

# K.R. STUBBS & ASSOCIATES PTY LTD

CONSULTING ENGINEERS

PROJECT MANAGERS

WATER SERVICING COORDINATORS

Office & Mailing address: Suite 6, No.33 RYDE ROAD, PYMBLE 2073

TELEPHONE: (02) 9880 2991

E-MAIL: enquiry@krstubbs.com.au

A.B.N.15 001 759 584

OUR REF: BPA2807

26th November 2021

Premier Pools Pty. Ltd.  
303 Pacific Highway  
LINDFIELD NSW 2070

**A COPY OF THIS COMPLETE  
PACKAGE SHOULD BE  
SUPPLIED TO THE BUILDER  
AND BE ON SITE.**

Attention: Vicki Pericak

Dear Vicki,

## **38 GONDOLA ROAD, NORTH NARRABEEN BUILDING PLAN APPROVAL SERVICES**

Please find enclosed the Sydney Water Building Plan Approval package for the proposed pool at the above address. This package consists of:-

- Sydney Water Building Plan Approved - Subject to Requirements document;
- Building Plan Nos. 2111\_003 - 01;
- Engineers Plan No. 21-1104 P01 [A] & P02 [A];
- Service Protection Report;
- Tap In Building Plan Assessment Letter.

The foundations/piers must be constructed in accordance with the stamped plans to prevent the pool from having an impact on Sydney Water's asset. The pool foundation **must be inspected by K.R. Stubbs & Associates Pty. Ltd.** prior to pouring concrete.

Our fee (as previously agreed) to carry out the foundation inspection is **\$660.00 incl. GST (to be paid prior to the inspection)**. This fee is based on all relevant foundations being formed at time of inspection and only one inspection being required (See Note 1).

**We require at least 48 hours notice of the required inspection time.**

The project completion package will be submitted to Sydney Water upon completion of the above inspections.

### **NOTES:-**

1. Should additional inspections be required, additional fees will be charged at **\$660.00 incl. GST / per inspection.**

Yours faithfully,



**EVAN BENDON**  
Water Servicing Coordinator



DIRECTORS:

COLIN PICKERING  
EVAN BENDON

B.Sc., Eng. (CIVIL), M.I.E. AUST.



**SYDNEY WATER  
BUILDING PLAN APPROVED -  
SUBJECT TO REQUIREMENTS**

Sydney Water Tap in™ Ref No: 1291664

**Property Location**

Street No: 38

Lot No: 264

Street Name: Gondola Road

Suburb: North Narrabeen

Building/Structure Description: Pool

Building Plan No: 2111\_003 - 01      Engineers Plan No: 21-1104 P01 [A] & P02 [A]

Proposed building/structure is APPROVED to construct ADJACENT TO a Sydney Water asset, subject to the following requirements:

1. No part of the swimming pool or its foundations to be less than a minimum 0.6 metre, horizontal distance from the outside edge of the asset to the outer edge of the pool. **(900mm required for piling solutions)**
2. No part of the above-ground building/structure to be less than 1m horizontal distance from outside edge of any Sydney Water structure.
3. No part of any swimming pool (excluding coping) is to be less than 2m horizontal distance from outside edge of any Sydney Water structure.
4. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
5. All foundations/piers are to be founded to below the zone of influence or to solid rock.


**NOTE:**

**Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.**

**APPROVED BY**

WSC Company Name: K. R. Stubbs & Associates Pty Ltd

Name of Key Personnel: Evan Bendon

Signature of Key Personnel:  .....

Date: 26 / 11 / 2021

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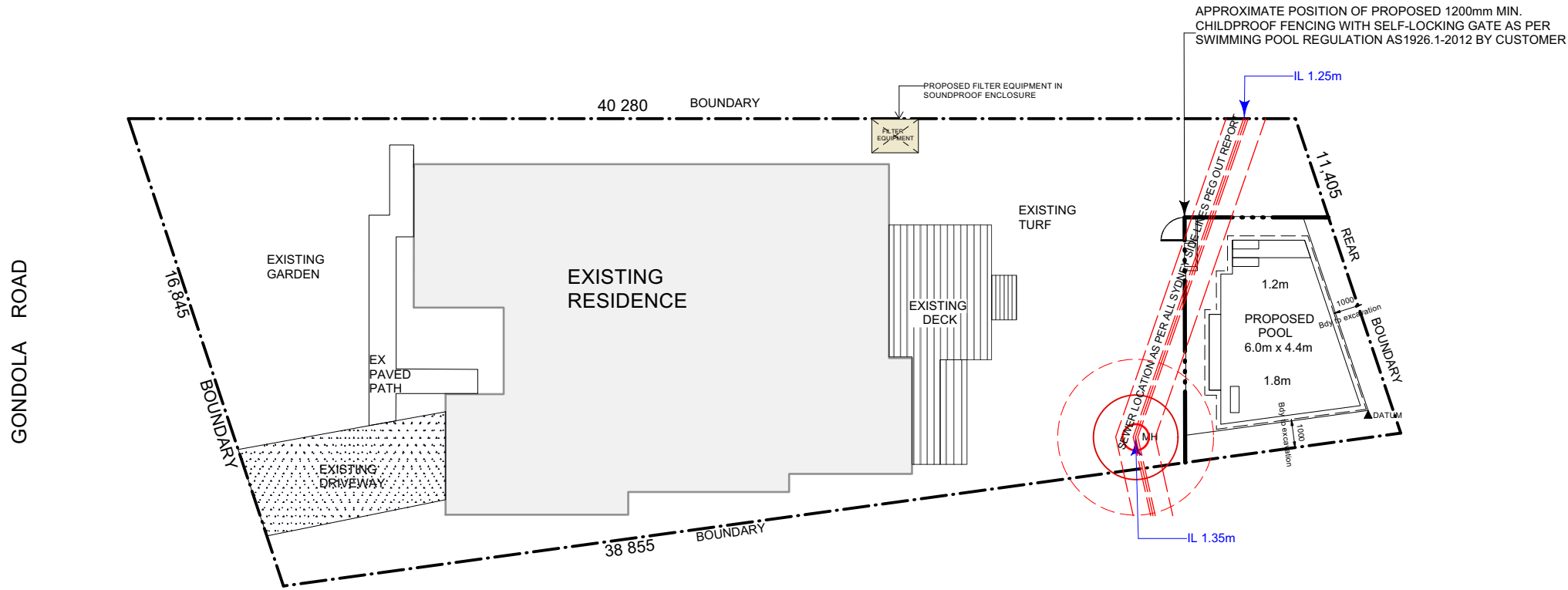
**Warning - Document current at time of printing or downloading.**

**Doc. Number:** ACDP0258

December 2015

**Doc. Owner:** Manager, Urban Growth Property Development

Page 1 of 1



▲ FIXED DATUM: EXISTING LAND LEVEL AT NORTH EAST CORNER OF PROPOSED POOL  
FINISHED COPING TO BE  
150mm ABOVE DATUM POINT.

SITE PLAN  
1 : 200

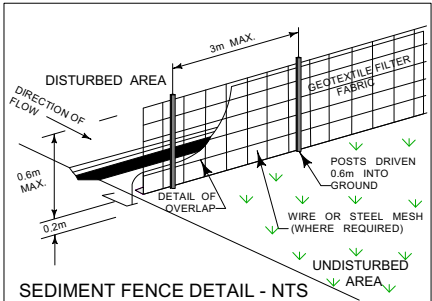
POOL VOLUME = 33.1KL

SWIMMING POOL SAFETY FENCE TO COMPLY WITH:  
AS 1926.1-2012  
AS 1926.2-2007  
SWIMMING POOLS ACT 1992  
SWIMMING POOLS REGULATION 2008  
BUILDING CODE OF AUSTRALIA  
BUILDING CODE OF AUSTRALIA NSW AMENDMENT -PART 3.9.3

SITE COVERAGE CALCULATIONS  
ZONED R2 RESIDENTIAL  
LANDSCAPE AREA MAP 3

CONTROL: MIN. LANDSCAPE AREA % OF SITE AREA REQUIRED		268.5m2 (50%)
TOTAL AREA OF SITE		537m2
TOTAL LANDSCAPE AREA AVAILABLE		269.7m2 (50.2%) complies
EXISTING SITE COVERAGE	231.2m2	= 43%
PROPOSED POOL	36.1m2	
PROPOSED TOTAL SITE COVERAGE	267.3m2	= 49.77%

SEDIMENT CONTROL FENCING TO BE PROVIDED WHERE REQUIRED.  
FENCING TO BE REMOVED UPON COMPLETION OF CONSTRUCTION



NOTE:

THIS PLAN IS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS RELATING TO THE PROPOSED DEVELOPMENT. NO LIABILITY SHALL BE CARRIED FORWARD BY THE AUTHOR SHOULD IT BE USED FOR ANY OTHER PURPOSE.  
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING FROM PLAN.  
ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.

PROJECT  
PROPOSED SWIMMING POOL  
CLIENT  
FROWDE RESIDENCE  
ADDRESS  
38 Gondola Rd  
NTH NARRABEEN

SEDIMENT & EROSION CONTROL PLAN /

SITE PLAN

DATE	10.11.21	DWG
SCALE	AS SHOWN	
DRAWN	VP	
CHKD		

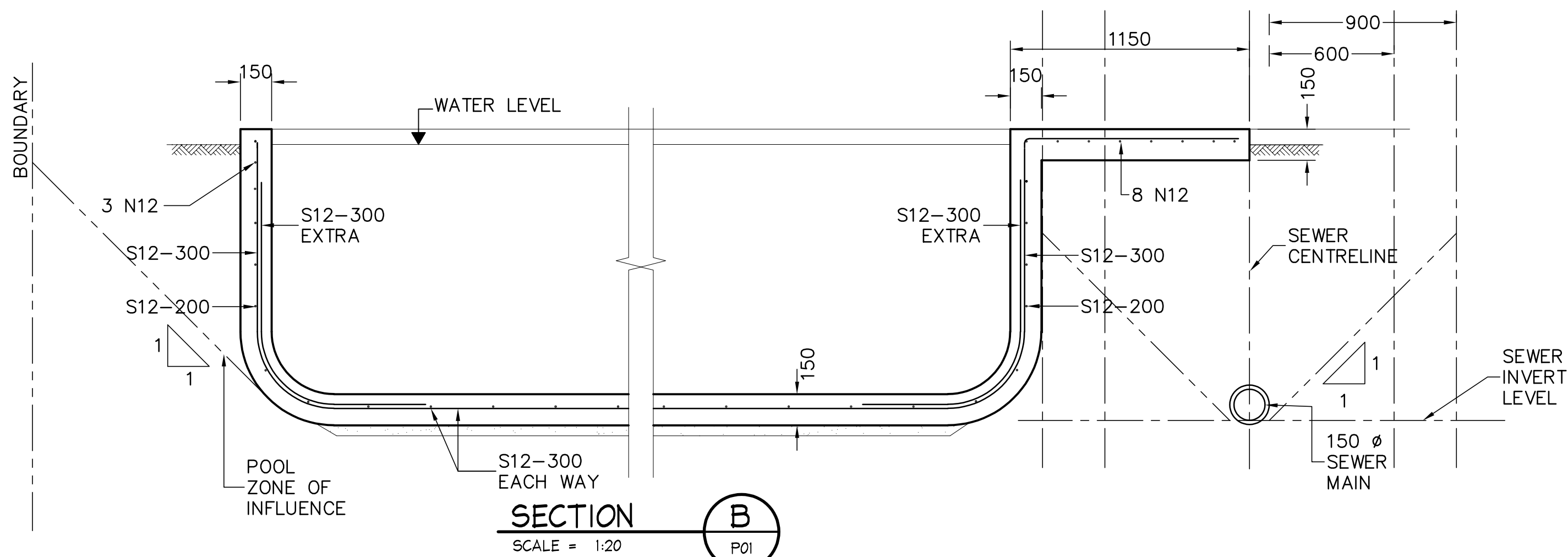
PROJECT  
2111\_003  
REVISION

01









NOTE: TEMPORARY SHORING OF EXCAVATED WALLS MAYBE REQUIRED DUE TO REDUCED LEVEL (RL) OF EXCAVATION

# Premier Pools

## THE POOL PROFESSIONALS

8/303 Pacific Highway Lindfield NSW 2070 Ph 9415 8888 www.premierpools.com.au

### DOCUMENT CERTIFICATION

I, Bruce Lewis, am a qualified Structural & Civil Engineer with the following qualifications:  
BE(Civil), CPEng, MIEAust., NPER.  
Institute of Engineers Membership No. 879131  
I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

Date : 10-11-2021  
Bruce Lewis .....  
(Principal- Peninsula Consulting Engineers.)

10-11-2021	A	FOR CONSTRUCTION
8-11-2021	PI	DRAFT

Date:	Rev:	Amendment:
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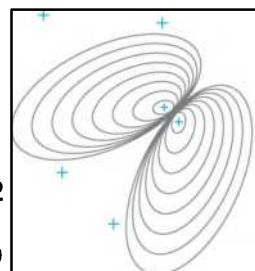
Project: PROPOSED NEW POOL  
at: 38 GONDOLA ROAD,  
NORTH NARRABEEN  
for: MR & MRS FROWDE

Drawing Title:  
POOL STRUCTURAL  
DETAILS SHEET 2

The copyright of this drawing remains with Peninsula Consulting Engineers.

Job No:	Drawing No:	Rev:
21-1104	P02	A

Peninsula Consulting  
Engineers  
PO Box 6491,  
Frenchs Forest, NSW, 2086  
Ph: 0424 263 818 Fax: (02) 9982 4722  
E: bruce@peninsulaconsulting.com.au  
A.B.N. 60 493 390 399





## Building plan assessment application

Application number: 1291664  
Property address: 38 Gondola Rd, North Narrabeen 2101  
Lot details: Lot 264, Deposited Plan 16719  
Property Number: 3419972

12/11/2021

Dear Vicki Pericak

Your building plan assessment application requires

### **FURTHER ASSESSMENT**

The proposed location of one or more of your buildings or excavation works may impact our assets. You will need to engage a Water Servicing Coordinator to complete your assessment.

Please read the details below to understand the reasons why your application was referred.

### **REASONS**

Application automatically referred by system

### **NEXT STEPS**

1. Engage a Water Servicing Coordinator to complete your assessment  
A list of Water Servicing Coordinators is available on our website [www.sydneywater.com.au](http://www.sydneywater.com.au) and go to the plumbing, building and developing page for a list of water servicing coordinators.
2. Take this referral to the Water Servicing Coordinator so they can complete the application for you.
3. You will need to use the following Sydney Water reference number when you contact the Water Servicing Coordinator .

**REF-095411282**

The Water Servicing Coordinator will charge for this service. Make sure you discuss prices with them before you select one as their prices can vary.

Your Water Servicing Coordinator may determine that your Building Plans need to be submitted to us for detailed review before any construction may commence. You will be required to pay us for our time to review your application. Your Water Servicing Coordinator will provide you with details on these costs before submitting your application

### ANY QUESTIONS?

Email us  
[swtapin@sydneywater.com.au](mailto:swtapin@sydneywater.com.au)

Call us  
1300 082 746

## STRUCTURES

The structures and information you supplied are displayed below.

### Structure(s) that may impact Sydney Water infrastructure

Structure 1	Swimming pool	7.5 m x 5.2 m x 2.0 m
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Please refer to the Appendix for list of negative impacts.



**Your building plan application needs further assessment**  
**Structure 1 of 1: Swimming pool**

Application reference number: 1291664  
Property address: 38 Gondola Rd, North Narrabeen 2101  
Lot details: Lot 264, Deposited Plan 16719  
Property Number: 3419972

**This structure may impact Sydney Water infrastructure.**



## Appendix A

List of possible impacts to Sydney Water infrastructure requiring further assessment.

Structure 1	Swimming pool	7.5 m x 5.2 m x 2.0 m
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1. Main within work site. Sewer Main; Asset Number: 2777672.