



Statement of Environmental Effects

**Proposed Self-Storage and
Industrial Development**




2 Cross Street, Brookvale

Submitted to Northern Beaches Council

On Behalf of Leda Holdings Pty Ltd

February 2021

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		Prepared by Ashleigh Coombes Associate	Verified by  Mark Schofield Director

Disclaimer

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ACCOMPANYING DOCUMENTATION

Document	Prepared by
Survey Plan	Land Partners
Arborist Assessment Report	Abel Ecology
Preliminary Geotechnical Report	JK Geotechnics
Preliminary Environmental Site Assessment	Environmental Investigation Services
Additional Environmental Site Assessment	Environmental Investigation Services
Architectural Plans	Pace Architects
Landscape Plans	Peter Lawson
Civil Plans	Tonkin Consulting Pty Ltd
Draft Plan of Strata Subdivision	Craig & Rhodes Pty Ltd
Quantity Surveyors Report	Construction Consultants
BCA Assessment Report	Steven Watson & Partners
Clause 4.6 Variation Request	City Plan
Flood Management Report	Tonkin Consulting Pty Ltd
Planning Compliance Table	City Plan
Stormwater Drainage Concept Design	Tonkin Consulting Pty Ltd
Traffic and Parking Assessment	Transport and Traffic Planning Associates
Waste Management Plan	Leda
Access Review	Morris Goding Access Consulting

1. EXECUTIVE SUMMARY

This Statement of Environmental Effects (SEE) has been prepared for Leda Holdings Pty Ltd (Leda) by City Plan Strategy and Development Pty Ltd (City Plan) to accompany a Development Application (DA) to Northern Beaches Council (Council). The site the subject of this DA is 2 Cross Street, Brookvale (the site).

This SEE has been prepared pursuant to Section 4.12 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and Clause 50 of the *Environmental Planning and Assessment Regulation 2000* (EP&A Reg). The purpose of this SEE is to:

- describe the proposed development and its context;
- assess the proposed development against the applicable planning controls and guidelines; and
- assess the potential environmental impacts and mitigation measures.

This SEE relates to the development proposal comprising:

- Demolition of all existing structures on the site;
- Minor earthworks and regrading;
- Construction of a new two-storey industrial development comprising:
 - Seventeen (17) self-storage units (of which five (5) have mezzanine levels);
 - Twenty-three (23) industrial units with ancillary office space at the mezzanine levels; and
 - Amenities;
- Provision of fifty-six (56) car parking spaces across two levels;
- Landscaping;
- Stormwater drainage works; and
- Strata subdivision.

Photomontages of the proposed development prepared by Pace Architects can be viewed at the figures below.



Figure 1: Perspective from Cross Street (Source: Pace Architects)



Figure 2: Perspective from Green Street (Source: Pace Architects)

The proposed development will renew the site by creating a high quality and contemporary industrial development that provides improved spaces for employment generating uses in an existing industrial area.

The proposed development is defined as "warehouse or distribution centre" and "self-storage units" under the Warringah Local Environmental Plan 2011 (WLEP 2011) and is permissible with consent in the IN1 zone. The height of a building on the site is not to exceed 11 metres from the existing ground level. The

proposed development has a maximum height of 14.1 metres and therefore is non-compliant in terms of height. A Clause 4.6 Variation Request has been prepared in support of this proposed variation. This request demonstrates compliance with the development standard is unreasonable and unnecessary in the circumstances of the proposed development as the objectives of the standard are achieved despite the variation and that it is in the public interest as it achieves the objectives of the IN1 General Industrial zone. There is no maximum floor space ratio (FSR) development standard applicable to the site under the WLEP 2011.

The SEE concludes that this proposed development is of an appropriate scale and mass for the site, is consistent with the desired future character of the area, well designed and has no adverse amenity impacts. Therefore, it is considered that the proposed development will deliver a suitable and appropriate development for the site and is worthy of approval from Council as the consent authority subject to conditions.

2. SITE ANALYSIS

2.1. Regional Context

The site is in an industrial/commercial area in Brookvale in the Northern Beaches local government area (LGA), located approximately 17 kilometres north-east of the Sydney central business district (CBD). The suburb of Brookvale forms part of the Northern Beaches region within Northern Sydney that extends from Manly and the entrance to Sydney Harbour in the south to Palm Beach and entrance to Broken Bay in the north. A plan showing the location of the site within the context of the Sydney CBD can be viewed at Figure 3.

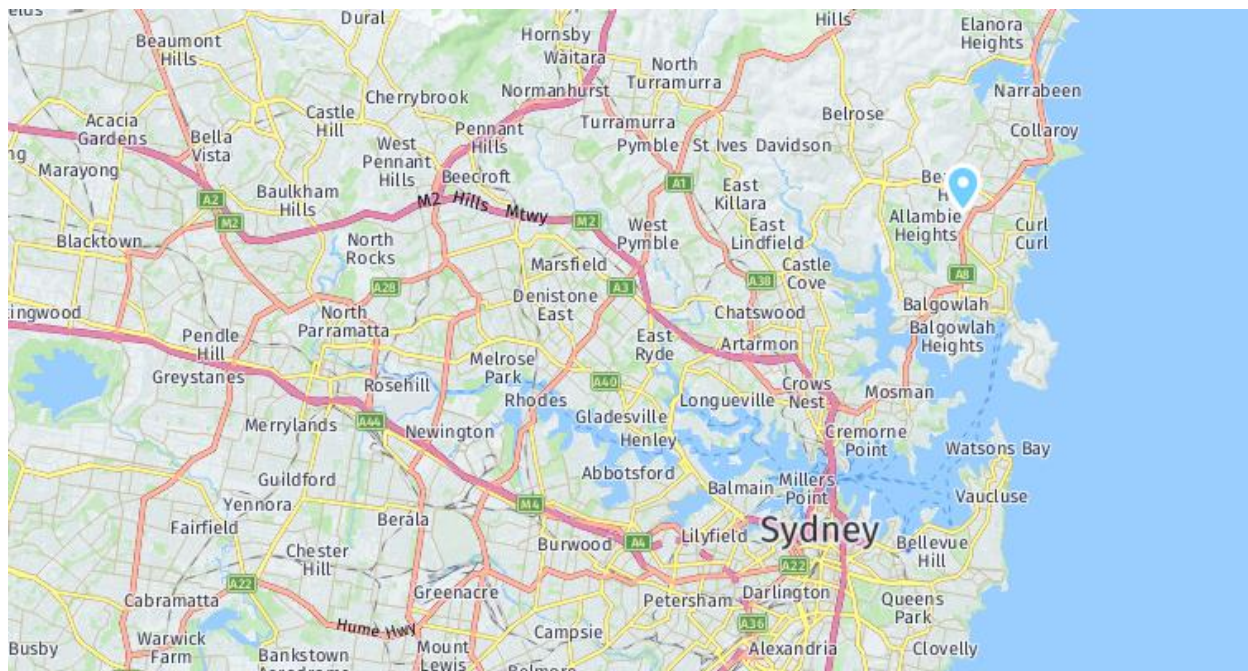


Figure 3: Context map - site identified by blue marker (Source: Nearmap)

2.2. Local Context

Brookvale is a largely industrial and commercial area that is dissected by the north-south running Pittwater Road. Along Pittwater Road prominent land uses include vehicle sales hire premises (e.g. Hyundai), with other vehicle-related businesses such as vehicle body repair workshops and vehicle repair stations located nearby. Located within the industrial area are other various types of land uses and businesses, including printing and signage businesses, gyms, retail premises, TAFE NSW and Sydney Buses' Brookvale Depot.

Westfield Warringah Mall is also located within Brookvale and is the largest shopping centre in the Northern Beaches. The shopping centre is anchored by Big W, Coles, David Jones, Hoyts, Myer, Target and Woolworths. To the north of the industrial area on the western side of Pittwater Road is Brookvale Oval, which is the home ground of the Manly-Warringah Sea Eagles of Australia's National Rugby League competition. The northern edges of Brookvale comprise various forms of residential accommodation, including residential apartment buildings, seniors housing, multi-dwelling housing and detached dwelling houses.

A location plan showing the local context of the site within Brookvale and surrounding suburbs is at Figure 4.

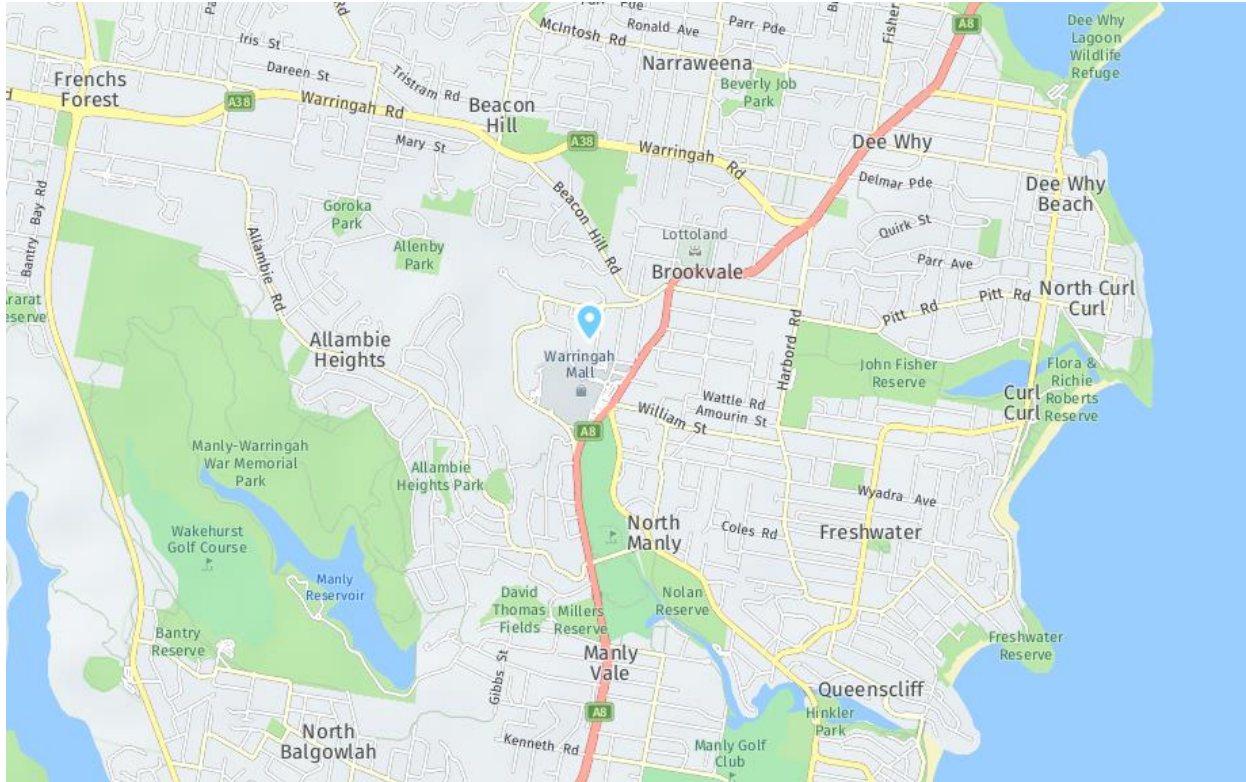


Figure 4: Location plan - site identified by blue marker (Source: Nearmap)

2.3. Site Address and Legal Description

The site is located at 2 Cross Street, Brookvale and comprises a single lot of land as shown in Figure 5. This lot of land is legally described as Lot 100 in Deposited Plan 817162 as evident in the below figure. The site sits on the northern side of Cross Street at its intersection with the north-south running Green Street. It has a frontage of 60.43 metres to Cross Street and a frontage of 80.46 metres to Green Street. The total area of the site is 4,862m² as detailed on the survey plan by Land Partners accompanying this application.



Figure 5: Cadastral map - site outlined red and shaded yellow (Source: SIX Maps)

The dimensions of the site's frontages to Cross Street, Green Street and surrounding development are as follows:

Table 1: Site dimensions

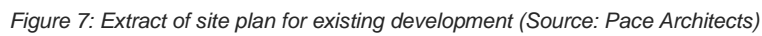
Boundary	Frontage	Dimension (m)
North	15 Green Street	60.48
East	Green Street	80.46
South	Cross Street	60.36
West	4 Cross Street	80.46

An extract of the survey plan for the site that accompanies this application can be viewed at Figure 6 overleaf.



2.4.1. Existing Improvements

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2.4.2. Topography

The site is generally flat as detailed by the accompanying survey plan and extracted at Figure 6. However, the site does fall by approximately 2 metres south towards the corner of Cross Street and Green Street. The site has a maximum Reduced Level (RL) of 11.27 metres in the north-eastern corner of the site and a minimum RL of 9.26 metres adjacent the site's Cross Street frontage and near the eastern most driveway. It is noted that the Finished Floor Level (FFL) of the existing warehouse building does vary across the site.

2.4.3. Trees

The site currently contains eight (8) existing trees that are located within the setback area to Cross Street. Two (2) additional trees are located within the Cross Street and Green Street road reserves adjacent the site. As detailed in the Arborist Assessment Report the species of trees within and adjacent the site include:

- *Syagrus romanzoffiana* (Palm);
- *Lophostomon confertus* (Brush Box); and
- *Eucalyptus scoparia* (Wallangarra White Gum).

2.4.4. Ecology

A desktop review has not identified any ecological constraints or values that could preclude the proposed development.

2.4.5. Hazards

The site is not identified as bushfire prone land or land that is subject to potential geotechnical landslips. However, the majority of the site is located within a medium risk precinct for flooding as shown in Figure 9. Council's Flood Hazard Map extract also identifies small portions of the site within the high and low risk precincts.

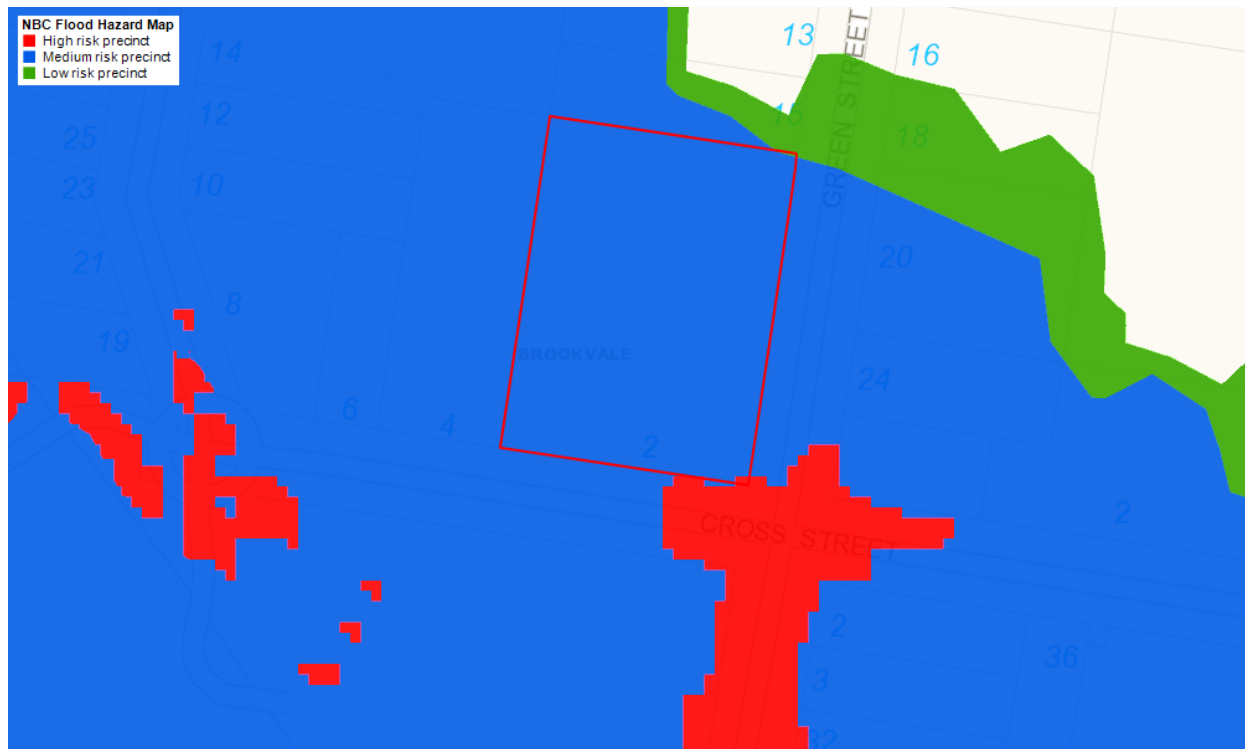


Figure 9: NBC Flood Hazard Map (Source: Council)

2.4.6. Heritage

The site is not a heritage item of local or State significance and is not located within a heritage conservation area.

2.4.7. Soils and Geotechnical Conditions

A Preliminary Geotechnical Report has been prepared by JK Geotechnics and accompanies this application, noting this report was previously prepared for the site and 13-15 Green Street, Brookvale. Borehole testing was undertaken as part of this investigation to identify the existing subsurface conditions. Fill was encountered below the concrete pavement to variable depths of 0.5 metres to greater than 1.5 metres. The fill comprises mixtures of sand and clay and with varying content of gravel and other inclusions. Alluvial soil deposits were encountered below the fill to depths of approximately 17 metres to 24.8 metres. Bedrock most likely to be sandstone was inferred to have been at depths between 17.02 metres to 24.77 metres. Groundwater seepage was encountered at shallow depths ranging from 0.2 metres to 1.15 metres.

A Preliminary Environmental Site Assessment has been prepared by Environmental Investigation Services. This report was also previously prepared for the site and 13-15 Green Street, Brookvale. Elevated concentrations of contaminants were not encountered in the soil samples analysed as part of this investigation. Similarly, no elevated concentrations of contaminants were encountered in the groundwater samples. Asbestos was detected in the fill sample of one of the boreholes that was drilled for this investigation. No asbestos materials were detected in the remainder of the boreholes that were drilled. An Additional Site Environmental Assessment has also been prepared by Environmental Investigation Services in accordance with the conclusions of the Preliminary Environmental Site Assessment. Further asbestos was detected in a fill sample from another borehole as part of this additional investigation. An

elevated concentration of the polycyclic aromatic hydrocarbon (PAH) Anthracene was also encountered in a groundwater sample that was collected and analysed that was above the groundwater investigation level (GIL). Analysis of the remainder of the groundwater samples found that they were below the identified GILs.

The site is identified on the WLEP 2011 Acid Sulfate Soils Map as being affected by Class 4 acid sulfate soils.

2.4.8. Parking, Access and Transport

Car parking for the site is provided within the hardstand area that is located to the west of the existing building. Vehicular access to the site is primarily via the two-way driveway that is provided off Cross Street. A secondary one-way driveway is located off Green Street and provides access to the car parking area. There are also two additional access points off Cross Street that directly serve two of the building's loading bays. Pedestrian access is predominately via Cross Street but is also available from Green Street. The site is well serviced via public transport due to its proximity to the bus interchange at Westfield Warringah Mall. There are also additional bus services that frequently run along Pittwater Road such as the B-Line bus.

2.4.9. Site photos

Figures 10 to 13 comprise photos of the site as viewed from the site's Cross Street and Green Street frontages.



Figure 10: View of existing development on the site as viewed from the corner of Cross and Green Streets (Source: Google Streetview)



Figure 11: View of the existing development on the site as viewed from Cross Street looking north-east (Source: Google Streetview)



Figure 12: View of the existing development on the site as viewed from Green Street looking north-west (Source: Google Streetview)



Figure 13: View of the existing development on the site as viewed from Green Street looking south-west (Source: Google Streetview)

2.5. Surrounding Development

2.5.1. Overview

Immediately north of the site is a two-storey warehouse building with ancillary office space and rooftop parking. This building was most recently occupied by a flooring retailer/showroom trading as iFloor. Further north is a part two, part three and part four-storey industrial building occupied by Warringah Auto Body Repairs.

Immediately south of the site on the opposite side of Cross Street is the Westfield Warringah Mall. The shopping centre extends from Cross Street to the corner of Condamine Street and Old Pittwater Road. Further south of Westfield Warringah Mall is low-density residential accommodation and Warringah Golf Club.

West of the site at No. 4 Cross Street is a recently approved and under construction self-storage premises. Further west of the site is a vacant two-storey industrial building with vehicular access off Cross Street, with another two-storey building located at the corner of Cross Street occupied by two different gyms.

Immediately east of the site at the opposite corner of Cross Street and Green Street is a mycar store. Further north along the eastern side of Green Street is various one and two storey buildings occupied by a range of industrial/commercial businesses that includes a Snap Fitness gym and a Carpet Right flooring centre.

2.5.2. Photos of Surrounding Uses

Figures 14 to 19 below include photos of existing land uses that surround the site the subject of this application.



Figure 14: View of the vacant lot west of the site from Cross Street, which has approval for the construction of a building to be used as a self-storage premises (Source: Google Streetview)



Figure 15: View of the Plus Fitness 24/7 gym to the west of the site on Cross Street looking north-east (Source: Google Streetview)



Figure 16: View of the mycar store located east of the site on the opposite side of Green Street (Source: Google Streetview)

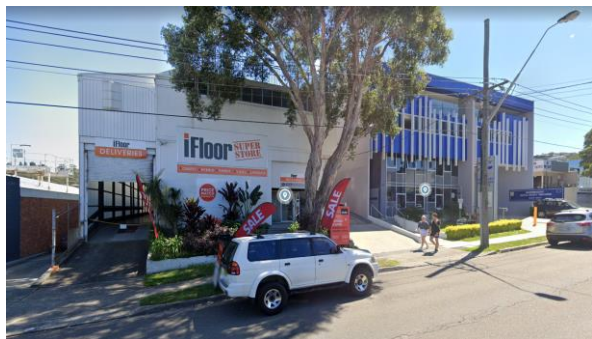


Figure 17: View of warehouse building immediately north of the site currently occupied by a flooring business (Source: Google Streetview)



Figure 18: View of industrial and commercial development located on the western side of Green Street (Source: Google Streetview)



Figure 19: View of Warringah Mall from the corner of Cross Street and Green Street looking south-west (Source: Google Streetview)

3. DESCRIPTION OF DEVELOPMENT

3.1. Overview

The proposal generally involves:

- Demolition of all existing structures on the site;
- Minor earthworks and regrading;
- Construction of a new two-storey warehouse and self-storage development comprising:
 - Seventeen (17) self-storage units (of which five (5) have mezzanine levels);
 - Twenty-three (23) warehouse units with ancillary office space at the mezzanine levels; and
 - Amenities;
- Provision of fifty-six (56) car parking spaces across two levels;
- Landscaping;
- Signage;
- Stormwater drainage works; and
- Strata subdivision.

The following table provides a summary of the proposal per level:

Table 2: Summary of the Proposed Development Level by Level

Level	Use	Details
Ground	Self-storage units Warehouse units	17 self-storage units 9 warehouse units 28 car parking spaces
Ground Level Mezzanine	Self-storage units Ancillary warehouse office space	Mezzanines for 5 self-storage units 9 ancillary warehouse office spaces
Level 1	Warehouse units	14 warehouse units 28 car parking spaces
Level 1 Mezzanine	Ancillary Warehouse office space	14 ancillary warehouse office spaces
Total		17 self-storage units 23 warehouse units 56 car parking spaces

Source: Pace Architects

Refer to the architectural plans prepared by Pace Architects that accompany this DA to Council for further detail.

3.2. Proposed Site Plan

An extract of the site plan prepared by Pace Architects for the proposed development can be viewed at Figure 20.

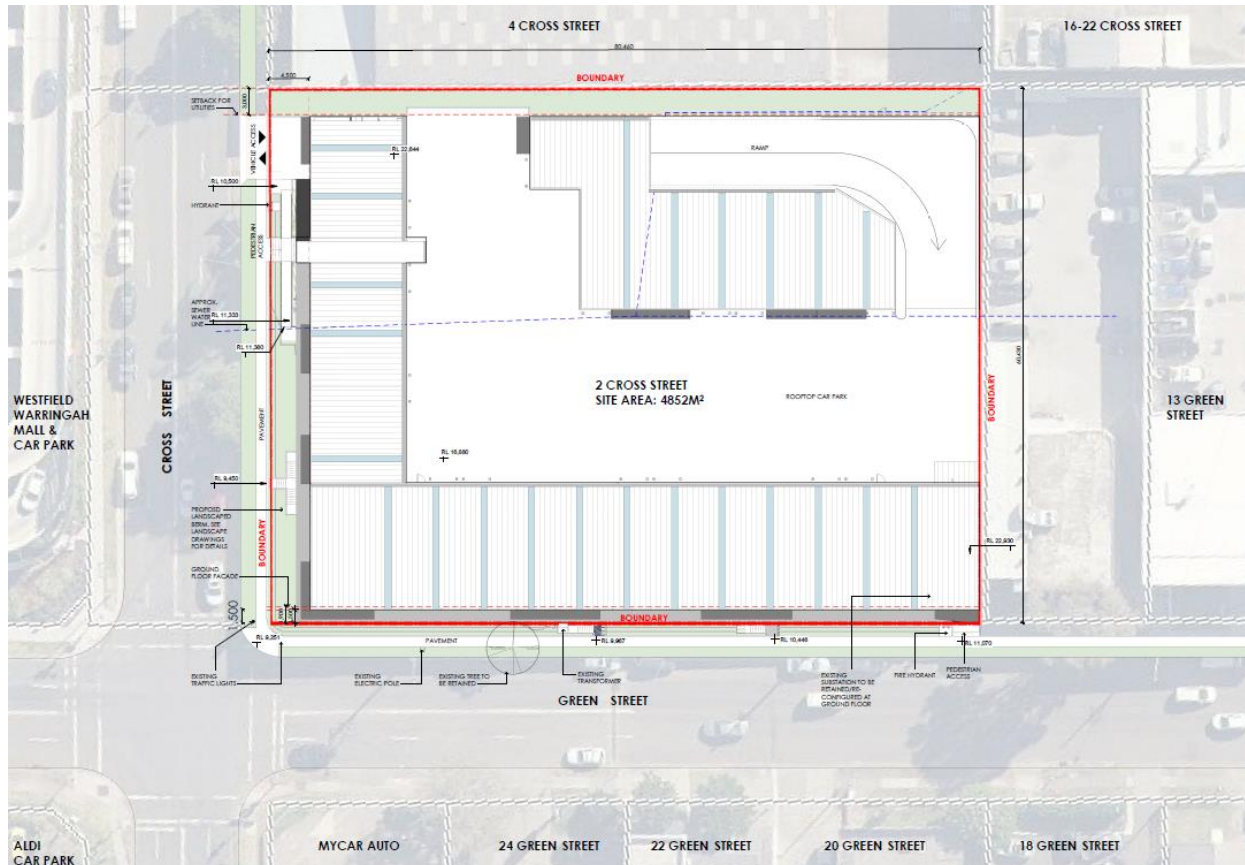


Figure 20: Site plan extract (Source: Pace Architects)

3.3. Demolition

The proposed development includes the demolition of all existing structures on site as shown in Figure 21 overleaf.

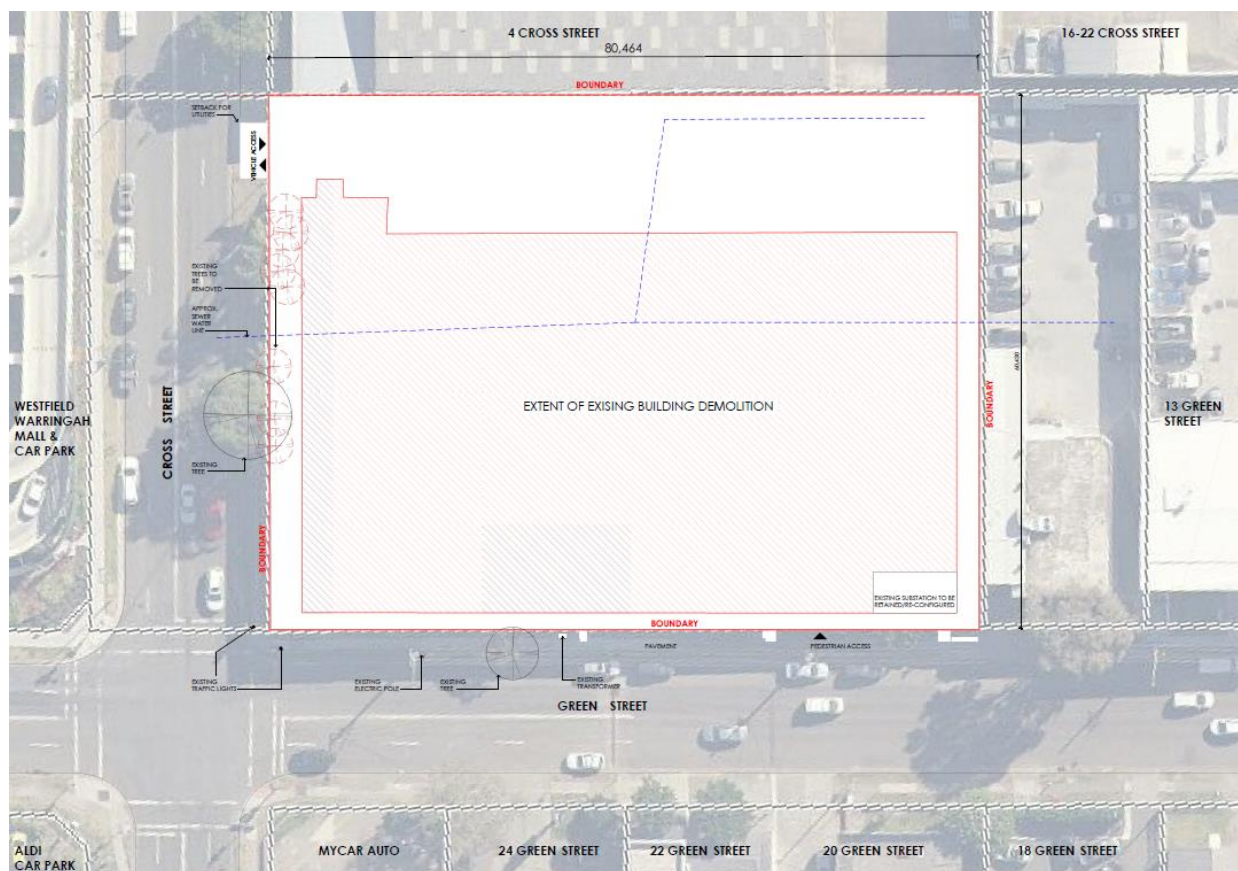


Figure 21: Demolition plan extract (Source: Pace Architects)

3.4. Tree Removal

All eight (8) trees located within the boundaries of the site are proposed to be removed as part of this application. The location of these trees that are proposed to be removed are shown on the demolition plan extract.

3.5. Excavation and Filling

The proposed development does not include a basement and therefore excavation is not required. Filling up to 1.57m will be required to ensure that the proposed development is compatible with the flood planning level. These minor earthworks and regrading will be carried out in accordance with the accompanying civil plans.

3.6. Development Statistics

The key statistics and elements of the project are shown in the table below:

Table 3: Development Statistics.

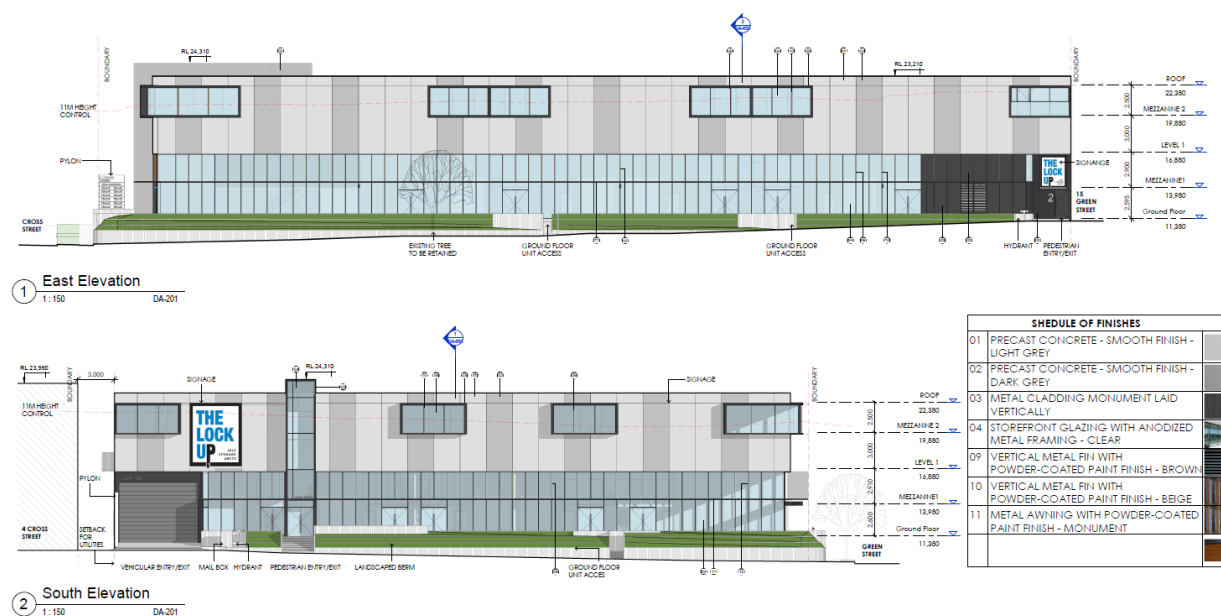
Element	Proposed Development
Site Area	4,852m ²
Gross Floor Area (GFA)	4,108m ²
Warehouse GFA	2,865m ²
Office GFA	689m ²
Storage GFA	554m ²
Maximum Height	14.1 metres
Total Parking	Fifty-six (56)

3.7. Materiality and Façade Treatment

The external façades of the proposed development fronting Cross Street and Green Street generally comprise glazing with metal framing at the ground floor level and pre-cast concrete at the first floor level. The pre-cast concrete panels at the first floor will have a smooth finish and are a mix of light grey and dark grey. The north-eastern corner of the building at the ground floor comprises vertical metal cladding in black. Vertical metal fins in brown and beige are proposed between glass panels at the ground floor mezzanine level. A metal awning is proposed along both street frontages above the glass line at the ground floor level.

The northern and western external façades will comprise the same pre-cast concrete in light grey and dark grey proposed to be used for the external façade of the first floor and first floor mezzanine along the street frontages. The western external façade also comprises vertical metal cladding in the south-western corner.

Figure 22 includes extracts of the elevations showing details of the materials and finishes that are to be used.



3.8. Landscaping, Communal Open Space and Public Domain

The proposed development includes the provision of 96m² of landscaped area across the site. This landscaping is to be provided within the 4.5-metre wide setback area that is provided to Cross Street. Landscape works are also proposed outside of the site within the road reserves to Cross Street and Green Street.

Planting within the landscape setback to Cross Street is to include trees, accents, shrubs and groundcovers. The five (5) trees to be planted are to comprise a mix of *Banksia Integrifolia* (Coast Banksia), *Melaleuca nodosa* (White Feathered Honey Myrtle) and *Tristaniopsis laurina* 'Luscious' (Water Gum). These trees will have a mature height ranging from 4-6 metres and a spread ranging from 3-4 metres. The various shrub species proposed will range in size from small to large and will have mature heights of 1-3 metres. The groundcovers comprise various native species with a mature height of 200 to 500 millimetres. The planting that is proposed within the Green Street road reserve is to comprises solely of native groundcovers. Landscaping along each street frontage will be terraced to compliment the site's topography.

The existing trees located within the Cross Street and Green Street road reserves are proposed to be retained.

Refer to the Landscape Plan prepared by Peter Lawson that accompanies this application for further details.

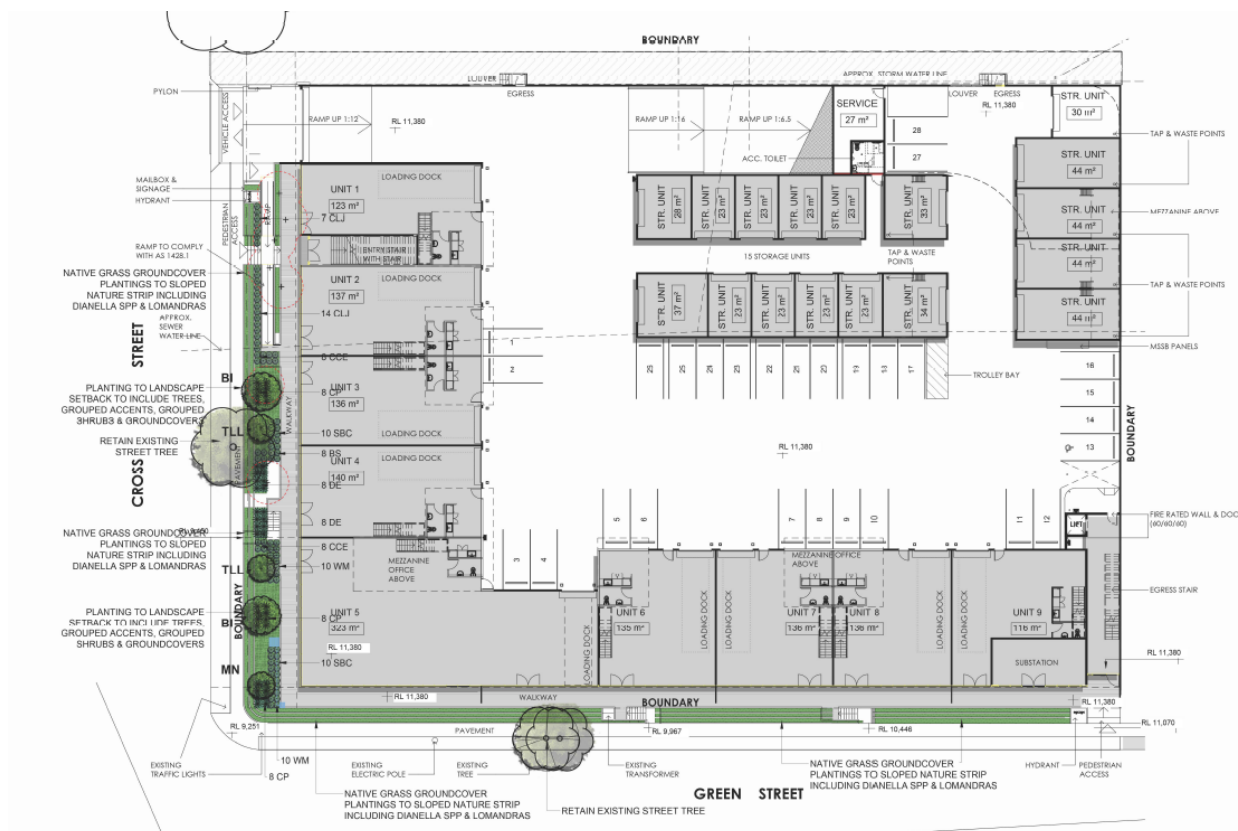


Figure 23: Landscape plan extract (Source: Peter Lawson)

3.9. Signage

One (1) x building identification sign in the form of a pylon sign is proposed within the Cross Street setback area. The sign is located immediately adjacent the proposed development's vehicular access off Cross Street. It will be 4.54 metres in height by 2.12 metres in width and will have an area of 9.62m² on each side. The street address, developer's name and the name of individual tenancies will be displayed on this pylon sign.

Three (3) x business identification signs are also proposed in association with the self-storage units. These signs identify the name of the business 'The Lock Up' and will be displayed on the south, east and west elevations in proximity to the vehicular access of Cross Street and the pedestrian entry point off Green Street. The signs will be mounted flush to the wall on each of the elevations and vary in size from 2m² to 23m².

A signage zone 2.88 metres in height and 2.11 metres in width is located above each units pedestrian entry. Located within the signage zone will be the name of the future business that occupies the correlating warehouse.

Under awning signage is proposed for individual tenancies at the ground floor fronting Cross and Green Streets.

3.10. Access and Parking

3.10.1. Parking

A total of fifty-six (56) car parking spaces are proposed on-site to facilitate the proposed development, with twenty-eight (28) of the car parking spaces proposed at both the ground and first floors as shown on the plans.

3.10.2. Vehicular Access

Vehicular access is proposed via single 6-metre wide entry/exit point that is accessed from Cross Street. The location of the site entry/exit point are consistent with the site's existing vehicular access arrangements. Internally, a ramp provides vehicular access between the proposed ground and first floors.

3.10.3. Pedestrian Access

The site has two main pedestrian entry points that are located off the site's Cross Street and Green Street frontages. The entry off Cross Street leads to a stairway that provides pedestrian access to the first floor. The second entry off Green Street provides direct access for pedestrians to the ground floor level. Located within proximity to this entry point are stairs and a lift that provide access from the ground floor to the first floor. At ground level a walkway wraps around the building along its Cross Street and Green Street frontages, providing direct pedestrian access from the street to the warehouse units located at the ground floor. This walkway can be accessed via the pedestrian entry located in the north-eastern corner of the site or via the four separate sets of stairs that are located between the walkway and public pedestrian footpaths. A ramp is located adjacent the vehicular access to facilitate pedestrian access for all ages and levels of mobility.

3.10.4. Service Access

Service vehicles will access the site via the 6-metre wide entry/exit point that is accessed from Cross Street.

3.11. Infrastructure and Utility Works

3.11.1. Civil Engineering

In addition to the minor earthworks associated with the proposed development and detailed in Section 3.5, the proposed development includes stormwater drainage works to manage stormwater run-off from the site.

Stormwater run-off from the roof of the proposed development is collected via box gutters and transported by droppers to the ground floor and then drained to Council's existing stormwater system by pipes and pits. Similarly, stormwater run-off from the first floor car park is collected via rainwater outlets that connect to the first floor droppers via stormwater pipes that are proposed to be suspended under the first floor slab. Grated drains are proposed at the top and bottom of the vehicular access ramp to the first floor and at the site boundary where the vehicular access is located to collect any stormwater run-off from the vehicular access. These drains connect to the stormwater pipes and pits that drain to Council's existing stormwater system, being the existing stormwater pit that is located within Cross Street close to its corner with Green Street.

Refer to the civil plans prepared by Tonkin Consulting Pty Ltd that accompany this application for further details.

3.11.2. Flood Levels

The site is located within a flood planning area as mentioned above in Section 2.4.5 of the SEE. The ground floor of the proposed development has an FFL of RL 11.38 metres in line with the flood planning level.

The proposed development has also been setback from the site's western boundary by 3 metres as a means of replicating the existing driveway width and grading to maintain floodwater behaviours in this location. This 3-metre setback has also been provided to maintain the Council stormwater line in this location.

3.11.3. Electrical

The existing substation located within the site is to be retained and reconfigured as part of the proposed development.

3.12. Subdivision

The proposed developments to seeks to strata subdivide the warehouse and self-storage units and car parking. The vehicular driveway, ramp and visitor parking are proposed to be provided as common property. A draft plan of strata subdivision prepared by Craig & Rhodes Pty Ltd accompanies this application.

3.13. Hours of Operation

The proposed development will operate 24 hours 7 days a week consistent with the surrounding development.

3.14. Jobs Creation

The proposed development will generate employment at the demolition, construction and operational phases. These jobs will be created directly on-site and indirectly through the supply chain and its multiplier effect.

3.15. Capital Investment Value

The capital investment value (CIV) of the proposed development is estimated to be at \$10,212,118. Refer to the Quantity Surveyors Report prepared by Construction Consultants that accompanies this application.

4. STATUTORY PLANNING CONSIDERATIONS

4.1. Overview

The relevant statutory framework considered in the preparation of this report comprises:

- *Environmental Planning and Assessment Act 1979;*
- *Environmental Planning and Assessment Regulation 2000;*
- *State Environmental Planning Policy No. 55 - Remediation of Land;*
- *State Environmental Planning Policy No. 64 - Advertising and Signage;*
- *State Environmental Planning Policy (Infrastructure) 2007;*
- *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017;* and
- *Warringah Local Environmental Plan 2011.*

Where relevant, these controls are addressed below.

4.2. Environmental Planning and Assessment Act 1979

4.2.1. Section 1.3 – Objects

The EP&A Act is the principle planning and development legislation in New South Wales (NSW). In accordance with Section 1.3 of the EP&A Act there are ten objects of the Act as listed in the extract below.

1.3 Objects of Act

The objects of this Act are as follows:

- (a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State's natural and other resources,*
- (b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment,*
- (c) to promote the orderly and economic use and development of land,*
- (d) to promote the delivery and maintenance of affordable housing,*
- (e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,*
- (f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),*
- (g) to promote good design and amenity of the built environment,*
- (h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,*
- (i) to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State,*
- (j) to provide increased opportunity for community participation in environmental planning and assessment.*

For the reasons set out below the proposed development is considered to satisfy the objects of the EP&A Act:

- The social and economic welfare of the community is promoted through the creation of increased employment opportunities in an existing industrial/commercial area close to where people live. The site is located in an established urban area with a long history of industrial use and the proposed development is not of a scale or nature that generates any emissions that are harmful to the environment. Therefore, the State's natural resources will not be adversely affected by the proposed development.
- The proposed development has been assessed as having an acceptable environmental, economic and social impact as detailed in Section 6 of this SEE and the accompanying consultant reports and plans. Subsequently, the proposed development will not impact on the enjoyment of future generations.
- The orderly and economic development of land is promoted in that the site is of a size that can accommodate the proposed development without any significant adverse impacts on the locality, or any major non-compliances with the relevant statutory and non-statutory planning controls. Furthermore, the proposed development does not preclude the redevelopment of surrounding properties.
- Object (d) is not relevant to the proposed development as it does not incorporate any residential development.
- The proposed development is of a light industrial nature and will not produce any harmful emissions. Any potential impacts on stormwater or air quality (i.e. dust) can be appropriately managed and mitigated. Refer to Section 6 of the SEE for a detailed assessment of potential environmental impacts.
- Object (f) is not relevant to the proposed development as the site is not identified as a heritage item (built or cultural) or part of a heritage conservation area and is not in the vicinity of any items or areas.
- Good design and amenity of the built environment is promoted through the use of high-quality materials, finishes and colours and horizontal and vertical building elements and the provision of landscaping.
- The proposed development will be constructed in accordance with the relevant building code and standards. It will also be appropriately maintained during its ongoing operation to promote occupant safety.
- Objects (i) and (j) are the responsibility of the government.

4.2.2. Section 4.15 of EP&A Act 1979

Section 4.15(1) of the EP&A Act specifies the matters a consent authority must consider when determining a DA. The relevant matters for consideration under Section 4.15 of the EP&A Act are addressed in Table 2 below.

Table 4: Section 4.15 of EP&A Act 1979.

Section	Comment
Section 4.15(1)(a)(i) Any environmental planning instrument (EPI)	Consideration of relevant EPIs is discussed in Section 4.
Section 4.15(1)(a)(ii) Any draft EPI	There are no draft EPIs that have been publicly exhibited that would affect the proposed development.
Section 4.15(1)(a)(iii) Any development control plan	An assessment of the proposed development against the relevant provisions contained within

Section	Comment
	the WDCP 2011 accompanies this application to Council. A detailed summary of and justification for any minor variations is included in Section 5 of this SEE.
Section 4.15(1)(a)(iiia) Any planning agreement	Not relevant to this application.
Section 4.15(1)(a)(iv) Matters prescribed by the regulations	Consideration of the various matters prescribed by the regulations is included at Section 4.3 of this SEE.
Section 4.15(1)(b) - (e)	Refer to Section 6 of this SEE for consideration of the matters for consideration under (b), (c) and (e). Matter (d) relates to submissions made to a DA in accordance with the EP&A Act or regulations and is a matter for consideration by the consent authority.

4.3. Environmental Planning and Assessment Regulation 2000

4.3.1. Clause 92 – Additional matters that consent authority must consider

Clause 92(1) of the EP&A Reg prescribes that the following matters are to be taken into account by a consent authority in assessing and determining a DA for the purposes of Section 4.15(1)(a)(iv) of the EP&A Act:

(1) For the purposes of section 4.15 (1) (a) (iv) of the Act, the following matters are prescribed as matters to be taken into consideration by a consent authority in determining a development application:

(a) (Repealed)

(b) in the case of a development application for the demolition of a building, the provisions of AS 2601,

(c) in the case of a development application for the carrying out of development on land that is subject to a subdivision order made under Schedule 7 to the Act, the provisions of that order and of any development plan prepared for the land by a relevant authority under that Schedule,

(d) in the case of the following development, the Dark Sky Planning Guideline:

(i) any development on land within the local government area of Coonamble, City of Dubbo, Gilgandra or Warrumbungle Shire,

(ii) development of a class or description included in Schedule 4A to the Act, State significant development or designated development on land less than 200 kilometres from the Siding Spring Observatory,

(e) in the case of a development application for development for the purposes of a manor house or multi dwelling housing (terraces), the Medium Density Design Guide for Development Applications published by the Department of Planning and Environment on 6 July 2018, but only if the consent

authority is satisfied that there is not a development control plan that adequately addresses such development.

Demolition is the only matter listed under clause 92(1) of the EP&A Reg relevant to the proposed development. The demolition of existing structures on the site will be undertaken in accordance with the provisions of *Australian Standard (AS) 2601-1991: The Demolition of Structures* published by Standards Australia.

4.3.2. Clause 98 – Compliance with the Building Code of Australia

Any building work must be carried out in accordance with the requirements of the Building Code of Australia (BCA), pursuant to Clause 98 of the EP&A Reg and is to be conditioned as part any development consent. A BCA Assessment Report by Steven Watson & Partners accompanies this application. This report concludes the proposed development can achieve compliance with the BCA and that these matters can be adequately addressed in the preparation of the Construction Certificate documentation.

4.4. Biodiversity Conservation Act

The Biodiversity Conservation Act 2016 (BC Act) commenced on 25 August 2017 and applies to all NSW. The purpose of the BC Act is to maintain a healthy, productive and resilient environment for the greatest well-being of the community, now and in the future, consistent with the principles of ecologically sustainable development. In doing so it lists and protects threatened species, populations and ecological communities.

Impacts to threatened species and endangered ecological communities listed under the BC Act are required to be taken in account for determining a DA in accordance with section 7.3 of the BC Act. Applicants must also consider if their development will exceed the following biodiversity offset scheme thresholds:

1. Exceeding the clearing threshold on an area of native vegetation;
2. Carrying out development on land included in the Biodiversity Values Land Map; or
3. Having a 'significant effect' on threatened species or ecological communities.

Clause 4.1 of the WLEP 2011 prescribes a minimum subdivision lot size of 4,000m² for the site. The minimum lot size for the site is less than 1 hectare and therefore a clearing threshold of 0.25 hectares applies. The proposed development does not include the clearing of 0.25 hectares or more of native vegetation.

The site is also not identified as land that is included in the Biodiversity Value Land Map as shown in Figure 24.

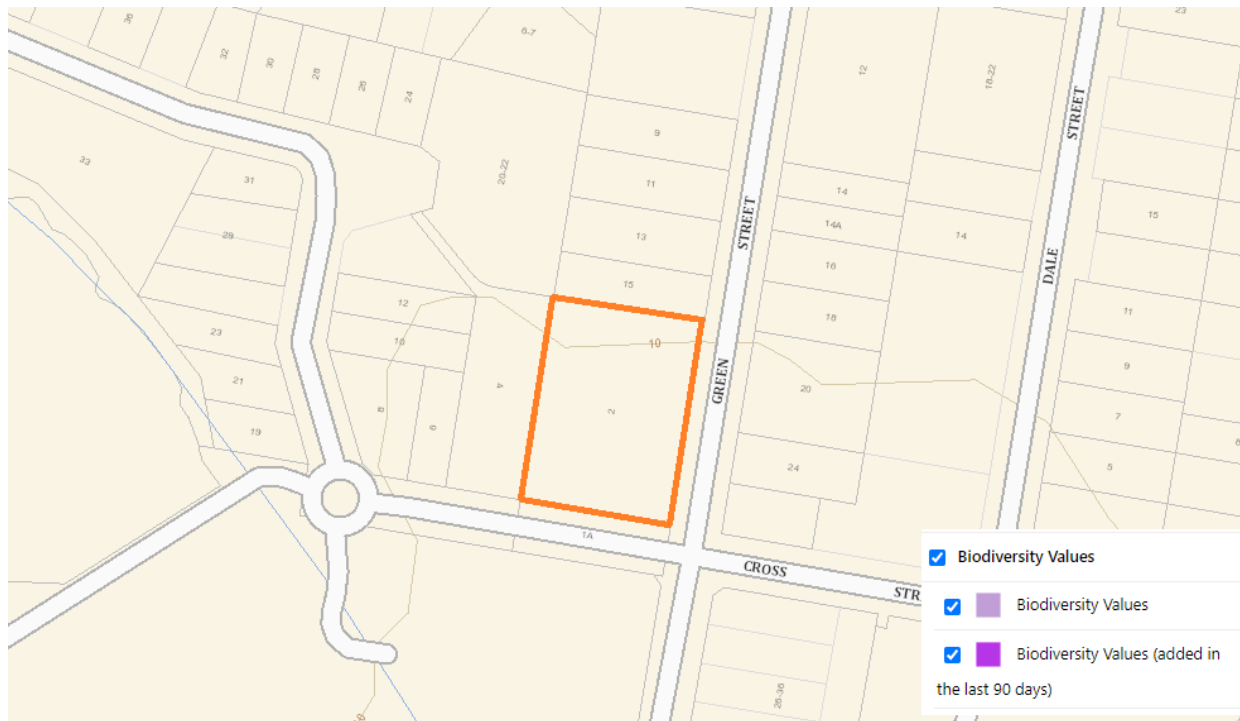


Figure 24: Biodiversity Values Land Map extract - site outlined in orange (Source: NSW Office of Environment & Heritage)

The site is in a well-established urban area and has a long history of being used for industrial purposes. Subsequently, there are no known threatened species, ecological communities or habitats located on the site.

Overall, the proposed development does not exceed any of the biodiversity offset scheme thresholds, and there are no known threatened species or endangered ecological communities significantly affected by the development.

4.5. State Environmental Planning Policies

4.5.1. State Environmental Planning Policy No 55 – Remediation of Land

State Environmental Planning Policy No. 55 – Remediation of Lands (SEPP 55) establishes State-wide provisions to promote the remediation of contaminated land in reducing the risk to human health or the environment.

SEPP 55 states that land must not be developed if it is unsuitable for a proposed use because it is contaminated. If the land is unsuitable then remediation must take place before the land is developed. The policy makes remediation permissible across the State with or without consent based on the category of works, defines when consent is required and requires that all remediation comply with standards. Further, it ensures land is investigated if contamination is suspected and requires councils to be notified of all remediation. The Managing Land Contamination: Planning Guidelines were prepared to establish 'best practice' for managing contamination and assist councils and developers to determine when land is at risk.

Clause 7 of the SEPP 55 requires that a consent authority must not grant consent to any development on land unless it has considered whether a site is contaminated land or potentially contamination land, and if

it is, that it is satisfied that the land is suitable (or will be after undergoing remediation) for the proposed use.

A Preliminary Environmental Site Assessment has been prepared by Environmental Investigation Services. This report covered the site and the immediately adjoining properties at 13 and 15 Green Street. This report identified that potential contamination would be anticipated to be associated with the following:

- Potentially contaminated imported fill material;
- Potential asbestos material associated with the demolition of existing structures;
- Potentially two (2) underground storage tanks (USTs);
- Historical use of the site for commercial/ industrial purposes; and
- Historical activities such as the use of pesticides.

This investigation found that no elevated concentrations or contaminants were found in soil or groundwater samples. However, the pH of the groundwater was found to be outside the acceptable range and traces of hydrocarbons below the GILs were detected that indicate a potential localised contamination issue. Asbestos was also detected in a fill sample that was collected from one of the boreholes that was drilled on-site.

Based on the findings of the investigations conducted as part of the Preliminary Environmental Site Assessment, it was concluded the contamination encountered may pose a risk to human health and the environment. Subsequently, it was recommended that a Stage 2 environmental site assessment be undertaken, noting a gap in the data in relation to potential contamination associated with the suspected USTs.

An Additional Site Environmental Assessment was prepared by Environmental Investigation Services in accordance with the conclusions of the Preliminary Environmental Site Assessment and accompanies this application. A ground penetrating radar (GPR) scan and site inspections were undertaken to identify the USTs. This scan identified that a UST was located in the north-west corner of the site underneath the driveway. Separate cuts in the concrete were located that suggest the UST was decommissioned and removed. The other UST was suspected to be the northern part of the site being 13-15 Green Street, Brookvale. Environmental Investigation Services did not find any obvious indication of a UST in this location. However, the potential for a UST to be located in this section of the site was still required to be considered.

Further asbestos was detected within the sill samples analysed as part of the Additional Site Investigation Assessment. An elevated concentration of PAH Anthracene was also encountered in one of the borehole samples. However, the potential for significant widespread groundwater contamination was found to be low. Given the asbestos encountered it was concluded that it may pose a risk to human health if disturbed.

Environmental Investigation Services concludes that the site can be made suitable for the proposed development provided that the following recommendations are implemented to minimise these potential risks:

- The preparation of a friable Asbestos Management Plan;
- The undertaking of a Hazardous Materials Assessment; and
- The undertaking of inspections during demolition phase to assess any unexpected conditions or facilities.

The preparation of this reports and the undertaking of inspections can be imposed as a condition of consent.

It is noted that the Environmental Investigation Services in their Additional Environmental Site Assessment did recommend a Remediation Action Plan (RAP) should be prepared for the removal of the UST. Based on the findings of this report it is understood this relates to the UST potentially located on 13-15 Green

Street, noting that an inspection found evidence that the UST potentially located on the site has been removed. Therefore, the preparation of a RAP for the proposed development is considered unnecessary, although Council could impose a condition also requiring the preparation of such if a UST was to be located.

4.5.2. State Environmental Planning Policy No 64 – Advertising and Signage

State Environmental Planning Policy No. 64-Advertising and Signage (SEPP 64) applies to all signage that can be displayed with or without development consent and is visible from any public space or public reserve. The SEPP aims to ensure that signage is compatible with the desired amenity and visual character of an area, provides for effective communication in suitable locations and is of high-quality design and finish.

The proposed development includes a mix of building and business identification signage across two levels. The signage the subject of this application is consistent with the objectives of SEPP 64 as follows:

- is of a low scale that is consistent with the desired amenity and visual character of the industrial area;
- identifies the name of the building at its entrance adjacent to the site's Cross Street road frontage, as well as the name of the self-storage operator and future tenants along both street frontages, which is direction enabling for vehicles and pedestrians and the efficient operation of the building; and
- is of a high-quality and simplistic design that reflects the industrial nature of the proposed development and will assist in attracting customers which will contribute the economic success of tenants.

In accordance with Clause 8 of SEPP 64 a consent authority must not grant development consent to an application to display signage unless the consent authority is satisfied that the proposed signage that is the subject of this application satisfies the assessment criteria specified in Schedule 1 of SEPP 64. The signage is consistent with the assessment criteria in Schedule 1 of SEPP 64 as detailed in the following table.

Assessment Criteria	Response
Character of the area	The signage that is proposed is considered to be compatible with the existing and desired future character of Brookvale's industrial area and consistent with the other outdoor advertising in the locality in that it involves a mix of free-standing building identification signs and business identification signage near the entrances to the development, as well as above or near the entrance to each tenancy.
Special areas	No special areas such as environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes are located in the vicinity of the site that would have their amenity or visual quality impacted by the proposed signage.
Views and vistas	No important views currently exist to or from the site of the proposed development, noting that the site is located in an existing industrial area. The proposed building identification sign adjacent the site's Cross Street frontage is of a relatively low scale at 4.54 metres and therefore does not dominate the skyline or reduce vista quality. The proposed business identification signage is integrated into the

Assessment Criteria	Response
	<p>design of the proposed development and therefore will also not dominate the skyline or reduce vista quality within this Brookvale locality.</p> <p>The location, size and rationality of the proposed signage is such that the viewing rights of other advertisers in area will be unaffected.</p> <p>Any signage proposed internally will not be visible from the public domain.</p>
Streetscape, setting or landscape	<p>The proposed signage is a maximum height of 5.37 metres and has been integrated into the overall design of the proposed development such that it does not protrude above buildings, structures or tree canopies.</p> <p>The business identification signage is proposed to be mounted to the walls or below awnings at a height of 2.53 metres above the ground and as such will not be adversely impacted by any investigation. The proposed free-standing business identification site is located within the site's western setback area where no vegetation is proposed to ensure that the site and locality's existing flood behaviour is maintained.</p>
Site and building	<p>The proposed signage has been appropriately located and integrated into the overall design of the proposed development to ensure important features of the site and building are respected. This ensures the signage is viewed as subservient to the building. The building identification sign along Cross Street has an area of 9.62m², and therefore is in proportion to the scale of the proposed development.</p>
Associated devices or logos	No associated devices or logos are proposed.
Illumination	No illumination is proposed.
Safety	The proposed signage is well setback from the site's street frontages and therefore will not reduce the safety of vehicles, pedestrians or cyclists.

Based on the above assessment of the proposed signage against the Schedule 1 assessment criteria for SEPP 64, the proposed signage the subject of this application is appropriate and consistent with the SEPP provisions.

4.5.3. State Environmental Planning Policy (Infrastructure) 2007

State Environmental Planning Policy (Infrastructure) 2007 (Infrastructure SEPP) was introduced to facilitate the easy and fast delivery and maintenance of essential infrastructure and services such as hospitals, schools, railways, roads, power and water supplies and other necessary services across NSW by improving regulatory certainty and efficiency to provide a simplified process for providing the necessary infrastructure.

Clause 104 of the Infrastructure SEPP ensures the Roads and Maritime Services (RMS) is given the opportunity to comment on development that is 'traffic generating development' in Schedule 3 of the SEPP. The site does not have access to a classified road or a road that connects to a classified road within 90 metre. Therefore, the size or capacity of development in Column 2 of Schedule 3 of the SEPP is applicable.

For any development not specified in Schedule 3 with access to any road to be traffic generating development, the development must have a minimum capacity for 200 or more vehicles per hour. The proposed development only provides fifty-six (56) car parking spaces and therefore does not trigger Clause 104. Subsequently, the application is not required to be referred to the RMS for comment under the SEPP.

There are no other provisions contained within the Infrastructure SEPP that apply to the proposed development. Therefore, the proposed development satisfies the relevant provisions of the Infrastructure SEPP.

4.5.4. State Environmental Planning Policy (Vegetation in Non Rural Areas) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 (Vegetation SEPP) forms part of a suite of land management and biodiversity conservation reforms that work together with the BC Act to create a state framework for regulating the clearing of natural vegetation on land within NSW. The Vegetation SEPP ensures that the biodiversity offset scheme will apply to all clearing of native vegetation that exceeds the offset thresholds in urban areas and environmental conservation zones that do not require consent.

Consent is sought for the removal of eight (8) trees in accordance with the provisions of the Vegetation SEPP. Furthermore, this tree removal does not trigger the biodiversity offset thresholds as discussed in Section 4.4.

4.6. Warringah Local Environmental Plan 2011

4.6.1. Zoning

The site is zoned IN1 General Industrial under the WLEP 2011 as shown in the map extract at Figure 25.

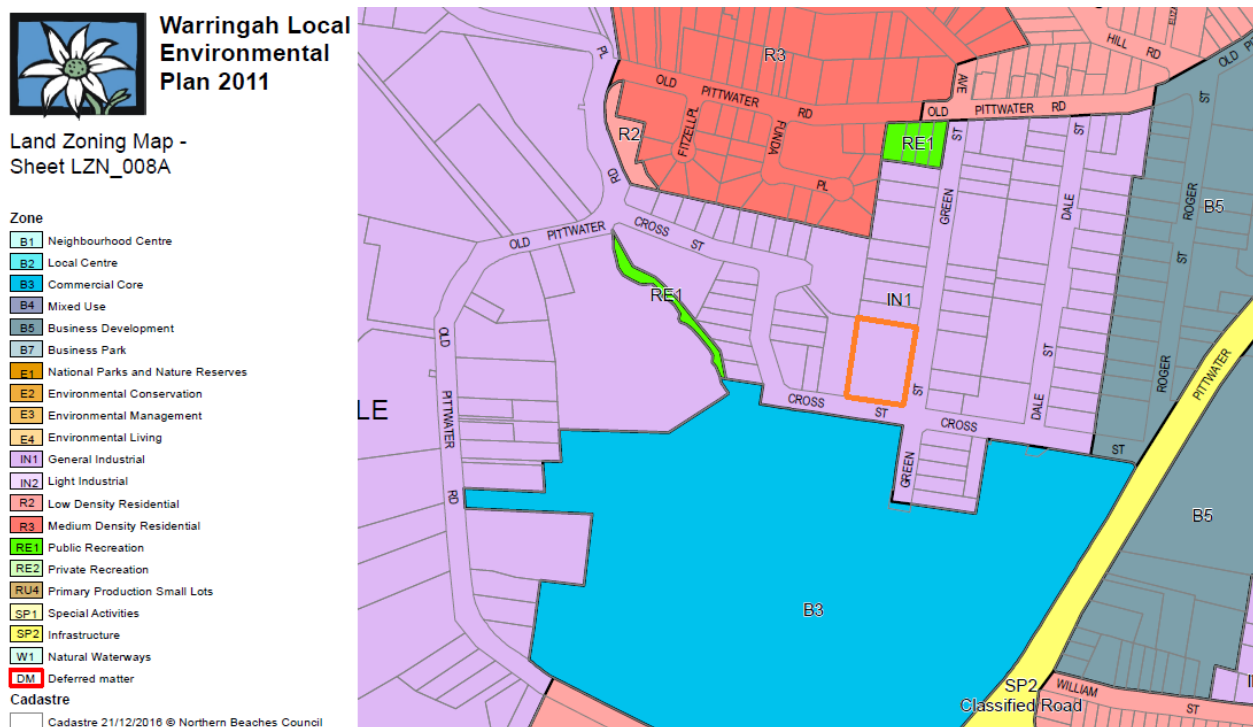


Figure 25: WLEP 2011 Land Zoning Map extract - site outlined in orange (Source: NSW Legislation)

4.6.2. Permissibility

An extract of the WLEP 2011 Land Use Table in relation to the IN1 General Industrial zone is provided below.

Zone IN1 General Industrial

1 Objectives of zone

- To provide a wide range of industrial and warehouse land uses.
- To encourage employment opportunities.
- To minimise any adverse effect of industry on other land uses.
- To support and protect industrial land for industrial uses.
- To enable other land uses that provide facilities or services to meet the day to day needs of workers in the area.
- To enable a range of compatible community and leisure uses.
- To maintain the industrial character of the land in landscaped settings.

2 Permitted without consent

Nil

3 Permitted with consent

Boat building and repair facilities; Depots; Freight transport facilities; Garden centres; General industries; Hardware and building supplies; Industrial retail outlets; Industrial training facilities; Light industries; Liquid fuel depots; Neighbourhood shops; Oyster aquaculture; Places of public worship; Roads; Storage premises; Take away food and drink premises; Tank-based aquaculture; Timber yards; Vehicle body repair workshops; Vehicle repair stations; Vehicle sales or hire premises; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Advertising structures; Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Eco-tourist facilities; Educational establishments; Entertainment facilities; Environmental facilities; Exhibition homes; Exhibition villages; Extractive industries; Forestry; Function centres; Health services facilities; Heavy industrial storage establishments; Heavy industries; Highway service centres; Home-based child care; Home businesses; Home occupations; Home occupations (sex services); Information and education facilities; Marinas; Mooring pens; Moorings; Open cut mining; Passenger transport facilities; Pond-based aquaculture; Port facilities; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Restricted premises; Rural industries; Tourist and visitor accommodation; Veterinary hospitals; Water recreation structures; Wharf or boating facilities

The proposed development is consistent with the WLEP 2011 definition of 'warehouse and distribution centre' as "...a building or place used mainly or exclusively for storing or handling items (whether goods or materials) pending their sale, but from which no retail sales are made, and includes local distribution premises". Warehouse and distribution centres are a land use that is permitted with consent in the IN2 zone.

The proposed development is consistent with the definition of 'self-storage units' as it "... consist[s] of individual enclosed compartments for sorting goods or materials (other than hazardous or offensive material)", noting that 'self-storage units' are a type of 'storage premises' for the purpose of the WLEP 2011. 'Storage premises' are specifically permitted with development consent in the IN1 General Industrial zone.

'Office premises' as a type of 'commercial premises' are prohibited in the IN1 General Industrial zone. However, any office space proposed as part of this development is ancillary to the proposed warehouses. The office space proposed serves the warehouses as the dominant use and is therefore permitted with consent.

4.6.3. Objectives

The objectives of the IN1 General Industrial zone are included in the Land Use Extract table above. The proposed development satisfies the WLEP 2011's objectives for the IN1 General Industrial zone as follows:

- It will provide a mix of warehouses and self-storage units within an existing industrial area. The proposed development will increase the small-scale warehouse offerings that are available in the locality, noting that much of the existing development that is of a similar nature in the area is now dated.
- It will encourage employment opportunities in an existing and established industrial area during the demolition, construction and operation phases directly on site and indirectly through the supply chain.
- It is not a type of development that generates emissions that would adversely affect other land uses.
- It will provide industrial-type land uses that are permitted with consent in the IN1 General Industrial zone. These uses will contribute to the strengthening of the existing Brookvale industrial area, which is one of the main industrial areas in the Northern Beaches and is close to Westfield Warringah Mall.
- It does not preclude the site or neighbouring properties from being re-developed in the future for land uses that provide facilities or services (including leisure) to meet the day to day needs of the residents.
- It will provide a landscaped setback to Cross Street that is capable of accommodating trees up to 6 metres, as well as improved landscaping within the public domain within both Cross and Green Streets, thereby ensuring that the proposed development contributes to the landscape setting of the area.

4.6.4. Subdivision

Clause 2.6 of the WLEP 2011 stipulates land to which this LEP applies may be subdivided but only with consent. As part of this application development consent is sought for the strata subdivision of the proposal.

4.6.5. Height of Buildings

Pursuant to Clause 4.3(2) of the WLEP 2011 the height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map, which is 11 metres as shown in Figure 26.

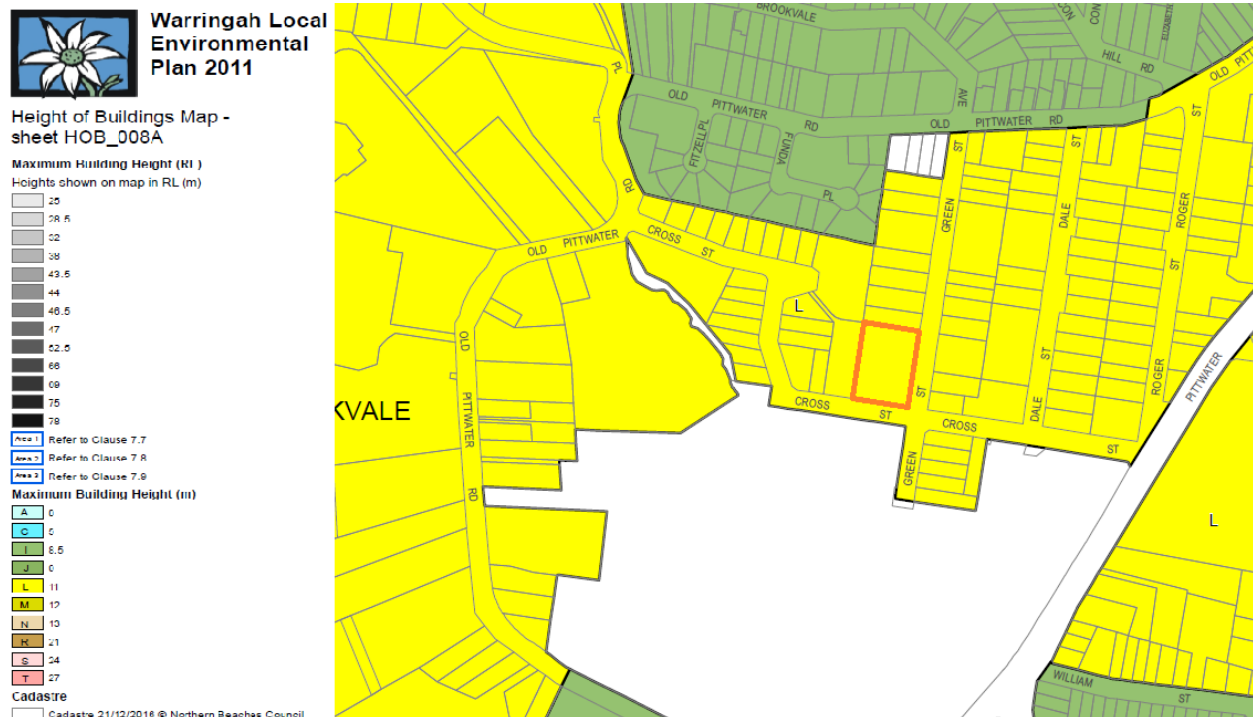


Figure 26: WLEP 2011 Height of Buildings map extract - site outlined in orange (Source: NSW Legislation)

The proposed development has a maximum building height of 14.1 metres from the existing ground level. Therefore, the proposed development exceeds the maximum 11 metre height limit by 3.1 metres (or 28.18%). The maximum variation to the development standard relates to the top of the common staircase (Figure 27) and is only for a small portion of the building with the roof feature being 2.24 metres wide. However, it is important to note that the maximum variation is only for a minor portion of the development, with the remainder of the variation relating to the building at the top of the parapet being much less at 2.4 metres. A separate Clause 4.6 Variation Request has been prepared by City Plan to justify this proposed variation.

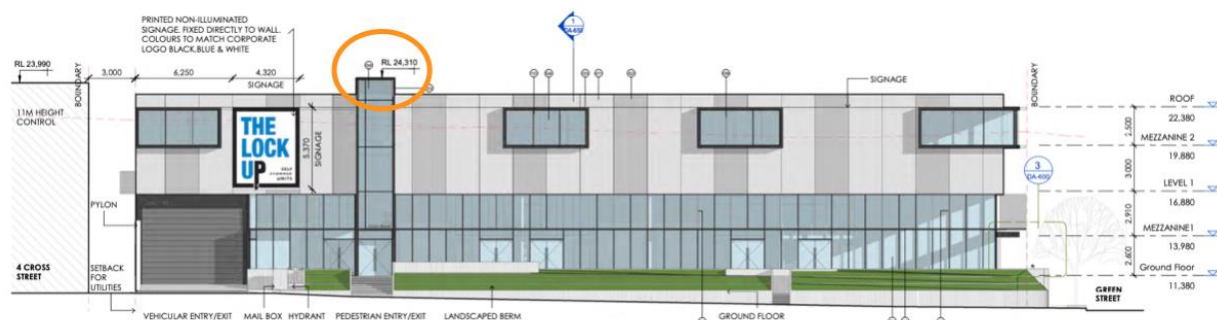


Figure 27: South elevation extract - maximum variation to standard circled orange (Source: Pace Architects)

4.6.6. Heritage Conservation

The site is not identified as a heritage item or part of a heritage conservation area as shown in Figure 28 below.

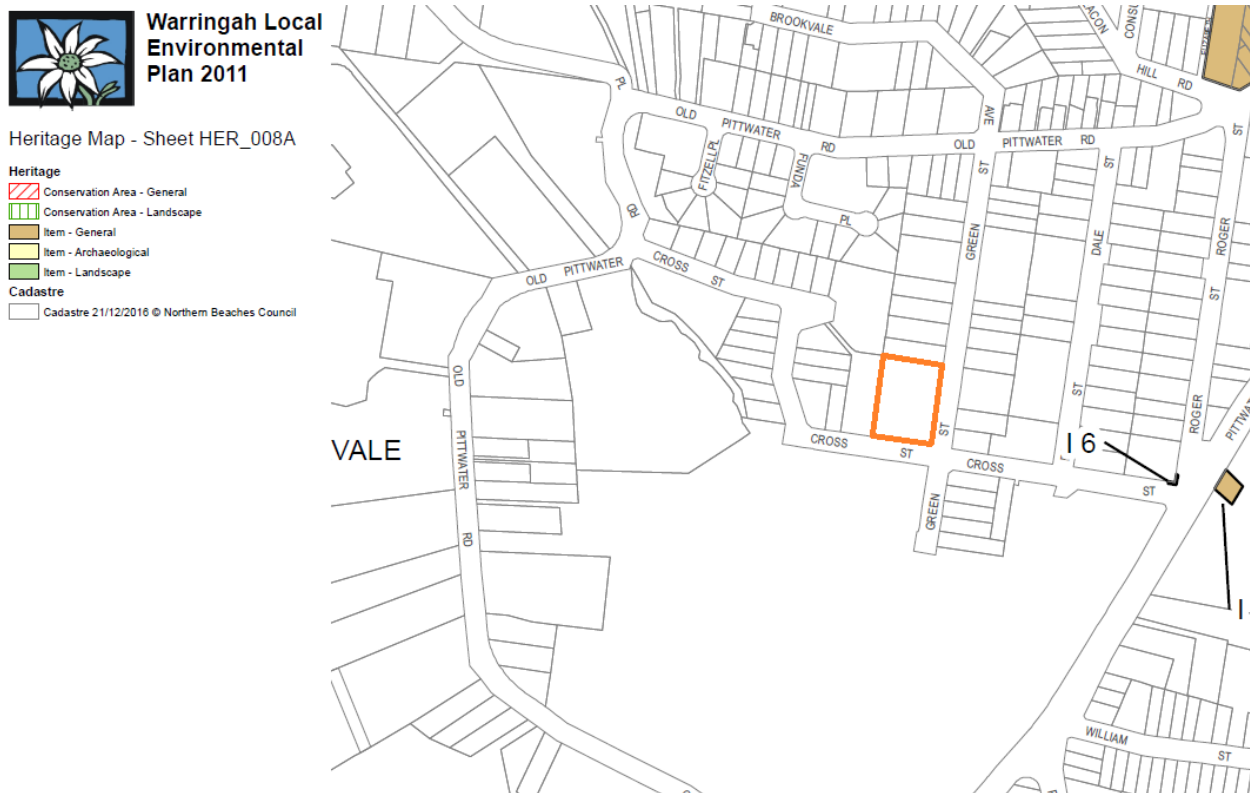


Figure 28: WLEP 2011 Heritage Map extract - site outlined in orange (Source: NSW Legislation)

4.6.7. Acid Sulfate Soils

The site is identified under the WLEP 2014 as being affected by Class 4 acid sulfate soils as shown in Figure 29.



**Warringah Local
Environmental
Plan 2011**

Acid Sulfate Soils Map -
Sheet ASS_008A

Acid Sulfate Soils

- Class 1
- Class 2
- Class 3
- Class 4
- Class 5

Cadastral

Cadastral 19/09/2011 © Warringah Council

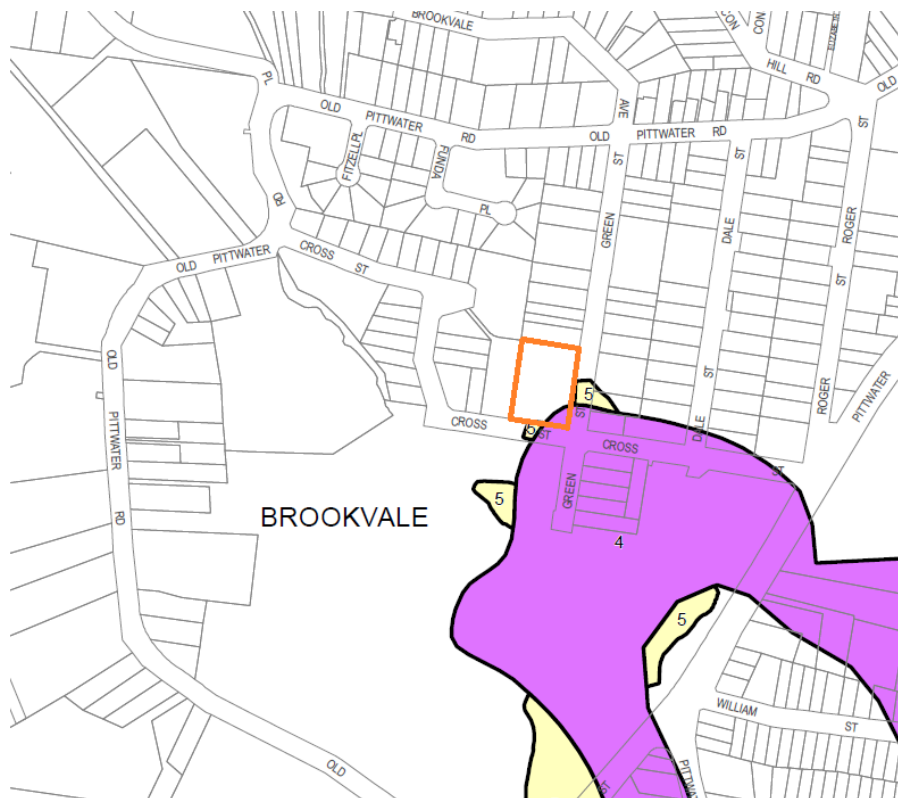


Figure 29: WLEP 2011 Acid Sulfate Soils Map extract - site outlined in orange (Source: NSW Legislation)

Works more than 2 metres below the natural ground surface on Class 4 land or works by which the watertable is likely to be lowered more than 2 metres below the natural ground surface require development consent.

Clause 6.1(3) of the WLEP 2011 stipulates that development consent must not be granted for the carrying out of works unless an acid sulfate soils management plan (ASSMP) has been prepared for the proposed works.

The proposed development does not include works that are more than 2 metre below the natural ground service or works by which the watertable is likely to be lowered below the natural ground surface. However, as part of the preparation of the Preliminary Environmental Site Assessment acid sulfate soils were tested for. The results of this testing concluded there was a high risk of acid sulfate soils being generated by soil disturbance and therefore it was concluded that an ASSMP was necessary for the proposed development. However, it is noted that this conclusion was based on a commercial development previously proposed on the site for a two-storey Bunnings Warehouse above two (2) levels of basement level car parking. Given that the proposed development the subject of this development application does not include any basement, excavation is not required and therefore an ASSMP is not considered necessary for the proposed development.

4.6.8. Earthworks

The objective of Clause 6.2 of the WLEP 2011 is to ensure that earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring land uses, cultural or heritage items or conservation areas or unique features of the surrounding land.

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Development consent must not be granted for earthworks unless the following matters have been considered:

(3) Before granting development consent for earthworks, the consent authority must consider the following matters—

- (a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality,*
- (b) the effect of the proposed development on the likely future use or redevelopment of the land,*
- (c) the quality of the fill or the soil to be excavated, or both,*
- (d) the effect of the proposed development on the existing and likely amenity of adjoining properties,*
- (e) the source of any fill material and the destination of any excavated material,*
- (f) the likelihood of disturbing relics,*
- (g) the proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area.*

The proposed development is consistent with the provisions of Clause 6.2(3) of the WLEP 2011 as follows:

- It will generally replicate the existing scenario on site in terms of the placement of the building. The driveway and western boundary setback area graded to direct flows from the north of the site to the south and discharge into Council's existing stormwater drainage system within Cross Street, thereby maintaining the existing draining patterns and minimising any potential detrimental effects on soil stability.
- The purpose of the earthworks is to ensure the proposed development is at the flood planning level. The nature of the earthworks is such that they will not preclude the site's future use or redevelopment. Rather, they seek to ensure the proposed development is consistent with the flood hazard of the land.
- The Preliminary Environmental Site Assessment confirms the existing fill is not suitable for re-use on-site. Any additional fill that is required will comprise high-quality material from an approved supplier. The proposed development does not include a basement and therefore excavation is not required.
- The site is located with an existing and established industrial area opposite Westfield Warringah Mall. Industrial and commercial development do not require the same level of amenity as other development. Nonetheless, the proposed development is of a high-quality design and incorporates landscaping, which will result in a building with an approved visual appearance compared to what is existing. The proposed development also results in acceptable level of overshadowing on adjoining properties.
- The site itself is not a state or local heritage item nor is it located in a heritage conservation area. A search of the Aboriginal Heritage Information Management System (AIHMS) found that no recorded Aboriginal sites or places are located on the site or within a 200-metre radius of the site. Thus, the likelihood of the earthworks associated with the proposed development disturbing any relics is very low. An unexpected finds protocol can be implemented during the construction phase if a relic is uncovered. The implementation of such a protocol can be imposed as a condition of any consent granted.
- The nearest watercourse is Brookvale Creek approximately 150 metres to the south of the site. Erosion and sediment control measures will be implemented during construction as detailed in Section 6.4.4, which will ensure that the proposed development does not adversely impact on the watercourse. The site is not located within a drinking water catchment or environmentally sensitive area.

4.6.9. Flood Planning

The objectives of Clause 6.3 of the WLEP 2011 are to minimise the flood risk to life and property, allow development on land compatible with the land's flood hazard and avoid impacts on flood behaviour or the environment. Clause 6.3 of the WLEP 2011 applies to land that is at or below the flood planning level, being the level of the 1:100 average recurrence level (ARI) flood event plus a 0.5 metre freeboard. The site is affected by the 1% annual exceedance probability (AEP) flood as shown in the map extract at Figure 30.

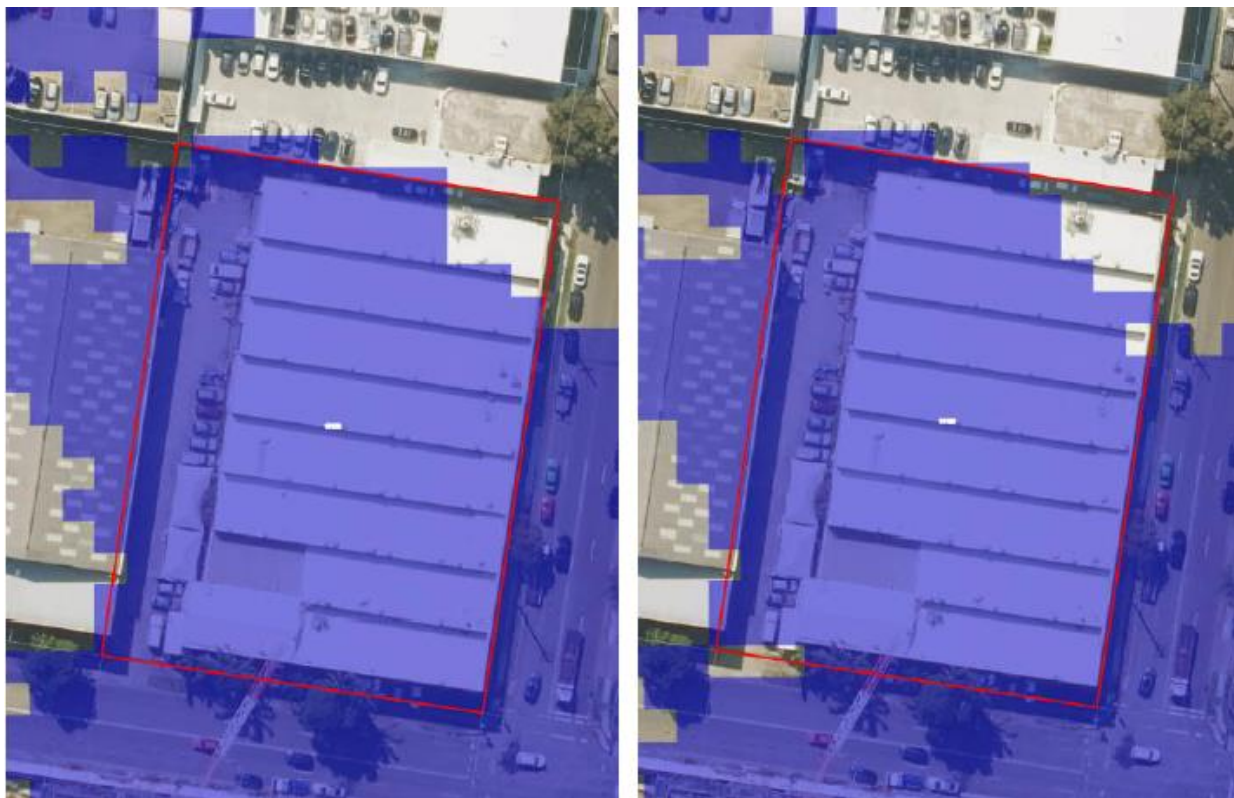


Figure 30: 1% AEP floodplain without climate change (left) and 1% SEP floodplain with climate change (right) (Source: Council)

Noting the 1% AEP flood is the equivalent to the 1:100 ARI flood event as the basis of the flood planning level, the provisions of Clause 6.3 of WLEP 2011 apply to the proposed development and have been considered.

Clause 6.3(3) of the WLEP 2011 stipulates that development consent must not be granted to development on land to which it applies unless the consent authority is satisfied of the following in relation to the development:

3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that the development—

(a) is compatible with the flood hazard of the land, and

(b) is not likely to significantly adversely affect flood behaviour resulting in detrimental increases in the potential flood affectation of other development or properties, and

(c) incorporates appropriate measures to manage risk to life from flood, and

(d) is not likely to significantly adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses, and
(e) is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.

A Flood Management Report has been prepared by Tonkin Consulting Pty to accompany this application. This report assesses the flood risk of the site and any potential impact that the proposed development may have on flood behaviour in terms of existing flood levels, storage and flow paths that could impact on the locality.

The floor level of the ground floor has been set to the flood planning level at RL 11.38 metres AHD, noting that the FFL for the existing development on the site varies and at its lowest has an RL of 9.81 metres. This will ensure the proposed development is not inundated by water during any flood event up to the 1% AEP. Furthermore, given the FFL in conjunction with the shallow floodwaters expected during the 1% AEP flood, the Flood Management Report notes the building will be capable of withstanding the forces of floodwaters, and therefore the proposed development is considered to be compatible with the land's flood hazard. The proposed development has also been setback from the site's western boundary by 3 metres as a means of replicating the existing driveway width and grading to maintain floodwater behaviours in this location. As there is unlikely to be any significant adverse effects on flood behaviour from the proposed development, there is also unlikely to be any social or economic costs to the community as a result of flooding.

The Flood Management Report identifies the probable maximum flood (PMF) level at RL 12.4 metres AHD. This is above the flood planning level and therefore floodwaters would be expected to flood the ground floor. It is recommended within the Flood Management Report a flood emergency response plan be implemented. The preparation of this plan can be imposed as a condition of any development consent, ensuring appropriate measures are taken as part of the proposed development to manage any risks to life.

The assessment within the Flood Management Report further concludes that the proposed development will not have any adverse flood affects as it will replicate the existing scenario in terms of building placement. The driveway and western boundary setback are to be graded from north to south such that any floodwaters will be directed to Cross Street and drained into Council's existing stormwater drainage system.

Erosion and sediment control measures will be implemented to manage potential impacts on the nearest watercourses.

4.6.10. Development on Sloping Land

Clause 6.4 of the WLEP 2011 applies to land shown as Area A, B, C, D or E on the Landslide Risk Map. The site is identified on the WLEP 2011 Landslip Risk Map as being within Area A as shown in Figure 31.

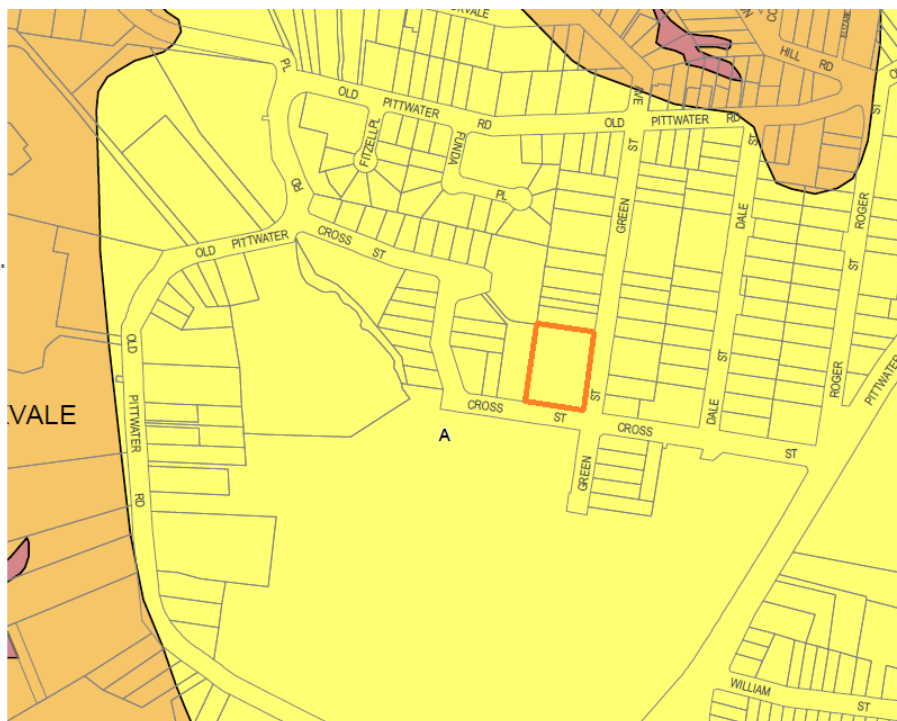


Figure 31: WLEP 2011 Landslip Risk Map extract - site outlined in orange (Source: NSW Legislation)

Clause 6.4 of the WLEP 2011 stipulates that development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied of the following in subclause (3):

(3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that—

(a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and

(b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and

(c) the development will not impact on or affect the existing subsurface flow conditions.

A Preliminary Geotechnical Investigation has been prepared by JK Geotechnics to accompany the application. This report does not identify the site as being potentially at risk of a landslide. Nonetheless, the proposed development will not cause significant detrimental impacts due to stormwater discharge as detailed above in Section 4.6.9 and no excavation is proposed that will impact existing subsurface flow conditions.

5. WARRINGAH DEVELOPMENT CONTROL PLAN 2011

Consideration of compliance and/or consistency with the relevant provisions within the WDCP 2011 is provided in the Planning Compliance Table prepared by City Plan to accompany this application to Council.

The following parts of the WDCP 2011 are relevant to this proposed development for a new industrial development:

- Part B - Built Form Controls
- Part C - Siting Factors
- Part D - Design
- Part E - The Natural Environment

The Table of Compliance demonstrates the proposed development generally complies with the WDCP 2011. Any minor variations to the key relevant provisions within the WDCP 2011 are detailed and justified below.

5.1. Variations

5.1.1. Front Boundary Setback

The WDCP 2011 requires that development provide a minimum 4.5 metre setback to road frontages. The proposed development does provide a 4.5 metre setback to the site boundary along the site's Cross Street frontage. However, only a 0.5 metre setback is provided to the Green Street frontage at the ground floor, with some of the frames around the windows at the first floor extending out to the site's eastern boundary.

The proposed development is consistent with the objectives of this front setback boundary control as follows:

- The provision of landscaping within the setback area to Cross Street and the Green Street road reserve as shown on the landscape plan accompanying this application and extract at Figure 23, creates the same sense of openness as if a wider setback were provided as shown in Figure 32 below.



Figure 32: 3D perspective from the corner of Cross and Green Streets (Source: Pace Architects)

- The proposed 0.5 metre setback to Green Street is consistent with the existing development on the site, and as such will maintain the existing continuity and pattern of buildings within this location. The provision of terraced landscaping within the Green Street road reserve will also provide the appearance of a front landscaped setback and an improved landscape setting for the proposed development.
- The proposed development also follows the building line of the existing development on the site, noting that the existing development includes a substation that is to be retained as part of the proposal. Maintaining the existing building line allows the substation to remain integrated in the building. This in turn provides for a better design outcome for the site and public domain in Green Street.
- The visual quality of streetscapes and public spaces is protected and maintained through the provision of a contemporary high quality warehouse and self-storage development in a landscape setting.
- The proposed development's built form generally aligns with that of the existing development on the site and as such will not adversely impact on any existing views that are available within this locality, noting that given the location of the site on a relatively flat parcel of land in an established industrial area, there are no existing significant views to or from the site that are affected by the proposed development.

5.1.2. Signage

Free Standing Sign

The proposed development includes one (1) freestanding sign in the form of a tenancy board for the building. Freestanding signs shall not exceed 2 metres in height above the existing natural ground level and shall not have an area greater than 4m² in accordance with the controls in Part D3 of the WDCP 2011. The proposed development seeks to vary these controls by providing a freestanding sign that is to be 4.36 metres in height and has an area of approximately 9.62m² as shown on the accompanying architectural plans.

The proposed development is consistent with the objectives of these controls for free standing signs as follows:

- The free standing sign is located within the site's setback area to Cross Street where it is easily visible and identifies the address/ name of the building and provides space for future tenancy signage, which will make it easier for vehicles and pedestrians to identify the building and businesses.
- The sign is proposed to comprise high quality materials and finishes such as aluminium and vinyl or similar.
- The free standing is setback behind the site's boundary to the Cross Street frontage and is appropriately sized to ensure that it does not result in any adverse visual impacts on the streetscape.
- The site is located in an established industrial area adjacent the Westfield Warringah Mall and as such the proposed free standing sign will not result in any adverse amenity impacts on nearby residents.
- The site is not identified as or in proximity of open space, heritage items or heritage conservation areas. Therefore, the proposed sign will not result in any adverse impacts on these significant spaces.

Furthermore, the area of the sign is considered acceptable as it facilitates business identification signage for each of the future tenants and the space provided for each of the tenants is only approximately 0.24m².

The free standing sign will not be visible to its full height extent when viewed from the east (see Figure 33).

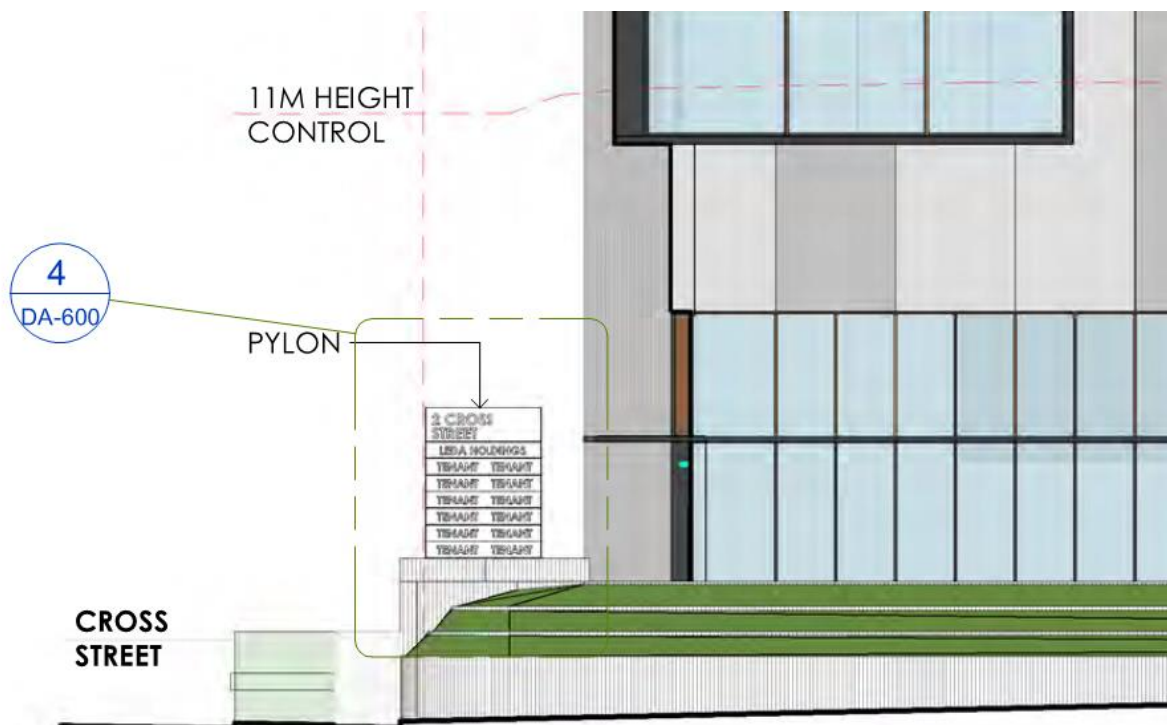


Figure 33: East elevation extract showing free standing sign (Source: Pace Architects)

Wall Sign

Wall signs are not to extend within 200 millimetres of the top and sides of the wall under the WDCP 2011. A wall sign on the west elevation of the proposed development is within 200 millimetres of the side of the wall. An extract of the west elevation showing the location of this wall sign can be viewed at Figure 34 below.

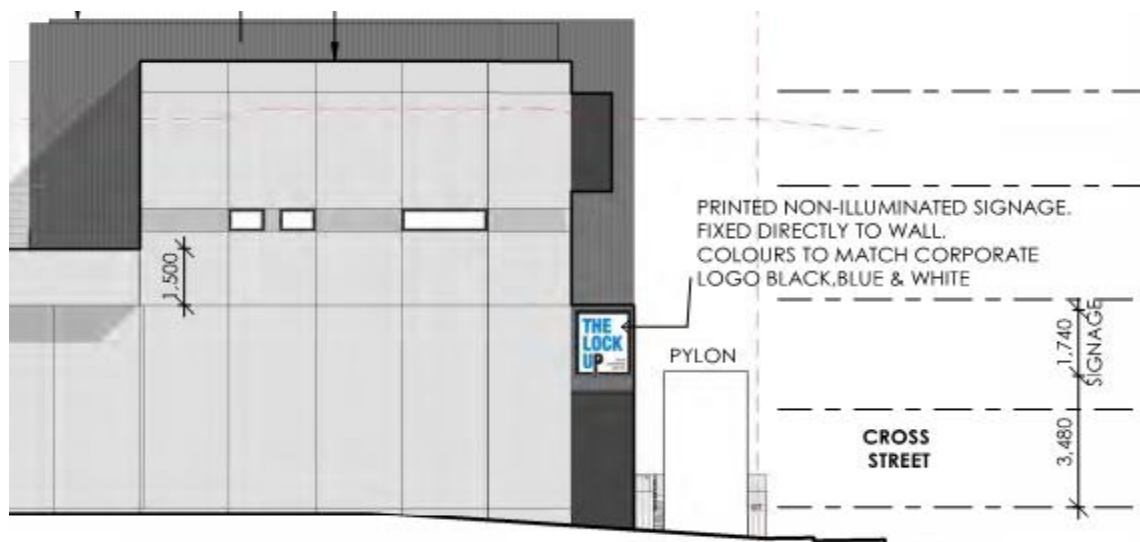


Figure 34: West elevation extract showing wall sign (Source: Pace Architects)

The proposed development is consistent with the objectives of these controls for free standing signs as follows:

- The wall sign identifies the name of the self-storage business that will be located within the development and is suitably located close to the site's boundary to its Cross Street frontage, where it will be visible to vehicles and pedestrians that are looking to access the self-storage units. Given that the under construction development at 4 Cross Street provides a nil setback to the site's western boundary, the sign has been located within 200 millimetres of the side of the wall so that it is visible. If it were to be setback further from the side of the wall then the visibility of this sign would be limited.
- The sign will comprise high quality materials and finishes and colours that match the corporate logo.
- As the sign is located on the wall and does not protrude outside the development's building envelope, it will not result in any adverse visual impacts on the streetscape or the surrounding locality.
- The site is located in an established industrial area adjacent the Westfield Warringah Mall and as such the proposed free standing sign will not result in any adverse amenity impacts on nearby residents.
- The site is not identified as or in proximity of open space, heritage items or heritage conservation areas. Therefore, the proposed sign will not result in any adverse impacts on these significant spaces.

6. ENVIRONMENTAL IMPACT ASSESSMENT

6.1. Overview

This section of the SEE identifies and assesses the potential impacts resulting from the proposed development with specific reference to the matters for consideration under Section 4.15 of the EP&A Act.

6.2. Context and Setting

The regional context and local setting of the proposed development site is described in Section 2 of this SEE.

The proposed development is compatible with the existing and desired future character of the locality, with the site and surrounding properties generally zoned for industrial purposes under the WLEP 2011. The light industrial nature of the proposed development provides for a considered transition between the wider general industrial area and the Westfield Warringah Mall south of the site on the opposite side of Cross Street.

Further consideration of the compatibility of the proposed development and its surroundings can be undertaken with regard to the LEC Planning Principle on “compatibility with context” as established in the Project Venture Developments v Pittwater Council (now Northern Beaches Council) [2005] NSWLEC 191 case. To ascertain whether a proposal is compatible with its context the following two questions can be asked:

- **Are the proposal’s physical impacts on surrounding development acceptable?**

The proposed development is bounded by industrial development to the north and west. Industrial development is also located to the east of the site on the opposite side of Green Street. Westfield Warringah Mall shopping centre is located to the south of the site on the opposite side of Cross Street, noting that the part of shopping centre directly opposite the site comprises a multi-level car park. The proposed development is light industrial in nature and will not produce any emissions that have the potential to impact on the quality of air or water on surrounding development or the wider locality. Furthermore, the provision of a new and modern built form on the site is considered to have a positive impact in terms of the site’s visual appearance from surrounding development and public domain.

- **Is the proposal’s appearance in harmony with the buildings around it and the street character?**

- The proposed development comprises a two-storey self-storage premises and warehouse development, noting that a variation is proposed to the height of buildings development standard. Its height is consistent with the under construction development west of the site at 4 Cross Street, which was approved with a maximum building height of 14.05 metres associated with the lift overrun. However, the maximum RL of the development at 4 Cross Street is greater than that of the proposed development and therefore the proposed development will sit slightly below the adjacent development. The height of the proposed development is also below that of Westfield Warringah Mall.

The use/building typology of the proposed development is also consistent with surrounding development, with other warehouse and ancillary office building located in the site’s immediate vicinity. Another self-storage premises has been approved and is under construction at 4 Cross Street.

The colour palette for the external façade of the proposed development is primarily neutral, comprising various shades of grey that will not be in discord with the existing surrounding development.

6.3. Built Environment

6.3.1. Height, Bulk and Scale

The proposed development does seek a variation to the maximum building height prescribed for the site. It is two-storeys and has a maximum height of 14.1 metres as shown on the accompanying architectural plans. Under the WLEP 2011 the maximum height of buildings that is prescribed for the site is 11 metres. A Clause 4.6 Variation Request accompanies this application that justifies the proposed variation to the standard.

No maximum floor space ratio (FSR) control is prescribed for the site under Clause 4.4 of the WLEP 2011.

The height, bulk and scale of the proposed development are consistent with surrounding industrial development, with other built form in the Brookvale industrial area generally comprising two or more storeys.

Landscaping and different materials, finishes, colours and horizontal and vertical elements have been incorporated within the design of the proposed development to minimise the appearance of the building's bulk.

6.3.2. Setbacks

The architectural plans show the proposed development has been designed with the following boundary setbacks:

- A 4.5 metre setback to Cross Street;
- A 0.5-metre setback to Green Street;
- A 0-metre setback to the site's northern boundary; and
- A 3-metre setback to the site's western boundary.

The proposed development generally complies with the minimum setbacks required by the WDCP 2011, the only exception being the setback to Green Street as detailed and justified within Section 5.1 of this SEE. Landscaping has been proposed within the front setback area to Cross Street as part of the proposed development. The western side setback area will only comprise lawn to allow for the free movement of stormwater.

The provision of appropriate setbacks to Cross Street, Green Street and surrounding development creates a pleasant environment within and external to the site and minimises any potential impacts on surrounding development. It also allows for the existing substation to remain an integrated part of the built form on the site.

6.3.3. Overshadowing

Shadow diagrams are included in the architectural plans prepared by Pace Architects that accompany this application.

These plans show that at 9am at mid-winter that the proposed development cast shadows on itself, the neighbouring property at No. 4 Cross Street, the adjacent road reserves and the Westfield Warringah Mall. By 12pm the shadows cast by the proposed development are almost contained wholly within the site, with only some minor shadows cast on the Cross Street and Green Street road reserves and setback areas. At 3pm the shadows cast by the proposed development are consistent with those cast at 12pm. However, these shadows are lengthened slightly to cover more of the development itself and the adjacent road reserves.

The shadows cast by the proposed development are considered acceptable given that the surrounding industrial developments do not require the same level of amenity as other types of non-industrial development, and the shadows cast on Westfield Warringah Mall only relate to a multi-level car park. The approved and under construction development at No. 4 Cross Street does not provide windows on its east elevation, and therefore the proposed development will not reduce solar access to this development, noting this development on the adjacent property has a higher maximum RL and will sit above the proposal. Nonetheless, by 12pm at mid-winter the shadows that are cast by the proposed development on surrounding industrial development to the west and Westfield Warringah Mall to the south are completely gone. From 12pm to 3pm the only shadows cast by the proposed development are on itself and the road reserves.

Figure 35 includes extracts of the shadow diagrams for the proposed development at 9am, 12pm and 3pm mid-winter.

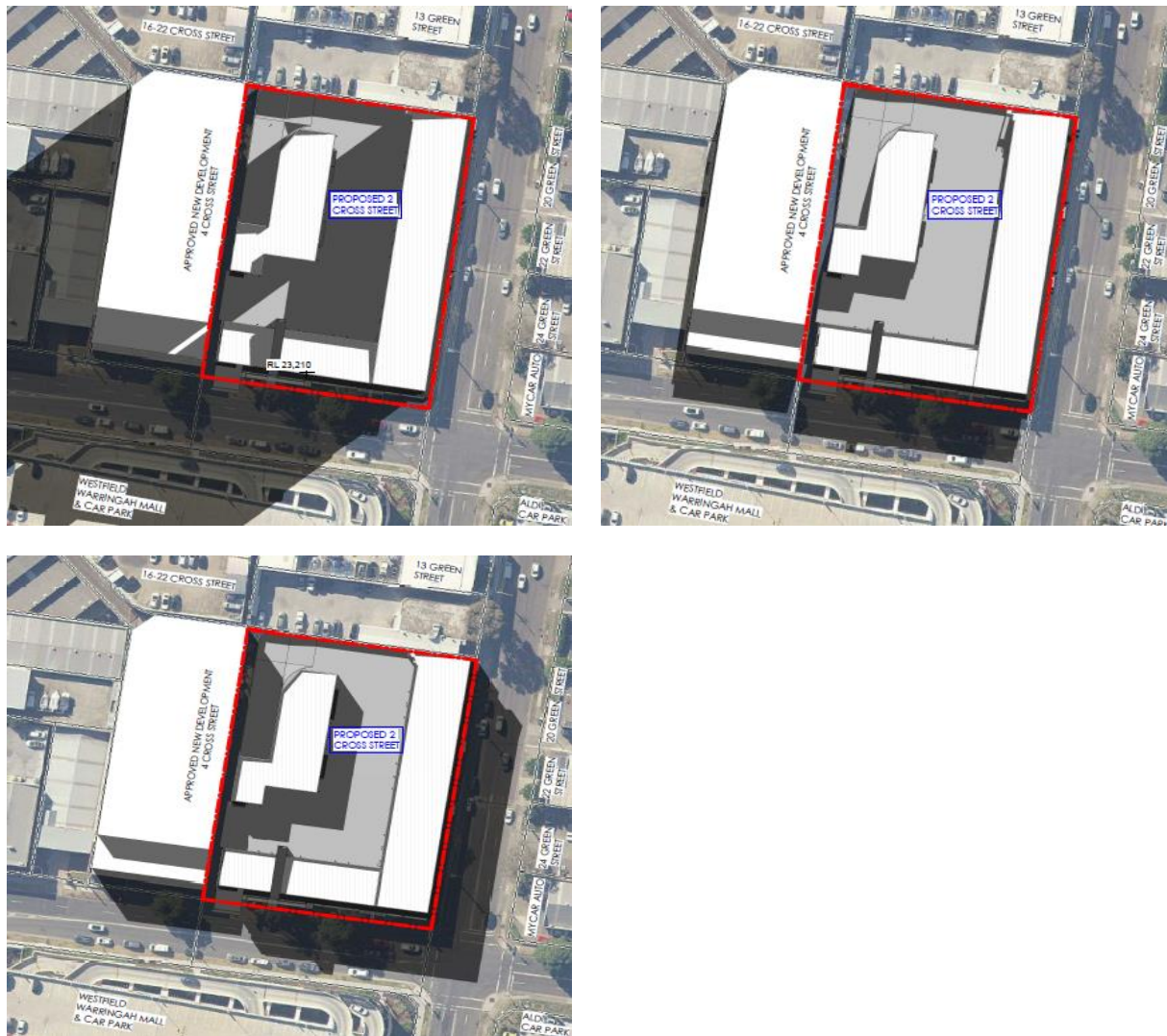


Figure 35: Shadows of proposed development at 9am (top-left), 12pm (top-right) and 3pm (bottom-left) mid-winter (Source: Pace Architects)

6.3.4. Public Domain

The proposed development is a positive and compatible contribution to the public domain given the following:

- The proposed development improves the presentation of the site when viewed from the public domain through the provision of a new and modern built form that comprises a range of high-quality materials, finishes and colours and different horizontal and vertical building elements to create visual interest, as well as ameliorate the bulk and scale of the proposed development from the public domain. The retention of existing trees within the public domain, provision of replacement tree planting where trees are to be removed and landscaping on-site and within the adjacent road reserves also improve pedestrian and vehicle amenity from the public domain along Cross Street and Green Street by softening the appearance of the building and creating a landscape setting for it.
- Pedestrian stairs and ramps are proposed that will connect the ground floor warehouses to the street.
- The proposed development provides a 4.5 metre setback to its Cross Street frontage. Located within this setback area is landscaping comprising a mix of trees, shrubs and grasses/groundcovers. Some landscaping is also proposed within both the Cross Street and Green Street road reserves to improve and integrate the landscaping within the public domain to that of the proposed development.

6.3.5. Materials and Colour

A schedule of external finishes is included in the accompanying architectural plans prepared by Pace Architects.

External finishes for the proposed development include a mix of high-quality of metal, concrete and glass, which are commonly used within industrial type developments and consistent with surrounding development. Minimal finishes have been used in the design of the proposed development to promote simplicity.

A neutral colour palette has been utilised to ensure the proposed development is compatible with the locality. The use of the brown and beige within the vertical metal fins and awning design do add some colour, as does the use of blue within the proposed business identification signage for the storage premises. This use of colour adds visual interest to the proposed development in an understated manner.

6.3.6. Building and Construction

Compliance with the BCA will be demonstrated as part of the future Construction Certificate (CC) documentation. The accompanying BCA Compliance Statement confirms that the proposed development can readily achieve compliance with the BCA provisions by addressing the measures identified in the statement.

A Construction Management Plan (CMP) can be prepared by the appointed construction contractor once the terms of any approval granted by Council in relation to the proposed development are known, if required. Accordingly, it would be anticipated that appropriate conditions would be included within any development consent that require the preparation of a CMP prior to any on-site construction works commencing.

6.4. Natural Environment

6.4.1. Tree Removal

Eight (8) trees located within the boundaries of the site are proposed to be removed as part of this application.

An Arborist Assessment Report has been prepared by Abel Ecology and accompanies this application to Council. This report details the results of a tree survey that was undertaken by Abel Ecology and it assesses the likely impacts of construction works on the trees that are located on the footpaths around the site. It also recommends appropriate management strategies for the protection of the trees that are to be retained.

The proposed removal of all trees that are located within the boundaries of the site are supported, noting the palms are listed as a weed species and could be removed without development consent as exempt development. These trees are required to be removed as they are in conflict with the design of the proposal. Replacement tree planting is proposed within the Cross Street landscaped front setback area to offset their removal.

The two (2) trees located within the public domain immediately adjacent the site are proposed to be retained. The Arborist Assessment Report notes construction will impact on these trees' roots and canopy and includes recommendations to be implemented during construction to manage these impacts, including the provision of tree protection zones (TPZs) and structural root zones (SRZs) and pruning at specific distances.

6.4.2. Landscape

A Landscape Plan has been prepared to accompany this application and is extracted at Figure 23. Landscaping is proposed on the site within the front setback area of the proposed development to Cross Street and will comprise a mix of trees, accents, shrubs and groundcovers in accordance with the plant schedule. Landscaping is also proposed between the site boundary and Cross Street and Green Street. Collectively, the landscaping seeks to provide an integrated design approach between the site and public domain and will create a landscape setting for the proposed development that will enhance its attractiveness. The provision of 101.5m² of deep soil to support the proposed landscaping will also form part of the site's wider stormwater drainage design and minimise the amount of stormwater run-off that is generated.

New trees are proposed as part of the landscape design to assist in off-setting the trees proposed to be removed.

6.4.3. Water Management

The stormwater drainage design for the proposed development is described in detail in Section 3.11.1. Stormwater run-off generated from the site is to be collected and conveyed by an underground drainage network of pipes and pits that is proposed to be connected to an existing kerb inlet pit within Cross Street. The design of the proposed development is such that portion of impervious area is reduced from 98.5% to 92.3%. Therefore, it can be concluded that the proposed development is unlikely to increase the site's discharge.

Treatment measures to improve the water quality of the stormwater run-off from the proposed development will include a grass buffer to trap sediment and a filtration system to remove suspended and dissolved pollutants.

The WDCP 2011 specifies the minimum stormwater quality performance targets for development. Stormwater quality modelling using the Model for Urban Stormwater Improvement Conceptualisation (MUSIC) was undertaken to ensure that the proposed development meets these stormwater targets. Results of the MUSIC modelling undertaken for the proposed development are summarised in Table 5 below.

Table 5: Mean annual pollutant loads

Pollutant	Reduction Target	Reduction Achieved
Total Suspended Solids	85%	85.1%
Total Phosphorus	65%	81.3%
Total Nitrogen	45%	47.2%
Gross Pollutants	90%	100%

The above results demonstrate that the proposed development meets the minimum targets for water quality.

Refer to the Stormwater Drainage Concept Design report accompanying this application for further details.

6.4.4. Soil Management

Refer to Section 4.5.1 of this SEE for the SEPP 55 assessment with regard to potential soil contamination.

A Sediment and Erosion Control Plan has also been prepared by Tonkin to accompany this application, shows the measures to be incorporated during the demolition and construction of the proposed development to provide appropriate soil management and sediment control for the duration of these phases. The sediment and erosion control measures proposed as part of this application include the following:

- Temporary construction access off Cross Street;
- Siltation fencing along the site's boundaries to Cross Street and Green Street;
- Installation and maintenance of temporary sand bag sediment filter; and
- Stockpiling of materials.

6.4.5. Air and Microclimate

It is envisaged that some dust may be generated during the construction of the proposed development. A Sediment and Erosion Control Plan has been prepared by Tonkin to accompany the application, which demonstrates the various measures that will be implemented to manage this potential impact. The proposed is otherwise not expected to give rise to any long term or adverse impacts on air quality in the locality.

A CMP will be provided by the appointed construction contractor prior to the issue of the CC and can be conditioned.

6.4.6. Noise and Vibration

It is envisaged that some noise may be generated during the demolition and construction phases. This noise can be managed through the imposition of a condition in the consent that restricts construction hours.

The nearest sensitive receiver to the site is the residential development 80 metres north-west of the site. Between the site and this residential development are other industrial and warehouse developments. Given

the location of the site within an industrial area separated from residences by other noise-generating sources, it is considered unlikely the operation of the proposed development will have adverse noise impacts.

6.5. Movement and Access

6.5.1. Transport

As detailed within Section 2.4.8 of this SEE and the accompanying Traffic and Parking Assessment, there are convenient public transport services available to the site by way of numerous bus services that run along Pittwater Road and circulate via Cross Street with some terminating at Westfield Warringah Mall. The site is also located within easy walking distance of the B-line bus services Warringah Mall stop. These services provide connections to the centres and transport hubs of Sydney CBD, North Sydney and Manly Wharf.

6.5.2. Parking

A Traffic and Parking Assessment has been prepared by Transport and Traffic Planning Associates (TTPA). This report has been partly prepared to assess the adequacy of the proposed car parking provision. The number of car parking spaces required for the proposed development is detailed in Table 6 below.

Table 6: Car parking requirements

Use	Rate	GFA	Required
Self-storage premises	2 spaces for staff 1 space for customers (office) 2 spaces for customers (at stores) *	589m ²	5
Warehouse and office	1.3 spaces/ 100m ² GFA (up to 20% office)	3,370m ²	44 (43.8)
Total			49

* The WDCP 2011 does not specify a minimum or maximum car parking rate for self-storage premises. Therefore, the Self Storage Association of Australia (SSAA) Study has been relied upon for this particular use. This Study provides an independent assessment of parking demand for self-storage facilities. The rate provided in Table 6 is based on the study results for self-storage facilities that are less than 3,000m².

The proposed development provides for a total of fifty-six (56) car parking spaces across the two levels and therefore exceeds the number of car parking spaces required in accordance with the WDCP 2011 rates. Two (2) of the car parking spaces that are proposed will be provided as accessible car parking spaces.

TTPA's report concludes that the car parking provision for the proposed development will be adequate and appropriate.

6.5.3. Traffic

The Traffic and Parking Assessment prepared by TTPA to accompany this development application also assesses the potential traffic implications of the proposed development on the existing road network.

Based on the RMS Development Guideline peak traffic generation rate of 0.5 vehicle trips per hour (vtp/h)/ 100m², the proposed development is expected to generate some 18 to 20 vtp/h in the AM and PM peak periods. Based on this traffic generation the Traffic and Parking Assessment notes that it is apparent the proposed development will result in a potentially lower number of vehicle movements compared to that of the existing development and there will be no large trucks involved unlike the previous uses on the site. Overall, TTPA's report concludes that the proposed development will not result in any unsatisfactory traffic implications

6.5.4. Servicing / Waste

Demolition and Construction Waste

A Waste Management Plan (WMP) has been prepared by Leda to accompany this application to Council. Waste that is generated during the demolition and construction phases of the proposed development will be collected and reused on-site where possible or transported by a waster contractor to a Belrose recycling outlet.

Operational Waste

The self-storage premises will not generate any waste given their use is limited to the storage of items. However, any waste generated by the self-storage units is the owners' responsibility to legally dispose of.

The ongoing waste management of the warehouses will be the subject of future usage applications for the warehouses.

6.5.5. Accessibility

An Access Review has been prepared Morris Goding Access Consulting to accompany the application. Based on a review of the architectural plans in accordance with the relevant statutory requirements, the Access Report concludes that the accessibility requirements pertaining to external site linkages, building access, common area access, sanitary facilities and parking can be readily achieved by the proposed development.

6.6. Site Suitability

The suitability of the site to accommodate a development of this type and scale was established by the analysis completed by Council through the preparation of the WLEP 2011 and the relevant zoning and controls.

The site is not affected by any controls or policies that precludes the proposed development due to the likelihood of geotechnical land slip, bush fire, tidal inundation, subsidence, acid sulphate soils or any other risk.

The site is in an existing and well-established urban area with existing access to a range of services and utilities. The existing substation located on the site is to be retained and reconfigured as part of the development. It will remain in its existing location in the north-eastern corner of the site fronting Green Street.

An assessment under SEPP 55 has been carried out and accompanies this application to Council. The SEPP 55 assessment concludes that the site can be made suitable for the proposed development based on the recommendations contained within the Additional Environmental Site Assessment being implemented.

6.7. Social and Economic Effects

6.7.1. Crime and Safety

Crime Prevention through Environmental Design (CPTED) is a recognised model that provides that if development is appropriately designed it can reduce the likelihood of crimes being committed. By introducing CPTED measures within the design of the development it is anticipated that this will assist in minimising the incidence of crime and contribute to perceptions of increased public safety in the locality. The proposed development has been designed to take into consideration the principles of CPTED as follows:

Surveillance: Crime targets can be reduced by opportunities for effective surveillance, both natural and technical.

Warehouses 1 to 9 at the ground floor of the proposed development front onto Cross and Green Streets. Glazing has been incorporated into the external street-facing façades of the proposed development to provide clear sightlines between the warehouses and the public domain within both Cross and Green Streets.

The proposed landscaping includes a mix of trees, shrubs and grasses and groundcovers of varying heights that will create an attractive environment that deters crime and provides minimal opportunities for concealment.

Access Control: Physical and symbolic barriers can be used to attract, channel or restrict the movement of people to minimise the opportunities available for crime and increase the effort required to commit crime.

A roller shutter door is located at the building's vehicular entry as shown on the accompanying architectural plans. The provision of this roller shutter door provides a physical barrier to restrict access to the relevant people.

The pedestrian pathways located off Cross and Green Streets further channel people to the building's main pedestrian entrances as well as the pedestrian entrances to individual tenancies at the ground floor. The provision of limited pedestrian entrances and their location will ensure that they are highly visible and trafficable.

Territorial Reinforcement: Well-used places reduce the opportunities for crime and increase risk to criminals.

The site of the proposed development is privately owned and does not contain any spaces for use by the public.

Space Management: Appropriately utilised and well cared for spaces reduce the risk of crime and antisocial behaviour.

The CPTED principle of space management is linked to the principle of territorial enforcement above. Whilst there are no public spaces or spaces that are for the use of all tenants within the proposed development, measures such as site cleanliness, repair of vandalism, quick replacement lighting and refurbishment of physical elements will be implemented by the owner/manager of the building. These measures can be resolved at a later stage of the proposed development prior to the issue of an Occupation Certificate.

6.7.2. Social, Economic and Employment

The proposed development will have a positive social impact by increasing supply of self-storage units for residents at a time when significant growth in apartment living is driving more demand for these types of facilities. The nearest residential areas are located within 1 kilometre of the site and surrounding industrial

area. It is also envisaged that the self-storage units may be available to use by local businesses in the area.

Furthermore, the Architectural Plans prepared by Pace Architects that accompany this application, demonstrate the high standard of built form outcome for the site compared to the existing site development. High-quality materials and finishes and different vertical and horizontal elements have been incorporated into the design of the proposed development to create a modern and visually aesthetic building. The retention and protection of existing trees within the adjacent road reserve and new landscaping within the front setback area along Cross Street further seek to provide improved visual amenity from the public domain.

6.7.3. Public interest

Pursuant to existing case law of *Ex Gratia P/L v Dungog Council* ([2005] NSWLEC 148), the question that needs to be answered to establish if a development is in the public interest is “Whether the public advantages of the proposed development outweigh the public disadvantages of the proposed development?”

There are no unreasonable impacts that will result from the proposed development the subject of this application, therefore, the benefits of providing additional self-storage units and warehouses in an existing and established industrial area in proximity to residents and businesses in Sydney's Northern Beaches region outweigh any disadvantage and as such the proposed development will have an overall public benefit.

7. CONCLUSION

This DA seeks approval for a warehouse and self-storage development at 2 Cross Street, Brookvale.

This SEE has undertaken an environmental assessment of the proposal and has concluded that the proposal provides a built form which is consistent and compatible with the desired future character of the site and the surrounding locality, by providing general industrial land uses in the form of warehouses and self-storage units that provide an appropriate transition between Brookvale industrial area and Westfield Warringah Mall.

In summary, the proposal is considered to:

- be an appropriate response to the context, setting, planning instruments and development guidelines and other considerations outlined in Section 4.15(1) of the EP&A Act;
- provide a built form consistent with and appropriate to the desired future character of the site. The proposed development does vary the 11m height limit by a maximum of 3.1 metres, which is considered acceptable for the reasons set out in the accompanying Clause 4.6 Variation Request and is consistent with the recently approved development on the property immediately west of the site. There is no FSR control that applies to the site and the proposed development is compliant with the setback controls, the only exception being to the site's Green Street frontage, which is consistent with the existing development on the site and does not result in any adverse amenity impacts.
- have no adverse impacts on the amenity of the surrounding development in terms of solar access, overshadowing, visual impact and views;
- provide employment opportunities at the construction and operations phases; and
- have no adverse impacts on the environment, traffic, parking, drainage or other external features or services.

The benefits provided by the proposed development outweigh any potential impacts and is it is therefore considered to be in the public interest. The proposal will deliver a suitable and appropriate development and is worthy of approval.