



ACTION PLANS

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DEVELOPEMENT APPLICATION

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	17-Jul-19
DA01	SITE ANALYSIS	17-Jul-19
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANA...	17-Jul-19
DA03	EXISTING GROUND FLOOR PLAN	17-Jul-19
DA04	PROPOSED GROUND FLOOR PLAN	17-Jul-19
DA05	FIRST FLOOR PLAN	17-Jul-19
DA06	NORTH / EAST ELEVATION	17-Jul-19
DA07	SOUTH / WEST ELEVATION	17-Jul-19
DA08	LONG / CROSS SECTION	17-Jul-19
DA09	AREA CALCULATIONS / SAMPLE BOARD	17-Jul-19
DA10	WINTER SOLSTICE 9 AM	17-Jul-19
DA11	WINTER SOLSTICE 12 PM	17-Jul-19
DA12	WINTER SOLSTICE 3 PM	17-Jul-19
DA13	BASIX COMMITMENTS	17-Jul-19

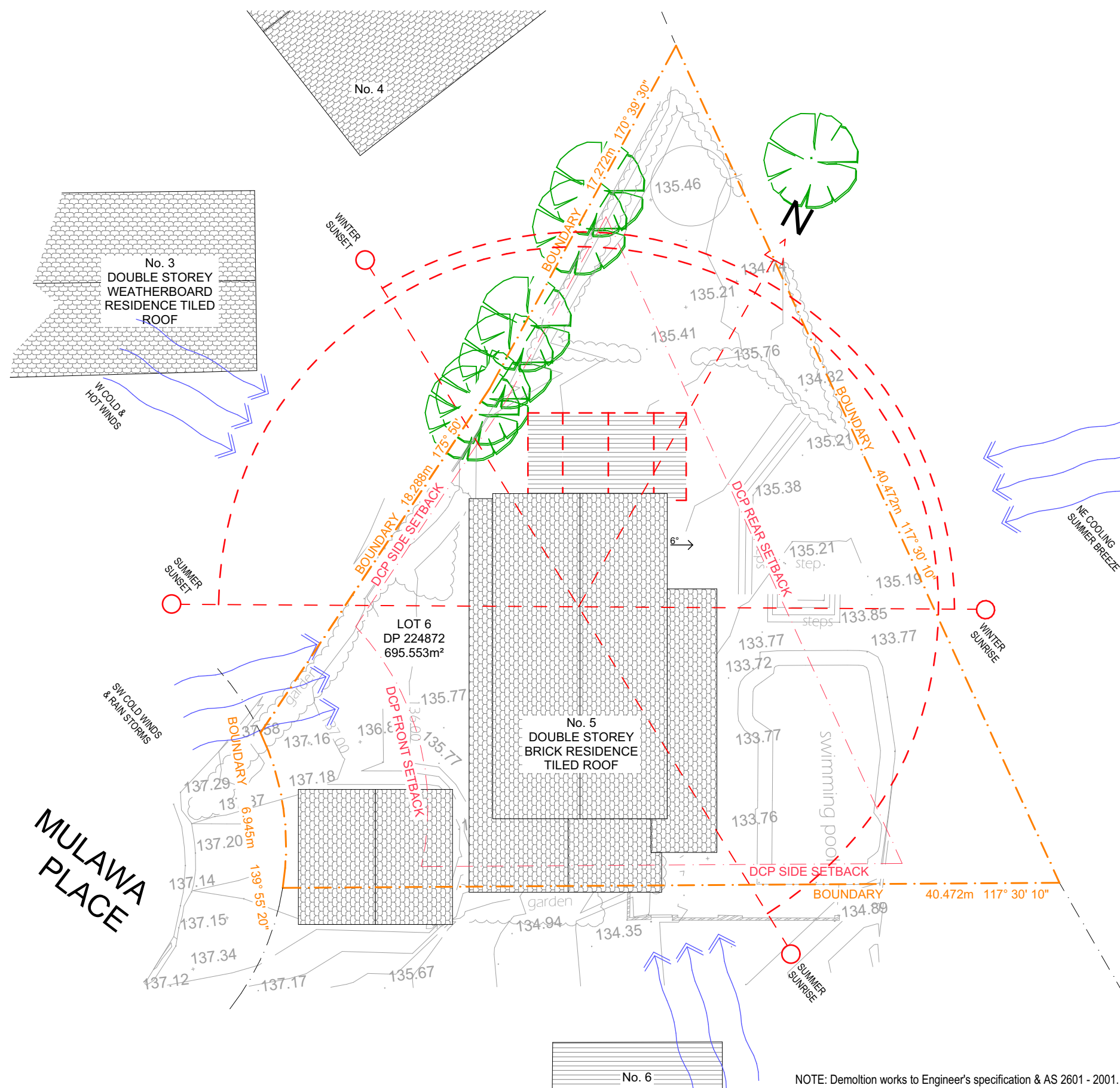
ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	5 MULAWA PLACE, FRENCHS FOREST NSW 2086			
LOT & DP/SP	LOT 6 DP 224872			
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)			
SITE AREA	695.553m²			
FRONTAGE	6.945m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m²	695.553m²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFIED	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	8.4m	UNCHANGED	YES
HAZARDS				
ACID SULFATE SOILS	NOT IDENTIFIED	N/A	N/A	N/A
FLOOD PLANNING	NOT IDENTIFIED	N/A	N/A	N/A
DEVELOPMENT ON SLOPING LAND	LAND SLIP AREA B – FLANKING SLOPES 5° TO 25°	N/A	N/A	YES
COASTAL HAZARDS	NOT IDENTIFIED	N/A	N/A	N/A
HIGH/MED/LOW FLOOD RISK PRECINCT	NOT IDENTIFIED	N/A	N/A	N/A
NATIVE VEGETATION	IDENTIFIED	N/A	N/A	YES
WILDLIFRE CORRIDORS	IDENTIFIED	N/A	N/A	YES
WATERWAYS AND RIPARIAN LAND	IDENTIFIED	N/A	N/A	YES
THREATEND HIGH CONSERVATION HABITAT	IDENTIFIED	N/A	N/A	YES
LAND ADJOINING PUBLIC OPEN SPACE	NOT IDENTIFIED	N/A	N/A	N/A
DCP				
WALL HEIGHT	7.2m	6.1m	UNCHANGED	YES
NUMBER OF STOREYS	NOT IDENTIFIED	N/A	N/A	N/A
SIDE BOUNDARY ENVELOPE	4m @ 45°	N/A	UNCHANGED	YES
SIDE BOUNDARY SETBACKS	0.9m	N: 2.480m S:0.150m	UNCHANGED	YES NO
FRONT BOUNDARY SETBACK	6.5m	9.84m	UNCHANGED	YES
REAR BOUNDARY SETBACK	6.0m	8.1m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (278.22m²)	278.86m²	UNCHANGED	YES
PRIVATE OPEN SPACE	60m²	120m²	UNCHANGED	YES

5 MULAWA PLACE, FRENCHS FOREST NSW 2086




NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009



1 SITE ANALYSIS
1:200



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LEGEND

TIMBER

GLASS

BRICKWORK

METAL

CONCRETE

EXISTING WALLS

TO BE DEMOLISHED

SEDIMENT EROSION FENCE

CLIENT

Stephen & Dearne
Cameron

PROJECT ADDRESS

5 Mulawa Pl, Frenchs
Forest NSW 2086

DRAWING NO.

DA01

DATE

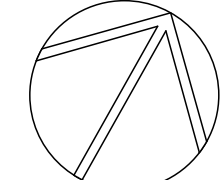
Wednesday, July 17,
2019

DRAWING NAME

SITE ANALYSIS

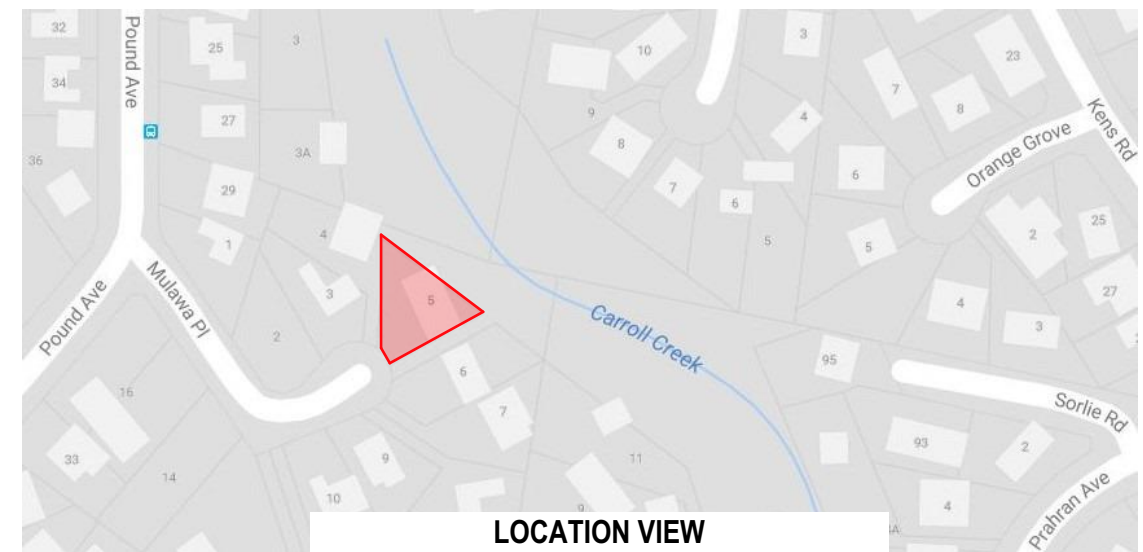
SCALE

1:200 @A3





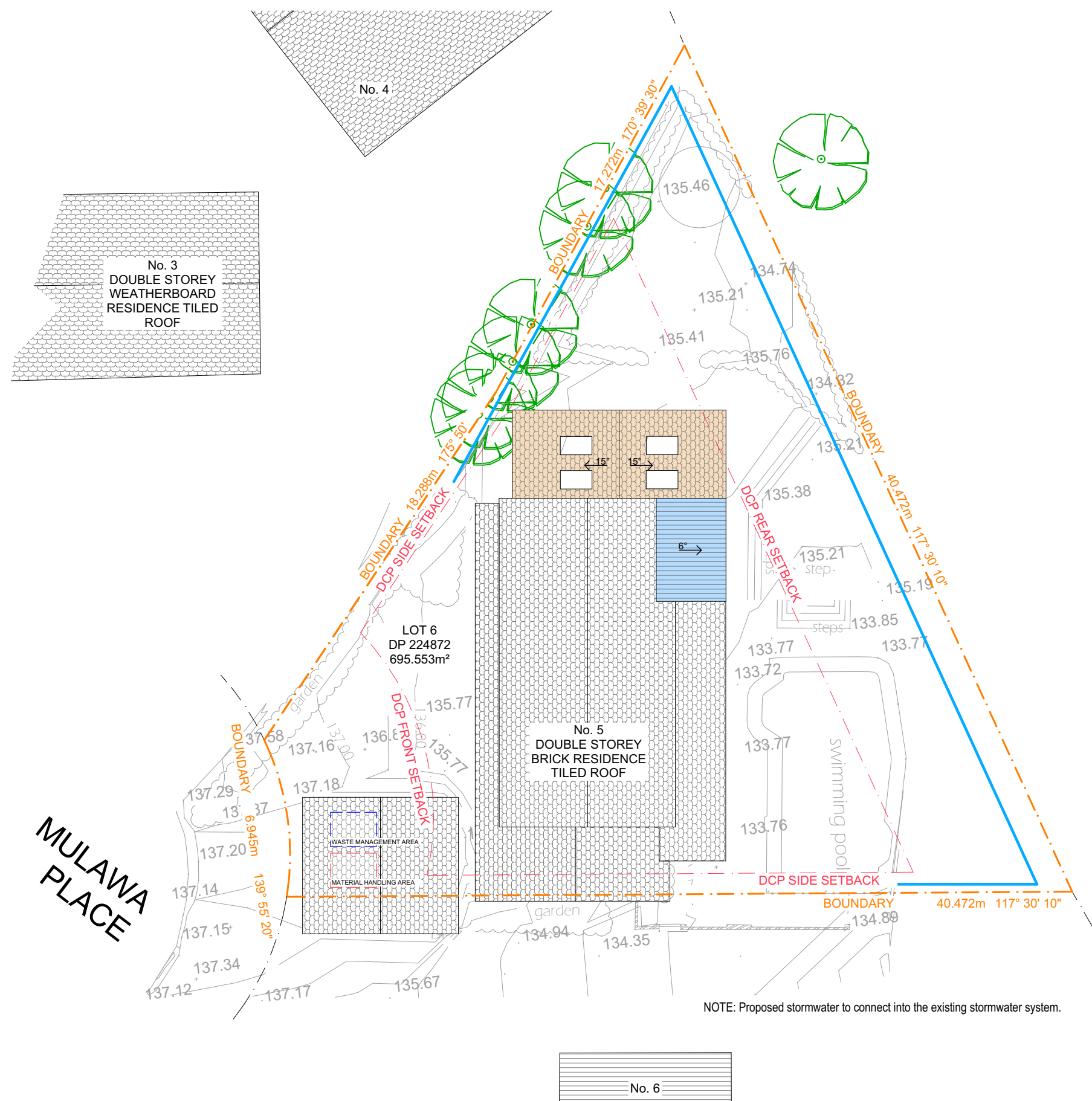
STREET VIEW



LOCATION VIEW



AERIAL MAP



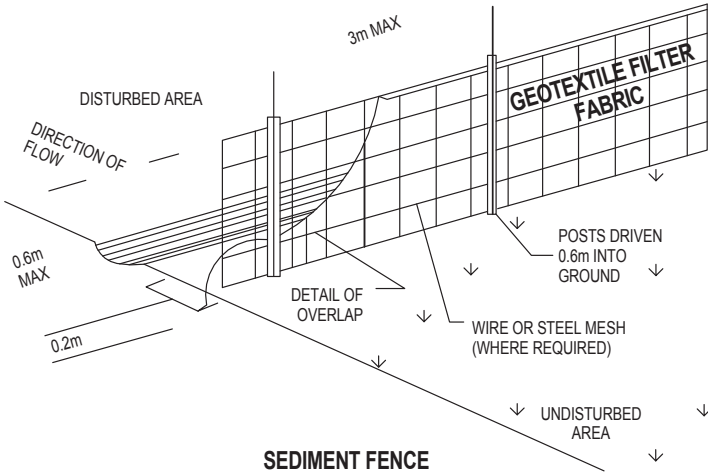
NOTE: Proposed stormwater to connect into the existing stormwater system.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.



1 SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN 1:200

RIDGE
RL +142750

CEILING
RL +141170

FIRST FLOOR LEVEL
RL +138760

GROUND FLOOR LEVEL
RL +135850

BOUNDARY

Timber framed roof @ 6° pitch to Engineer's details; metal sheeting color to match existing.

6.0°

Post to Engineer's design

1m high barrier to NCC standards.

Residential timber framed construction to AS 1684; external weather board cladding.

15.0°

BOUNDARY

No. 3
LOT 4
DP224872

GROUND LINE

①

NORTH ELEVATION

1:100

RIDGE
RL +142750

CEILING
RL +141170

FIRST FLOOR LEVEL
RL +138760

GROUND FLOOR LEVEL
RL +135850

BOUNDARY

No. 6
LOT 8
DP 224872

8.5m LEP HEIGHT CONTROL

4m @ 45°
DCP BUILDING ENVELOPE

45.00°

BOUNDARY

Timber framed roof @ 6° pitch to Engineer's details; metal sheeting color TBC.

Timber framed roof @ 15° pitch to Engineer's details; tiled color to match existing.

Glazing installation to AS 1288.

1m high barrier to NCC standards.

45.00°

GROUND LINE

②

EAST ELEVATION

1:100



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LEGEND

	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		BRICKWORK
	METAL ROOFING		METAL
	TILED ROOFING		EXISTING
	TIMBER		DEMOLISHED

CLIENT

Stephen & Dearn
Cameron

PROJECT ADDRESS

5 Mulawa Pl, Frenchs
Forest NSW 2086

DRAWING NO.

DA06

DATE

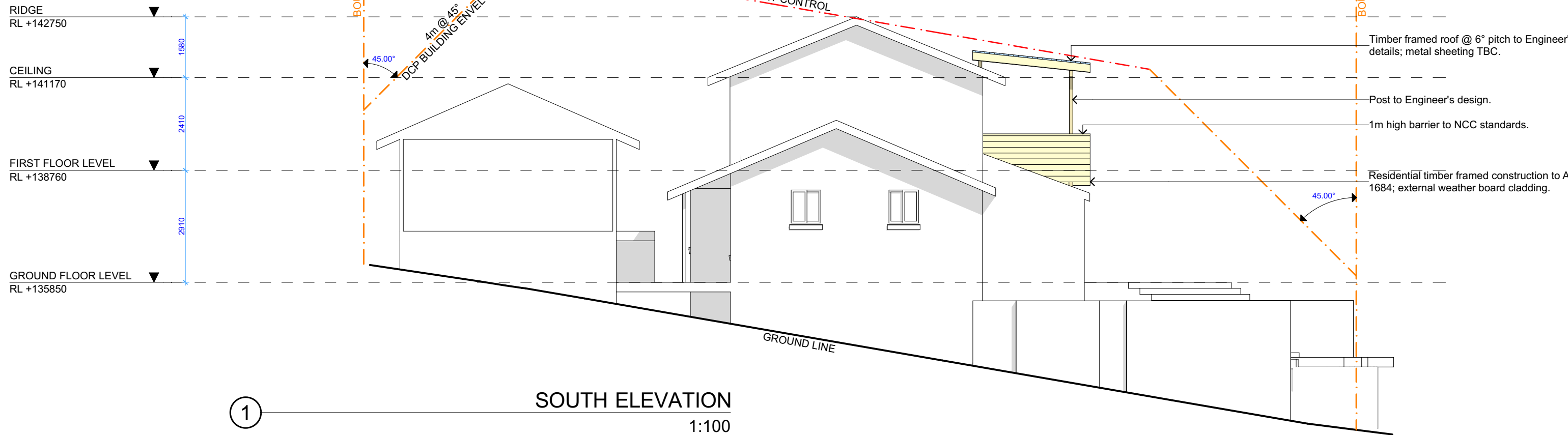
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DRAWING NAME

NORTH / EAST ELEVATION

SCALE

1:100 @A3



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LEGEND	
	NEW FLOOR AREA
	NEW WET FLOOR AREA
	METAL ROOFING
	TILED ROOFING
	TIMBER
	CONCRETE
	BRICKWORK
	METAL
	EXISTING
	DEMOLISHED

CLIENT
Stephen & Dearn
Cameron

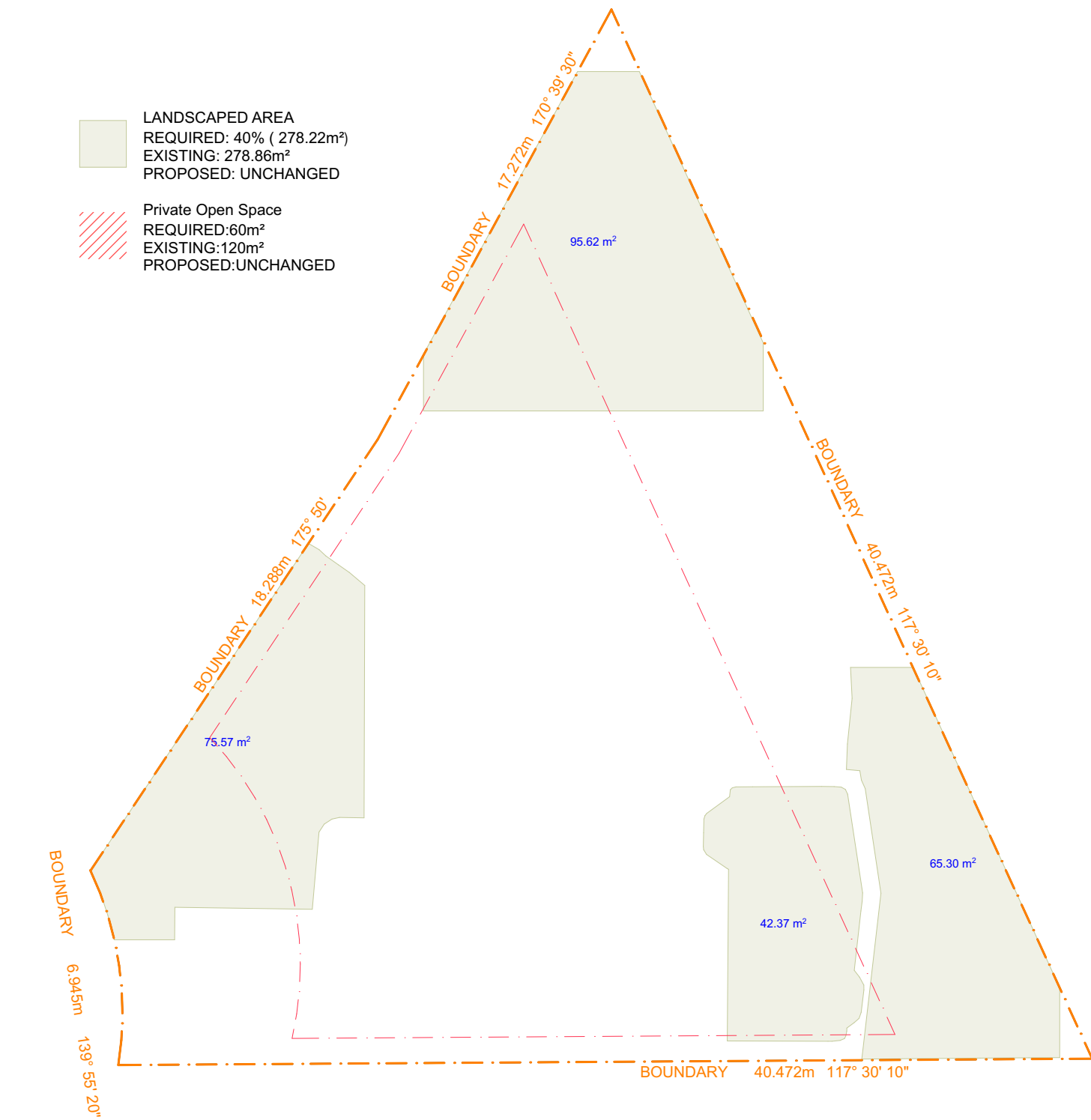
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DA07

DATE
Wednesday, July 17,
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DRAWING NAME
SOUTH / WEST ELEVATION

SCALE
1:100 @A3



1 AREA CALCULATIONS
1:200



KLIP-LOK ROOFING - COLOUR TO
BE CONFIRMED BY CLIENT



FIXED SKYLIGHT WINDOWS
BY VELUX

2 SAMPLE BOARD



ALUMINIUM FRAMED WINDOWS
BY STEGBAR



TILED ROOF & GABLE TO MATCH EXISTING



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LEGEND

- LANDSCAPED AREA
- PRIVATE OPEN SPACE

CLIENT

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DA09

DATE

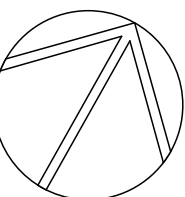
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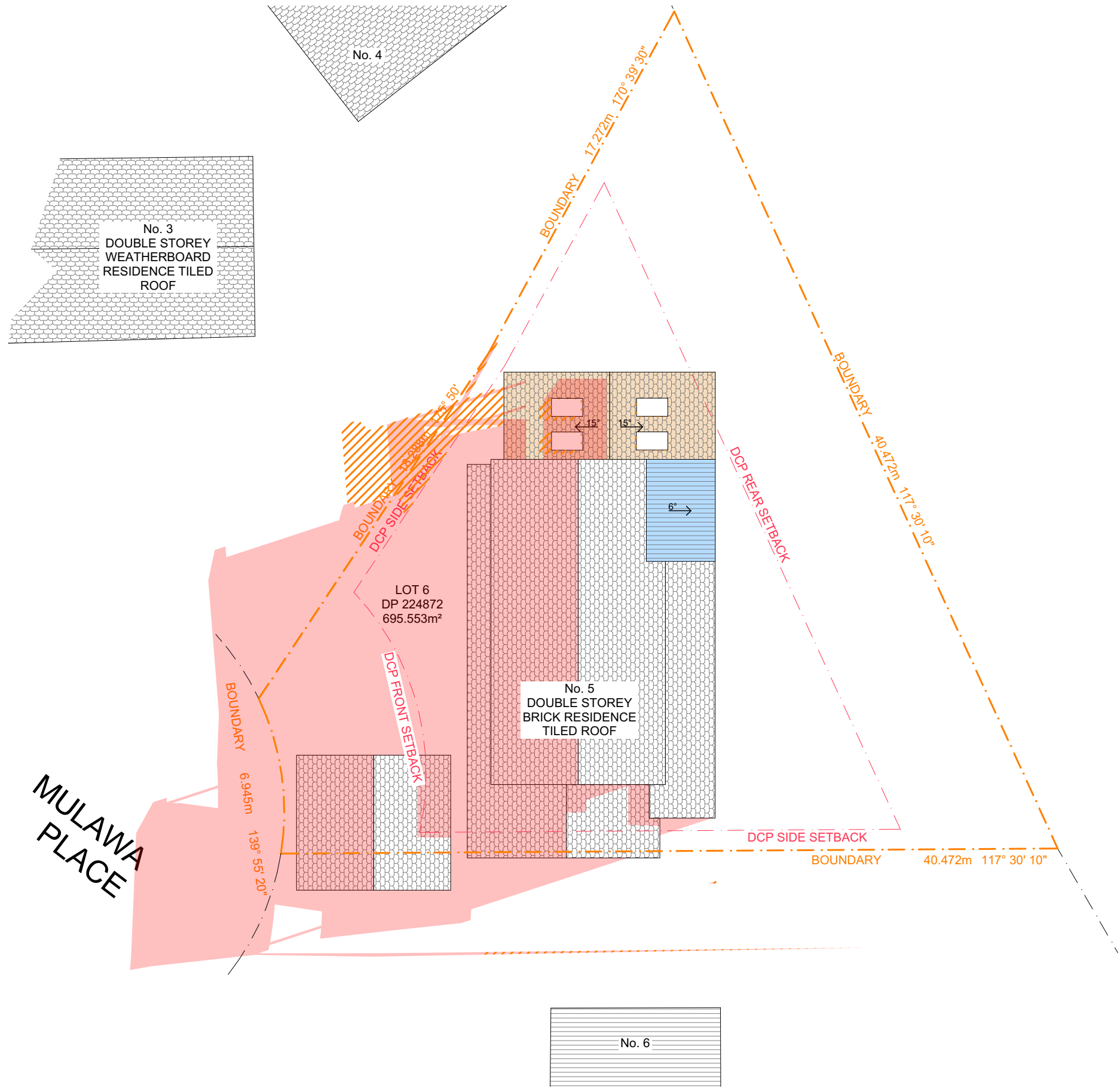
DRAWING NAME

AREA CALCULATIONS /
SAMPLE BOARD

SCALE

1:200 @A3





1

WINTER SOLSTICE 9AM
1:200



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LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

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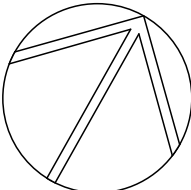
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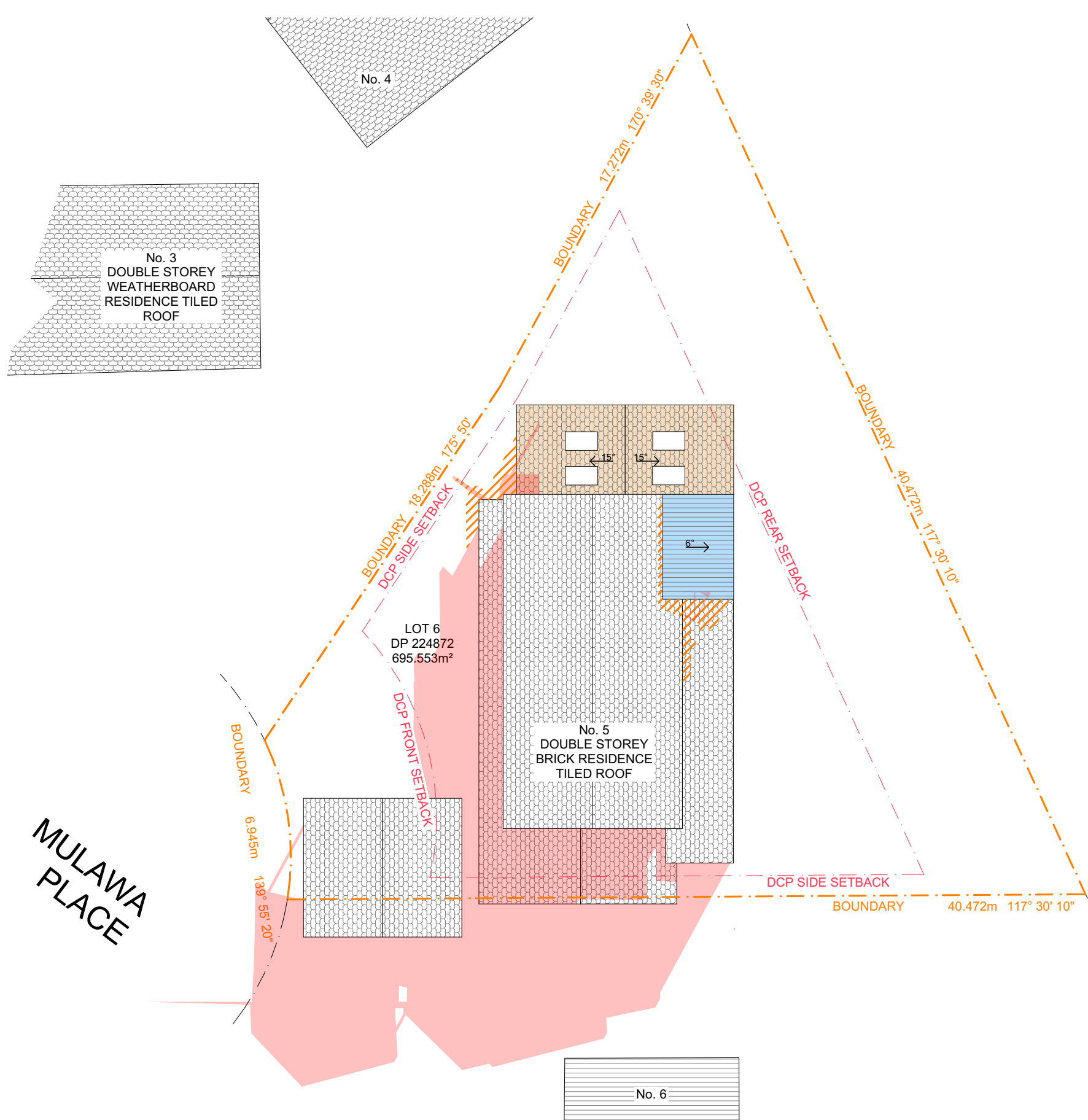
DRAWING NO.
DA10

DATE
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DRAWING NAME
WINTER SOLSTICE 9 AM

SCALE
1:200 @A3





1

WINTER SOLSTICE 12PM

1:200



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LEGEND



EXISTING SHADOWS

PROPOSED SHADOWS

CLIENT
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Cameron

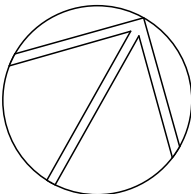
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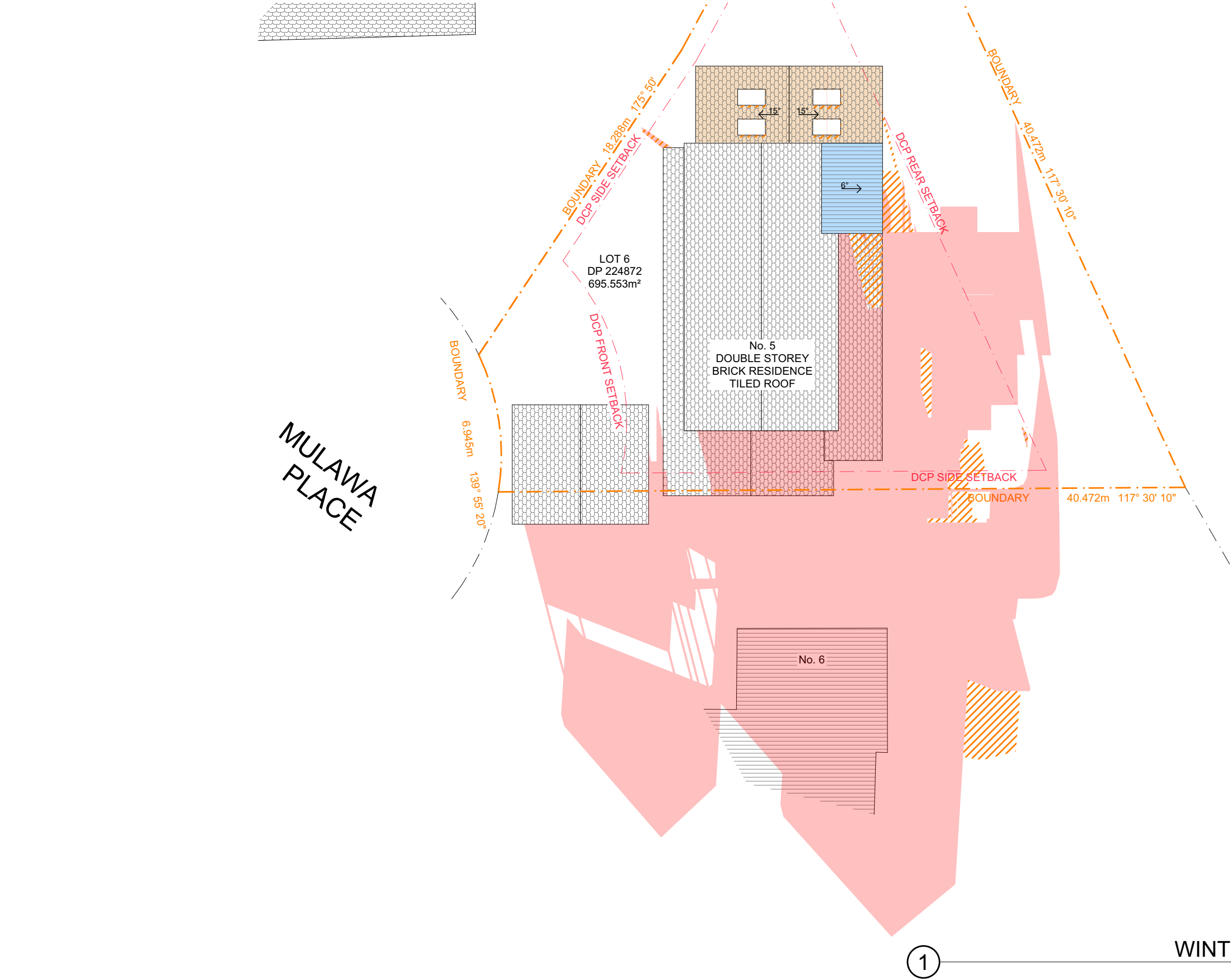
DRAWING NO.
DA11

DATE
Wednesday, July 17,
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DRAWING NAME
WINTER SOLSTICE 12 PM

SCALE
1:200 @A3





1

WINTER SOLSTICE 3PM

1:200



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LEGEND



EXISTING SHADOWS

PROPOSED SHADOWS

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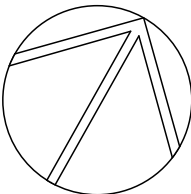
PROJECT ADDRESS
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Forest NSW 2086

DRAWING NO.
DA12

DATE
Wednesday, July 17,
2019

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3



Alterations and Additions

Certificate number: A294058_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 17, July 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	5 MULAWA PLACE, FRENCHS FOREST 2086_02
Street address	5 Mulawa Place Frenchs Forest 2086
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 224872
Lot number	6
Section number	
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			✓	✓		
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	W	2.46	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	1.179	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
raked ceiling, pitched/skillion roof: framed	ceiling: R1.76 (up), roof: foil/sarking	light (solar absorptance < 0.475)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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REV.	DATE	COMMENTS	DRWN
A	17/07/2019	DA DOCUMENTATION	AP

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LEGEND

CLIENT
Stephen & Dearne
Cameron

PROJECT ADDRESS
5 Mulawa Pl, Frenchs Forest NSW 2086

DRAWING NO.
DA13

DATE
Wednesday, July 17, 2019

DRAWING NAME
BASIX COMMITMENTS

SCALE
1:1.51 @A3