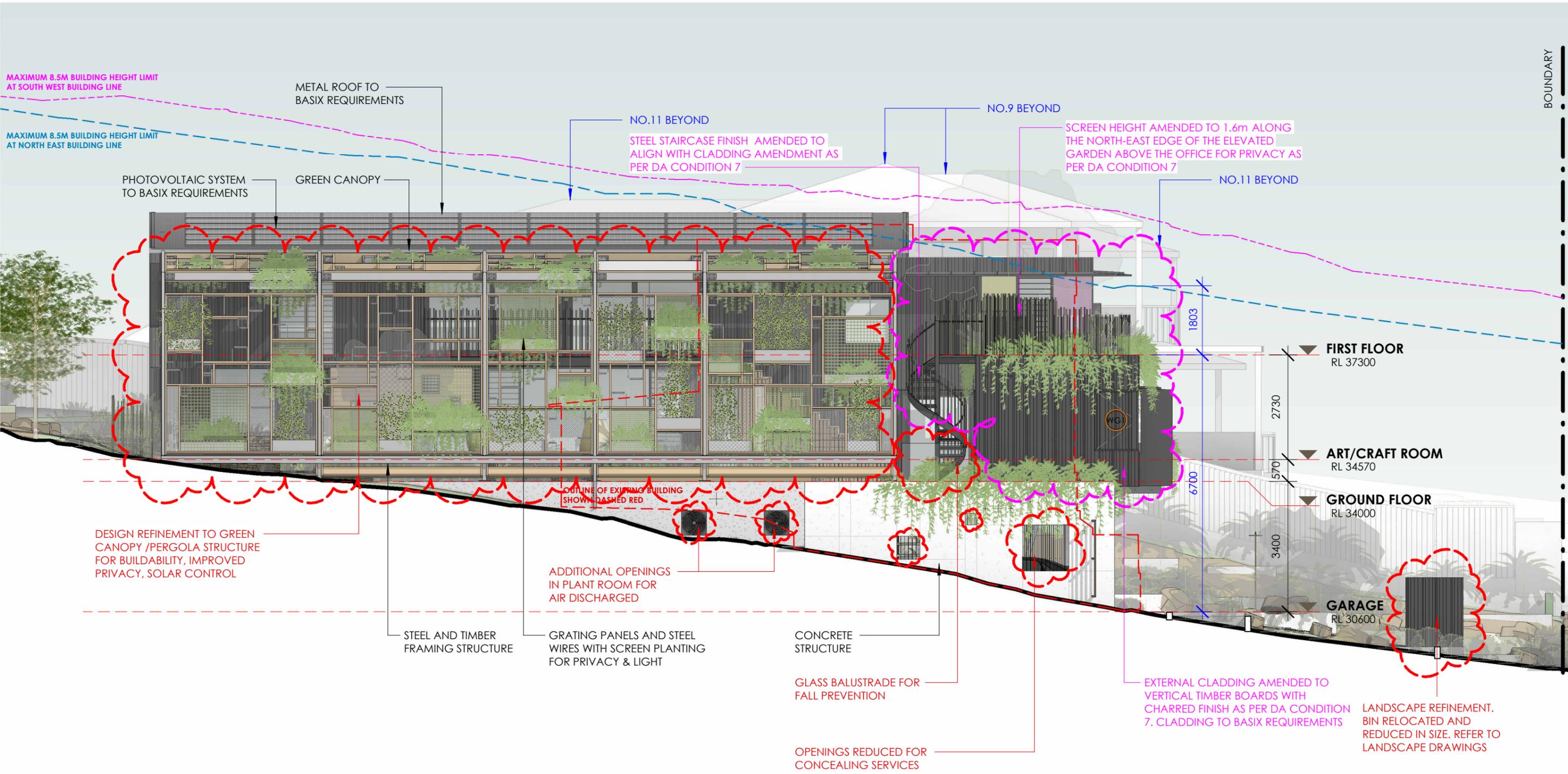
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		<p>PROJECT ADDRESS 7 BOWER STREET MANLY, 2095</p>	<p>CLIENT JURGEN SPANGL & KARIN MUNDSPERGER</p>	<p>DRAWN BY RN/CAR</p> <p>REVIEWED BY CC</p>	<p>REVISION DATE 04/04/2022</p>	<p>REVISION 2</p>



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BOUNDARY

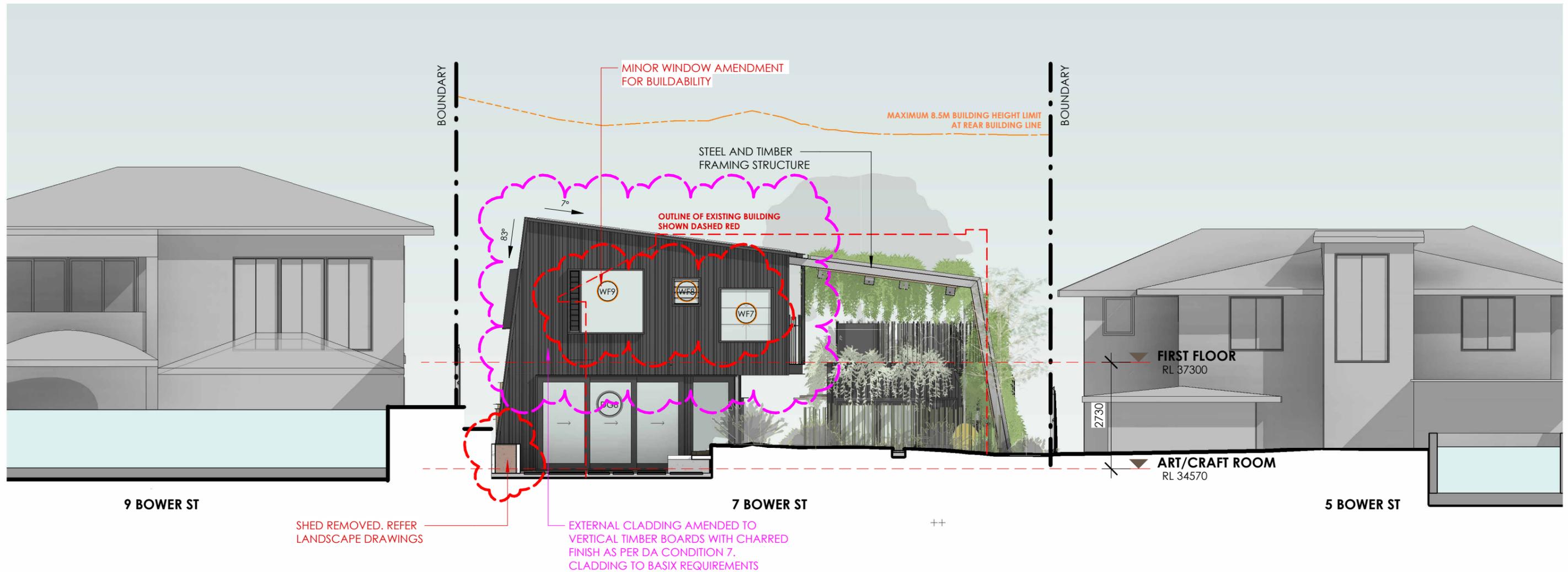


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		<p>PROJECT ADDRESS 7 BOWER STREET MANLY, 2095</p>	<p>CLIENT JURGEN SPANGL & KARIN MUNDSPERGER</p>	<p>DRAWN BY RN/CAR</p> <p>REVIEWED BY CC</p>	<p>REVISION DATE 04/04/2022</p>	<p>REVISION 2</p>

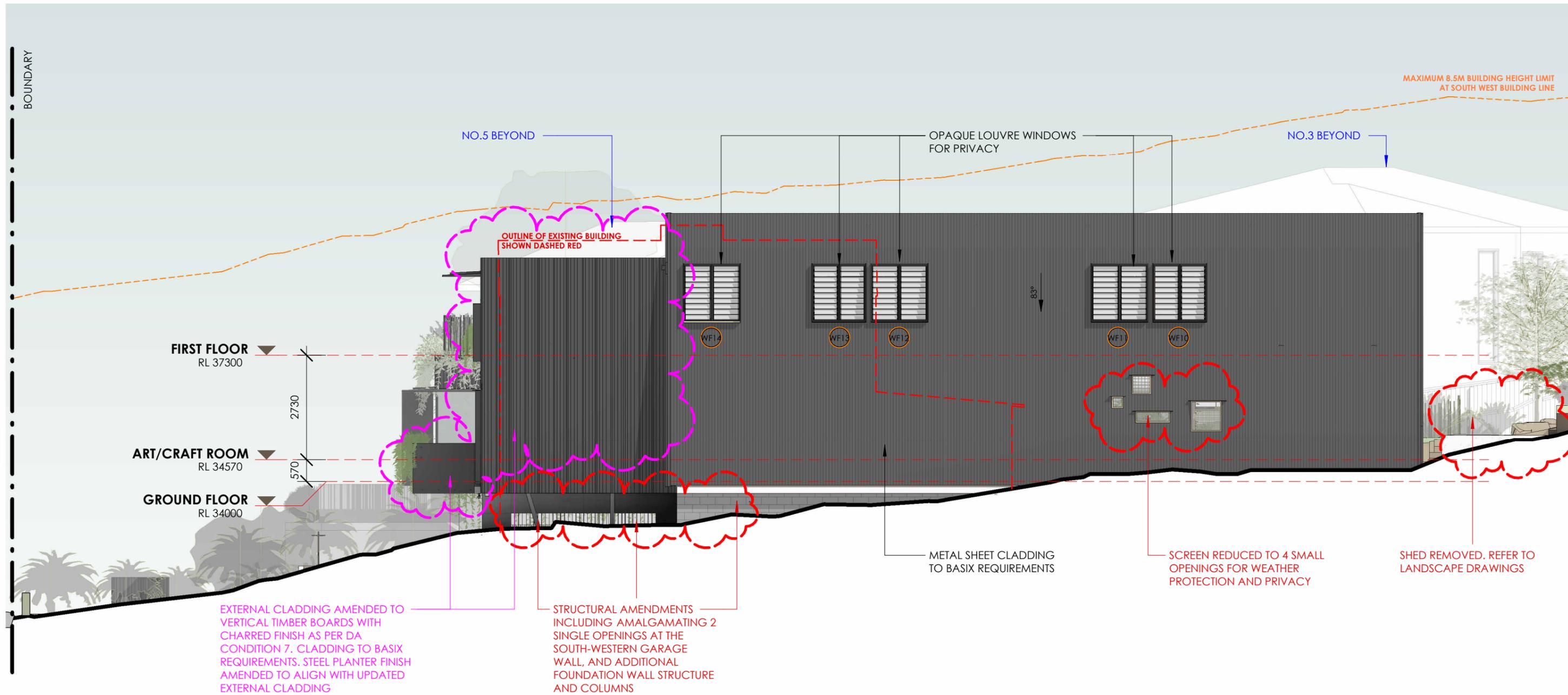
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		<p>PROJECT ADDRESS 7 BOWER STREET MANLY, 2095</p>	<p>CLIENT JURGEN SPANGL & KARIN MUNDSPERGER</p>	<p>DRAWN BY RN/CAR</p> <p>REVIEWED BY CC</p>	<p>REVISION DATE 04/04/2022</p>	<p>REVISION 2</p>

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PROJECT 19-030 HOLOCENE HOUSE		SCALE 1 : 100 @ A3	DRAWING TITLE ELEVATION - SOUTH-WEST		
PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 04/04/2022	REVISION 2	DRAWING NUMBER DA 010

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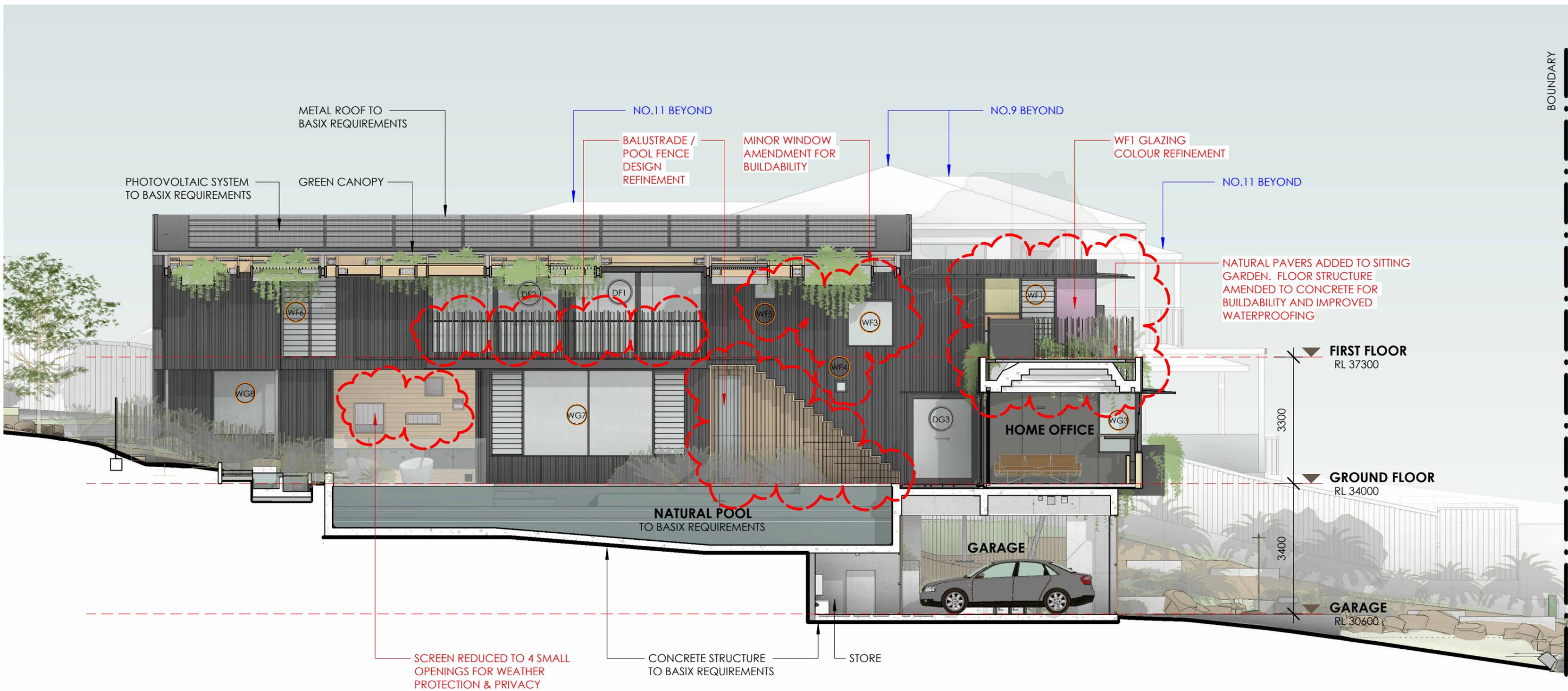
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PROJECT 19-030 HOLOCENE HOUSE		SCALE 1 : 100 @ A3	DRAWING TITLE SECTION A - MAIN HOUSE		
PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR	REVISION DATE 04/04/2022	REVISION 2	DRAWING NUMBER DA 011
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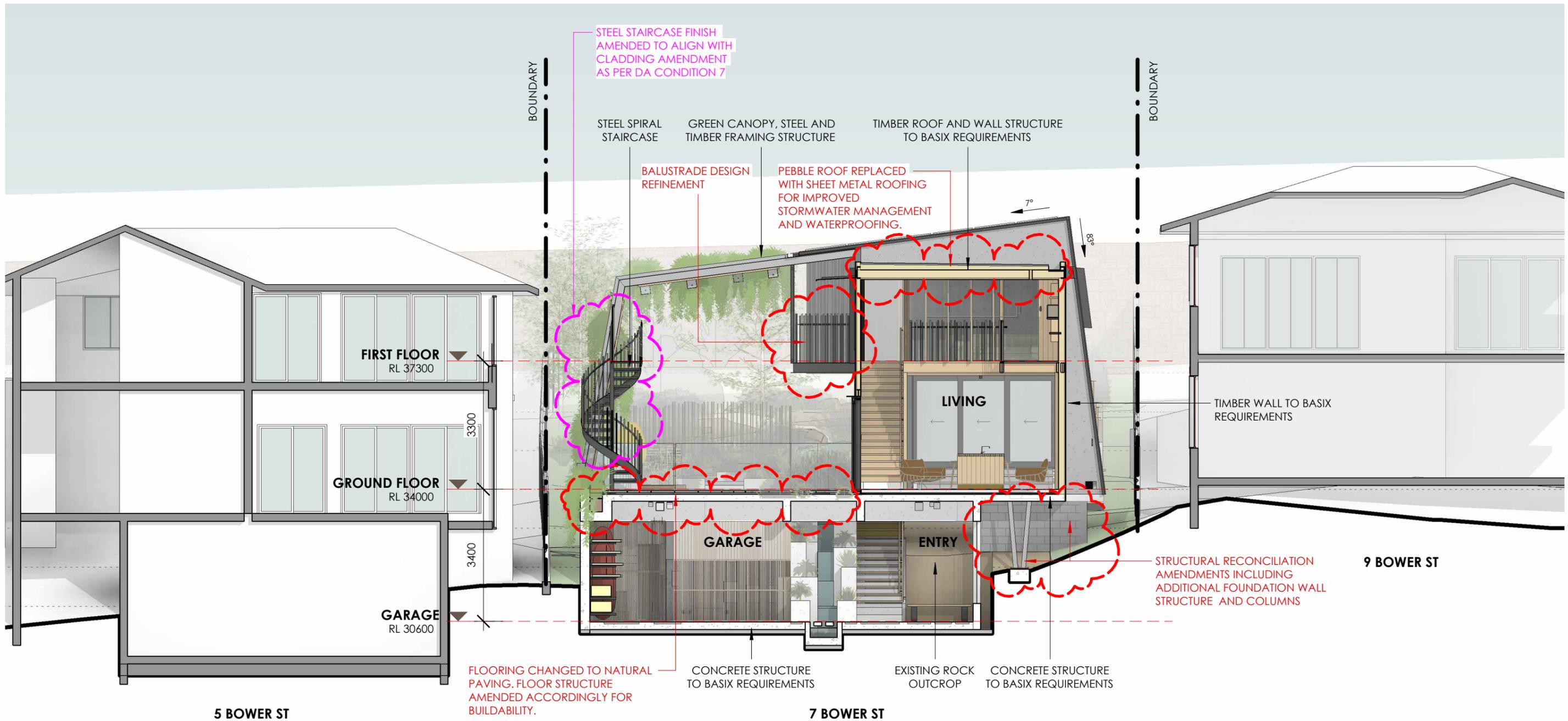


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		<p>PROJECT ADDRESS 7 BOWER STREET MANLY, 2095</p>	<p>CLIENT JURGEN SPANGL & KARIN MUNDSPERGER</p>	<p>DRAWN BY RN/CAR</p> <p>REVIEWED BY CC</p>	<p>REVISION DATE 04/04/2022</p>	<p>REVISION 2</p>

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MANLY, 2095

CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

SCALE
1 : 100 @ A3

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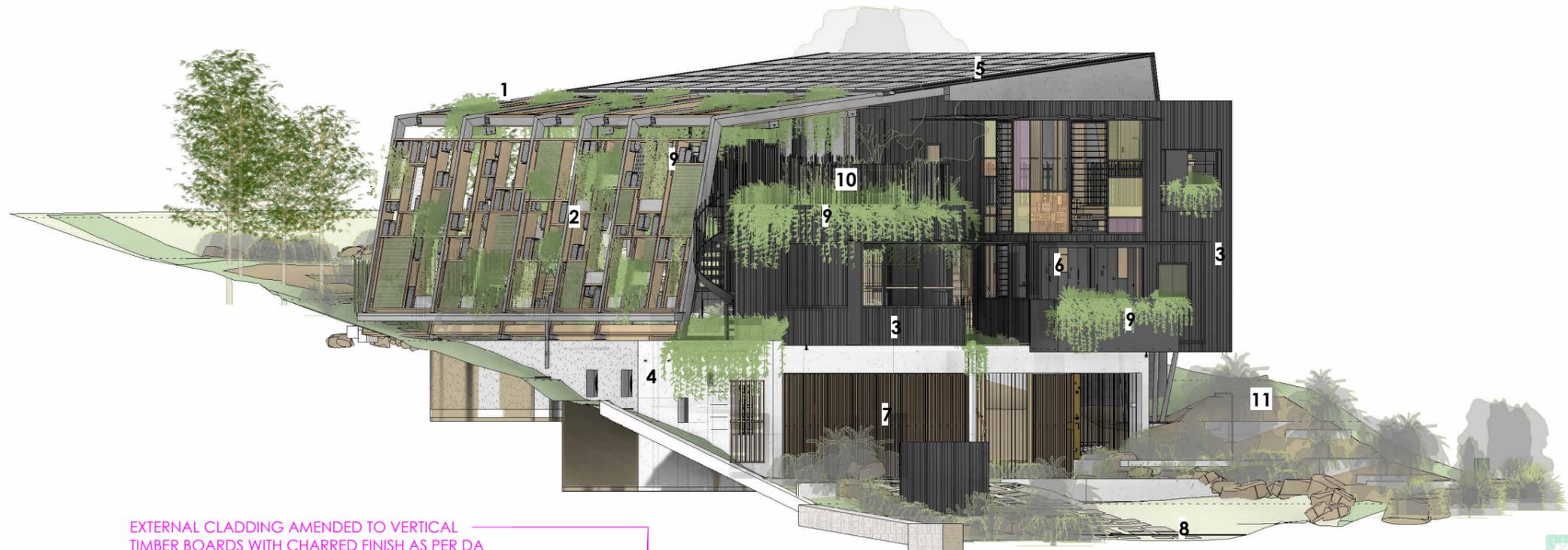
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SECTION C - GARAGE AND LIVING

REVISION DATE
04/04/2022

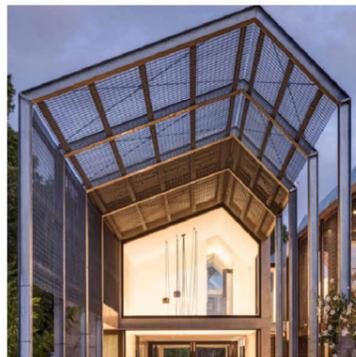
REVISION
2

DRAWING NUMBER
DA 013

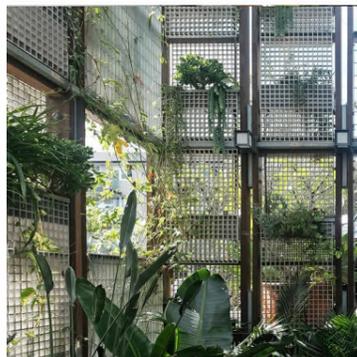




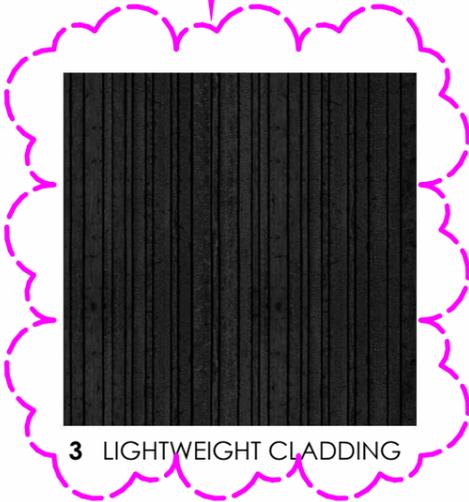
EXTERNAL CLADDING AMENDED TO VERTICAL
TIMBER BOARDS WITH CHARRED FINISH AS PER DA
CONDITION 7. CLADDING TO BASIX
REQUIREMENTS. EXTERNAL STEEL FINISHES AMENDED
TO ALIGN WITH UPDATED EXTERNAL CLADDING



1 STEEL AND TIMBER FRAME
STRUCTURE



2 GRATING PANELS AND
STEEL WIRES WITH
SCREEN PLANTING



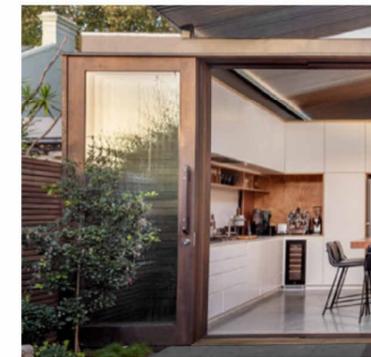
3 LIGHTWEIGHT CLADDING



4 CONCRETE STRUCTURE



5 METAL ROOFING



6 TIMBER FRAMED DOORS
& WINDOWS



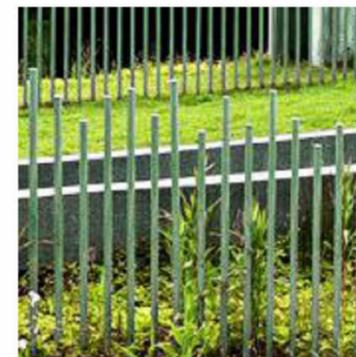
7 TIMBER BATTENS AND STEEL CABLE WIRES



8 INTEGRATED STONE PAVERS



9 CREEPING AND
CASCADING PLANTS



10 STEEL BALUSTRADE



11 EXISTING ROCK OUTCROP



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MANLY, 2095

CLIENT
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MUNDSPERGER

SCALE
NTS
DRAWN BY
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DRAWING TITLE
EXTERNAL FINISHES & MATERIALS

REVISION DATE
04/04/2022

REVISION
2

DRAWING NUMBER
DA 020