K.R. STUBBS & ASSOCIATES PTY LTD

CONSULTING ENGINEERS

PROJECT MANAGERS

WATER SERVICING COORDINATORS

Office & Mailing address: Suite 6, No.33 RYDE ROAD, PYMBLE 2073

E-MAIL: enquiry@krstubbs.com.au

TELEPHONE: (02) 9880 2991
A.B.N.15 001 759 584

OUR REF: BPA2807

26th November 2021

Premier Pools Pty. Ltd. 303 Pacific Highway LINDFIELD NSW 2070 A COPY OF THIS COMPLETE PACKAGE SHOULD BE SUPPLIED TO THE BUILDER AND BE ON SITE.

Attention: Vicki Pericak

Dear Vicki,

38 GONDOLA ROAD, NORTH NARRABEEN BUILDING PLAN APPROVAL SERVICES

Please find enclosed the Sydney Water Building Plan Approval package for the proposed pool at the above address. This package consists of:-

- Sydney Water Building Plan Approved Subject to Requirements document;
- Building Plan Nos. 2111_003 01;
- Engineers Plan No. 21-1104 P01 [A] & P02 [A];
- Service Protection Report;
- Tap In Building Plan Assessment Letter.

The foundations/piers must be constructed in accordance with the stamped plans to prevent the pool from having an impact on Sydney Water's asset. The pool foundation must be inspected by K.R. Stubbs & Associates Pty. Ltd. prior to pouring concrete.

Our fee (as previously agreed) to carry out the foundation inspection is **\$660.00 incl. GST (to be paid prior to the inspection)**. This fee is based on all relevant foundations being formed at time of inspection and only one inspection being required (See Note 1).

We require at least 48 hours notice of the required inspection time.

The project completion package will be submitted to Sydney Water upon completion of the above inspections.

NOTES:-

1. Should additional inspections be required, additional fees will be charged at \$660.00 incl. GST / per inspection.

Yours faithfully,



EVAN BENDON

Water Servicing Coordinator





SYDNEY WATER BUILDING PLAN APPROVED SUBJECT TO REQUIREMENTS

Sydney Water Tap in™ Ref No: 1291664

Property Location

Street No: 38 Lot No: 264

Street Name: Gondola Road

Suburb: North Narrabeen

Building/Structure Description: Pool

Building Plan No: 2111 003 - 01 Engineers Plan No: 21-1104 P01 [A] & P02 [A]

Proposed building/structure is APPROVED to construct ADJACENT TO a Sydney Water asset, subject to the following requirements:

- 1. No part of the swimming pool or its foundations to be less than a minimum 0.6 metre, horizontal distance from the outside edge of the asset to the outer edge of the pool. (900mm required for piering solutions)
- 2. No part of the above-ground building/structure to be less than 1m horizontal distance from outside edge of any Sydney Water structure.
- 3. No part of any swimming pool (excluding coping) is to be less than 2m horizontal distance from outside edge of any Sydney Water structure.
- 4. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
- 5. All foundations/piers are to be founded to below the zone of influence or to solid rock.

NOTE:

Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.

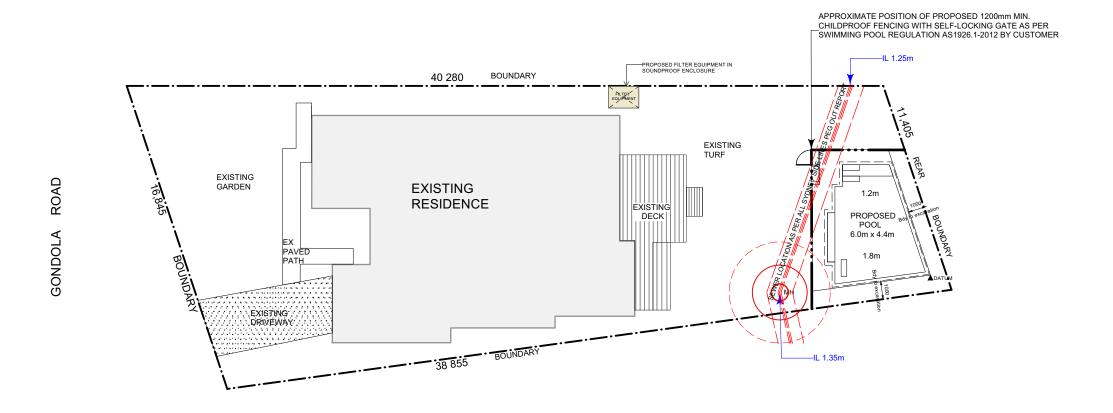
APPROVED BY

WSC Company Name: K. R. Stubbs & Associates Pty Ltd

Doc. Owner: Manager, Urban Growth Property Development

Name of Key Personnel: Evan Bendon

Signature of Key Personnel: Date: 26 / 11 / 2021



▲ FIXED DATUM: EXISTING LAND LEVEL AT NORTH EAST CORNER OF PROPOSED POOL FINISHED COPING TO BE 150mm ABOVE DATUM POINT.

POOL VOLUME = 33.1KL

SWIMMING POOL SAFETY FENCE TO COMPLY WITH:
AS 1926.1-2012
AS 1926.2-2007
SWIMMING POOLS ACT 1992
SWIMMING POOLS REGULATION 2008
BUILDING CODE OF AUSTRALIA
BUILDING CODE OF AUSTRALIA NSW AMENDMENT -PART 3.9.3

SITE COVERAGE CALCULATIONS ZONED R2 RESIDENTIAL LANDSCAPE AREA MAP 3

CONTROL: MIN. LANDSCAPE AREA % OF SITE AREA REQUIRED

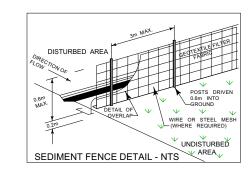
IRED 268.5m2 (5

TOTAL AREA OF SITE TOTAL LANDSCAPE AREA AVAILABLE 537m2 269.7m2 (50.2%) complies

EXISTING SITE COVERAGE 231.2m2 = 43% PROPOSED POOL 36.1m2 PROPOSED TOTAL SITE COVERAGE 267.3m2 = 49.77%

SITE PLAN 1:200

SEDIMENT CONTROL FENCING TO BE PROVIDED WHERE REQUIRED. FENCING TO BE REMOVED UPON COMPLETION OF CONSTRUCTION



Premier Pools
THE POOL PROFESSIONALS

Builders Licence No. 34971
Premier Pools Pty Ltd A.C.N. 002 664048
9/303 Pacific Hwy Lindfield NSW 2070
Telephone 9415 8888 Facsimile 9415 8899

PROPOSED SWIMMING POOL

CLIENT

SEDIMENT & EROSION CONTROL PLAN /

PROPOSED DEVELOPMENT. NO LIABILITY SHALL BE CARRIED FORWARD BY THE AUTHOR SHOULD IT BE USED FOR ANY OTHER PURPOSE.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING FROM PLAN. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS RELATING TO THE

FROWDE RESIDENCE

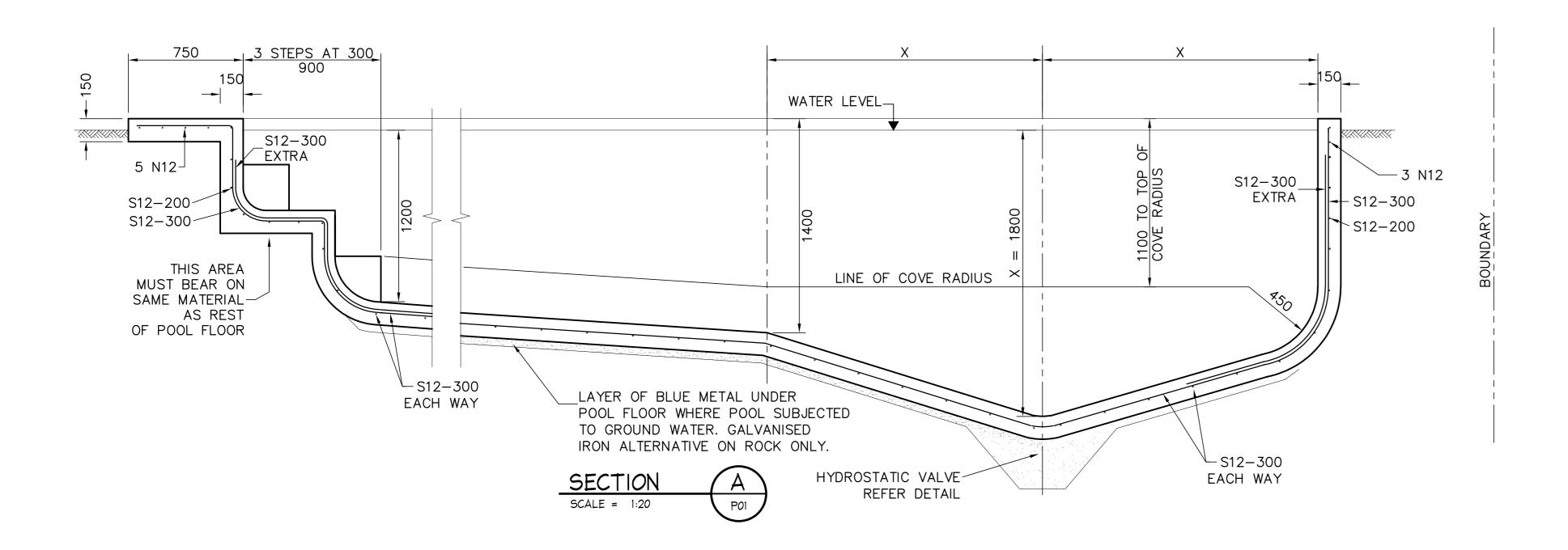
ADDRESS
38 Gondola Rd

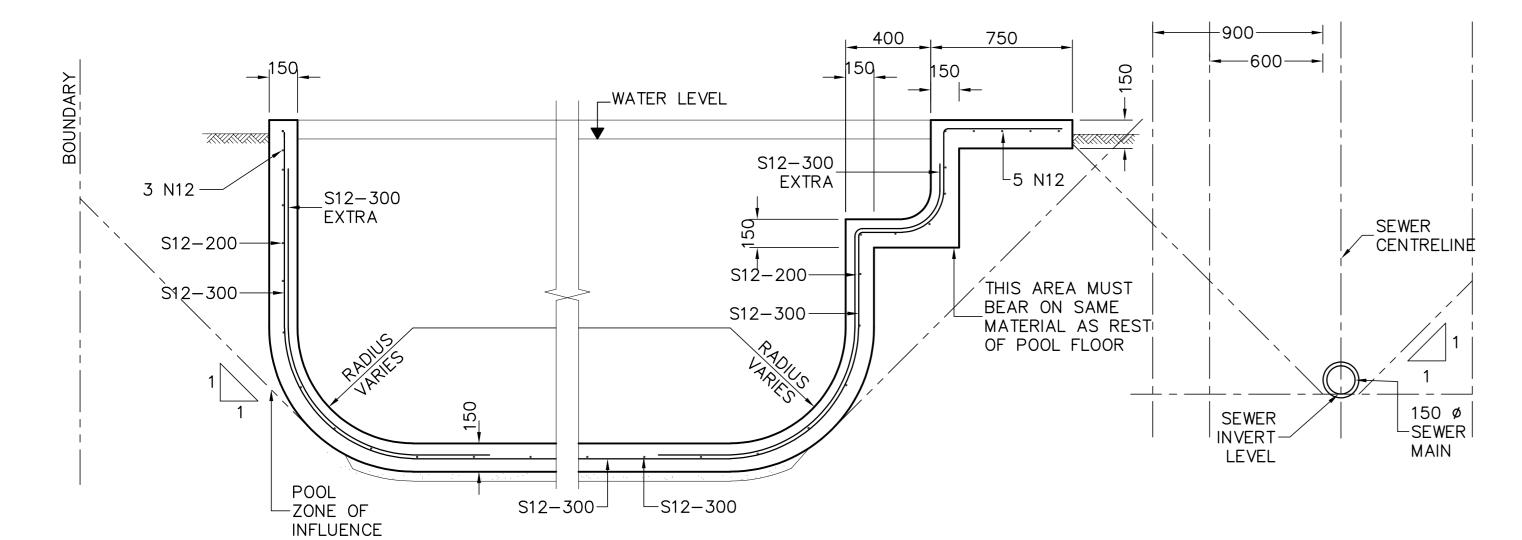
NTH NARRABEEN

PROJECT

01

2111 003



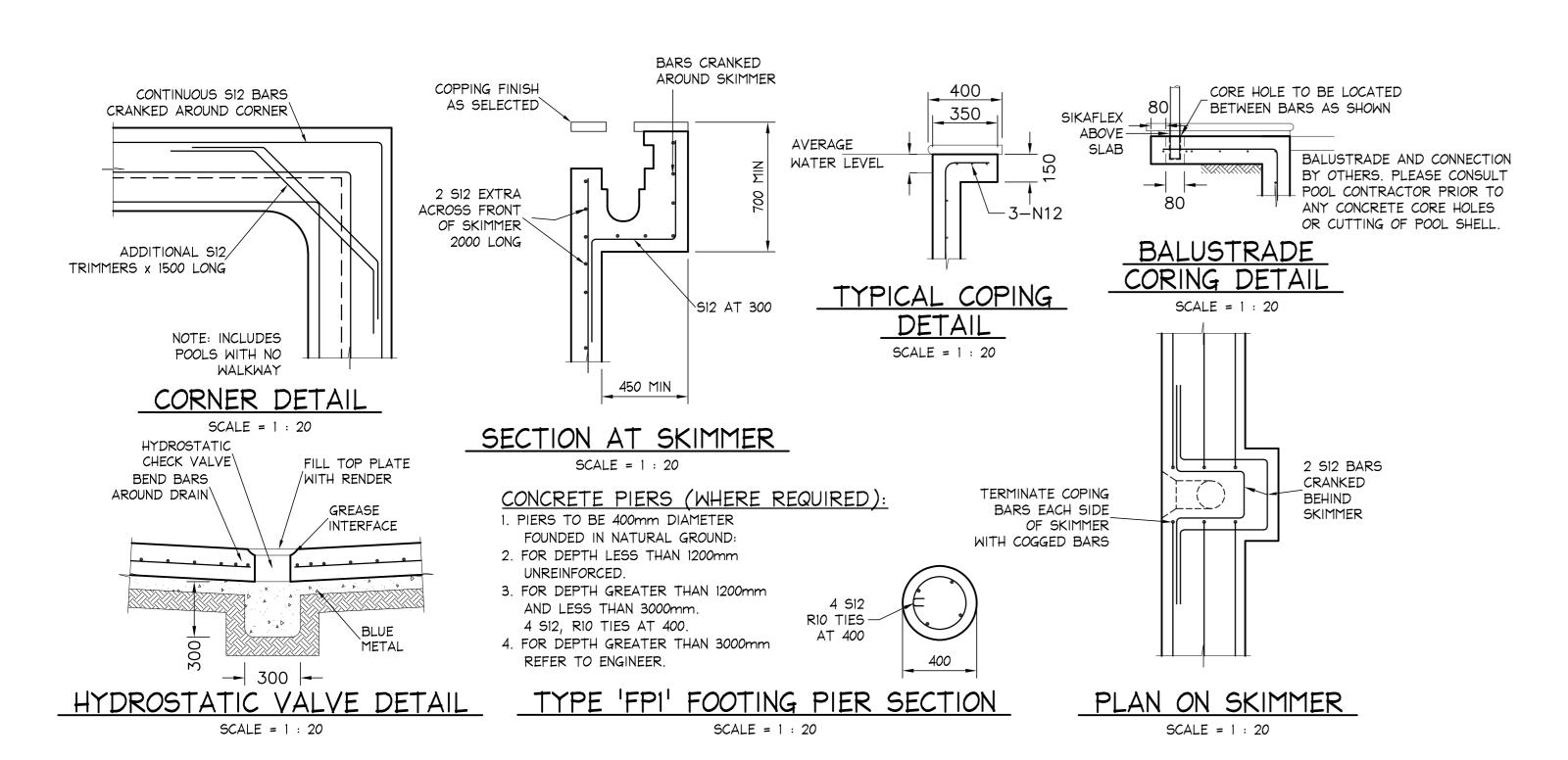


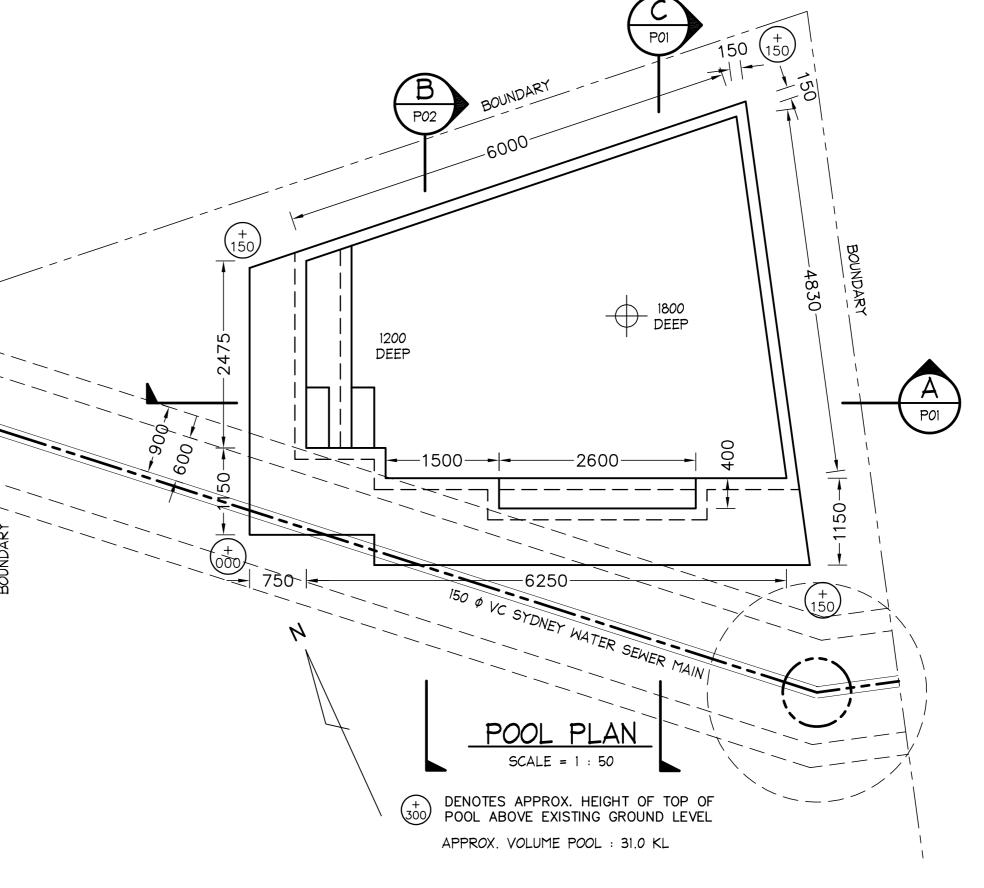
P01

SECTION

SCALE = 1:20

ASSUMED FOUNDATION CLASSIFICATION FOR DESIGN PURPOSES - 'S' ASSUMED BEARING STRATA FOR DESIGN PURPOSES -SLIGHTLY REACTIVE CLAY, 150 kPa. PREMIER POOLS TO CONFIRM ASSUMED FOUNDING MATERIAL. POOL TO BE SUPPORTED OFF UNIFORM MATERIAL.





POOL NOTES:

GENERAL NOTES:

GI - Pool design and construction to be in accordance with AS 2783 (1992) and all other relevant Australian Standards, including AS1926-2007 \$ 2010. G2 - Site plan dimensions are to the water face UNO \$ do not include finishes. Do not scale from the drawings. The overall dimensions shall be checked on site. G3 - The pool foundation material must be uniform, stable, natural ground with a minimum bearing capacity as detailed below. Any variations in founding material shall be immediately referred to the Engineer. Advise Engineer if excavating in fill or if ground water is encountered. The Geotechnical Engineer is to inspect all excavations to determine their suitability.

G4 - Walkways have been designed for a distributed load of 2 kPa. No additional loads are permitted without prior approval from the Engineer. The walkways have not been designed to support masonry walls unless noted otherwise.

G5 - Excavation is not permitted within 2 m of an existing structure without the prior approval of the Engineer unless shoring \$/or underpinning details have been

G6 - The excayation base is to be lined with a 75 mm blue metal drainage layer with fortecon membrane over. If base of excavation is entirely on sand, fortecon need only be applied over sand. The hydrostatic valve shall be installed at the base of the pool with blue metal all round. Refer to typical details. The drainage layer is to drain to the hydrostatic valve. The hydrostatic valve is to be cleaned of all debris on completion of concreting.

G7 - All pool plumbing to comply with AS3500.1-2018 \$ AS3500.4-2018. CONCRETE NOTES:

CI - All workmanship and materials shall be carried out in accordance with AS 3600 \$ AS 2783. Concrete design strength (Fig.) at 28 days to be: 32 MPa for pools more than 1km from large expanses of salt water or 40 MPa for others. C2 - Max. aggregate size is to be 10 mm. Max. slump 80 mm. Cement type A. C3 - Concrete placed in contact with the (excavation) ground to have 65mm minimum cover to reinforcement. Concrete placed in contact with the water face to have 65mm minimum cover to reinforcement. Concrete placed in contact with the air to have 50mm minimum cover to reinforcement. Plumbing pipe work to be located behind reinforcement and to have minimum 65 mm cover. C4 - Mild steel rods denoted S12 are 12mm diameter 2505 Grade deformed bars.

Mild steel rods denoted N12 are 12mm diameter D500N grade deformed bars. Provide 450mm minimum lap to all N \$ S12 bars, Stagger laps minimum 75 mm. Provide S12-300 reinforcement, UNO. Reinforcement to be adequately wire tied with wire ends flattened into the plane of the the reinforcement.

C5 - Plastic or non-rusting chairs are to be used at a maximum of 1000 mm centres to support all reinforcement. Plastic tipped wire chairs are to be used in all out of ground walls \$ copings.

C6 - Earthing of reinforcement is required to meet AS3000-2018.

C7 - Piers - If pool floor is partially founded on solid rock provide 400mm Ø concrete piers at 1500mm maximum centres to remainder of pool floor. All piers to be founded on rock. Piers up to 1.0m deep to be mass concrete. Piers between 1.0m and 2.0m deep, provide 4 SI2 bars with R6 Ties at 400mm centres. Any piers over 2.0m deep to Engineers detail. For any internal piers under pool floor provide 3 SI2 bars (1500mm long) at 300mm centres each way directly over piers to pool floor.

C8 - If pool founded in sand, provide S12 droppers at 300 cts in pool walls. <u>OWNER NOTES:</u>

NI - The position of skimmers, lights, return lines, etc. on this drawing is indicative only and the final positions are to be determined in site. N2 - Safety fencing to meet SAA Standards is required prior to filling pool. N3 - The pool is not designed for diving. Provide safety signage to SAA

N4 - Notify Pool Company if pool is to be emptied after completion of pool. N5 - Underwater pool lights require full immersion during use.

N6 - Work noted 'By Others' are not included in the works.

N7 - Any Paving laid adjacent to the pool coping must have a min. 15mm wide expansion joint. All paving laid on sand shall have minimum 3mm gap between pavers. If paving is laid in mortar, expansion joints must be inserted between the paying \$ the pool coping.

N8 - There are to be no core holes or cutting of the coping without the written consent of the Builder and Engineer. When pool fencing is cored into the paving and pool shell, an expansion joint is to be cut through the paver and bed from the core hole to the outside edge of the pool, adjacent to each balustrade support. N9 - After concreting, the pool is to be cured for a minimum of 7 days by thoroughly wetting all concrete surfaces a minimum of twice each day. Ten days curing required in summer.

THE POOL PROFESSIONALS

9/303 Pacific Highway Lindfield NSW 2070 Ph 9415 8888 www.premierpools.com.au

DOCUMENT CERTIFICATION

l, Bruce Lewis, am a qualified Structural & Civil Engineer with the following qualifications:

BE(Civil), CPEng, MIEAust., NPER. Institute of Engineers Membership No. 879131

I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

Date: 10-11-2021

Bruce Lewis

(Principal - Peninsula Consulting Engineers.)

10-11-2021 FOR CONSTRUCTION DRAFT 8-11-2021

Date: Rev: Amendment:

> PROPOSED NEW POOL at: 38 GONDOLA ROAD, NORTH NARRABEEN

for: MR \$ MRS FROWDE

Drawing Title:

POOL STRUCTURAL

PLAN & DETAILS

Al The copyright of this drawing remains with Peninsula Consulting Engineers.

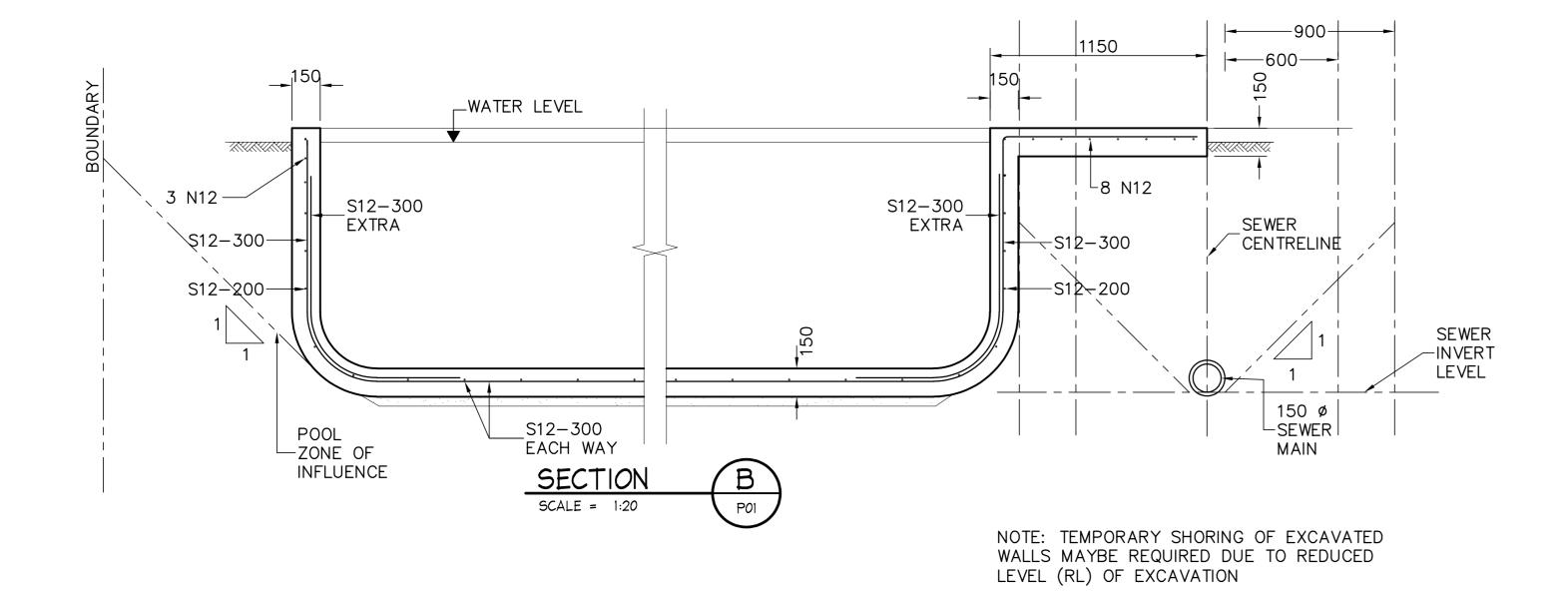
21-1104

Drawing No: P01

Peninsula Consultina Engineers

PO Box 6491, Frenchs Forest, NSW, 2086 Ph: 0424 253 818 Fax: (02) 9982 4722 E: bruce@peninsulaconsulting.com.au







9/303 Pacific Highway Lindfield NSW 2070 Ph 9415 8888 www.premierpools.com.au

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Date : 10-11-2021

Bruce Lewis

(Principal- Peninsula Consulting Engineers.)

Date:	Rev:	Amendment:
8-11-2021	ΡΊ	DRAFT
10-11-2021	A	FOR CONSTRUCTION

Project: PROPOSED NEW POOL at: 38 GONDOLA ROAD, NORTH NARRABEEN

for: MR \$ MRS FROWDE

Drawing Title:

POOL STRUCTURAL

DETAILS SHEET 2

The copyright of this drawing remains with Peninsula Consulting Engineers.

21-1104

P02

Peninsula Consulting Engineers PO Box 6491, Frenchs Forest, NSW, 2086





ALL SYDNEY SIDE LINES ARN 91 091 893 060

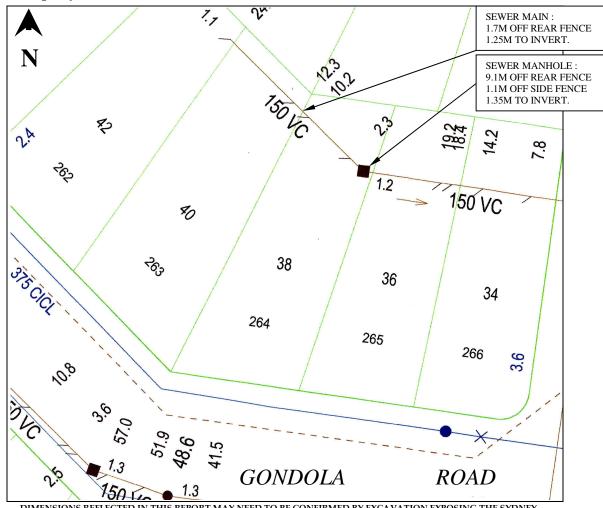


PO Box 136, Sans Souci 2219 Telephone (02) 9529 6243 Email sydneysidelines@bigpond.com

SERVICE PROTECTION REPORT

Supplier No: 1165

Property Address: 38 GONDOLA ROAD NORTH NARRABEEN.



DIMENSIONS REFLECTED IN THIS REPORT MAY NEED TO BE CONFIRMED BY EXCAVATION EXPOSING THE SYDNEY WATER ASSETS PRIOR TO DESIGN / PIERING / CONSTRUCTION WORK COMMENCING ON SITE IF WITHIN THE ZOI.

Asset Location Method: Electronic Equipment / Accessing Structures.

Pipe Size: 150mm Pipe Type: VC.

Strata: Sand **Asset Indicators:** Paint Marks.

NB: ALL MEASUREMENTS TAKEN OFF BOUNDARY FENCING ONLY.

I, Greg McCarthy of All Sydney Side Lines Pty Ltd, being accredited to carry out a Service Protection Report, certify that the information shown on the report has been prepared in accordance with the relevant instructions and accept full responsibility

for the accuracy of the information on the report.

Report completed by: Greg McCarthy

Date: 25/11/2021.

Signature:



Building plan assessment application

Application number: 1291664

Property address: 38 Gondola Rd, North Narrabeen 2101

Lot details: Lot 264, Deposited Plan 16719

Property Number: 3419972

12/11/2021

Dear Vicki Pericak

Your building plan assessment application requires

FURTHER ASSESSMENT

The proposed location of one or more of your buildings or excavation works may impact our assets. You will need to engage a Water Servicing Coordinate to complete your assessment.

Please read the details below to understand the reasons why your application was referred.

REASONS

Application automatically referred by system

NEXT STEPS

- Engage a Water Servicing Coordinator to complete your assessment
 A list of Water Servicing Coordinators is available on our website
 <u>www.sydneywater.com.au</u> and go to the plumbing, building and developing page for a list of water servicing coordinators.
- 2. Take this referral to the Water Servicing Coordinator so they can complete the application for you.
- 3. You will need to use the following Sydney Water reference number when you contact the Water Servicing Coordinator .

REF-095411282

The Water Servicing Coordinator will charge for this service. Make sure you discuss prices with them before you select one as their prices can vary.

Your Water Servicing Coordinator may determine that your Building Plans need to be submitted to us for detailed review before any construction may commence. You will be required to pay us for our time to review your application. Your Water Servicing Coordinator will provide you with details on these costs before submitting your application

ANY QUESTIONS?

Email us swtapin@sydneywater.com.au

Call us 1300 082 746

STRUCTURES

The structures and information you supplied are displayed below.

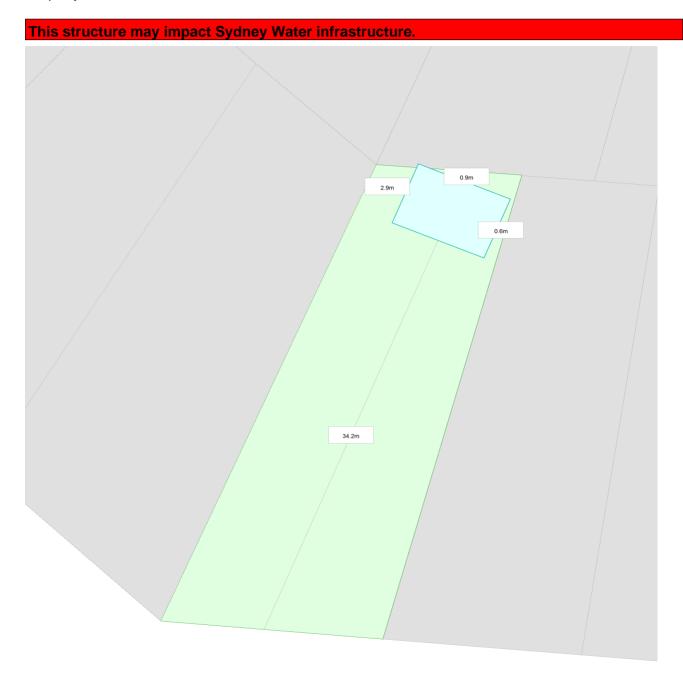
Structure(s) that may impact Sydney Water infrastructure

Structure 1 | Swimming pool | 7.5 m x 5.2 m x 2.0 m

Please refer to the Appendix for list of negative impacts.

Your building plan application needs further assessment Structure 1 of 1: Swimming pool

Application reference number: 1291664 Property address: 38 Gondola Rd, North Narrabeen 2101 Lot details: Lot 264, Deposited Plan 16719 Property Number: 3419972



Appendix A

List of possible impacts to Sydney Water infrastructure requiring further assessment.

Structure 1 Swimming pool 7.5 m x 5.2 m x 2.0 m

1. Main within work site. Sewer Main; Asset Number: 2777672.