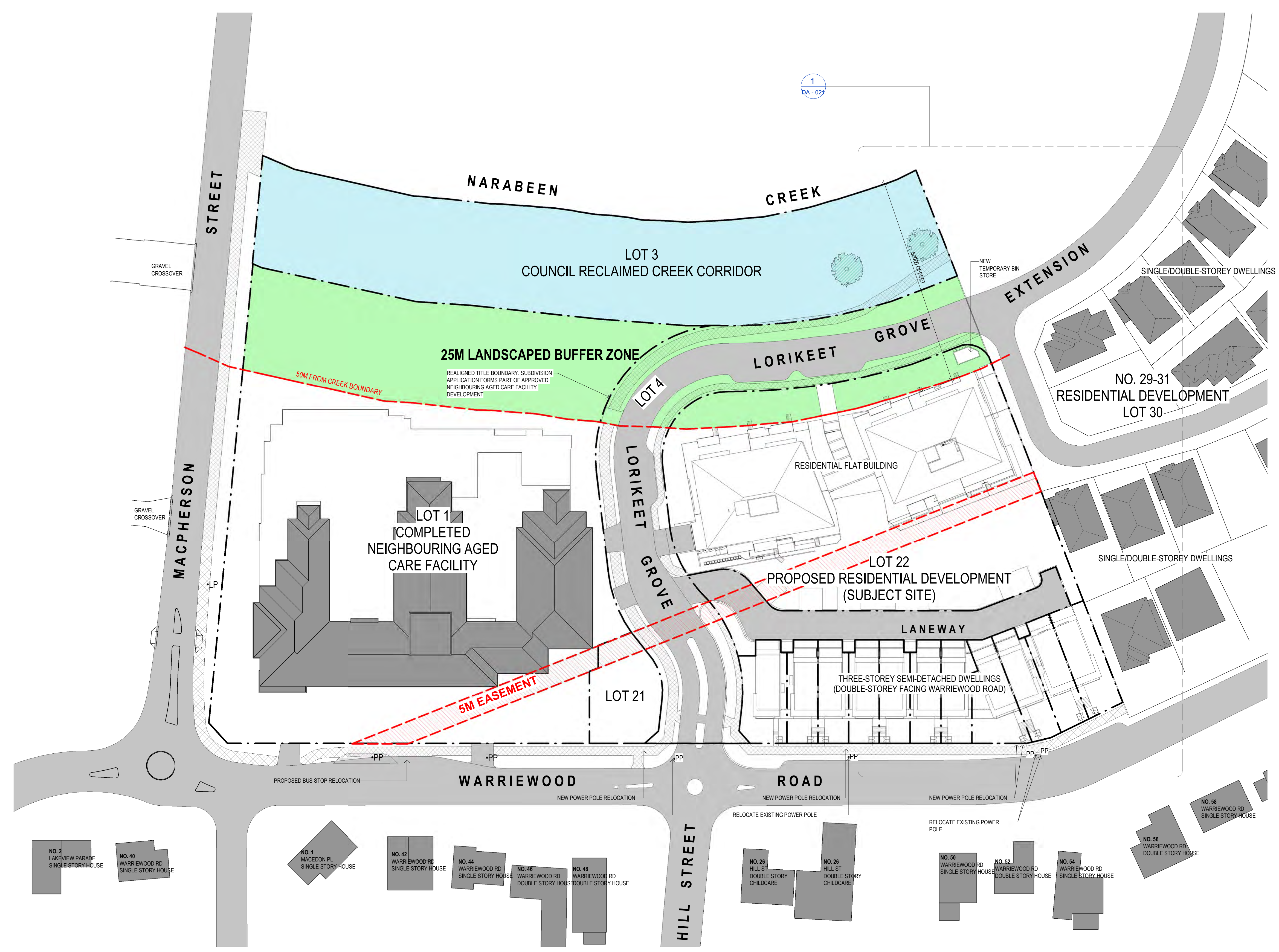


- LEGEND**
- COUNCIL RECLAIMED CREEK CORRIDOR ZONE
  - 25 METRE LANDSCAPED BUFFER ZONE
  - PROPOSED BUILDINGS - SUBJECT SITE
  - EXISTING NEIGHBOURING BUILDINGS

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**  
 DA NUMBER: DA20200579  
 (Activation of consent must be obtained from Northern Beaches Council)

**NOTE:**  
 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE 'DRAFT PLAN OF SUBDIVISION SUBJECT TO FINAL SURVEY' PREPARED FOR APPROVED DEVELOPMENT CONSENT N0611/16 RELATING TO THE DEVELOPMENT OF THE RESIDUAL SUPER LOT (LOT 2).



**VIA ARCHITECTS**

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 +61 3 8678 3300 / viaarchitects.com.au

REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

PROJECT REF: C:\Users\Mikondraganin\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE\_CENTRAL\_19\_Mikondraganin.rvt  
 TIMESTAMP: 28/05/2020 11:45:42 AM

KEY PLAN

STATUS

**DEVELOPMENT APPLICATION**



NORTH POINT

**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

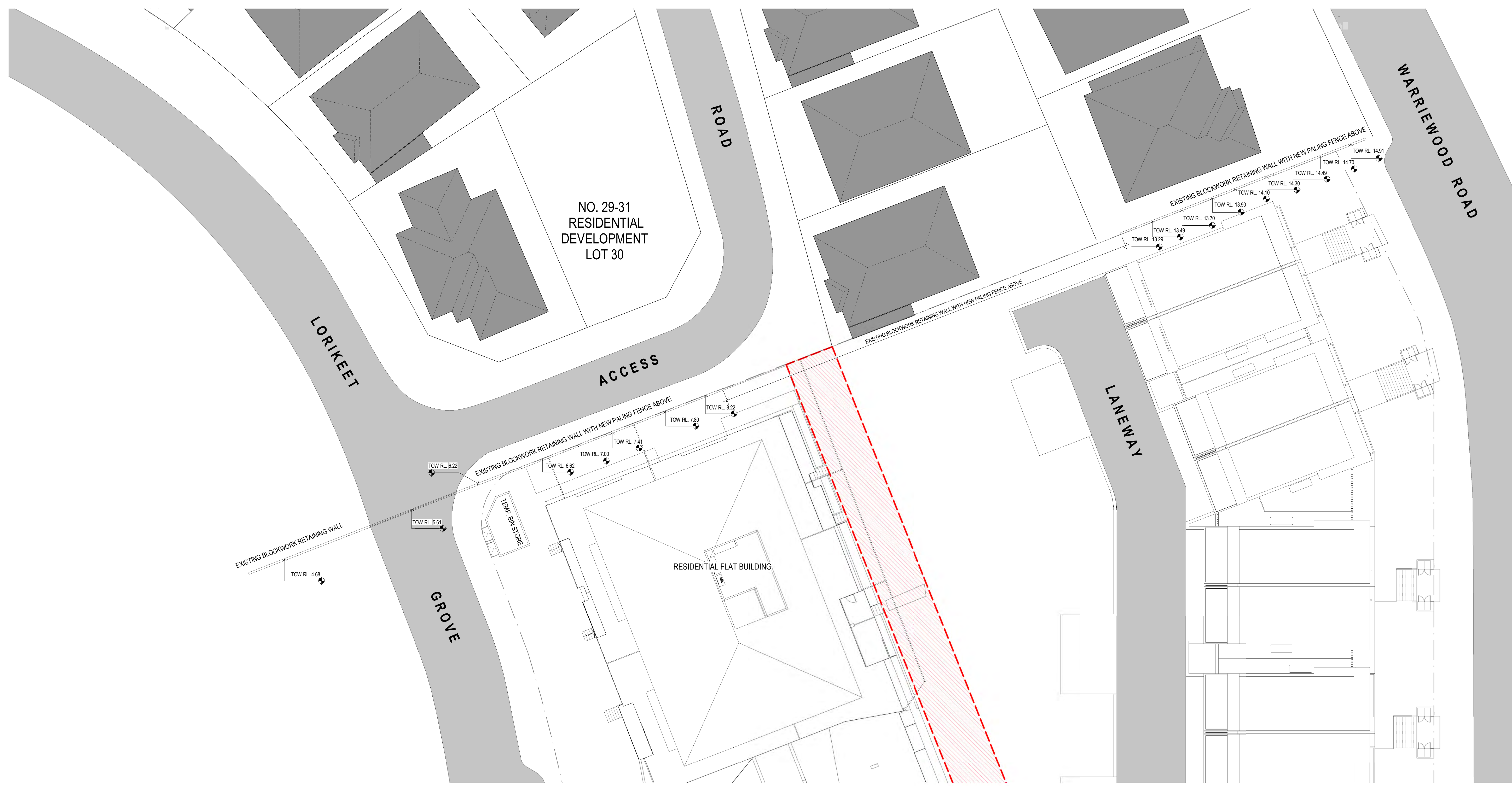
**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 PROPOSED SITE PLAN

SCALE (A1) 1 : 500 / DRAWN BY MZ / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA - 020 / REV DA4

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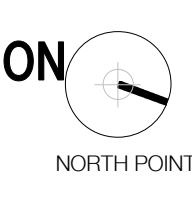
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DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

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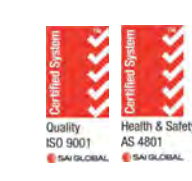
KEY PLAN

STATUS

**DEVELOPMENT APPLICATION**



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**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 SITE PLAN - NORTHERN BOUNDARY

SCALE (A1) 1:200 / DRAWN BY MZ / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA-021 / REV DA4

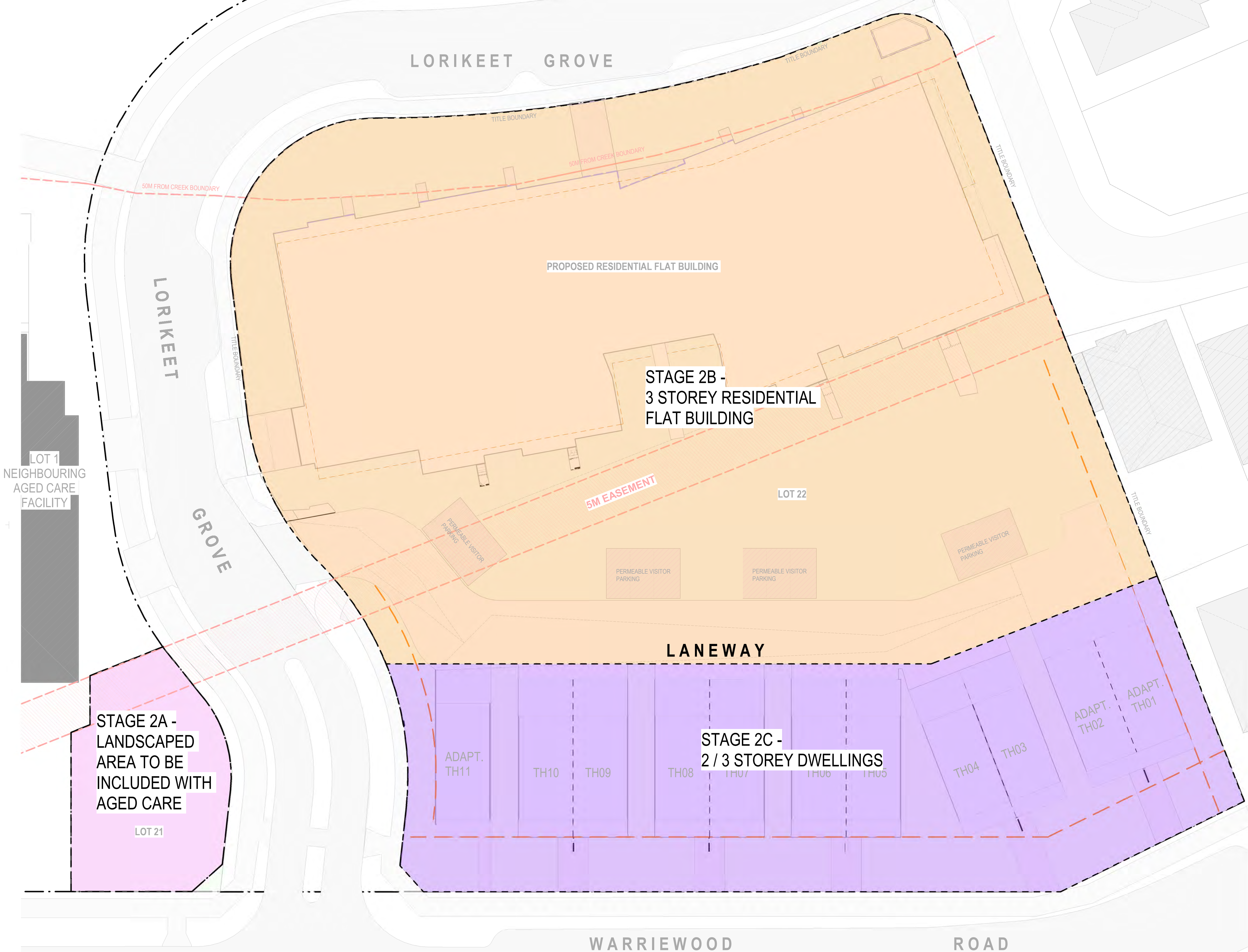


LORIKEET GROVE

LEGEND

- STAGE 2A - LANDSCAPED AREA RETURNED TO AGED CARE SITE
- STAGE 2B - APARTMENT BUILDING, PARK AND LANEWAY WORKS
- STAGE 2C - TOWNHOUSES


  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**
  
 DA NUMBER: DA2020/0579
   
 (Activation of consent must be obtained from Northern Beaches Council)



LOT 1  
NEIGHBOURING  
AGED CARE  
FACILITY

STAGE 2A -  
LANDSCAPED  
AREA TO BE  
INCLUDED WITH  
AGED CARE

LOT 21

PROPOSED RESIDENTIAL FLAT BUILDING

STAGE 2B -  
3 STOREY RESIDENTIAL  
FLAT BUILDING

5M EASEMENT

LOT 22

LANEWAY

STAGE 2C -  
2 / 3 STOREY DWELLINGS

ADAPT.  
TH11

TH10

TH09

TH08

TH07

TH06

TH05

TH04

TH03

ADAPT.  
TH02

ADAPT.  
TH01

WARRIEWOOD ROAD

**V / A**  
**ARCHITECTS**

LEVEL 3, 377 LONSDALE STREET MELBOURNE VIC 3000  
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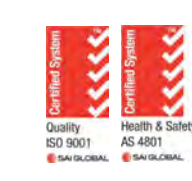
REV	DESCRIPTION	DATE	BY
DA1	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA3	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

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TIMESTAMP: 28/05/2020 11:46:12 AM

KEY PLAN

STATUS

**DEVELOPMENT APPLICATION**



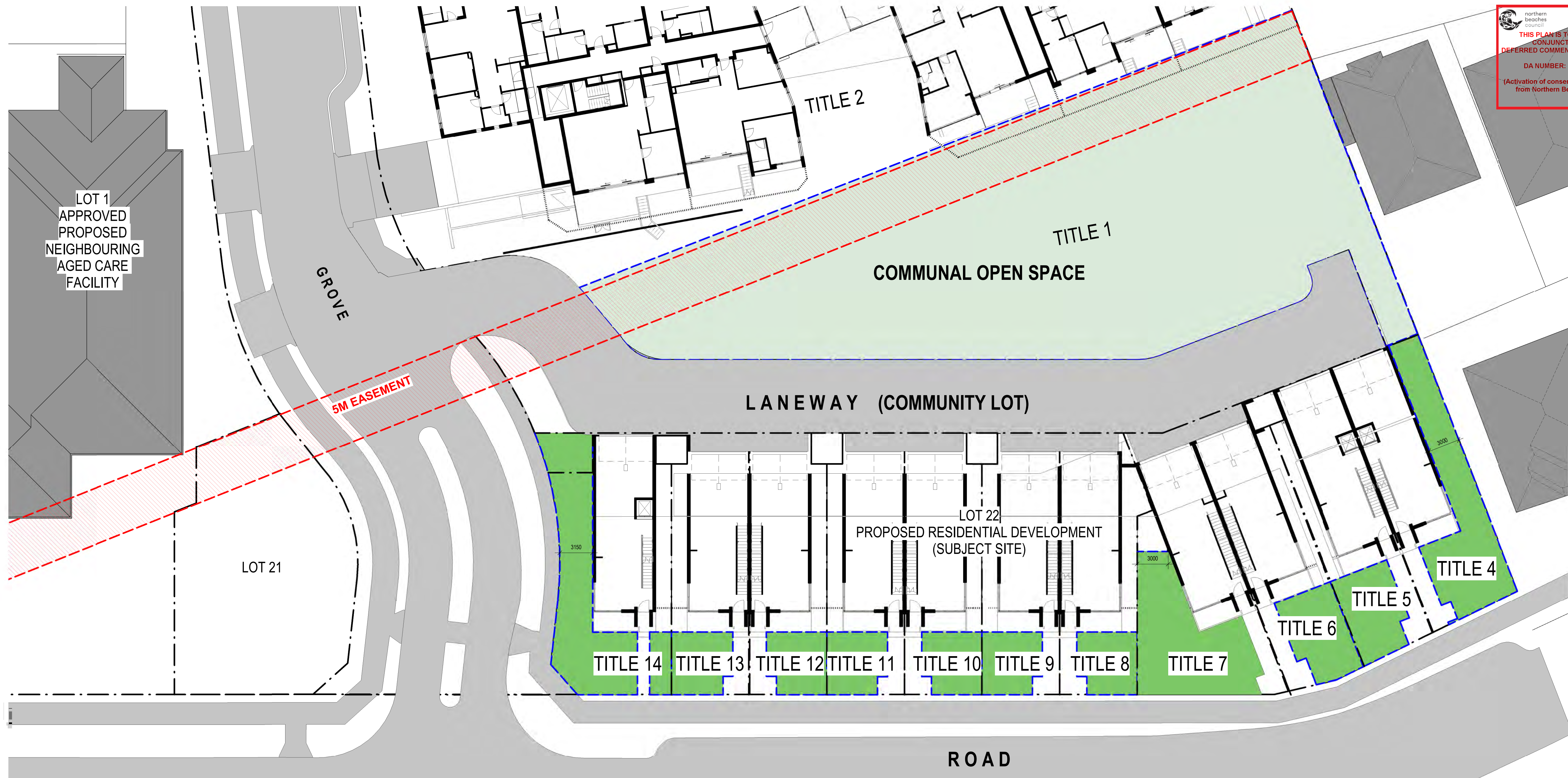
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. SHEET TO BE PRINTED IN COLOUR. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

**PROJECT**  
WARRIEWOOD RESIDENTIAL  
DEVELOPMENT  
**ADDRESS**  
25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
KNOWLES GROUP  
**DRAWING TITLE**  
SUBDIVISION STAGING PLAN

SCALE (A1) / DRAWN BY / CHECKED BY / PROJECT No. / DRAWING No. / REV  
As indicated / MZ / TM / 1510121 / DA - 030 / DA3





1 LANDSCAPED AREA DIAGRAM - COMMUNITY TITLE ALLOTMENT  
 DA-053 1:200

**LEGEND**

- LANDSCAPED AREA OF MINIMUM DIMENSION 3-METRE WIDE (AS PER CLAUSE D16.5 OF DCP)
- COMMUNAL OPEN SPACE

LANDSCAPED AREA REQUIRED = 25% OF TOTAL SITE AREA

LANDSCAPED AREA SCHEDULE - COMMUNITY TITLES			
TITLE NUMBER	TOTAL LANDSCAPED AREA PER TITLE (M2)	TITLE TOTAL SITE AREA (M2)	PERCENTAGE OF LANDSCAPED AREA PROVIDED (%)
4	111	241	46
5	47	200	23.5
6	49	203	24.1
7	108	246	43.9
8	33	185	17.8
9	33	182	18.1
10	33	182	18.1
11	33	182	18.1
12	33	182	18.1
13	33	182	18.1
14	129	257	50.1

**NOTE:**  
 COMMUNAL SHARED OPEN SPACE AND TOTAL LANDSCAPED AREA ACROSS ALL SITES AT 40% LANDSCAPED AREA (SEE PREVIOUS PAGE) TO BE CONSIDERED IN LIEU OF MEETING REQUIREMENT PER SITE.

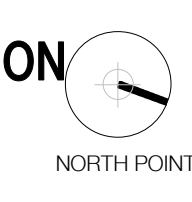
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KEY PLAN

STATUS

**DEVELOPMENT APPLICATION**



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**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 SITE DIAGRAM - LANDSCAPED AREA

SCALE (A1) / DRAWN BY / CHECKED BY / PROJECT No. / DRAWING No. / REV  
 As indicated / KC / TM / 1510121 / DA - 053 / DA4



northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**  
 DA NUMBER: DA2020/0579  
 (Activation of consent must be obtained from Northern Beaches Council)

**LEGEND**  
 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS

- CONCRETE FOOTPATH
- STONE FOOTPATH
- GARDEN
- GRASS
- PLANTER BOX
- PERMEABLE PAVING / PARKING
- PRIVATE OPEN SPACE - BALCONY / TERRACE
- PRIVATE OPEN SPACE - GARDEN
- TREE - PROPOSED  
REFER TO LANDSCAPE PLAN FOR DETAILS
- RAINWATER TANK -  
REFER TO PLANS FOR LOCATIONS
- WINDOW WITH BI-FOLD SHUTTERS  
REFER TO DRAWING DA - 260



**VIA ARCHITECTS**

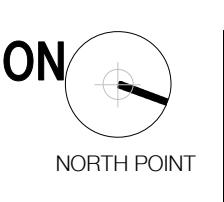
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REV	DESCRIPTION	DATE	BY
DA1	ISSUE FOR CO-ORDINATION	20.03.2020	TM
DA2	UPDATED APARTMENTS AND BASEMENT	08.04.2020	TM
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA4	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA5	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA6	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA7	ISSUE FOR WASTE UPDATE	12.08.2020	MH

PROJECT REF: C:\Users\Mikondjannis\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE\_CENTRAL\_19\_Mikondjannis.rvt  
 TIMESTAMP: 13/08/2020 11:50:11 AM

KEY PLAN STATUS  
**DEVELOPMENT APPLICATION**



**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

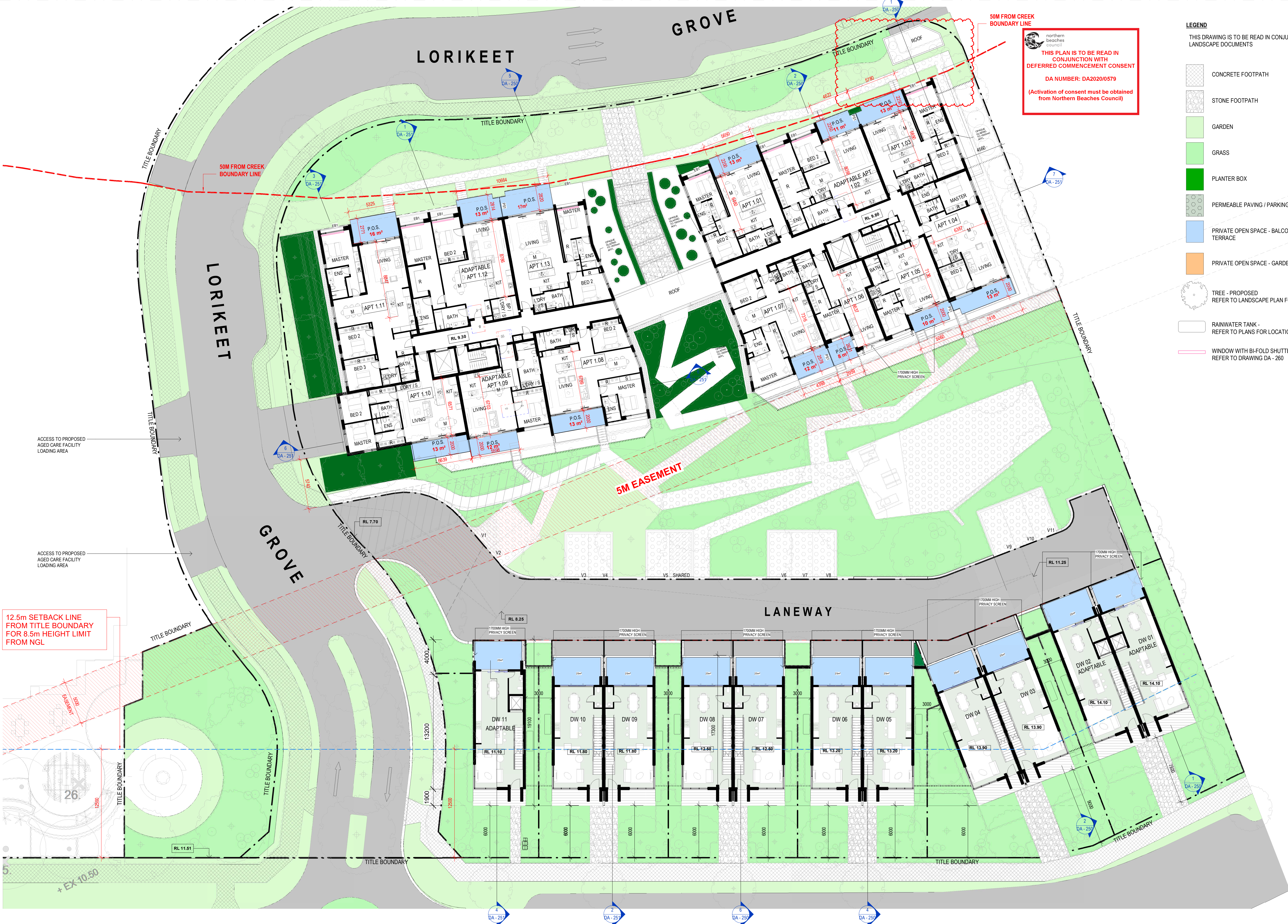
**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 PROPOSED APARTMENT GROUND FLOOR PLAN / DWELLING LOWER LEVEL FLOOR PLAN

SCALE (8A1)  
 1 : 200  
 DRAWN BY  
 JC  
 CHECKED BY  
 MA

PROJECT No.  
 1510121  
 DRAWING No.  
 DA - 100  
 REV  
 DA7

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- LEGEND**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS
- CONCRETE FOOTPATH
  - STONE FOOTPATH
  - GARDEN
  - GRASS
  - PLANTER BOX
  - PERMEABLE PAVING / PARKING
  - PRIVATE OPEN SPACE - BALCONY / TERRACE
  - PRIVATE OPEN SPACE - GARDEN
  - TREE - PROPOSED  
REFER TO LANDSCAPE PLAN FOR DETAILS
  - RAINWATER TANK -  
REFER TO PLANS FOR LOCATIONS
  - WINDOW WITH BI-FOLD SHUTTERS  
REFER TO DRAWING DA - 260

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**  
 DA NUMBER: DA20200579  
 (Activation of consent must be obtained from Northern Beaches Council)

**12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5m HEIGHT LIMIT FROM NGL**

REV	DESCRIPTION	DATE	BY
DA1	ISSUE FOR CO-ORDINATION	20.03.2020	TM
DA2	UPDATED APARTMENTS AND BASEMENT	08.04.2020	TM
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA4	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA5	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA6	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA7	ISSUE FOR WASTE UPDATE	12.08.2020	MH

KEY PLAN STATUS

**DEVELOPMENT APPLICATION**

**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 PROPOSED APARTMENT FIRST FLOOR PLAN / DWELLING MID LEVEL FLOOR PLAN  
 PROJECT No. / DRAWING No. / REV  
 1510121 / DA - 101 / DA7

SCALE (8A1)  
 1 : 200  
 DRAWN BY  
 JC  
 CHECKED BY  
 MA

**V / A ARCHITECTS**

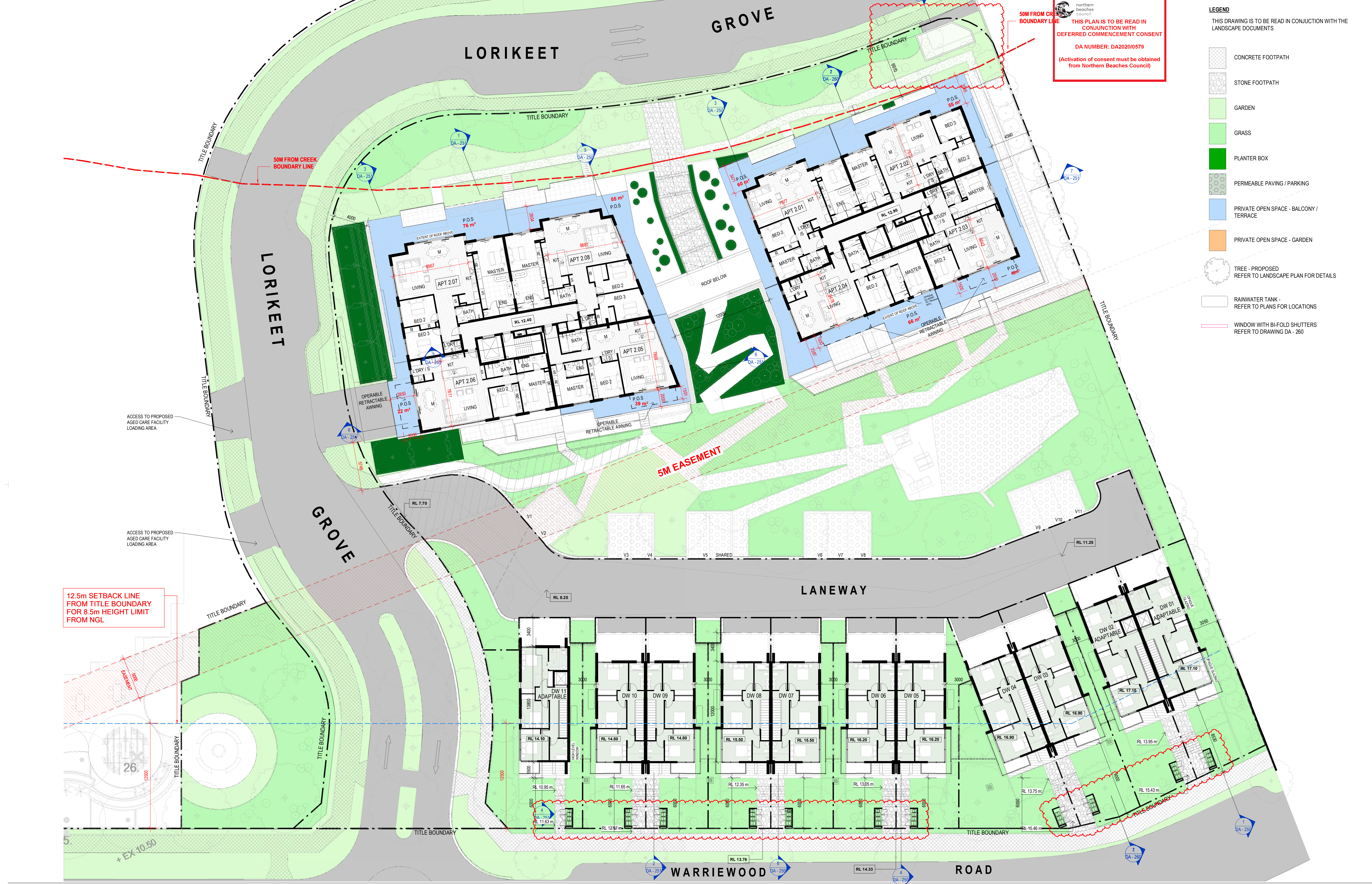
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THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT  
 DA NUMBER: DA2020/0579  
 (Activation of consent must be obtained from Northern Beaches Council)

- LEGEND**
- CONCRETE FOOTPATH
  - STONE FOOTPATH
  - GARDEN
  - GRASS
  - PLANTER BOX
  - PERMEABLE PAVING / PARKING
  - PRIVATE OPEN SPACE - BALCONY / TERRACE
  - PRIVATE OPEN SPACE - GARDEN
  - TREE - PROPOSED  
REFER TO LANDSCAPE PLAN FOR DETAILS
  - RAINWATER TANK -  
REFER TO PLANS FOR LOCATIONS
  - WINDOW WITH BI-FOLD SHUTTERS  
REFER TO DRAWING DA - 260

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5m HEIGHT LIMIT FROM NGL

**VIA ARCHITECTS**

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DA1	ISSUE FOR CO-ORDINATION	20.03.2020	TM
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DA4	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA5	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA6	ISSUE FOR WASTE UPDATE	12.08.2020	MH

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 TMSHAMP: 13/08/2020 1:01:42 PM

KEY PLAN STATUS  
**DEVELOPMENT APPLICATION**

**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

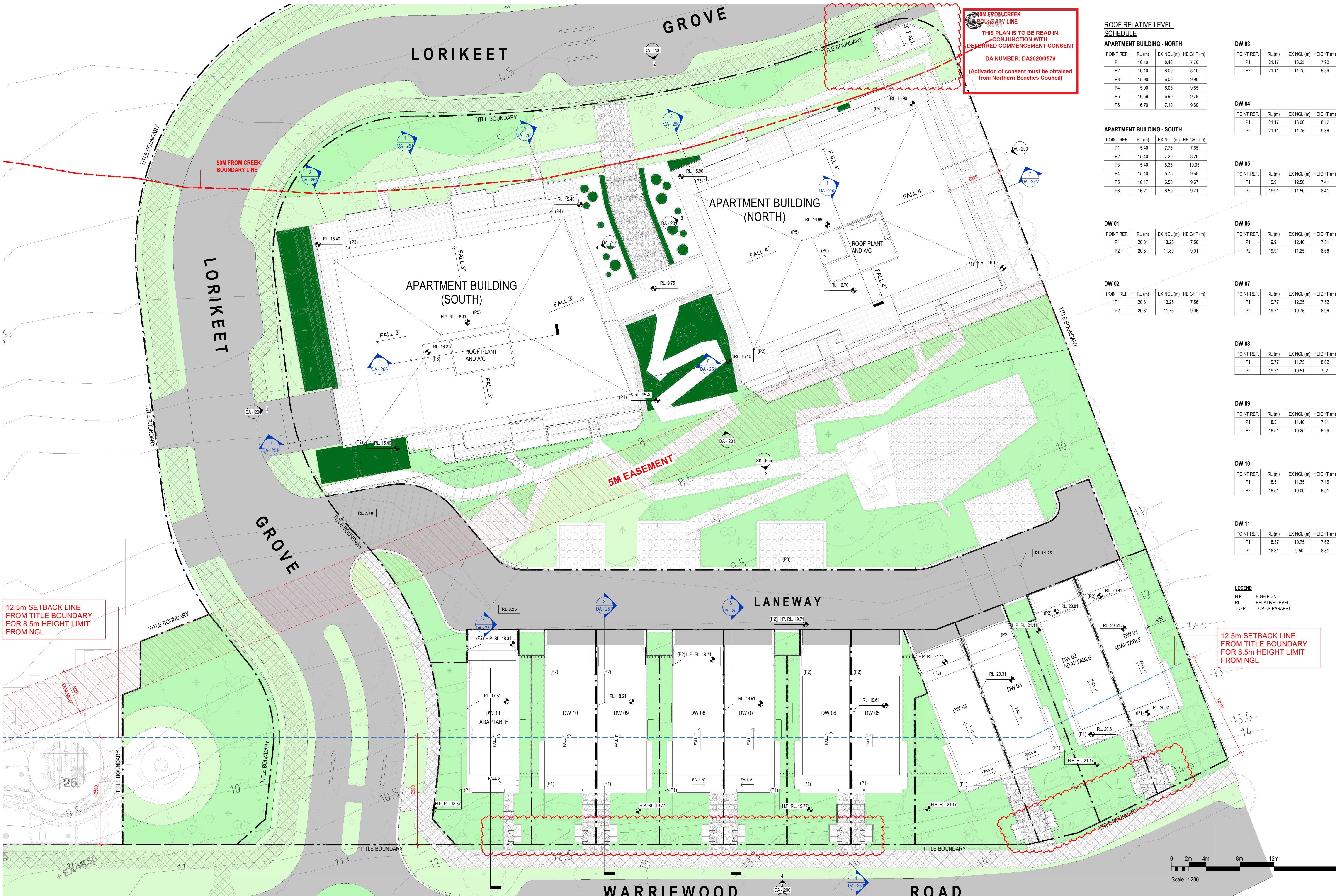
**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 PROPOSED APARTMENT SECOND FLOOR PLAN / DWELLING UPPER LEVEL FLOOR PLAN

SCALE (8A1)  
 1 : 200

DRAWN BY: JC  
 CHECKED BY: MA  
 PROJECT No: 1510121  
 DRAWING No: DA - 102  
 REV: DA6

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**50M FROM CREEK BOUNDARY LINE**  
 THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT  
 DA NUMBER: DA20200579  
 (Activation of consent must be obtained from Northern Beaches Council)

**ROOF RELATIVE LEVEL SCHEDULE**

**APARTMENT BUILDING - NORTH**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	16.10	8.40	7.70
P2	16.10	8.00	8.10
P3	15.90	6.00	9.90
P4	15.90	6.05	9.85
P5	16.69	6.90	9.79
P6	16.70	7.10	9.60

**APARTMENT BUILDING - SOUTH**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	15.40	7.75	7.65
P2	15.40	7.20	8.20
P3	15.40	5.35	10.05
P4	15.40	5.75	9.65
P5	16.17	6.50	9.67
P6	16.21	6.50	9.71

**DW 03**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	21.17	13.25	7.92
P2	21.11	11.75	9.36

**DW 04**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	21.17	13.00	8.17
P2	21.11	11.75	9.36

**DW 05**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.91	12.50	7.41
P2	19.91	11.50	8.41

**DW 01**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	20.81	13.25	7.56
P2	20.81	11.80	9.01

**DW 02**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	20.81	13.25	7.56
P2	20.81	11.75	9.06

**DW 06**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.91	12.40	7.51
P2	19.91	11.25	8.66

**DW 07**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.77	12.25	7.52
P2	19.71	10.75	8.96

**DW 08**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.77	11.75	8.02
P2	19.71	10.51	9.2

**DW 09**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.51	11.40	7.11
P2	18.51	10.25	8.26

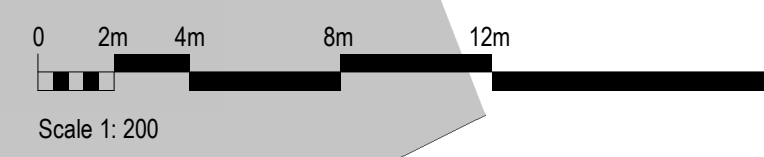
**DW 10**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.51	11.35	7.16
P2	18.51	10.00	8.51

**DW 11**

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.37	10.75	7.62
P2	18.31	9.50	8.81

**LEGEND**  
 H.P. HIGH POINT  
 RL RELATIVE LEVEL  
 T.O.P. TOP OF PARAPET



**VIA ARCHITECTS**

LEVEL 3, 377 LONSDALE STREET MELBOURNE VIC 3000  
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DA6	ISSUE FOR WASTE UPDATE	12.08.2020	MH

PROJECT REF: C:\Users\Mikondjarris\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE\_CENTRAL\_19\_Mikondjarris.rvt  
 TMSAMP: 13/08/2020 1:02:04 PM

KEY PLAN STATUS

**DEVELOPMENT APPLICATION**



**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

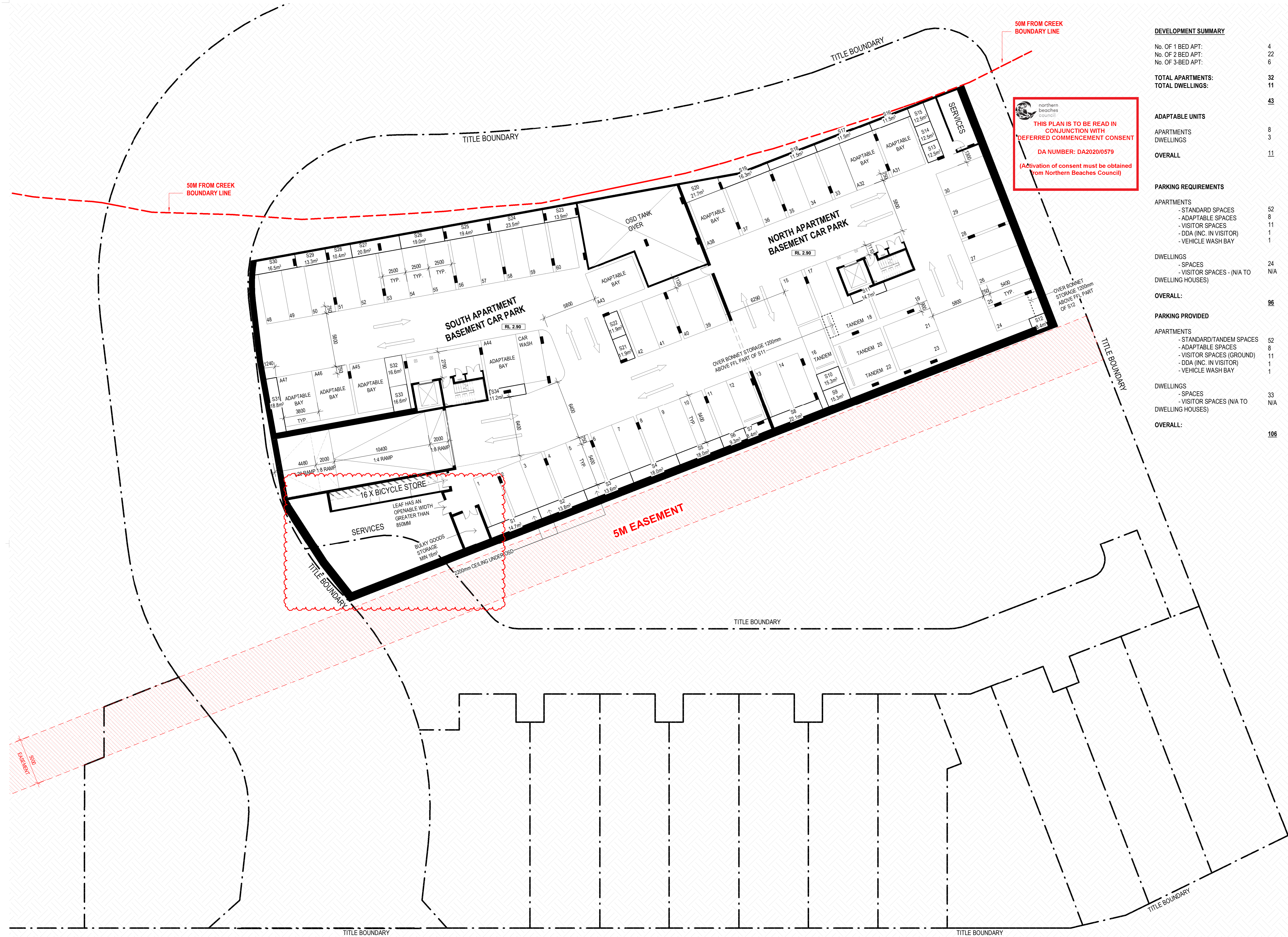
SCALE (B/A1)  
 1:200 / DRAWN BY TM / CHECKED BY MA / PROJECT No. 1510121 / DRAWING No. DA-104 / REV DA6

**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 PROPOSED OVERALL ROOF PLAN

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50M FROM CREEK BOUNDARY LINE

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT DA NUMBER: DA2020/0579 (Activation of consent must be obtained from Northern Beaches Council)

**DEVELOPMENT SUMMARY**

No. OF 1 BED APT:	4
No. OF 2 BED APT:	22
No. OF 3-BED APT:	6
<b>TOTAL APARTMENTS:</b>	<b>32</b>
<b>TOTAL DWELLINGS:</b>	<b>11</b>
<b>ADAPTABLE UNITS</b>	<b>43</b>
APARTMENTS	8
DWELLINGS	3
<b>OVERALL</b>	<b>11</b>

**PARKING REQUIREMENTS**

APARTMENTS	52
- STANDARD SPACES	8
- ADAPTABLE SPACES	11
- VISITOR SPACES	1
- DDA (INC. IN VISITOR)	1
- VEHICLE WASH BAY	1
DWELLINGS	24
- SPACES	N/A
- VISITOR SPACES - (N/A TO DWELLING HOUSES)	
<b>OVERALL:</b>	<b>96</b>

**PARKING PROVIDED**

APARTMENTS	52
- STANDARD/TANDEM SPACES	8
- ADAPTABLE SPACES	11
- VISITOR SPACES (GROUND)	1
- DDA (INC. IN VISITOR)	1
- VEHICLE WASH BAY	1
DWELLINGS	33
- SPACES	N/A
- VISITOR SPACES (N/A TO DWELLING HOUSES)	
<b>OVERALL:</b>	<b>106</b>

APARTMENT NUMBER	NO. OF BEDROOMS	CARPARK NUMBER	STORAGE NUMBER
<b>GROUND FLOOR</b>			
<b>STANDARD APARTMENTS</b>			
APT. G01 - N	2	39, 40	S21
APT. G03 - N	2	24, 25	S12
APT. G04 - N	2	9, 10	S5
APT. G05 - N	2	20 TANDEM, 21	S13
APT. G06 - N	2	22 TANDEM, 23	S9
APT. G07 - S	2	41, 42	S22
APT. G09 - S	3	52, 53	S27
APT. G11 - S	2	58, 59	S24
<b>ADAPTABLE APARTMENTS</b>			
APT. G02 - N	2	17, A38	S20
APT. G08 - S	1	A47	S31
APT. G10 - S	2	A46, 50	S29, S32

<b>FIRST FLOOR</b>			
<b>STANDARD APARTMENTS</b>			
APT. 1.01 - N	2	13, 14	S8
APT. 1.03 - N	2	15, 16 TANDEM	S10
APT. 1.04 - N	2	26, 27	S14
APT. 1.05 - N	1	11	S6
APT. 1.06 - N	1	12	S7
APT. 1.07 - N	2	18 TANDEM, 19	S11
APT. 1.08 - S	2	1, 2	S1
APT. 1.10 - S	2	56, 57	S25
APT. 1.11 - S	3	48, 49	S30
APT. 1.13 - S	2	7, 8	S4
<b>ADAPTABLE APARTMENTS</b>			
APT. 1.02 - N	2	30, A31	S16
APT. 1.09 - S	1	A44	S34
APT. 1.12 - S	2	A45, 51	S28, S33

<b>SECOND FLOOR</b>			
<b>STANDARD APARTMENTS</b>			
APT. 2.01 - N	3	36, 37	S19
APT. 2.02 - N	3	28, 29	S15
APT. 2.03 - N	2	34, 35	S18
APT. 2.06 - S	2	3, 4	S2
APT. 2.07 - S	3	54, 55	S26
APT. 2.08 - S	3	5, 6	S3
<b>ADAPTABLE APARTMENTS</b>			
APT. 2.04 - N	2	A32, 33	S17
APT. 2.05 - S	2	A43, 60	S23

**VISITORS / DDA**

VISITORS - GROUND	V1 V2 V3 V4 V5 (DDA) V6 V7 V8 V9 V10 V11
-------------------	--

REV	DESCRIPTION	DATE	BY
DA1	ISSUE FOR CO-ORDINATION	20.03.2020	TM
DA2	UPDATED APARTMENTS AND BASEMENT	08.04.2020	TM
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA4	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA5	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA6	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA7	ISSUE FOR WASTE UPDATE	12.08.2020	MH

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TIMESTAMP: 17/08/2020 5:09:35 PM

KEY PLAN

STATUS

**DEVELOPMENT APPLICATION**



**PROJECT**  
WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
KNOWLES GROUP  
**DRAWING TITLE**  
OVERALL FLOOR PLAN - BASEMENT

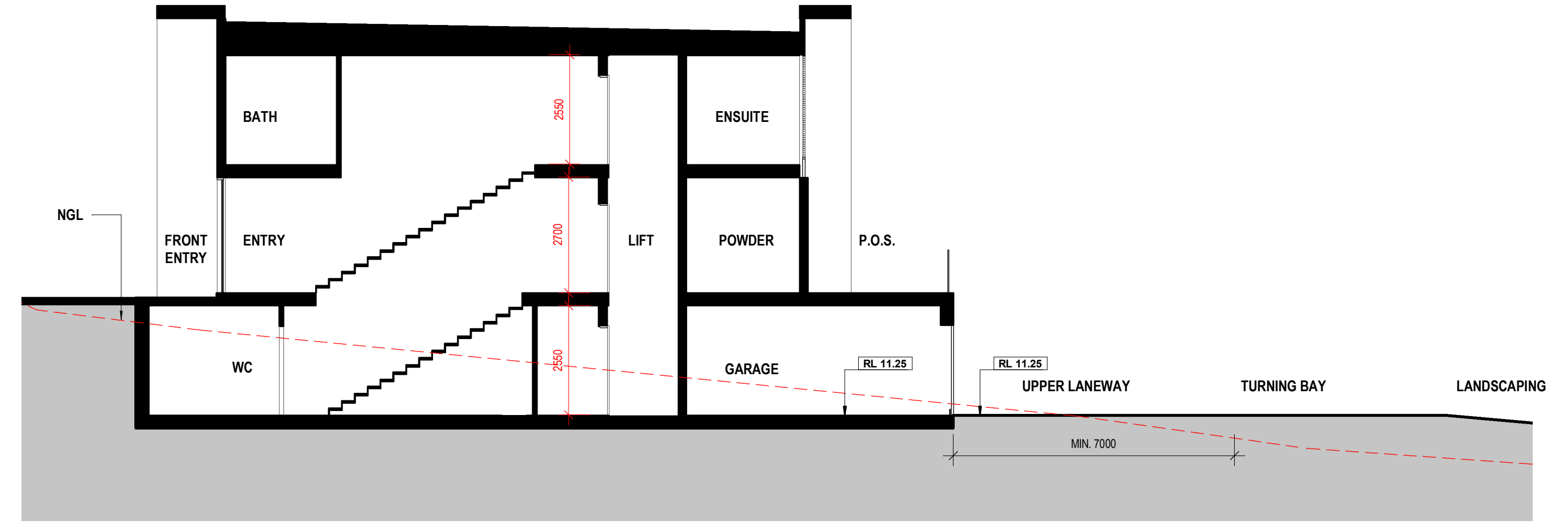
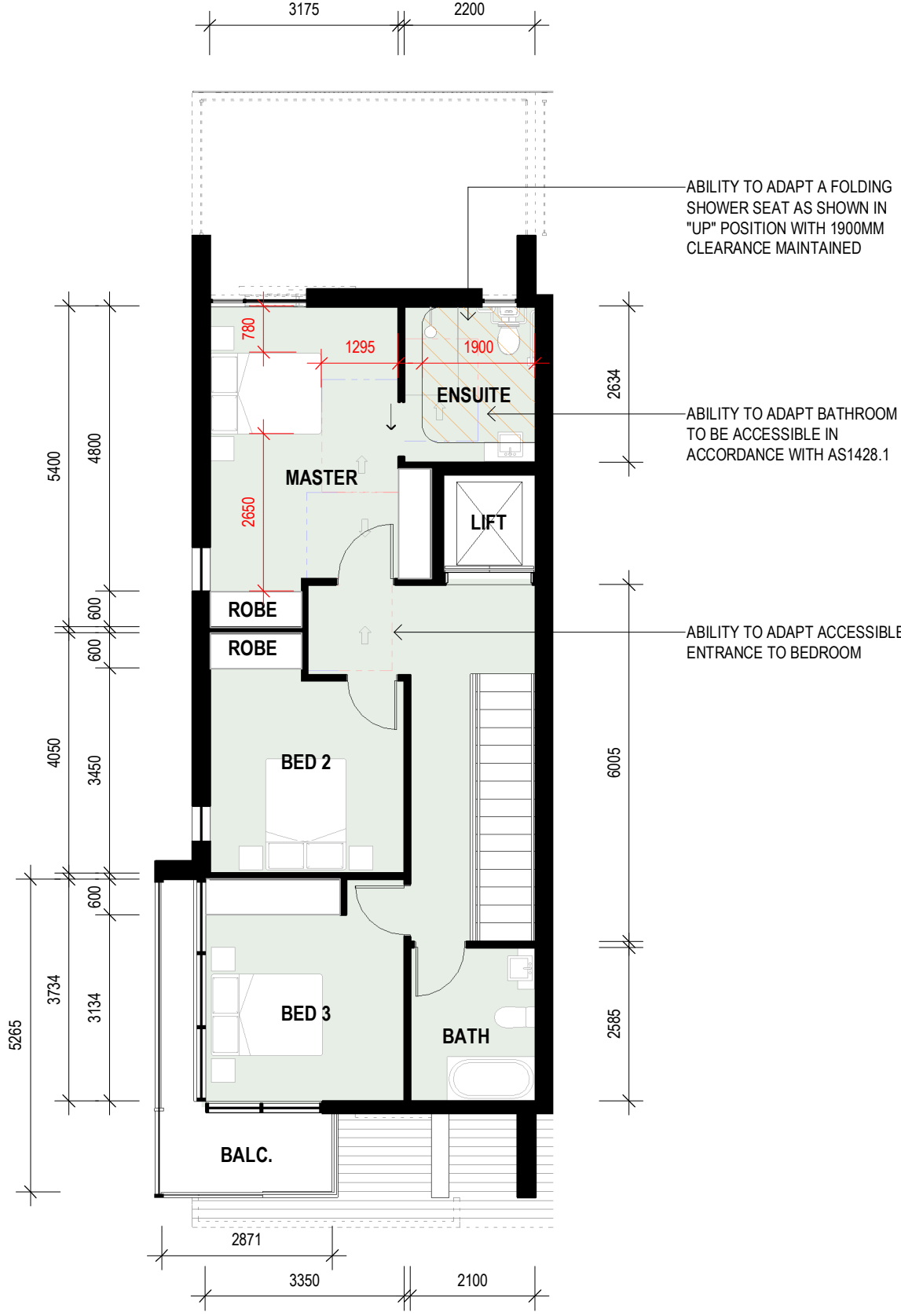
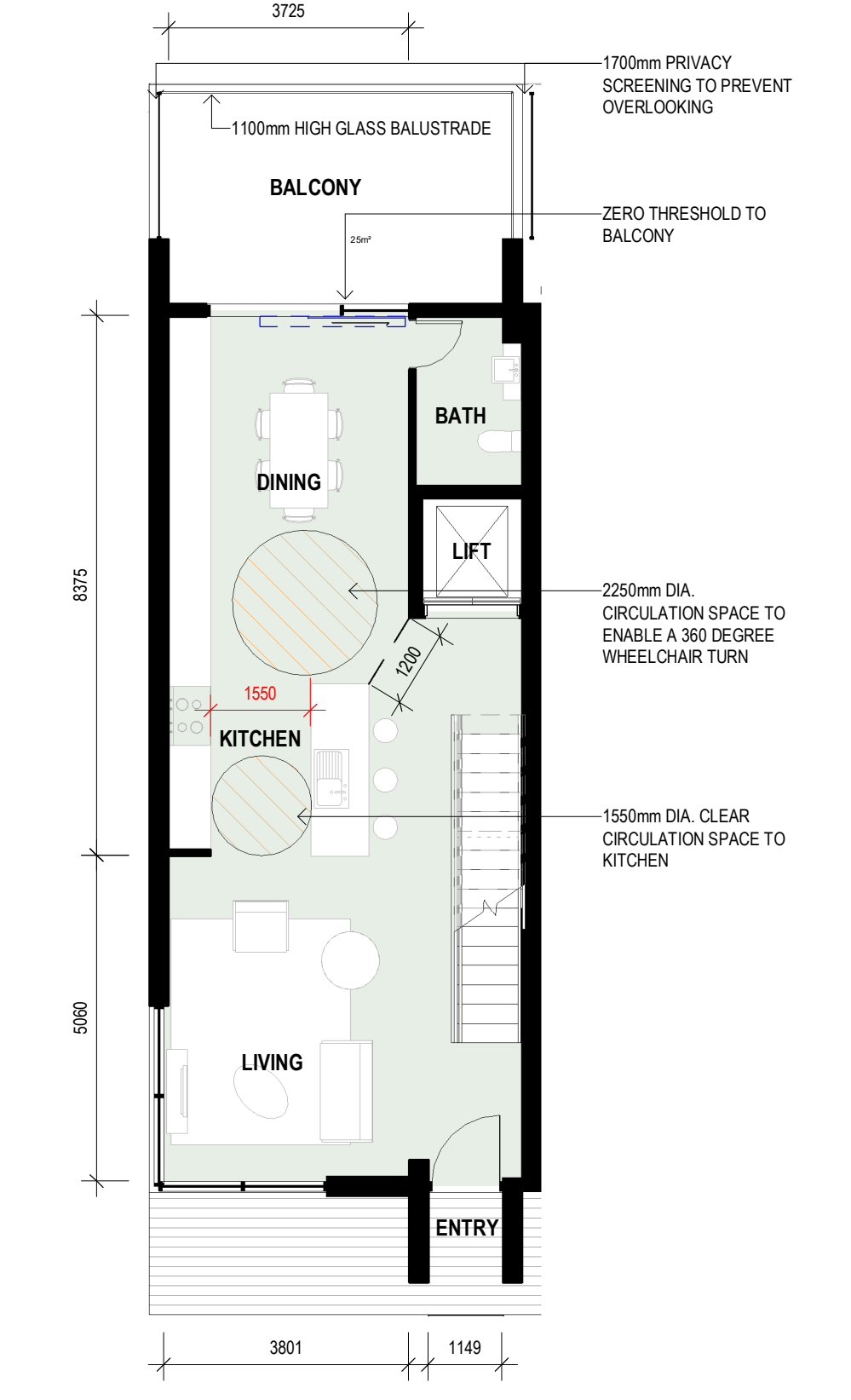
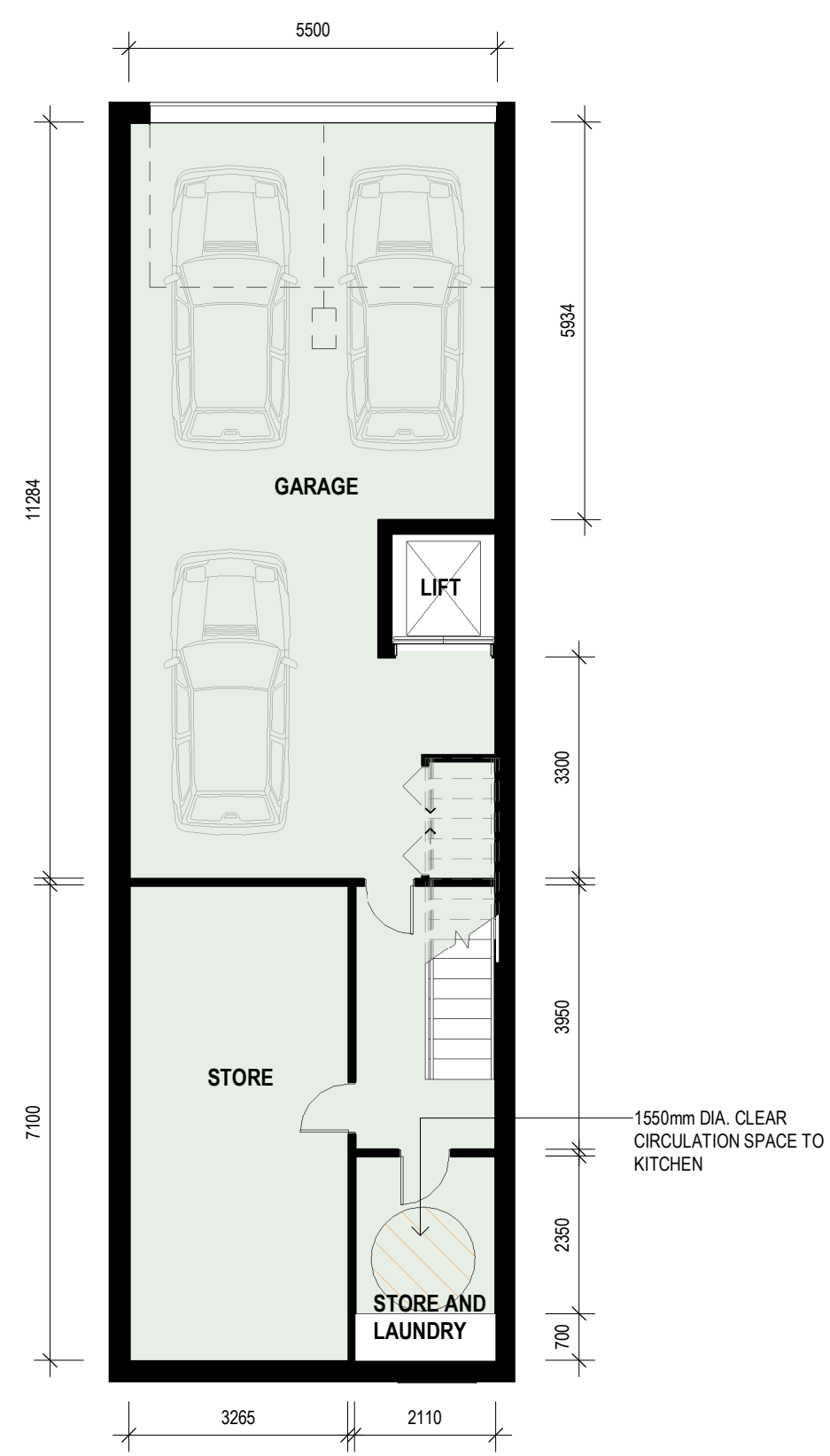
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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. REQUIRED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. SHEET TO BE PRINTED IN COLOUR. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.





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 DA NUMBER: DA2020/0579  
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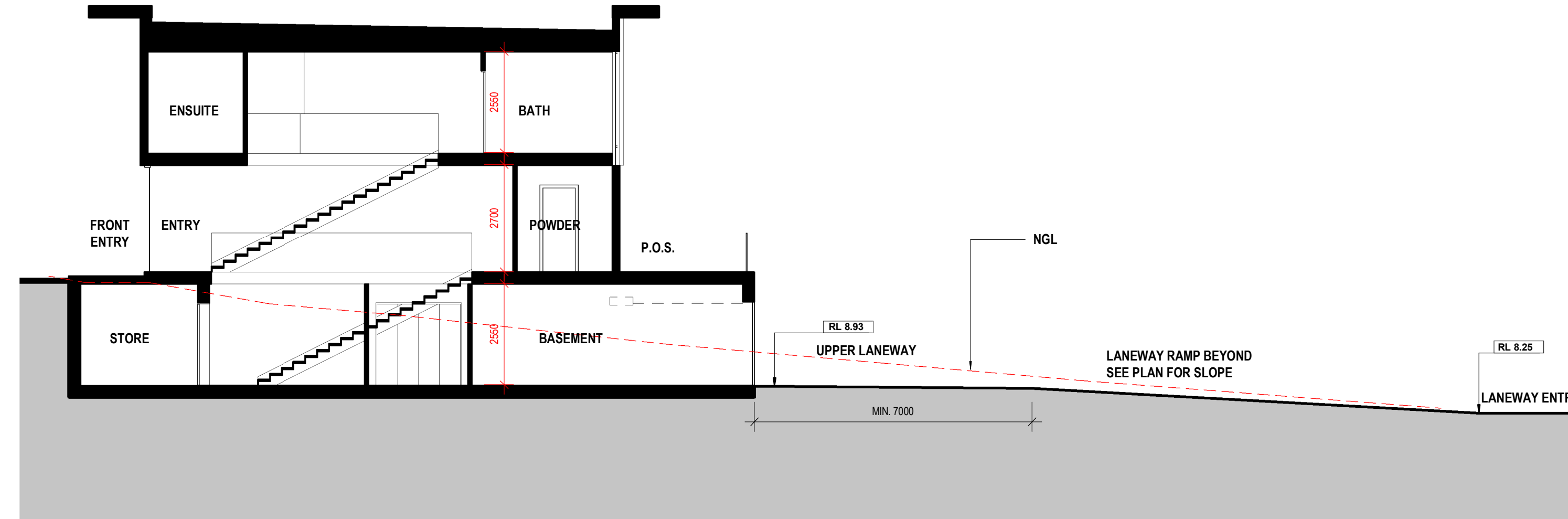
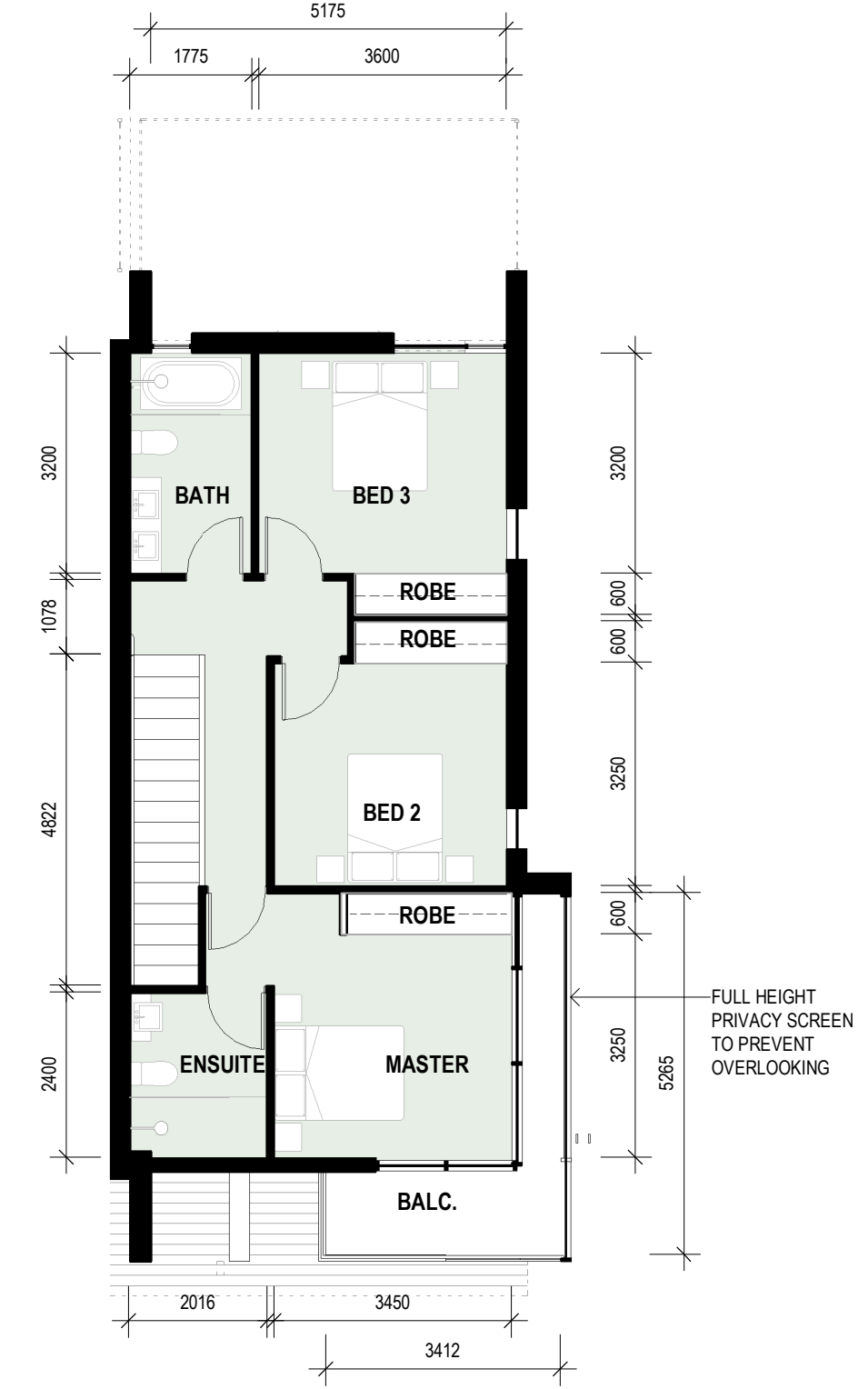
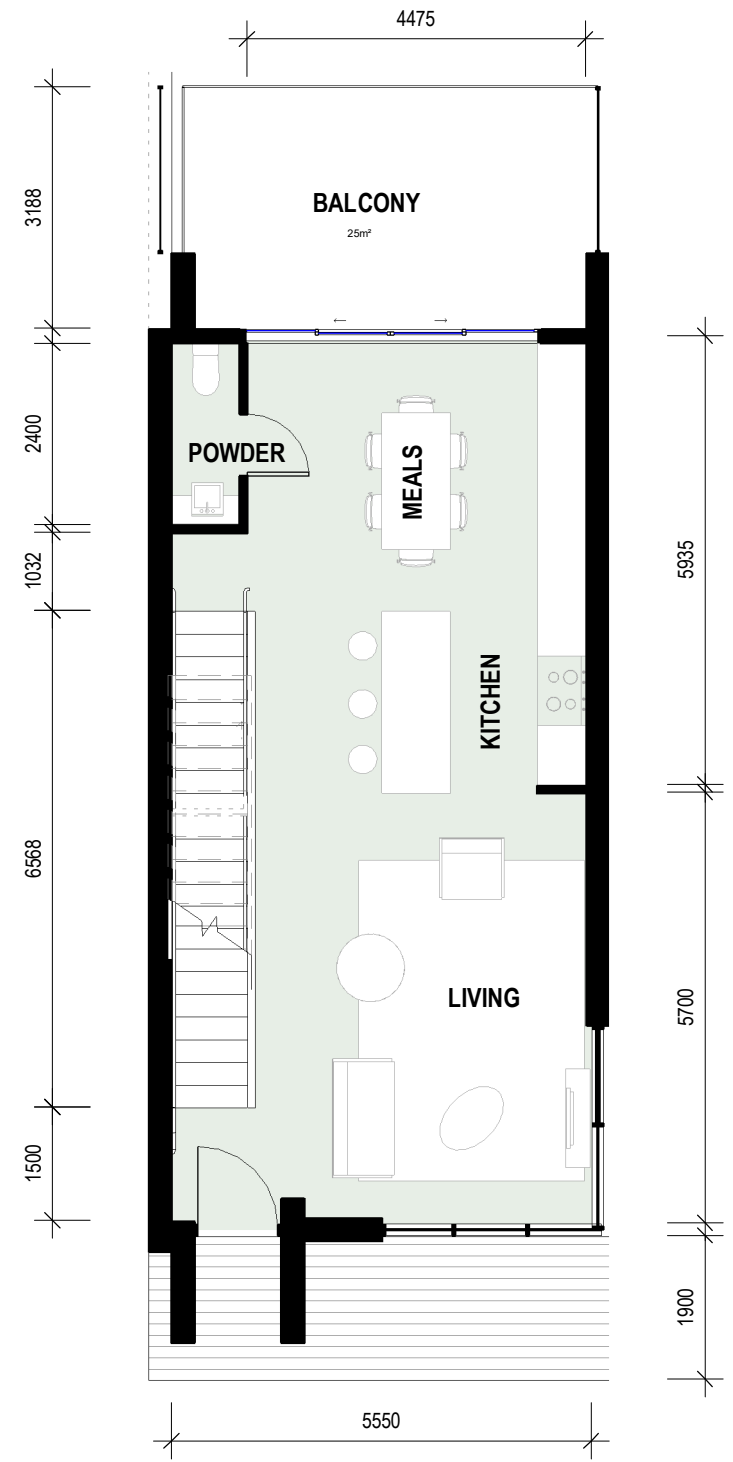
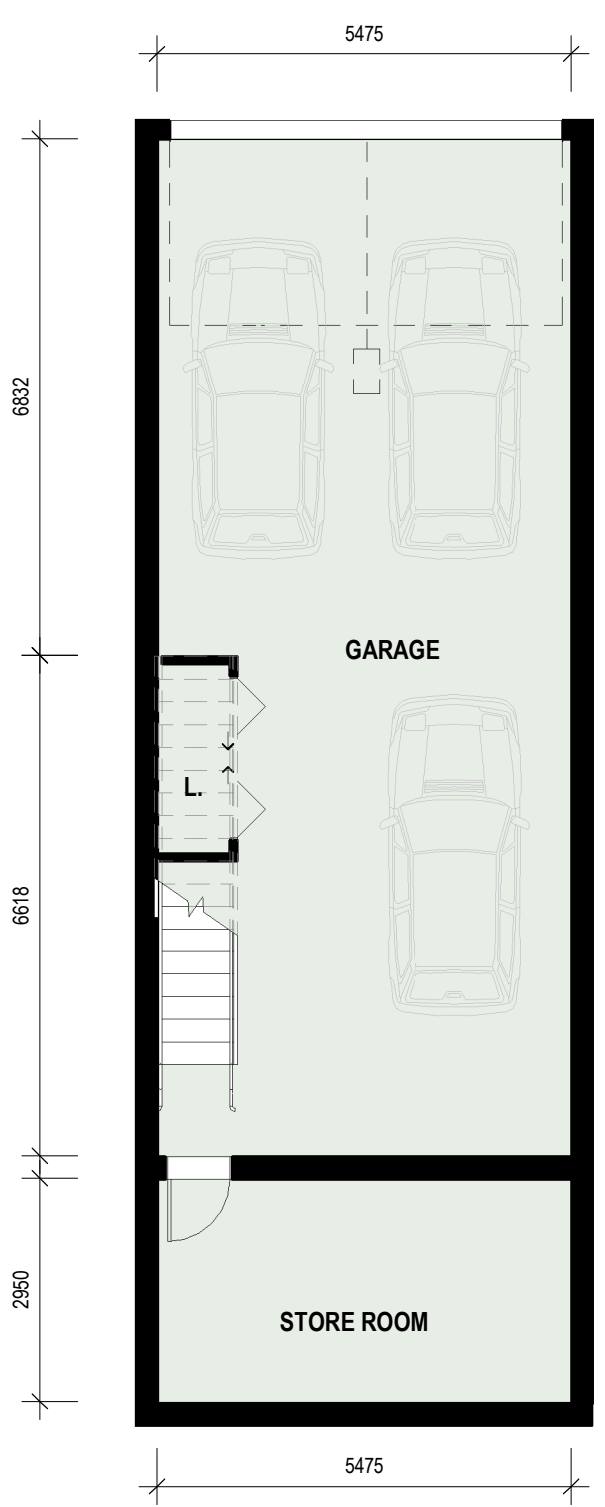


DW 11 - ADAPTABLE DWELLING - LOWER LEVEL

DW 11 - ADAPTABLE DWELLING - MID LEVEL

DW 11 - ADAPTABLE DWELLING - UPPER LEVEL

TH01 ADAPTABLE DWELLING SECTION A-A

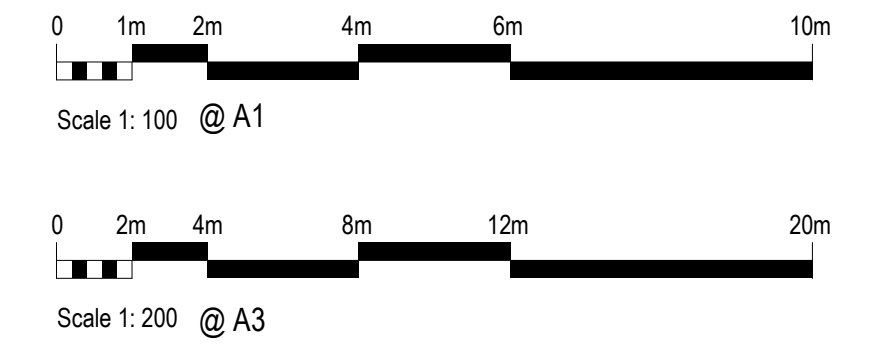


TYPICAL DW PLAN - LOWER LEVEL

TYPICAL DW PLAN - MID LEVEL

TYPICAL DW PLAN - UPPER LEVEL

TH10 DWELLING SECTION B-B



REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

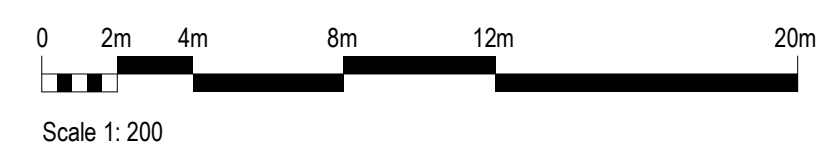
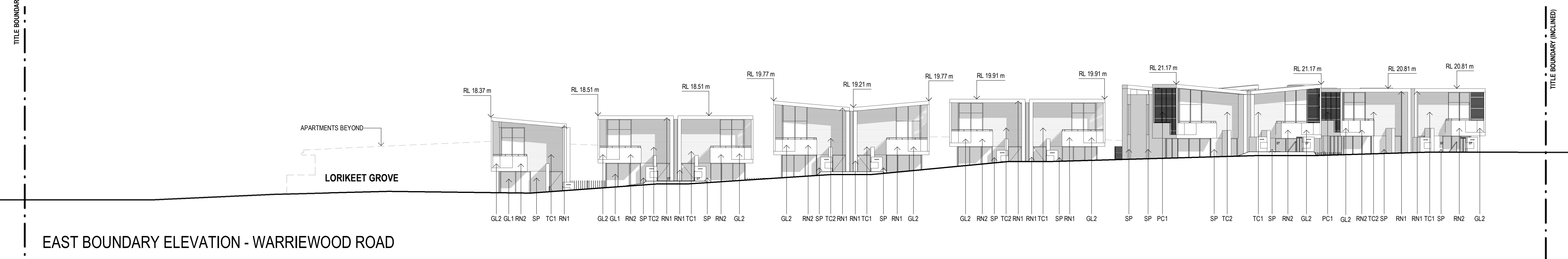
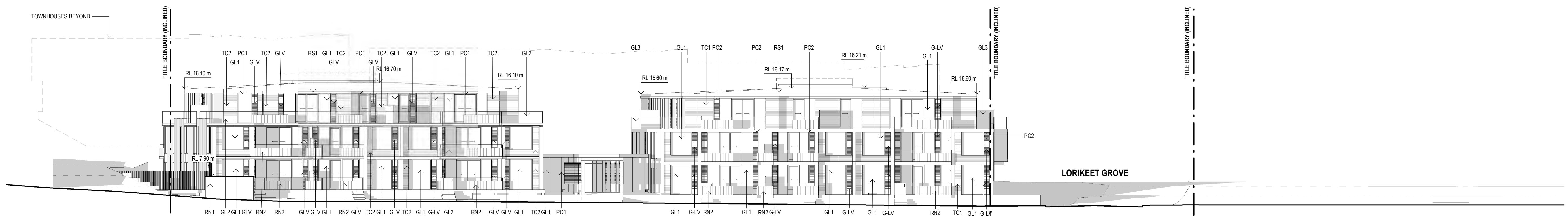
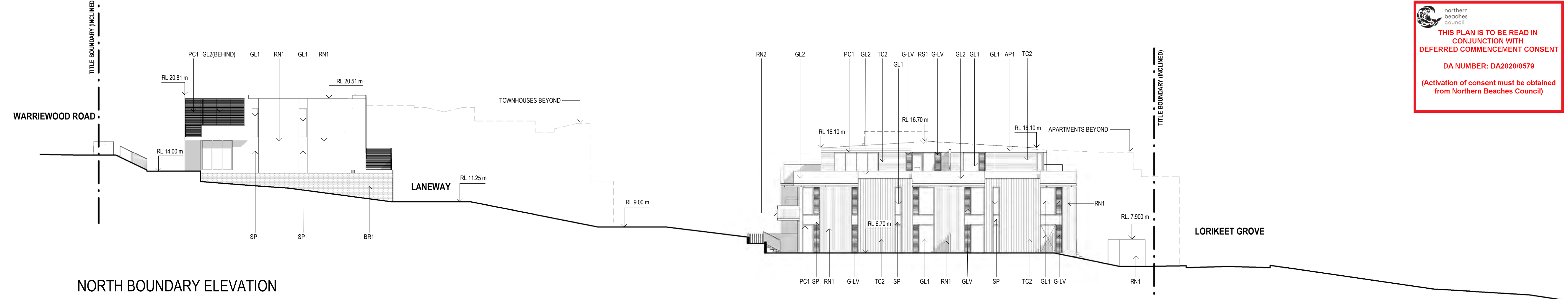



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 DA NUMBER: DA2020/0579  
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**EXTERNAL FINISHES LEGEND**

TC1	ALUMINIUM TIMBER LOOK CLADDING - LIGHT TONE
TC2	ALUMINIUM TIMBER LOOK CLADDING - DARK TONE
RN1	RENDER FINISH 1 - MID TONE
RN2	RENDER FINISH 2 - TEXTURED
PC1	POWDERCOAT FINISH 1 - DARK
PC2	POWDERCOAT FINISH 2 - LIGHT
GL1	CLEAR GLASS
GL2	GLASS BALUSTRADE
GL3	GLASS BALUSTRADE - COPPER TINT
GLV	GLASS LOUVRE
AP1	APPLIED FINISH - LIGHT GREY
RS1	ROOF SHEET - COLOURBOND DARK GREY
SP	SPANDRAL PANEL - TO MATCH WINDOW FRAME
BR1	BRICKWORK - DARK TONE

NOTE: REFER TO EXTERNAL FINISHES SCHEDULE FOR DETAILS



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DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

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TIMESTAMP: 28/05/2020 11:51:55 AM

KEY PLAN STATUS  
**DEVELOPMENT APPLICATION**

**PROJECT**  
WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
KNOWLES GROUP  
**DRAWING TITLE**  
PROPOSED ELEVATIONS

SCALE (@A1) 1:200 / DRAWN BY KC / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA-200 / REV DA4

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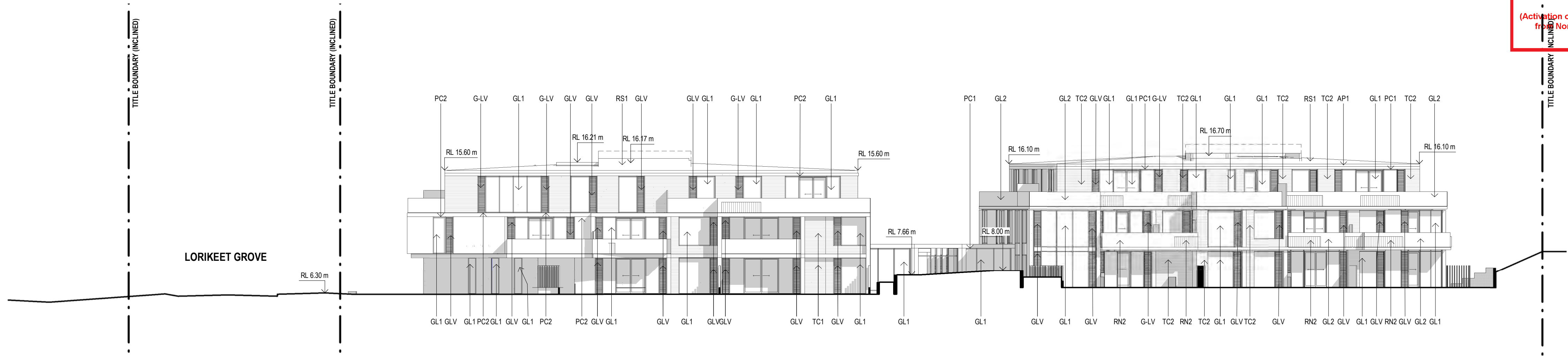



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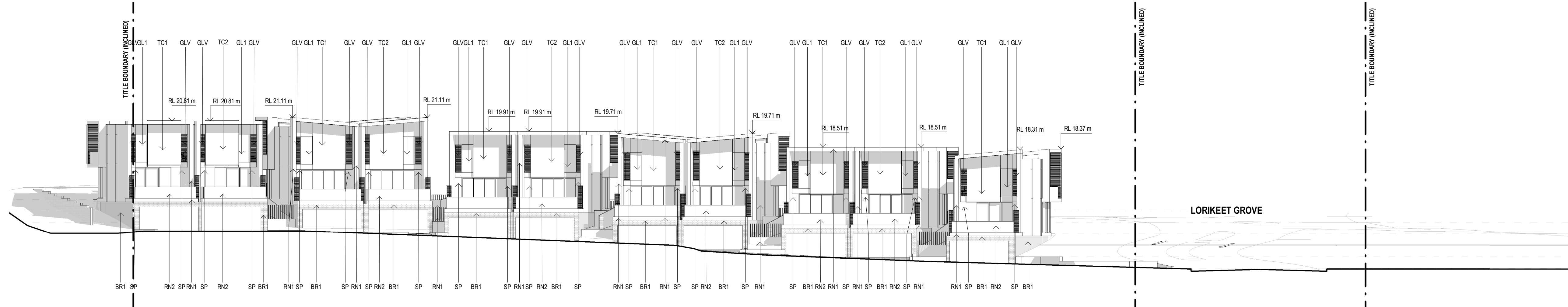
**EXTERNAL FINISHES LEGEND**

TC1	ALUMINIUM TIMBER LOOK CLADDING - LIGHT TONE
TC2	ALUMINIUM TIMBER LOOK CLADDING - DARK TONE
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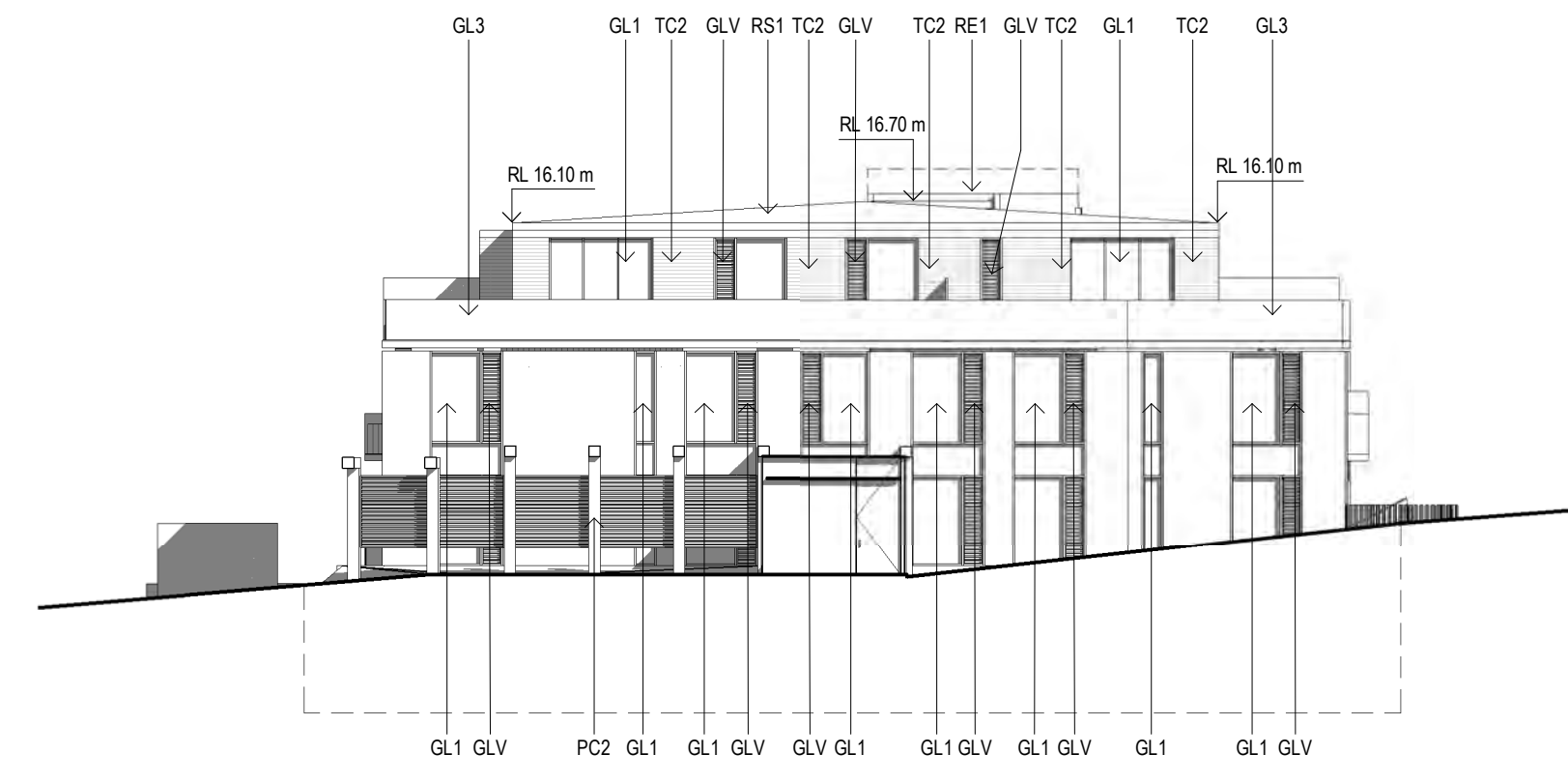
NOTE: REFER TO EXTERNAL FINISHES SCHEDULE FOR DETAILS



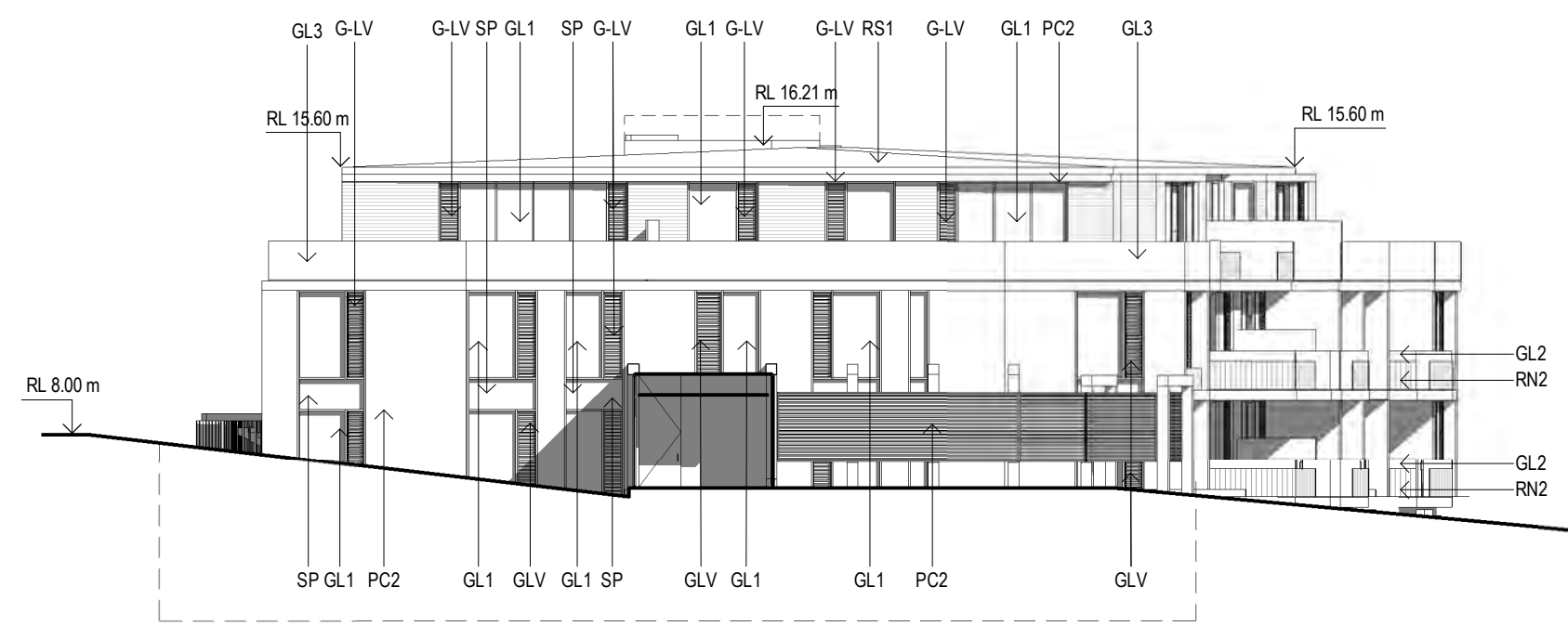
APARTMENT WEST ELEVATION



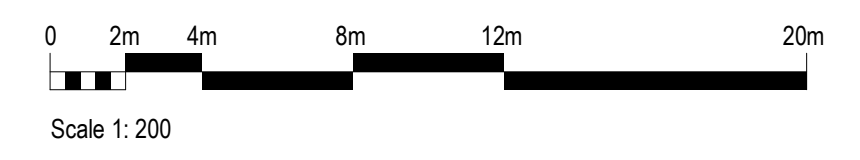
LANEWAY LOOKING EAST ELEVATION



APT ENTRY COURTYARD ELEVATION 3



APT ENTRY COURTYARD ELEVATION 4



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DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

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KEY PLAN STATUS **DEVELOPMENT APPLICATION**

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**PROJECT**  
WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
KNOWLES GROUP  
**DRAWING TITLE**  
PROPOSED ELEVATIONS

SCALE (@A1) 1:200 / DRAWN BY KC / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA-201 / REV DA4



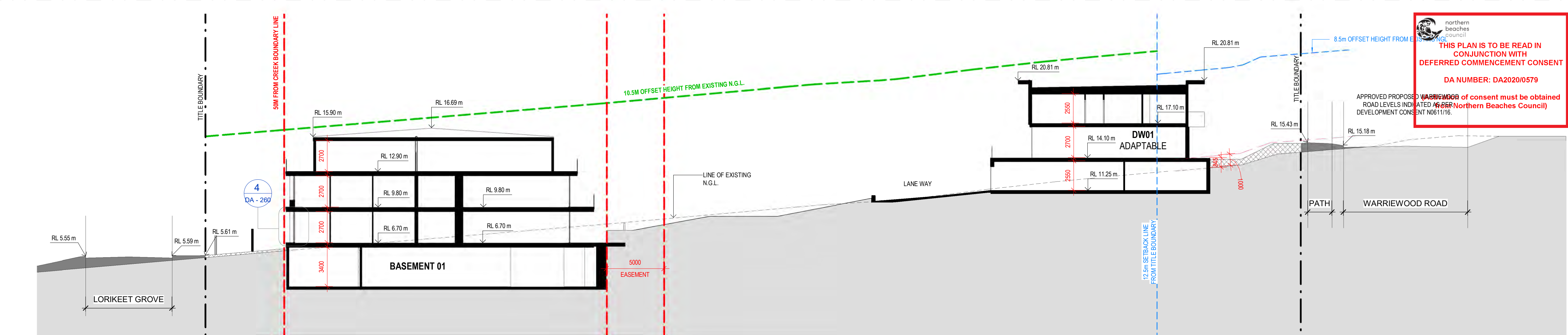
FILL LEGEND

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- PROPOSED FILL
- EXISTING NATURAL GROUND

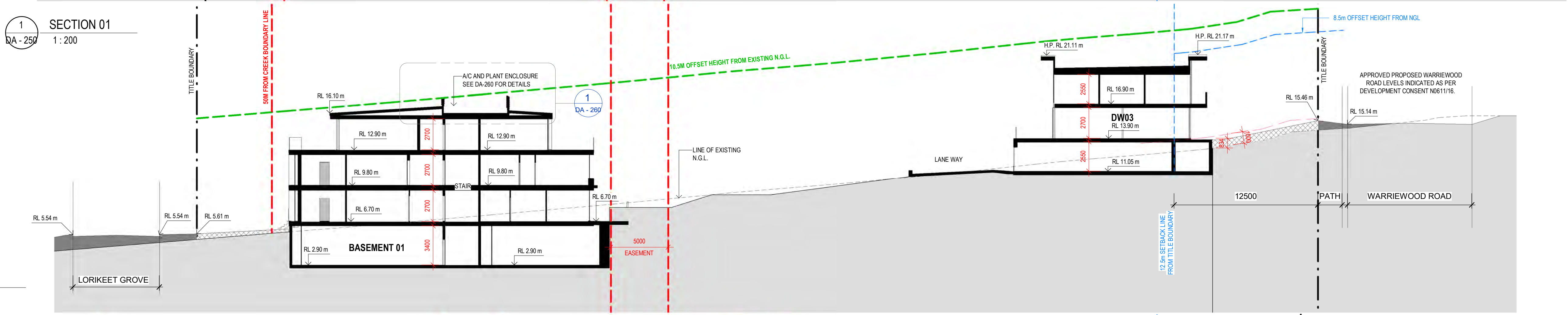
NOTE: PROPOSED RL'S INDICATED OUTSIDE OF TITLE BOUNDARIES ARE IN ACCORDANCE WITH THE CIVIL WORKS DOCUMENTATION PREPARED BY SGC ENGINEERING FOR DEVELOPMENT CONSENT N0611/16.

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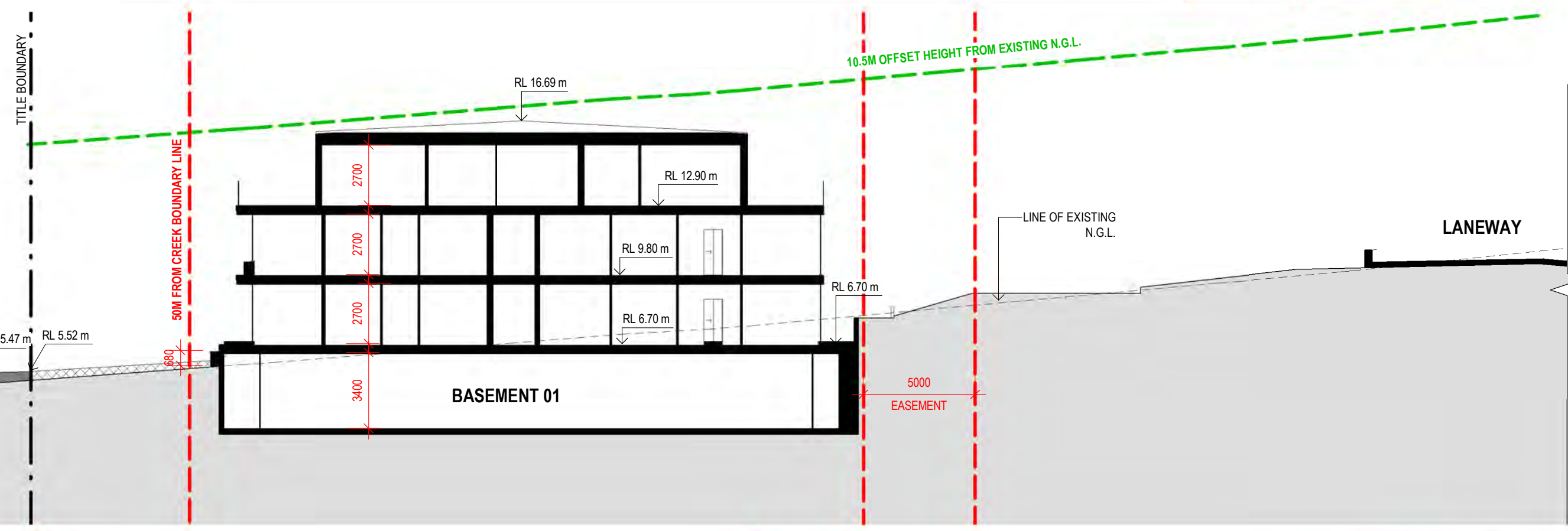
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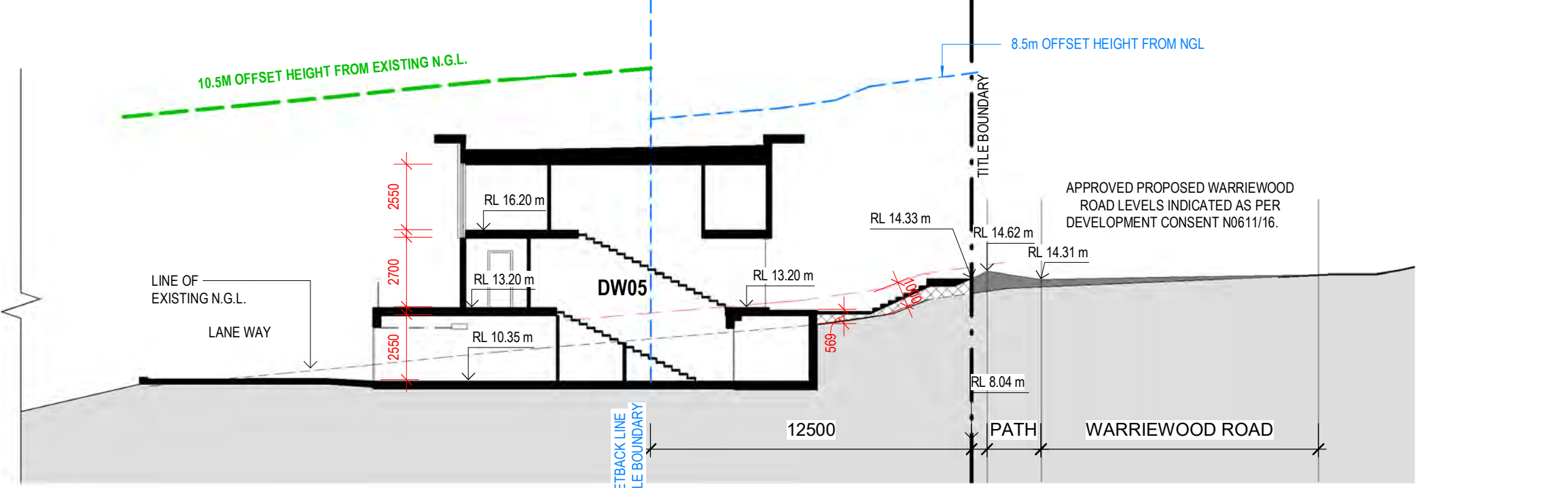
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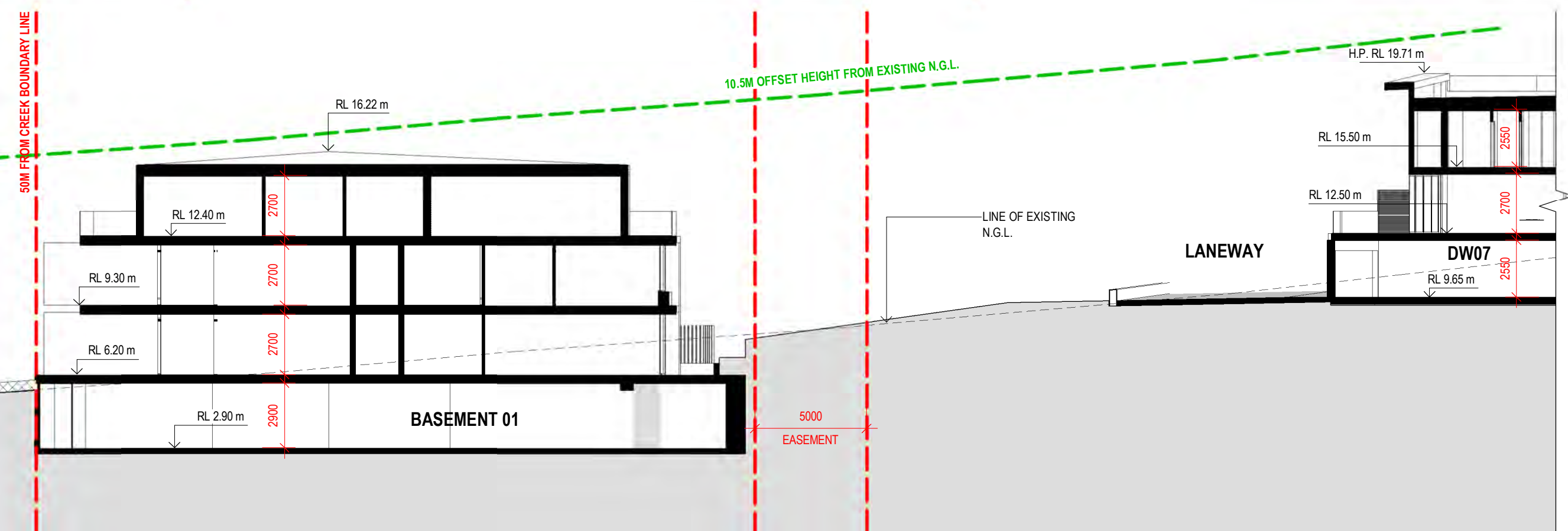
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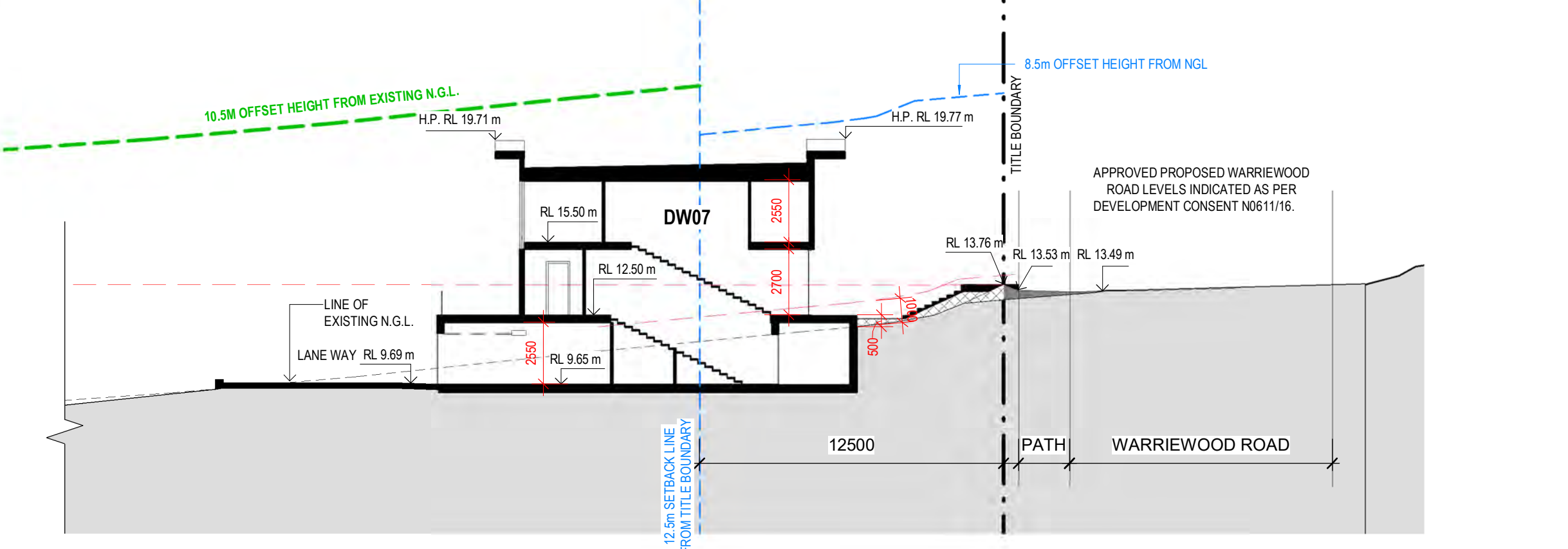
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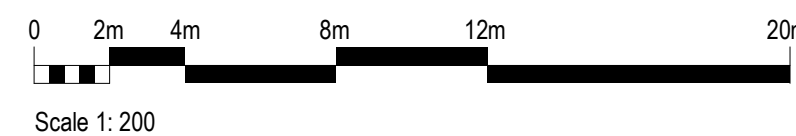
4 SECTION 04  
DA - 250 1:200



5 SECTION 05  
DA - 250 1:200



6 SECTION 06  
DA - 250 1:200



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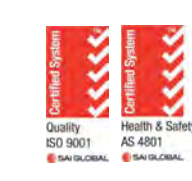
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DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

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KEY PLAN

STATUS

**DEVELOPMENT APPLICATION**



**PROJECT**  
WARRIWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
25 - 27 WARRIWOOD ROAD, NSW 2102

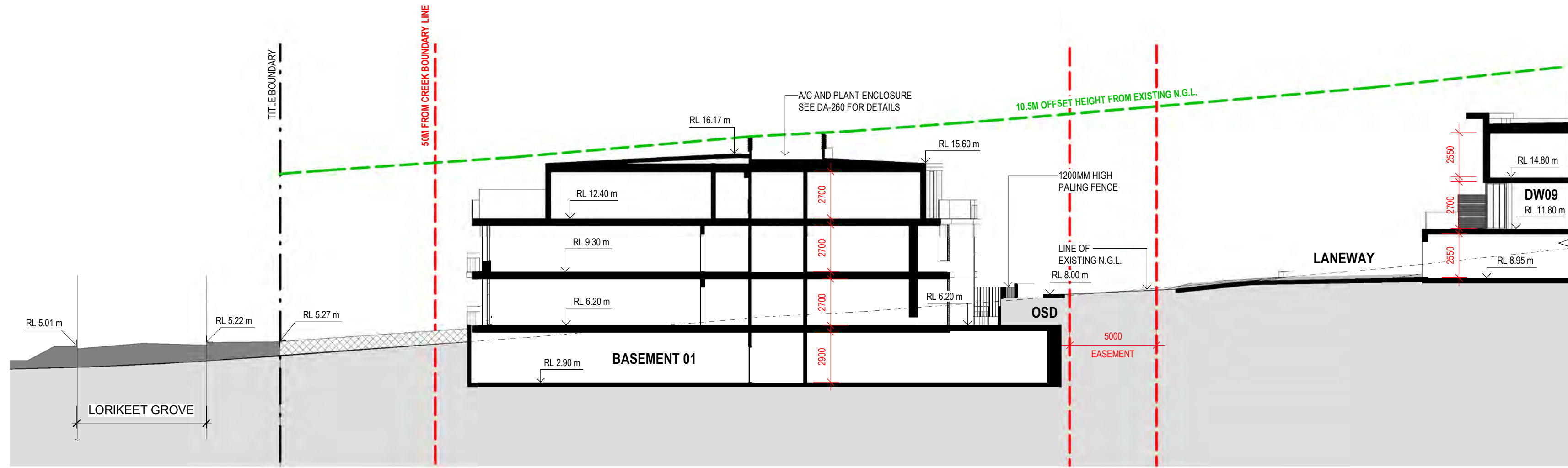
**CLIENT**  
KNOWLES GROUP  
**DRAWING TITLE**  
PROPOSED SECTIONS

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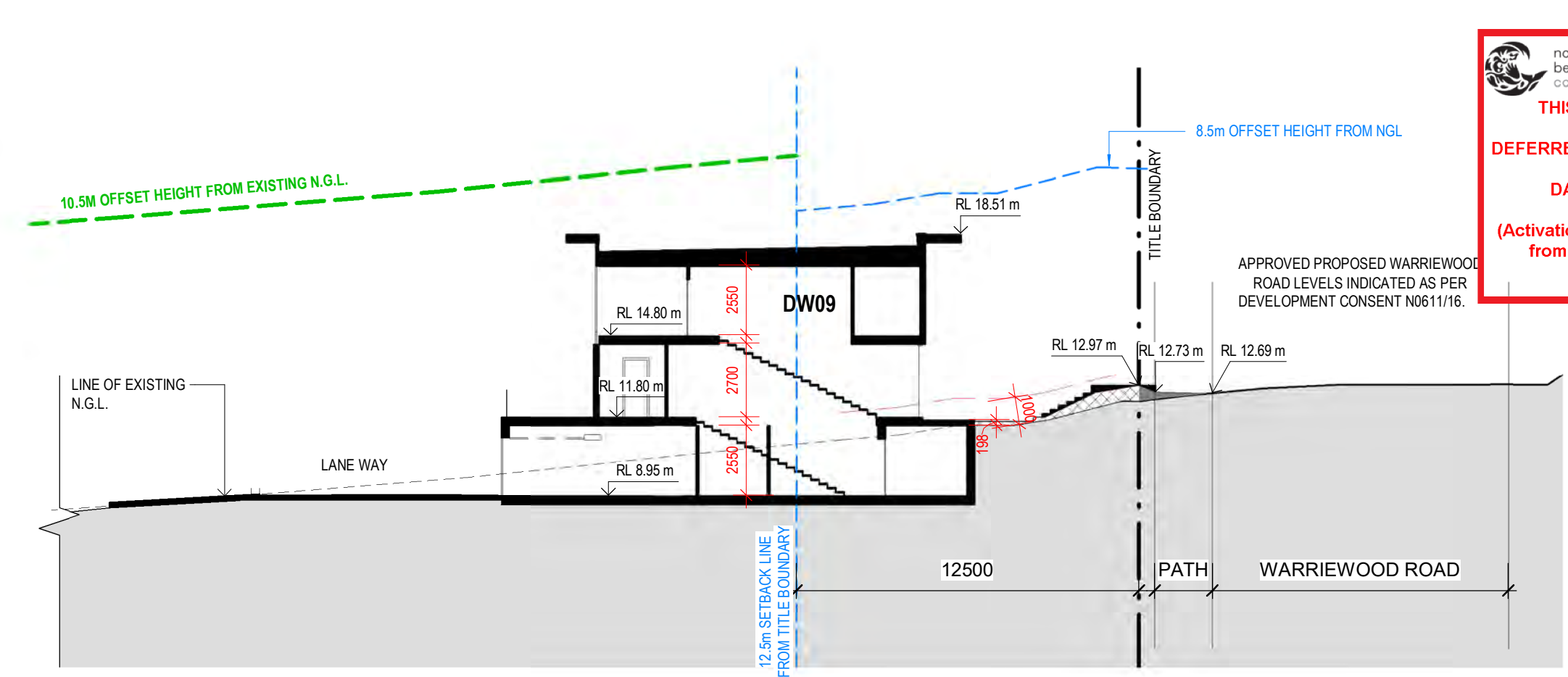
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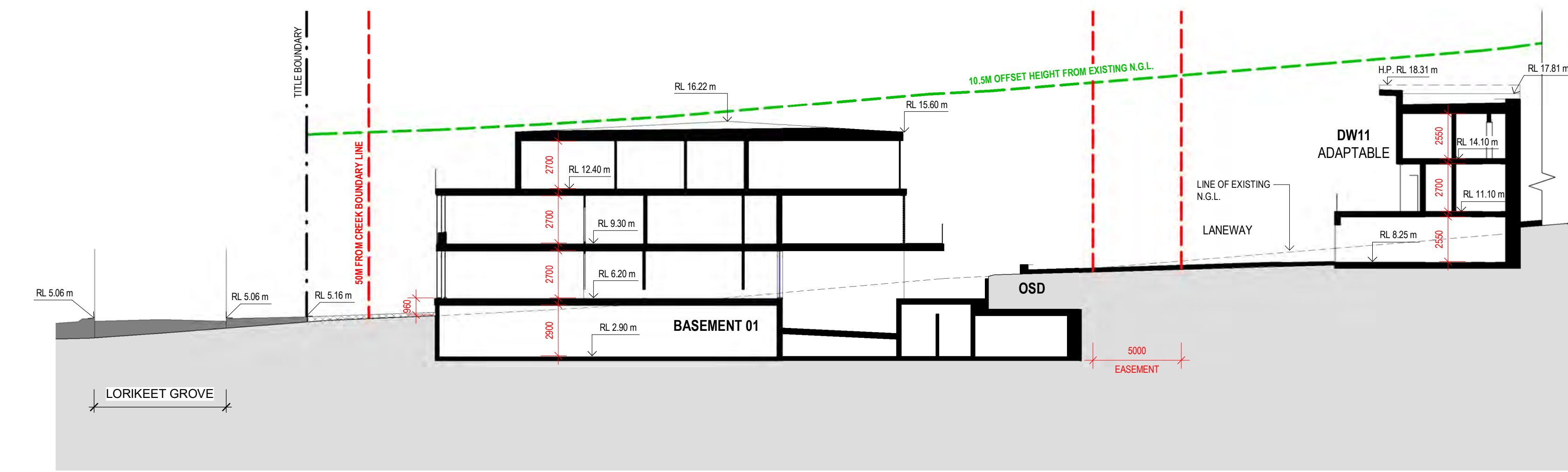
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 DA NUMBER: DA2020/0579  
 (Activation of consent must be obtained from Northern Beaches Council)



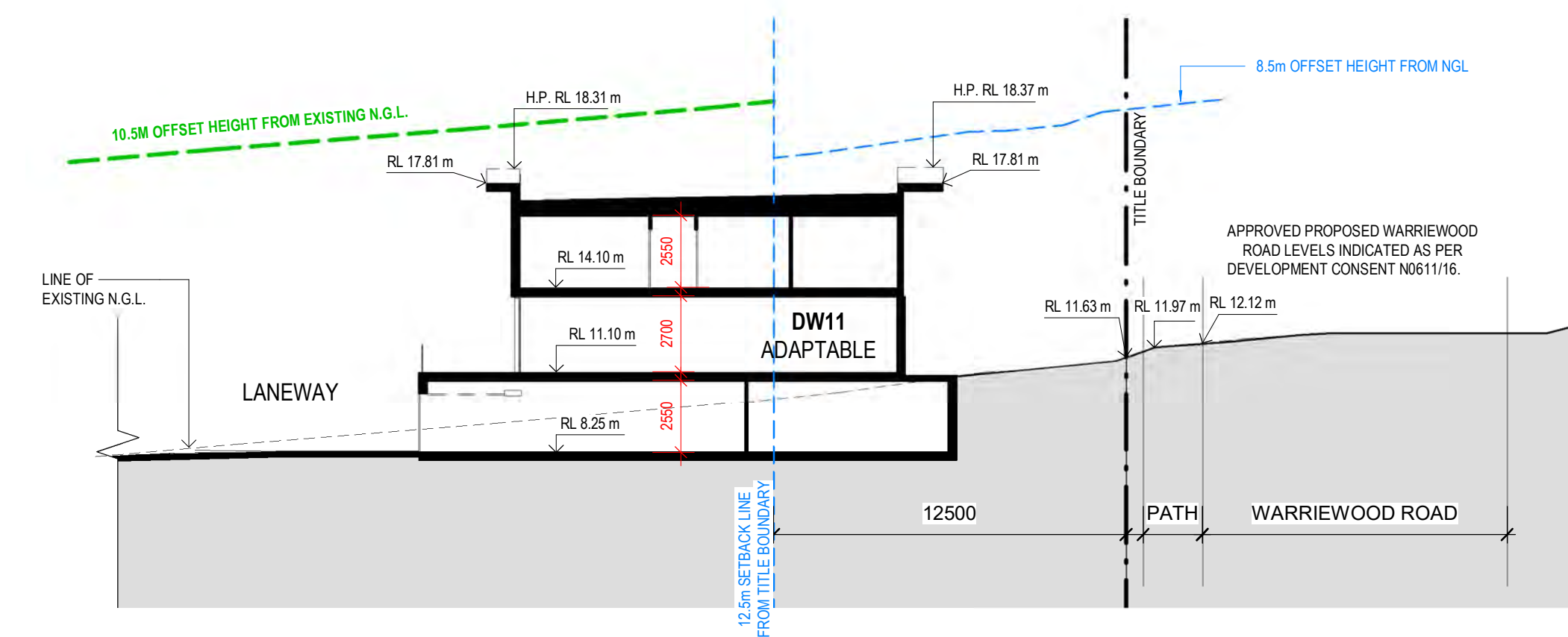
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2 SECTION 08  
 DA - 25 1:200



3 SECTION 09  
 DA - 25 1:200

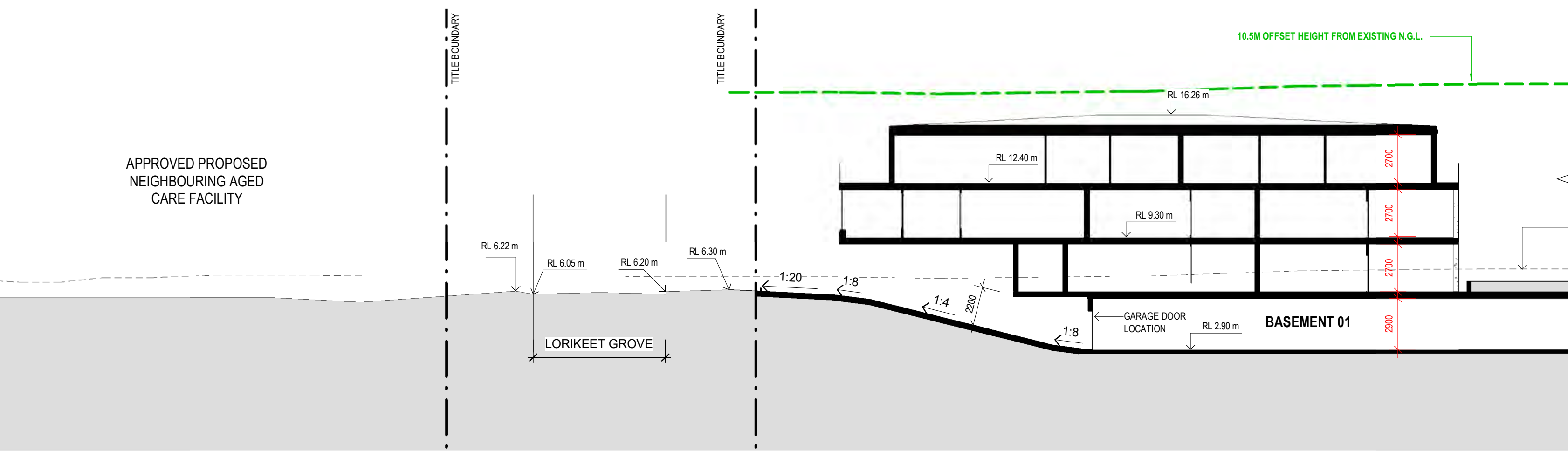


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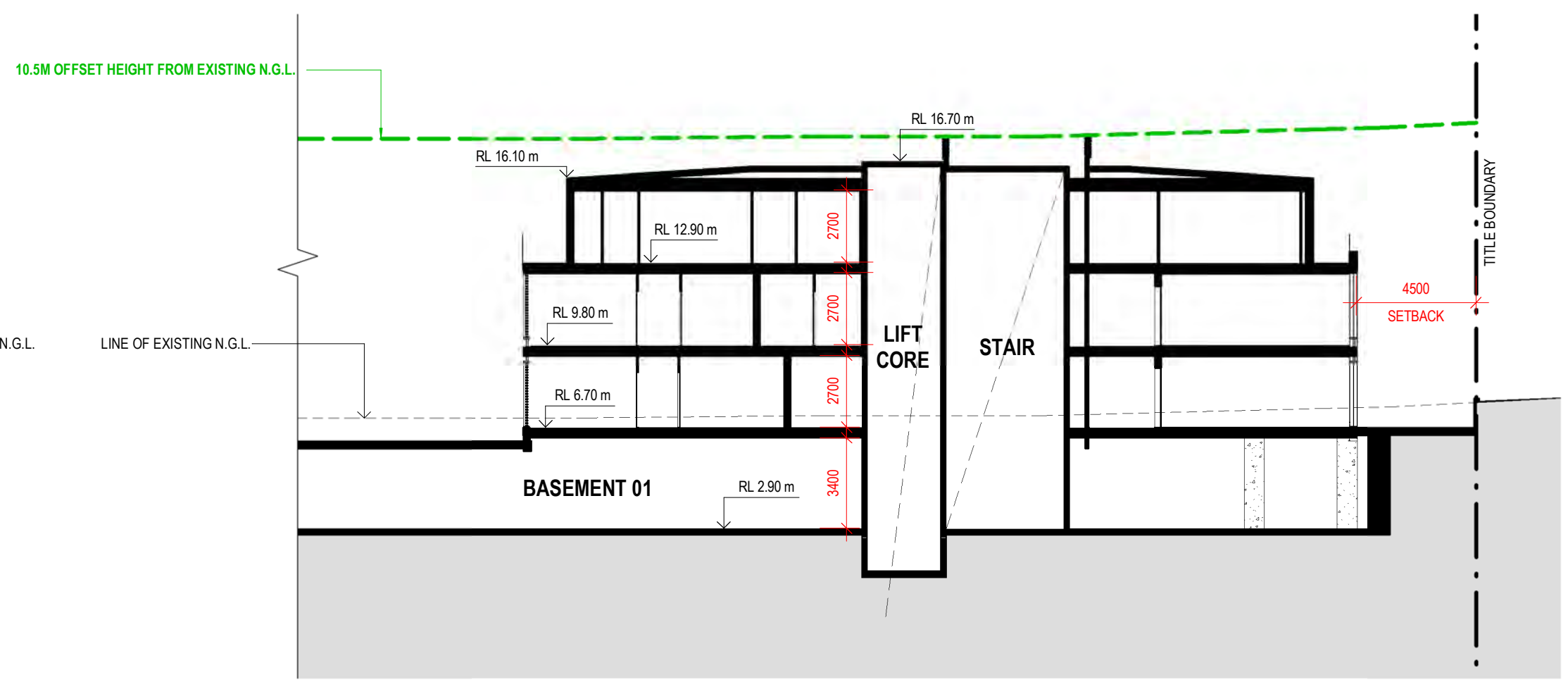
**FILL LEGEND**

- APPROVED FILL AS PER DEVELOPMENT CONSENT N0611/16.
- PROPOSED FILL
- EXISTING NATURAL GROUND

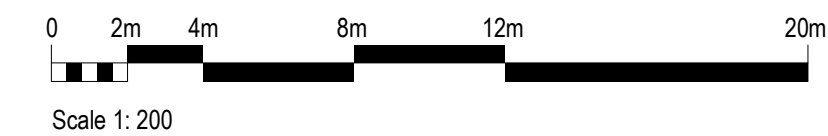
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6 SECTION 12  
 DA - 25 1:200



7 SECTION 13  
 DA - 25 1:200



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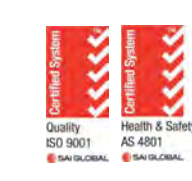
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DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	RCP UPDATES	16.04.2020	TM
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA4	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA5	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

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 TMSAMP: 28/05/2020 11:33:30 AM

KEY PLAN

STATUS

**DEVELOPMENT APPLICATION**



**PROJECT**  
 WARRIEWOOD RESIDENTIAL DEVELOPMENT  
**ADDRESS**  
 25 - 27 WARRIEWOOD ROAD, NSW 2102

**CLIENT**  
 KNOWLES GROUP  
**DRAWING TITLE**  
 PROPOSED SECTIONS

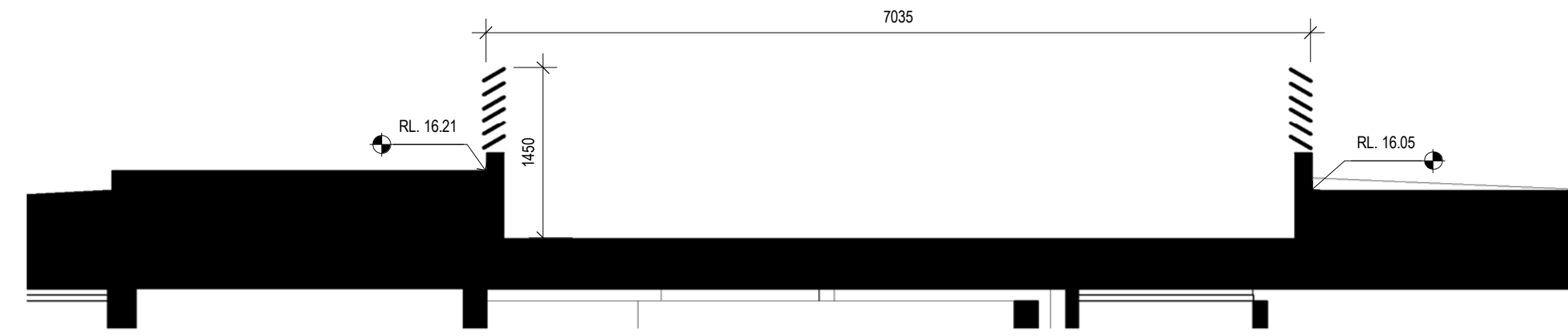
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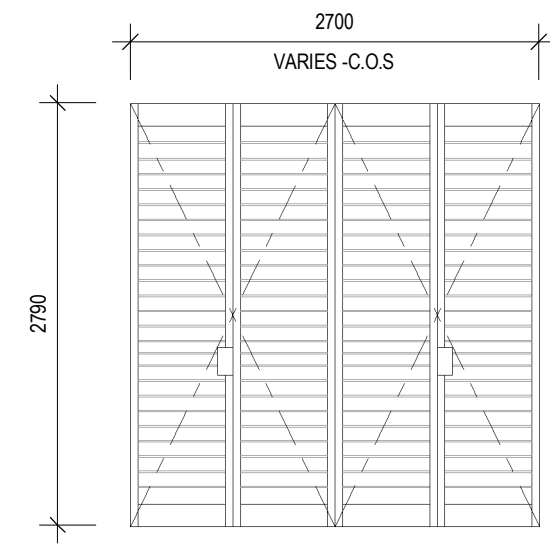




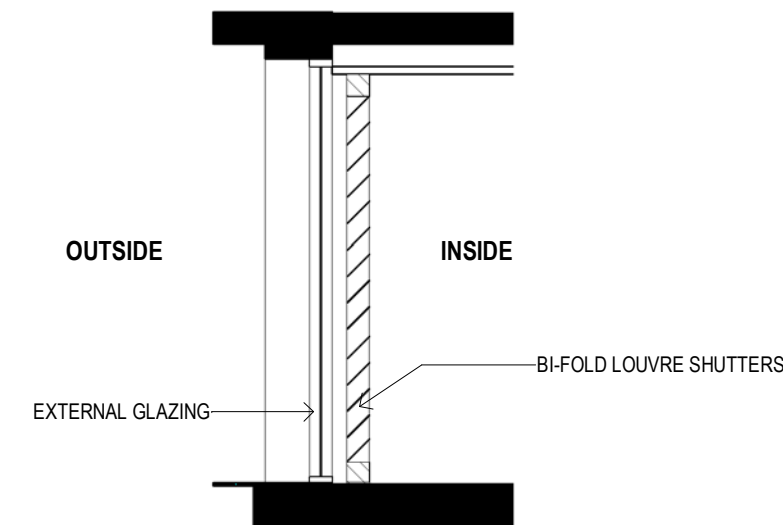
**1** ROOF PLANT SECTION DETAIL- NORTH  
 DA - 260 1: 50



**2** ROOF PLANT SECTION DETAIL- SOUTH  
 DA - 260 1: 50



**3** BI-FOLD SHUTTER ELEVATION  
 DA - 260 1: 50



**4** BI-FOLD SHUTTER SECTION  
 DA - 260 1: 50

REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA3	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH

PROJECT REF C:\Users\Mikondragannis\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE\_CENTRAL\_19\_Mikondragannis.rvt  
 TIMESTAMP: 28/05/2020 11:53:51 AM



# 6.0 MATERIALS

## 6.01 Material Palette



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**

**DA NUMBER: DA2020/0579**

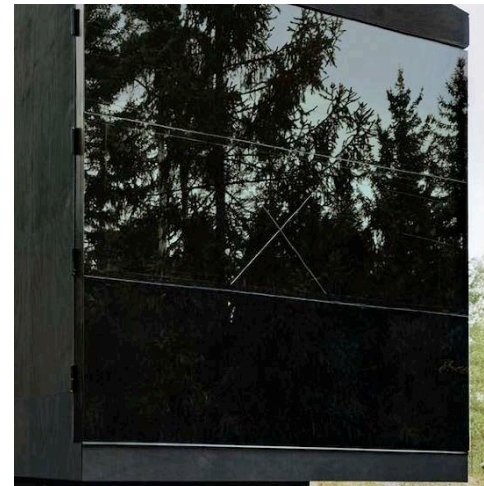
**(Activation of consent must be obtained from Northern Beaches Council)**



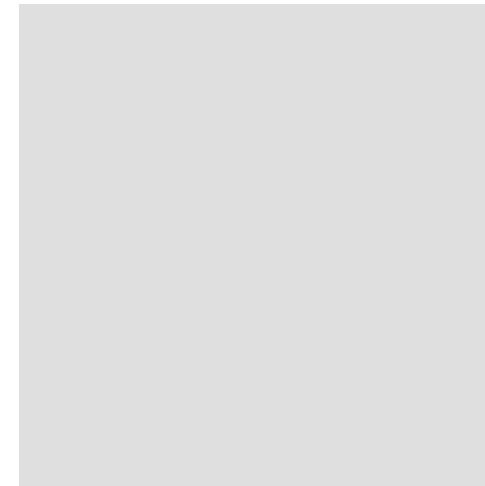
GL2- Glass Balustrade



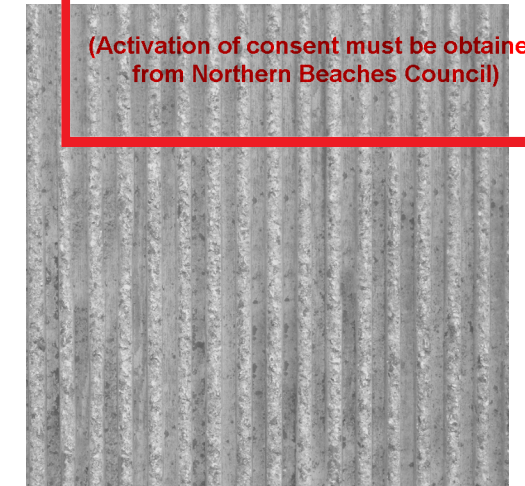
GL1 - Clear Glazing



GLV - Black Metal Louvre



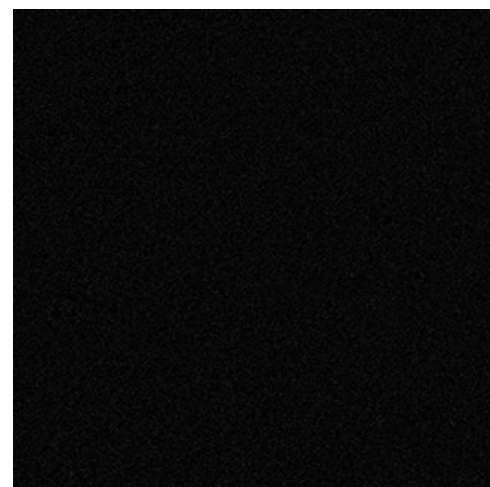
AP1 - Applied Finish - Light Grey



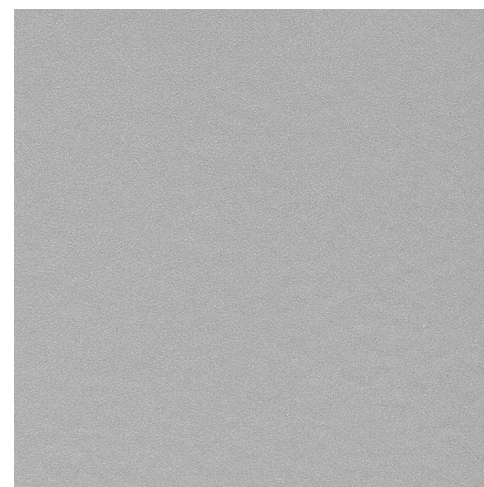
RN2 - Render Finish 2 - Textured (equal to or darker than Colorbond 'Windspray')



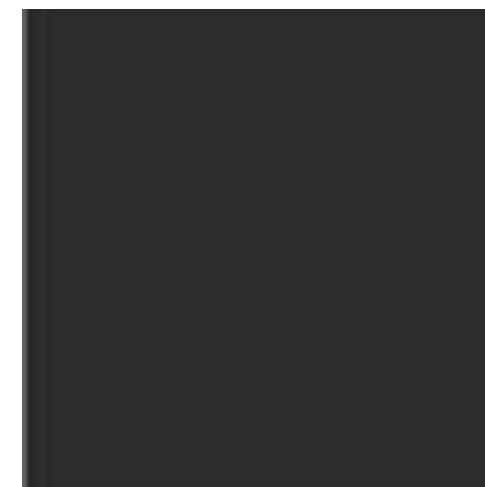
SP- Spandrel Panel - To Match Window Frame



PC1 - Powdercoat Finish 1 - Dark (Window Frames)



PC2 - Powdercoat Finish 2 - Light



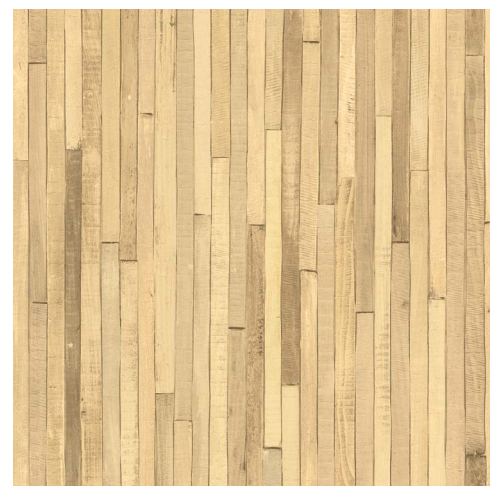
RS1 - Roof Sheet - Colorbond Dark Grey (equal to or darker than Colorbond 'Monument')



TC2 - Aluminium Timber Look Cladding- Dark Tone



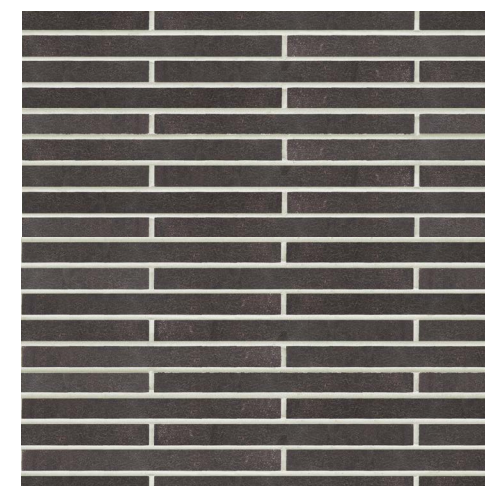
RN1- Render Finish 1 - Mid Tone (equal to or darker than Colorbond 'Windspray')



TC1 - Aluminium Timber Look Cladding - Light Tone



GL3- Glass Balustrade (copper tint)



BR1- Brickwork - Dark Tone



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 DA NUMBER: DA20200579  
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**PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT RANGE	MATURE SPREAD RANGE
[Symbol]	<b>LARGE EVERGREEN TREES</b>			
	Eg. <i>Angophora costata</i> <i>Corymbia maculata</i>	Smooth-barked Apple Spotted Gum	20.0m 20.0m	8-10.0m 8-10.0m
[Symbol]	<b>MEDIUM EVERGREEN TREES</b>			
	Eg. <i>Tristania laurina</i> <i>Backhousia citriodora</i>	Water Gum Lemon Ironwood	8.0m 8.0m	5.0m 4.0-5.0m
[Symbol]	<b>NARROW EVERGREEN TREES</b>			
	Eg. <i>Syzygium australe</i> 'Pinnacle' <i>Hymenosporum flavum</i>	Lilly Pilly Pinnacle Native Frangipani	6.0-8.0m 10.0m	1.5m 4.0m
[Symbol]	<b>CLIPPED EVERGREEN HEDGE</b>			
	Eg. <i>Viburnum odoratissimum</i> 'Awabuki'	Sweet Viburnum	3.0m	Clipped
	<i>Murraya paniculata</i>	Orange Jessamine	2.0m	Clipped
	<i>Buxus sempervirens</i> <i>Mitella figo</i>	English Box Port Wine Magnolia	1.0m 2.0m	Clipped Clipped
[Symbol]	<b>SHRUBS, TUFTED PLANTS &amp; GROUNDCOVERS</b>			
	Eg. <i>Acacia cognata</i> 'Winter Flame'	Wattle 'Winter Flame'	1.0m	1.0m
	<i>Arthropodium cirratum</i> 'Matapouri Bay'	Arthropodium 'Matapouri Bay'	1.0m	1.0m
	<i>Ajuga reptans</i> 'Blueberry Muffin'	Ajuga 'Blueberry Muffin'	Prostrate	0.5m
	<i>Bacopa diffusa</i> 'Yakima Blue'	Bacopa 'Yakima Blue'	Prostrate	0.45m
	<i>Buddleia 'GranRazz'</i>	Buddleia 'GranRazz'	3.0m	4.0m
	<i>Trachelospermum asiaticum</i>	Japanese Star Jasmine	1.5m	1.5m
	<i>Liriope muscari</i>	Turk Lily	0.8m	0.4m
	<i>Viola hederacea</i>	Ivy-leaved Violet	0.2m	0.3m
	<i>Westringia fruticosa</i>	Aussie Box	0.6m	0.6m
	<i>Lomandra longifolia</i> x <i>confertifolia</i>	Lime Tuff	0.5m	0.5m
	<i>Dietses iridioides</i>	Wild Iris	1.0m	1.0m
	<i>Grevillea juniperina</i> 'Prostrate Gold'	Grevillea 'Prostrate Gold'	Prostrate	1.5m
	<i>Crowea 'Coopers Classic'</i>	Crowea 'Coopers Classic'	0.6m	0.6m
	<i>Correa 'dusky bells'</i>	Correa 'dusky bells'	1.0-1.5m	1.0m
<i>Correa 'Adorabell'</i>	Correa 'Adorabell'	1.0m	1.0m	
<i>Clivia miniata</i>	Kaffir Lily	0.4m	0.4m	
<i>Brachycome multifida</i>	Cut leaf Daisy	0.3m	0.5m	
<i>Myoporum parvifolium</i> 'fine leaf'	Creeping Boobialla	Prostrate	1.5-2.0m	
<i>Murraya paniculata</i>	Orange Jessamine	2.0m	Clipped	
[Symbol]	<b>EVERGREEN CLIMBING PLANTS</b>			
Eg. <i>Trachelospermum jasminoides</i>	Chinese Star Jasmine	3.0-5.0m	3.0-5.0m	

**DDA COMPLIANCE**

- ALL WALKWAYS, RAMPS AND STEPS TO BE DESIGNED IN ACCORDANCE WITH AUSTRALIAN STANDARDS, TSG's, HANDRAILS & NON-SLIP NOSINGS TO BE PROVIDED WHERE REQUIRED.
- ALL WALKWAYS (GRADIENTS NO STEEPER THAN 1:20) ARE TO BE ABUTTED BY NGL FOR 600MM.
- WHERE A TURN OF 180° OCCURS ALONG A RAMP THE LANDING SHALL HAVE A DEPTH OF 1540MM (MIN.)

**DRAINAGE GRATES**

SLOTTED OPENINGS SHALL BE NO GREATER THAN 13MM WIDE & ORIENTATED SO THAT THE LONG DIMENSION IS TRAVERSE TO THE DOMINANT DIRECTION OF TRAVEL.

**LEGEND**

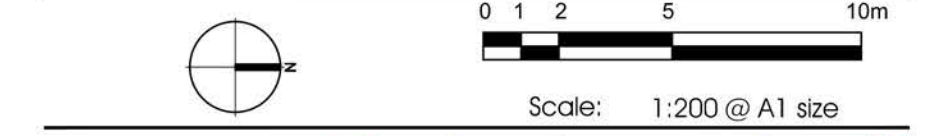
- EXISTING TREE TO BE REMOVED  
THE EXISTING VEGETATION PROPOSED FOR REMOVAL IS NOT ENDEMIC & GENERALLY COMPRISES POOR QUALITY PINE & PALM TREES THAT ARE READILY REPLACEABLE
- SURFACE FINISH TYPE 1 - PERMEABLE PAVING  
EG. MODULAR PAVERS / SOFTFALL MULCH TO PLAY AREA
- SURFACE FINISH TYPE 2  
EG. MODULAR PAVERS WITHIN OPEN SPACE TO MATCH PERMEABLE PAVING / GREY CONCRETE PAVING ELSEWHERE
- SURFACE FINISH TYPE 3  
EG. CONCRETE CRAZY PAVING
- SURFACE FINISH TYPE 4  
EG. PRECAST CONCRETE PAVERS
- SURFACE FINISH TYPE 5  
EG. 75MM COMPACTED APPROVED GRAVEL
- SURFACE FINISH TYPE 6  
EG. EXPOSED AGGREGATE CONCRETE
- SURFACE FINISH TYPE 7  
EG. TIMBER DECKING
- GARDEN BED  
75mm APPROVED MULCH  
150mm APPROVED TOPSOIL  
300mm CULTIVATED SUBGRADE
- RAISED IN SITU PLANTER BOX  
MIN. 75mm APPROVED MULCH BLENDED AND APPROVED SOIL MIX DRAINAGE LAYER. RAISED PLANTERS TO BE PROVIDED FOR ALL GARDEN AREAS ABOVE BASEMENT
- GRASS  
APPROVED GRASS MIX/TURF  
75mm APPROVED TOPSOIL  
300mm CULTIVATED SUBGRADE

Rev	Date	Description
D	27.05.2020	COUNCIL ISSUE
C	15.03.2019	PRELIMINARY FOR REVIEW
B	29.10.2018	COUNCIL ISSUE
A	29.08.2017	Final Issue
-	11.08.2017	Final Issue

KNOWLES GROUP

**23-27 WARRIEWOOD ROAD - WARRIEWOOD**

**LANDSCAPE PLAN - COMPOSITE GROUND, FIRST AND SECOND FLOOR**



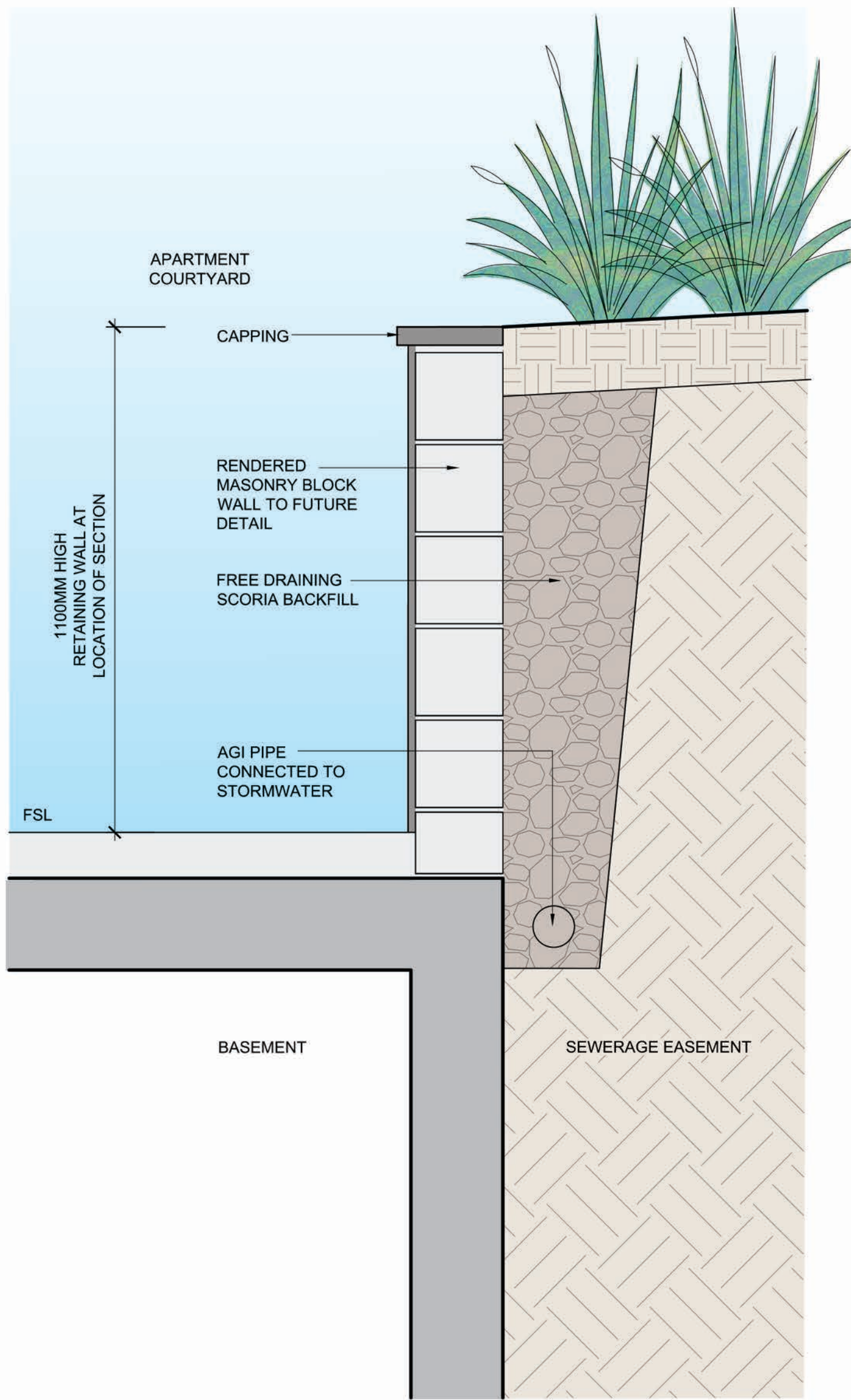
CDA Design Group Pty Ltd  
 Landscape Architecture  
 Urban Design  
 185 Faraday Street  
 Carlton Victoria 3053  
 T 03 9349 5866  
 F 03 9349 5877  
 E office@cddesigngroup.com.au

Project No. 17018  
 Date: JULY 2017  
 Drawn by: EG  
 Checked: TV  
 Drawing No. TP01D

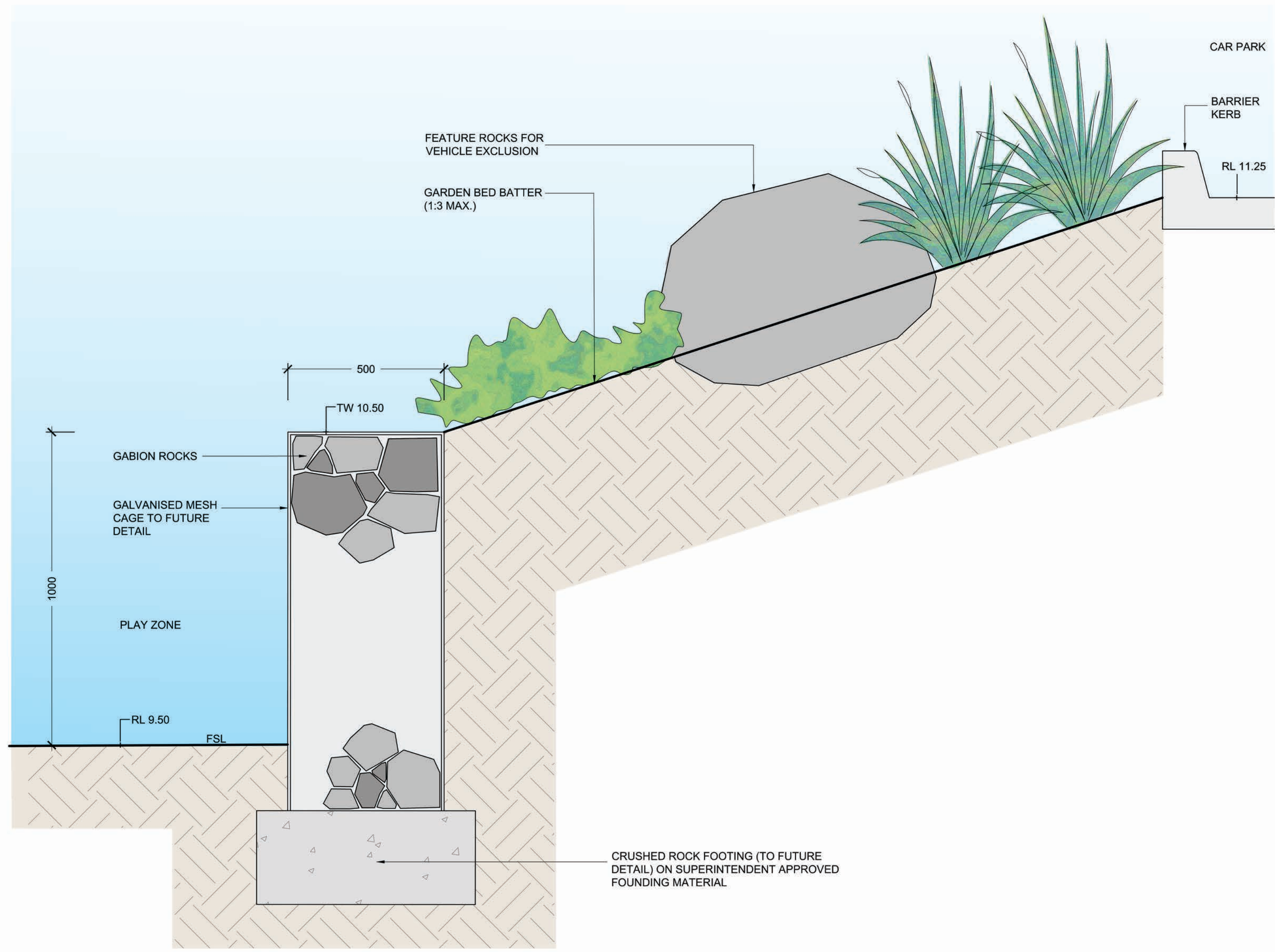


**FOR TOWN PLANNING PURPOSES  
 NOT FOR CONSTRUCTION**

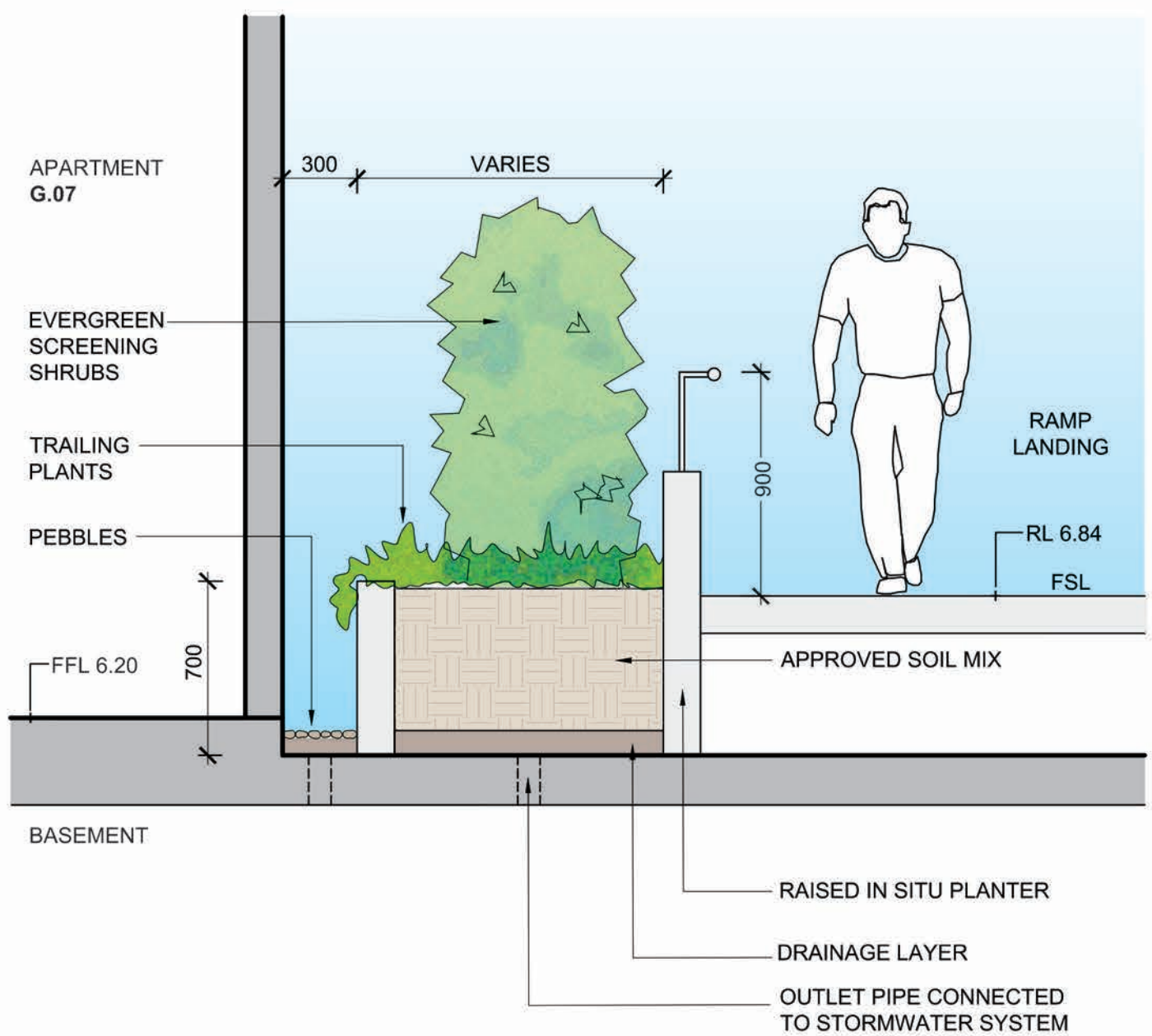




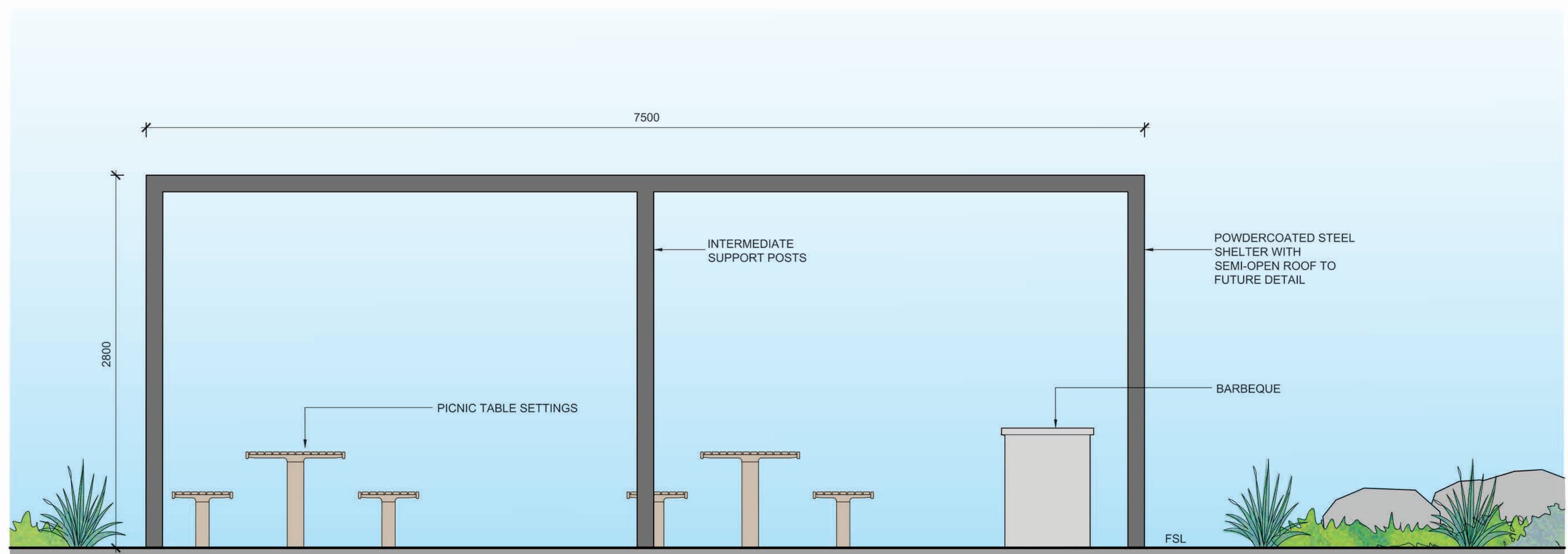
**TYPICAL RETAINING WALL**  
**SECTION A-A**  
 1:10 @ A1



**TYPICAL GABION WALL**  
**SECTION B-B**  
 1:10 @ A1



**CENTRAL EASTERN COURTYARD PLANTER**  
**SECTION C-C**  
 1:25 @ A1



**BBQ SHELTER**  
**ELEVATION D-D**  
 1:25 @ A1

**FOR TOWN PLANNING PURPOSES**  
**NOT FOR CONSTRUCTION**

**PRELIMINARY**

Rev	Date	Description
P1	05.03.2020	PRELIMINARY FOR REVIEW

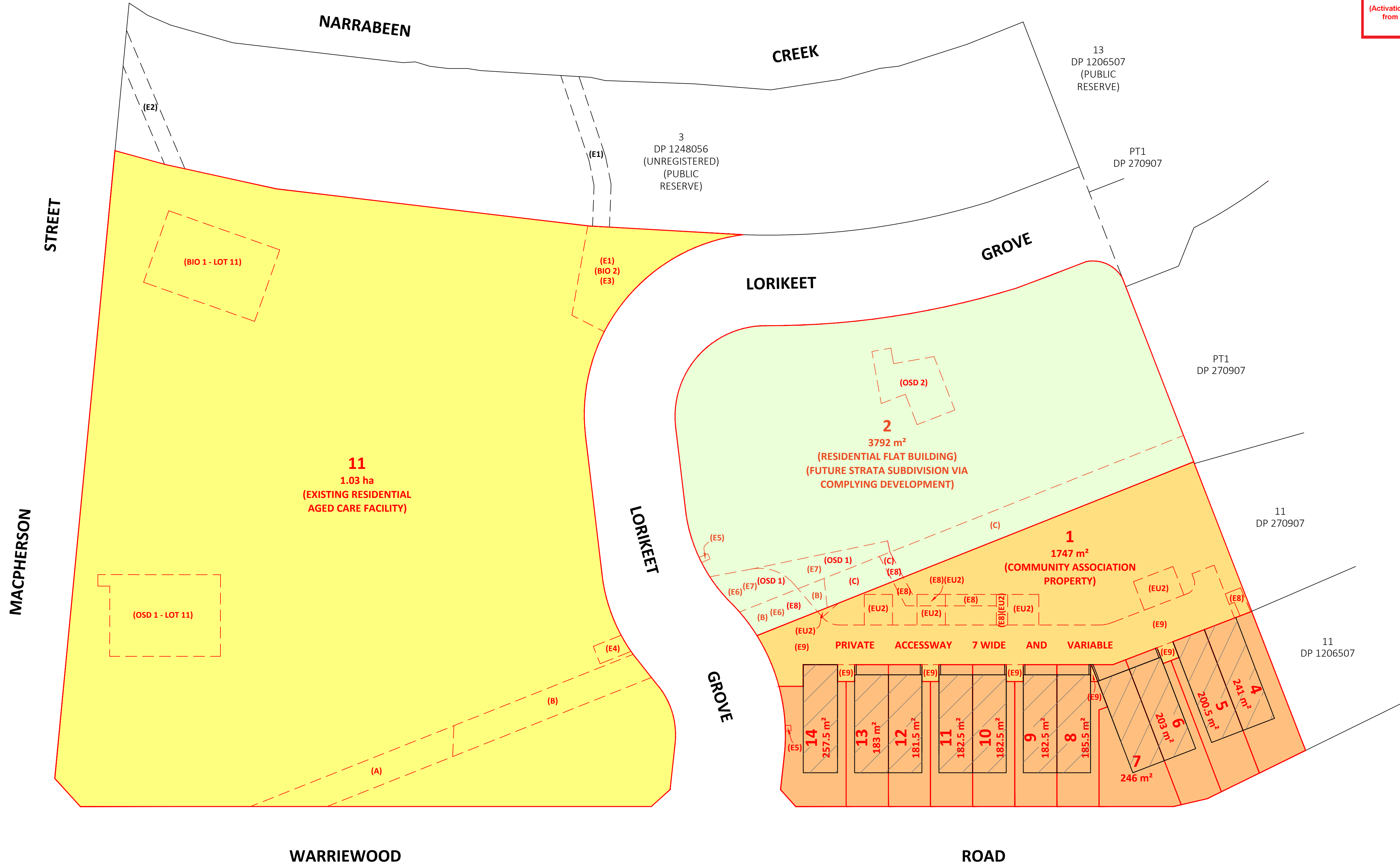
KNOWLES GROUP  
**23-27 WARRIEWOOD ROAD - WARRIEWOOD**  
**LANDSCAPE DETAILS**

Scale: VARIES @ A1 size  
**CDA Design Group Pty Ltd**  
 Landscape Architecture  
 Urban Design  
 185 Faraday Street  
 Carlton Victoria 3053  
 T 03 9349 5866  
 F 03 9349 5877  
 E office@cdaesigngroup.com.au  
 Project No. 17018  
 Date: MARCH 2020  
 Drawn by: ASP  
 Checked: TV  
 Drawing No. TPO2\_P1





northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**  
 DA NUMBER: DA2020/0579  
 (Activation of consent must be obtained from Northern Beaches Council)



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- (E7) - Easement for drainage of water variable width limited in depth to RL 5.0 and limited in height to RL 7.4
- (E8) - Easement for drainage of water 2 wide and variable width
- (E9) - Easement for services and easement for drainage of water 3, 7 wide and variable width
- (EU2) - Exclusive use parking area (Lot 2)
- (BIO 1 - LOT 11) - Positive covenant no.7 and restriction on the use of land no.6 - site of above ground bioretention basin (DP 1248056 - unregistered)
- (BIO 2) - Positive covenant no.9 and restriction on the use of land no.8 - Site of above ground bioretention basin (DP 1248056 - unregistered)
- (OSD 1 - LOT 11) - Positive covenant no.7 and restriction on the use of land no.6 - Site of below ground detention tank (DP 1248056 - unregistered)
- (OSD 1) - Site of below ground detention tank
- (OSD 2) - Site of below ground detention tank



CLIENT	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
KNOWLES GROUP					
	B	15.04.2020		CE	JM
	A	07.04.2020	PROPOSED EASEMENTS UPDATE AS SURVEYED ON SITE	CE	JM


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DATE OF SURVEY	M / A
ORIGIN OF LEVELS	N / A
ORIGIN OF COORDS	N / A
CONTOUR INTERVAL	N . A

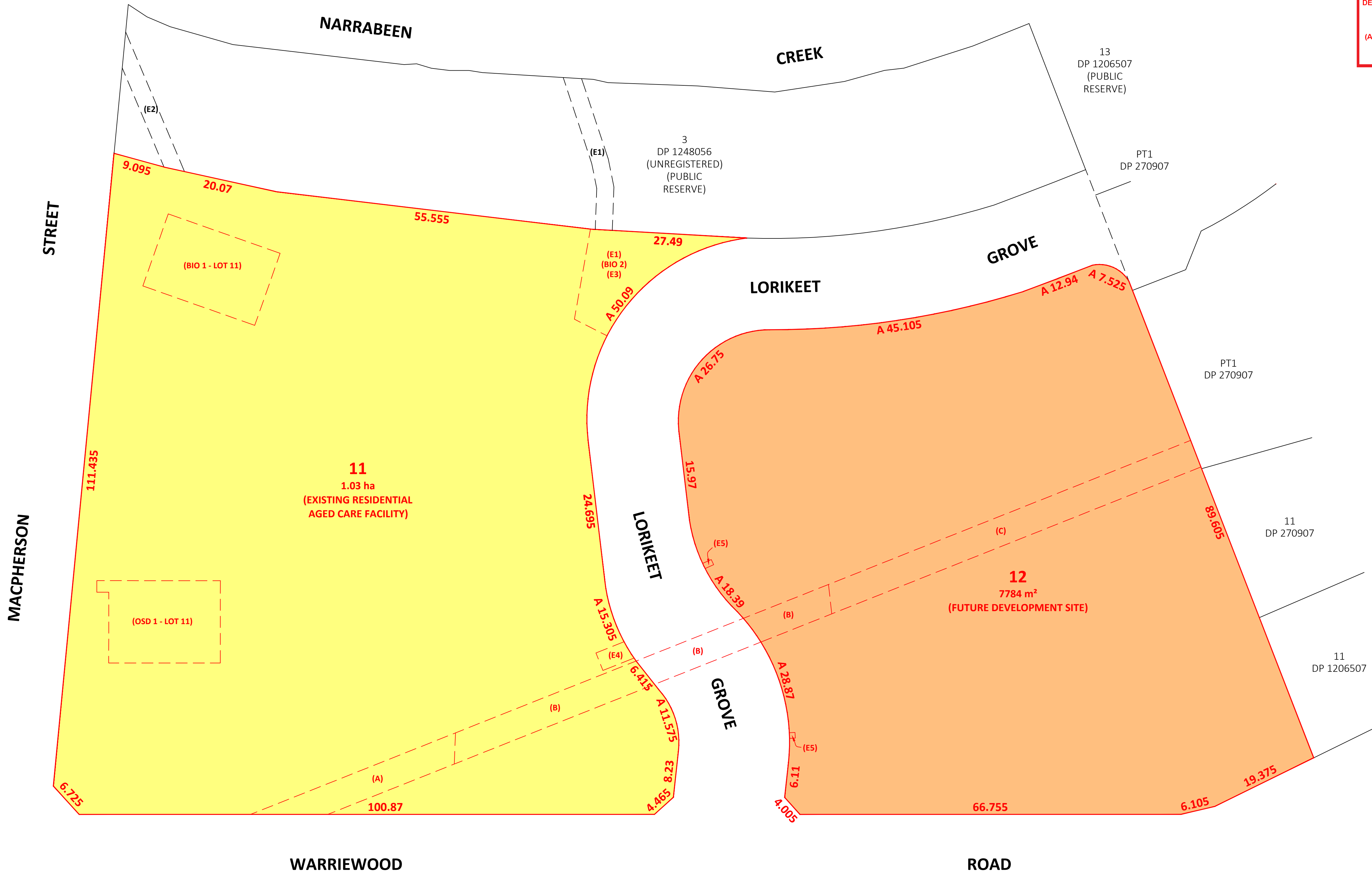
DRAWING TITLE  
**PROPOSED SUBDIVISION PLAN**  
**PROP. SUBDIVISION OF LOT 1 & LOT 2 DP 1248056 (UNREGISTERED)**  
**No. 23-27 WARRIEWOOD ROAD, WARRIEWOOD**

SCALE	1:400 @ A1
REVISION	B
SHEET	1 OF 6
REF	18442_SUB_1B



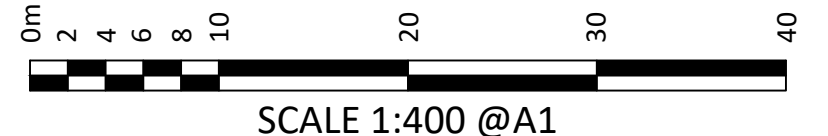
STAGE 2A  
INITIAL FACILITATING SUBDIVISION OF 2 LOTS  
INTO 2 LOTS (NO PHYSICAL WORKS)

**northern beaches council**  
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT  
DA NUMBER: DA20200579  
(Activation of consent must be obtained from Northern Beaches Council)



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CLIENT	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
KNOWLES GROUP					
	B	15.04.2020		CE	JM
	A	07.04.2020	PROPOSED EASEMENTS UPDATE AS SURVEYED ON SITE	CE	JM


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DATE OF SURVEY	M / A
ORIGIN OF LEVELS	N / A
ORIGIN OF COORDS	N / A
CONTOUR INTERVAL	N . A

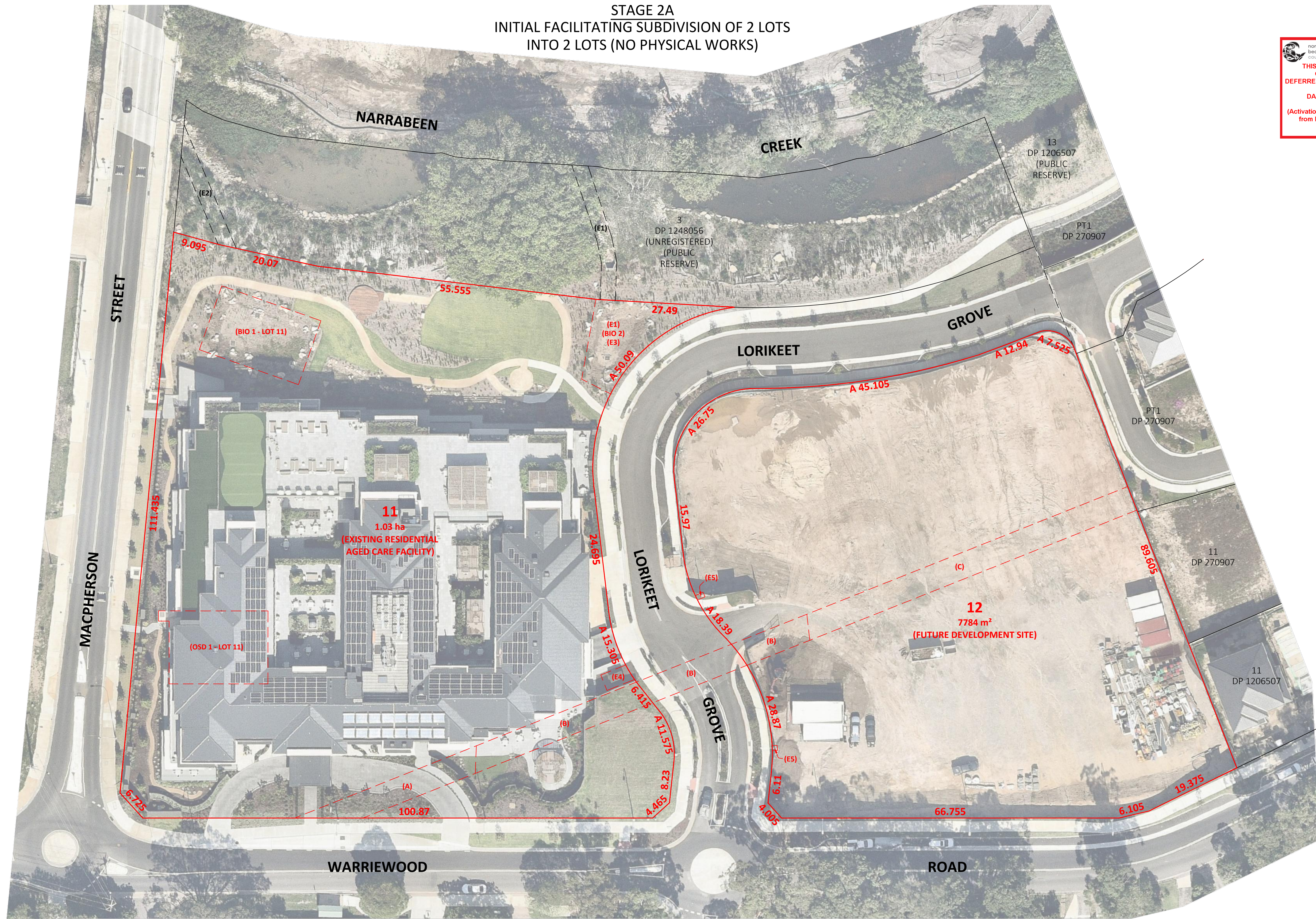
DRAWING TITLE  
**STAGE 2A - FACILITATING SUBDIVISION**  
**PROP. SUBDIVISION OF LOT 1 & LOT 2 DP 1248056 (UNREGISTERED)**  
**No. 23-27 WARRIEWOOD ROAD, WARRIEWOOD**

SCALE	1:400 @ A1
REVISION	B
SHEET	2 OF 6
REF	18442_SUB_1B



STAGE 2A  
INITIAL FACILITATING SUBDIVISION OF 2 LOTS  
INTO 2 LOTS (NO PHYSICAL WORKS)

**northern beaches council**  
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REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
B 15.04.2020	PROPOSED EASEMENTS UPDATE	---	CE	JM
A 07.04.2020	AS SURVEYED ON SITE	---	CE	JM

CLIENT	DATE OF SURVEY	M/A	DRAWING TITLE
<b>KNOWLES GROUP</b>			<b>STAGE 2A - FACILITATING SUBDIVISION</b>
			<b>PROP. SUBDIVISION OF LOT 1 &amp; LOT 2 DP 1248056 (UNREGISTERED)</b>
			<b>No. 23-27 WARRIEWOOD ROAD, WARRIEWOOD</b>

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DATE OF SURVEY	M/A
ORIGIN OF LEVELS	N/A
ORIGIN OF COORDS	N/A
CONTOUR INTERVAL	N/A

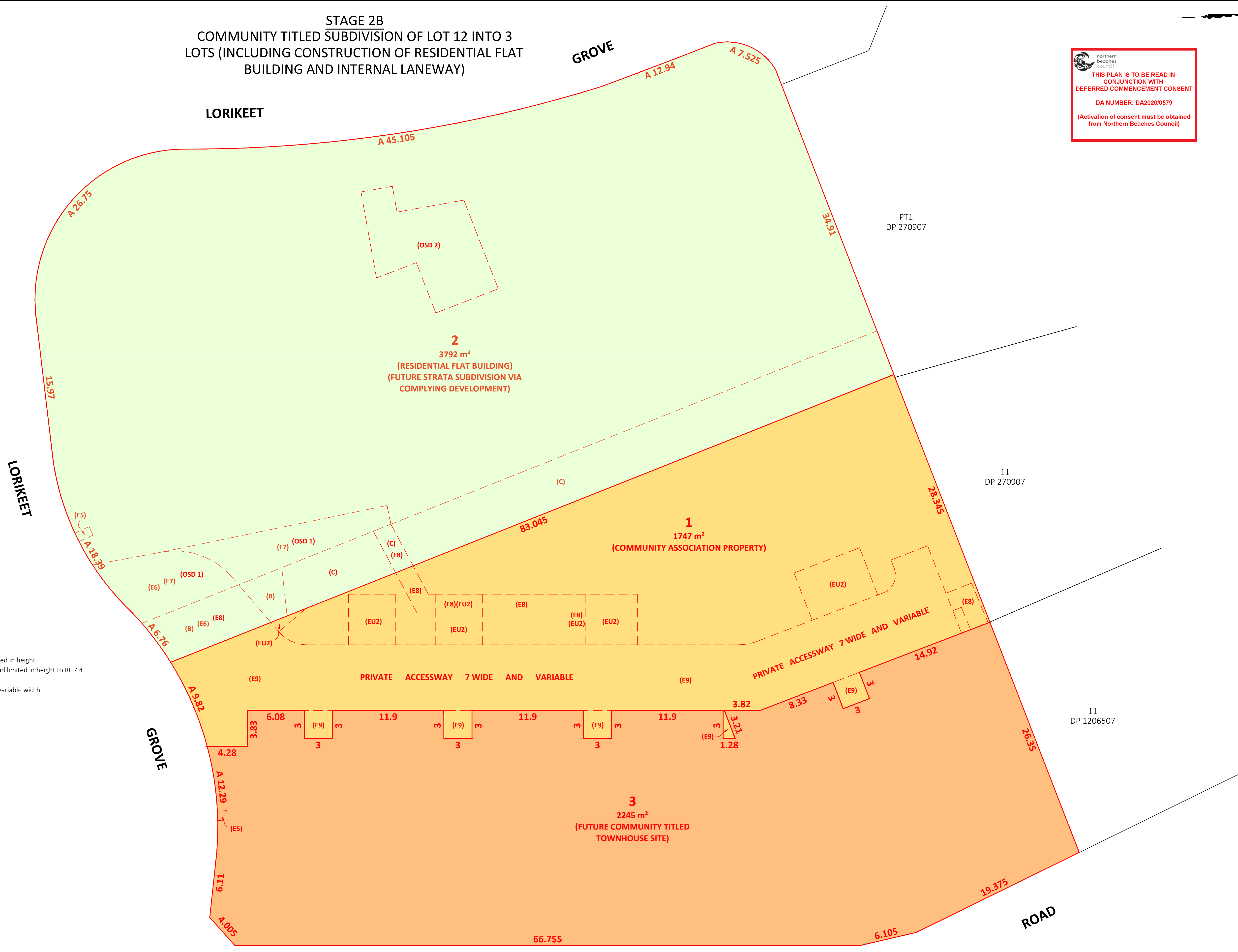
**STAGE 2A - FACILITATING SUBDIVISION**  
**PROP. SUBDIVISION OF LOT 1 & LOT 2 DP 1248056 (UNREGISTERED)**  
**No. 23-27 WARRIEWOOD ROAD, WARRIEWOOD**

SCALE	<b>1:400 @ A1</b>
REVISION	<b>B</b>
SHEET	<b>3 OF 6</b>
REF	<b>18442_SUB_1B</b>



STAGE 2B  
COMMUNITY TITLED SUBDIVISION OF LOT 12 INTO 3  
LOTS (INCLUDING CONSTRUCTION OF RESIDENTIAL FLAT  
BUILDING AND INTERNAL LANEWAY)

northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**  
DA NUMBER: DA2020/0579  
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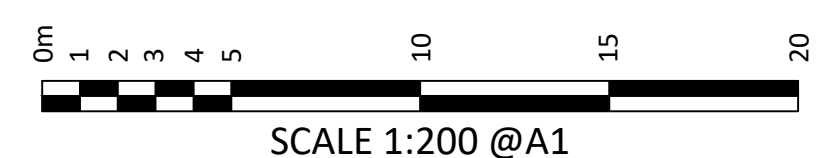


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- (E7) - Easement for drainage of water variable width limited in depth to RL 5.0 and limited in height to RL 7.4
- (E8) - Easement for drainage of water 2 wide and variable width
- (E9) - Easement for services and easement for drainage of water 3, 7 wide and variable width
- (EU2) - Exclusive use parking area (lot 2)
- (OSD 1) - Site of below ground detention tank
- (OSD2) - Site of below ground detention tank

**NOTES**

- Do not scale from this plan.
- This plan shows a proposed subdivision layout for DA purposes and must not be used for any other purpose. The information shown is subject to change following input from the relevant regulatory authorities.
- Proposed areas shown may differ slightly from the area stated on the current Deposited Plan due to advances in technology since the date of registration of this plan. Areas shown on this plan were calculated using CAD software and have a higher degree of accuracy than the area shown on the current Deposited Plan which was calculated without the benefit of modern computers.
- Boundary dimensions and areas have been compiled from the current subject site Deposited Plan. No boundaries have been surveyed or marked. If any work is to be undertaken on or adjacent to a boundary then a Boundary Survey is recommended to define the boundaries of the site.
- All dimensions, areas and easements shown are approximate only and subject to site survey, regulatory approval, final survey and registration of the Plan of Subdivision at LRS NSW.
- This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
- These notes form an integral part of this plan and must not be erased.

WARRIEWOOD



CLIENT	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
KNOWLES GROUP					

B	15.04.2020	PROPOSED EASEMENTS UPDATE		CE	JM
A	07.04.2020	AS SURVEYED ON SITE		CE	JM

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DATE OF SURVEY	M / A
ORIGIN OF LEVELS	N / A
ORIGIN OF COORDS	N / A
CONTOUR INTERVAL	N . A

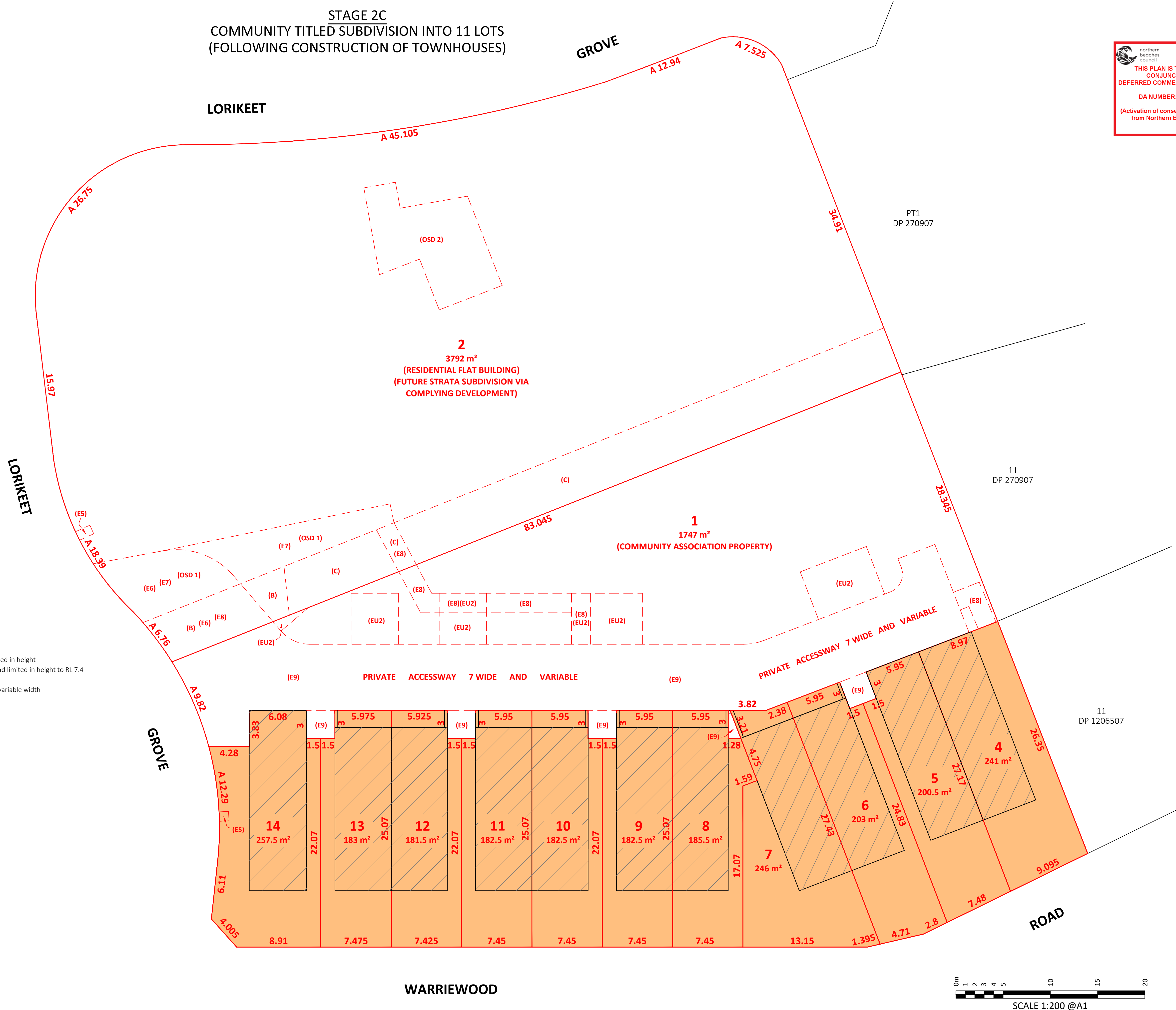
DRAWING TITLE  
**STAGE 2B - COMMUNITY TITLED SUBDIVISION**  
**PROP. SUBDIVISION OF LOT 1 & LOT 2 DP 1248056 (UNREGISTERED)**  
**No. 23-27 WARRIEWOOD ROAD, WARRIEWOOD**

SCALE	1:200 @ A1
REVISION	B
SHEET	4 OF 6
REF	18442_SUB_1B



STAGE 2C  
COMMUNITY TITLED SUBDIVISION INTO 11 LOTS  
(FOLLOWING CONSTRUCTION OF TOWNHOUSES)

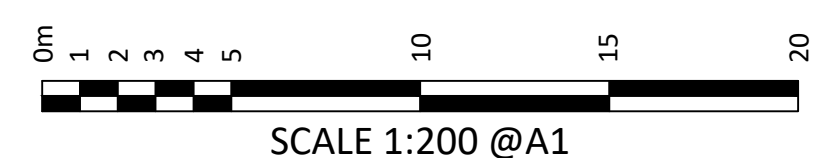
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**  
DA NUMBER: DA2020/0579  
(Activation of consent must be obtained from Northern Beaches Council)



- (B) - Easement for sewer 5 wide (U119261)
- (C) - Easement for sewerage purposes 5 wide (6390839)
- (E5) - Easement for services 1 wide (DP 1248056 - unregistered)
- (E6) - Right of carriageway variable width limited in depth to RL 7.4m and unlimited in height
- (E7) - Easement for drainage of water variable width limited in depth to RL 5.0 and limited in height to RL 7.4
- (E8) - Easement for drainage of water 2 wide and variable width
- (E9) - Easement for services and easement for drainage of water 3, 7 wide and variable width
- (EU2) - Exclusive use parking area (lot 2)
- (OSD 1) - Site of below ground detention tank
- (OSD2) - Site of below ground detention tank

**NOTES**

- Do not scale from this plan.
- This plan shows a proposed subdivision layout for DA purposes and must not be used for any other purpose. The information shown is subject to change following input from the relevant regulatory authorities.
- Proposed areas shown may differ slightly from the area stated on the current Deposited Plan due to advances in technology since the date of registration of this plan. Areas shown on this plan were calculated using CAD software and have a higher degree of accuracy than the area shown on the current Deposited Plan which was calculated without the benefit of modern computers.
- Boundary dimensions and areas have been compiled from the current subject site Deposited Plan. No boundaries have been surveyed or marked. If any work is to be undertaken on or adjacent to a boundary then a Boundary Survey is recommended to define the boundaries of the site.
- All dimensions, areas and easements shown are approximate only and subject to site survey, regulatory approval, final survey and registration of the Plan of Subdivision at LRS NSW.
- This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
- These notes form an integral part of this plan and must not be erased.



CLIENT	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
KNOWLES GROUP					


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DATE OF SURVEY	M / A
ORIGIN OF LEVELS	N / A
ORIGIN OF COORDS	N / A
CONTOUR INTERVAL	N . A

DRAWING TITLE  
**STAGE 2C - COMMUNITY TITLED SUBDIVISION**  
**PROP. SUBDIVISION OF LOT 1 & LOT 2 DP 1248056 (UNREGISTERED)**  
**No. 23-27 WARRIEWOOD ROAD, WARRIEWOOD**

SCALE	1:200 @ A1
REVISION	B
SHEET	5 OF 6
REF	18442_SUB_1B



**NOTES**

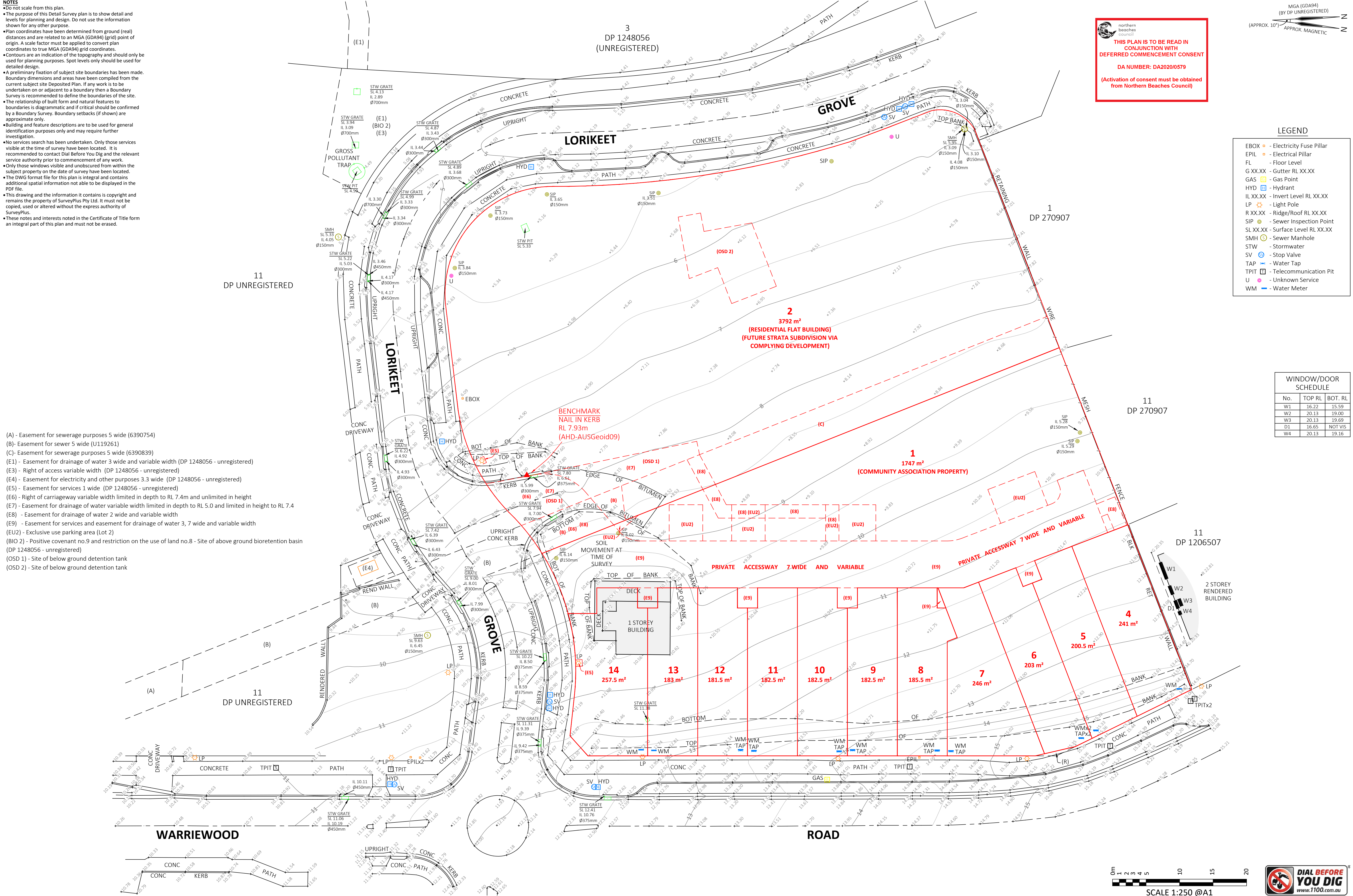
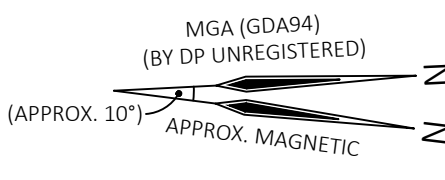
- Do not scale from this plan.
- The purpose of this Detail Survey plan is to show detail and levels for planning and design. Do not use the information shown for any other purpose.
- Plan coordinates have been determined from ground (real) distances and are related to an MGA (GDA94) (grid) point of origin. A scale factor must be applied to convert plan coordinates to true MGA (GDA94) grid coordinates.
- Contours are an indication of the topography and should only be used for planning purposes. Spot levels only should be used for detailed design.
- A preliminary fixation of subject site boundaries has been made. Boundary dimensions and areas have been compiled from the current subject site Deposited Plan. If any work is to be undertaken on or adjacent to a boundary then a Boundary Survey is recommended to define the boundaries of the site.
- The relationship of built form and natural features to boundaries is diagrammatic and if critical should be confirmed by a Boundary Survey. Boundary setbacks (if shown) are approximate only.
- Building and feature descriptions are to be used for general identification purposes only and may require further investigation.
- No services search has been undertaken. Only those services visible at the time of survey have been located. It is recommended to contact Dial Before You Dig and the relevant service authority prior to commencement of any work.
- Only those windows visible and unobscured from within the subject property on the date of survey have been located.
- The DWG format file for this plan is integral and contains additional spatial information not able to be displayed in the PDF file.
- This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
- These notes and interests noted in the Certificate of Title form an integral part of this plan and must not be erased.

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**

**DA NUMBER: DA20200579**

**(Activation of consent must be obtained from Northern Beaches Council)**



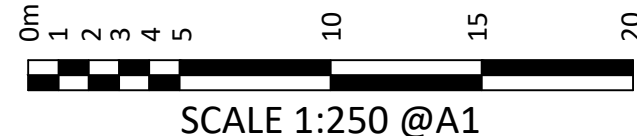
- (A) - Easement for sewerage purposes 5 wide (6390754)
- (B) - Easement for sewer 5 wide (U119261)
- (C) - Easement for sewerage purposes 5 wide (6390839)
- (E1) - Easement for drainage of water 3 wide and variable width (DP 1248056 - unregistered)
- (E3) - Right of access variable width (DP 1248056 - unregistered)
- (E4) - Easement for electricity and other purposes 3.3 wide (DP 1248056 - unregistered)
- (E5) - Easement for services 1 wide (DP 1248056 - unregistered)
- (E6) - Right of carriageway variable width limited in depth to RL 7.4m and unlimited in height
- (E7) - Easement for drainage of water variable width limited in depth to RL 5.0 and limited in height to RL 7.4
- (E8) - Easement for drainage of water 2 wide and variable width
- (E9) - Easement for services and easement for drainage of water 3, 7 wide and variable width
- (EU2) - Exclusive use parking area (Lot 2)
- (BIO 2) - Positive covenant no.9 and restriction on the use of land no.8 - Site of above ground bioretention basin (DP 1248056 - unregistered)
- (OSD 1) - Site of below ground detention tank
- (OSD 2) - Site of below ground detention tank

**LEGEND**

- EBOX - Electricity Fuse Pillar
- EPIL - Electrical Pillar
- FL - Floor Level
- G XX.XX - Gutter RL XX.XX
- GAS - Gas Point
- HYD - Hydrant
- IL XX.XX - Invert Level RL XX.XX
- LP - Light Pole
- R XX.XX - Ridge/Roof RL XX.XX
- SIP - Sewer Inspection Point
- SL XX.XX - Surface Level RL XX.XX
- SMH - Sewer Manhole
- STW - Stormwater
- SV - Stop Valve
- TAP - Water Tap
- TPIT - Telecommunication Pit
- U - Unknown Service
- WM - Water Meter

**WINDOW/DOOR SCHEDULE**

No.	TOP RL	BOT. RL
W1	16.22	15.59
W2	20.13	19.00
W3	20.13	19.69
D1	16.65	NOT VIS
W4	20.13	19.16



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REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
B 15.04.2020	PROPOSED EASEMENTS UPDATE		CE	JM
A 07.04.2020	INITIAL ISSUE	DB	CE	MG / JM

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DATE OF SURVEY	23.01.2019
ORIGIN OF LEVELS	SSM 24645 RL 12.360 (AHD-AUSGeoid09)
ORIGIN OF COORDS	SSM 24645 (MGA-GDA94)
CONTOUR INTERVAL	0.5m

**DETAIL SURVEY PLAN**

**PROP. SUBDIVISION OF LOT 1 & LOT 2 DP 1248056 (UNREGISTERED)**

**No. 23-27 WARRIWOOD ROAD, WARRIWOOD**

SCALE	1:250 @ A1
REVISION	B
SHEET	6 OF 6
REF	18442_SUB_1B



DRAWING REGISTER			
SHEET No.	No.	TITLE	REV
1	SW100	COVER SHEET	D
2	SW101	STORMWATER DRAINAGE DESIGN - SPECIFICATION SHEET	D
3	SW200	STORMWATER DRAINAGE DESIGN - BASEMENT PLAN	D
4	SW201	STORMWATER DRAINAGE DESIGN - GROUND FLOOR PLAN	D
5	SW202	STORMWATER DRAINAGE DESIGN - LEVEL 1 PLAN	D
6	SW203	STORMWATER DRAINAGE DESIGN - LEVEL 2 PLAN	D
7	SW204	STORMWATER DRAINAGE DESIGN - ROOF PLAN	D
8	SW300	STORMWATER DRAINAGE DESIGN - DETAILS SHEET - SHEET 1 OF 2	D
9	SW301	STORMWATER DRAINAGE DESIGN - DETAILS SHEET - SHEET 2 OF 2	D
10	SW400	EROSION AND SEDIMENT CONTROL - PLAN & DETAILS	D
11	SW500	STORMWATER DRAINAGE DESIGN - MUSIC CATCHMENT PLAN	D

### GENERAL

- G1 ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS, BUILDING CODE OF AUSTRALIA, NSW CODE OF PRACTICE AND THE TO THE RELEVANT SERVICE CODES.
- G2 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G3 ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE IN MILLIMETERS (U.N.O.). DIMENSIONS SHALL NOT BE OBTAINED BY SCALING OF THESE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
- G4 BENCHMARKS HAVE BEEN ESTABLISHED WHERE INDICATED ON THE DRAWINGS. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (A.H.D.), THE CONTRACTOR SHALL UNDERTAKE ALL NECESSARY SURVEY WORK TO ENSURE THAT THE WORKS ARE CONSTRUCTED TO DESIGN LINE AND LEVEL.
- G5 SETTING OUT DIMENSIONS AND LEVELS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR.
- G6 ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT SZZ CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES.
- G7 IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SAFETY FENCES, WARNING SIGNS, TRAFFIC DIVERSIONS AND THE LIKE DURING CONSTRUCTION. ALL WORKS TO COMPLY WITH WORK HEALTH AND SAFETY REQUIREMENTS AND OTHER RELEVANT AUTHORITY SAFETY REQUIREMENTS.
- G8 NO TREES SHALL BE REMOVED, CUTBACK OR RELOCATED WITHOUT THE WRITTEN INSTRUCTION FROM THE SUPERINTENDENT.
- G9 WHERE NEW WORKS ABOUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- G10 ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS AND THESE SPECIFICATIONS.
- G11 DESIGN LEVELS GIVEN ARE TO FINISHED SURFACE LEVEL AND INCLUSIVE OF TOPSOIL. (TOPSOIL DEPTH VARIES)
- G12 THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A N.A.T.A. REGISTERED SURVEYOR.
- G13 CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOMMUNICATIONS OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- G14 THE LOCATIONS OF UNDERGROUND SERVICES SHOWN ON THE DRAWING HAVE BEEN PLOTTED FROM DIAGRAMS PROVIDED BY SERVICE AUTHORITIES. THIS INFORMATION HAS BEEN PREPARED SOLELY FOR THE AUTHORITIES OWN USE AND MAY NOT NECESSARILY BE UPDATED OR ACCURATE.
- G15 THE POSITION OF SERVICES AS RECORDED BY THE AUTHORITY AT THE TIME OF INSTALLATION MAY NOT REFLECT CHANGES IN THE PHYSICAL ENVIRONMENT SUBSEQUENT TO INSTALLATION.
- G16 S&G CONSULTANTS DOES NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THE DRAWING SHOWS MORE THAN THE PRESENCE OR ABSENCE OF SERVICES, AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.
- G17 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FROM THE UTILITY SERVICES AUTHORITIES A CURRENT COPY OF UNDERGROUND SERVICES SEARCH FOR THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY WORK AND NOTIFY ANY CONFLICT WITH THE DRAWINGS IMMEDIATELY. CLEARANCE SHALL BE OBTAINED FROM THE RELEVANT REGULATORY AUTHORITY. CONTRACTOR TO KEEP COPY OF UNDERGROUND SERVICES SEARCH ON SITE AT ALL TIMES. ANY DAMAGES TO SERVICES OR SERVICES ADJUSTMENTS SHALL BE CARRIED OUT BY THE CONTRACTOR OR RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE.
- G18 VISIT THE SITE BEFORE SUBMITTING THE FINAL TENDER PRICE TO ASSESS 'ON SITE' CONDITIONS. FAILURE TO DO SO WILL FORFEIT ANY CLAIM FOR NOT BEING AWARE OF CONDITIONS AFFECTING THE TENDER.
- G19 THE CONTRACTOR SHALL PREPARE ACCURATE WORK-AS-EXECUTED DRAWINGS FOLLOWING THE COMPLETION OF ALL WORKS.
- G20 IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE IN PLACE & MAINTAIN TRAFFIC FACILITIES AT ALL TIMES DURING CONSTRUCTION.
- G21 CONTRACTOR TO PROVIDE WORKSHOP COORDINATED DRAWINGS PRIOR TO COMMENCING WORKS ON SITE. WORKSHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGN ENGINEER.

### STORMWATER

- S1 ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE AS3500.3-2003:STORMWATER DRAINAGE.
- S2 FOR STORMWATER DRAINAGE PIPES THAT EXCEED 15 GRADE, REINFORCED CONCRETE ANCHOR BLOCKS SHALL BE INSTALLED. ANCHOR BLOCKS TO BE CONSTRUCTED TO SPECIFICATIONS SET OUT IN AS3500.3-2018 SECTION 8.10
- S3 EXISTING SERVICES SHOWN IN APPROXIMATE LOCATIONS ONLY. CONFIRM EXACT LOCATIONS ON SITE PRIOR TO COMMENCING WORK.
- S4 COORDINATE THE INSTALLATION OF NEW SERVICES WITH ALL NEW & EXISTING SERVICES & STRUCTURAL PROVISIONS AS DETERMINED ON SITE.
- S5 ALL PIPEWORK TO BE SUPPORTED IN ACCORDANCE WITH AS3500.3-2018.
- S6 ALL PIPEWORK IS TO BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS AS SET DOWN IN AS3500.3-2003. ALL IN-GROUND PIPEWORK TO BE INSPECTED BY THE SUPERINTENDENT UNDER TEST CONDITIONS PRIOR TO BACKFILLING. BACKFILLING AND BEDDING TO AS3500.3-2018.
- S7 PIPES SHALL BE TRUE TO GRADES SHOWN AND ALIGNED SO THAT THE CENTRE OF THE INLET PIPE INTERSECTS WITH THE CENTRE OF THE OUTLET PIPE AT THE DOWNSTREAM FACE OF THE PIT.
- S8 BED ALL PIPES FIRMLY AND EVENLY WITH IMPORTED FILL ONLY. THICKNESS OF BEDDING LAYER SHALL BE 75mm IN SOIL AND 200mm IN ROCK.
- S9 LAY AND JOINT ALL PIPES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND AS3725-2007:DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES'.
- S10 ALLOW TO TEST ALL PIPES AND PITS TO LOCAL AUTHORITY'S REQUIREMENTS.
- S11 EXCAVATE TRENCHES AND STOCKPILE ALL MATERIAL FOR INSPECTION WITH REGARD TO REUSE FOR TRENCH BACKFILL. REMAINING MATERIAL TO BE REMOVED FROM SITE.
- S12 BACKFILL PIPES WITH IMPORTED FILL. PROVIDE 200mm SIDE SUPPORT AND 150mm OVERLAY ABOVE PIPE CROWN. TRENCH FILL ABOVE THE EMBEDMENT ZONE TO THE UNDERSIDE OF THE ROAD PAVEMENT OR THE FOOTWAY SHALL BE AS FOLLO:-  
  
UNDER ROADWAY  
TRENCH FILL MATERIAL SHALL CONSIST OF IMPORTED FILL AS SPECIFIED HEREIN OF EITHER HIGH GRADE COMPACTION SAND OR APPROVED CRUSHED ROAD GRAVEL CONFORMING TO RMS QA SPECIFICATION 3051 OR SIMILAR.  
  
OTHER THAN ROADWAY  
TRENCH MATERIAL EXCAVATED SHALL CONSIST OF SELECT FILL AS SPECIFIED HEREIN AND SHALL NOT CONTAIN MORE THAN 20% OF STONES OF SIZE BETWEEN 25mm AND 75mm AND NONE LARGER THAN 75mm. PRIOR TO USE OF THE EXCAVATED MATERIAL IT SHALL BE INSPECTED AND APPROVED BY THE ENGINEER.
- S13 COMPACT BEDDING. EMBEDMENT AND TRENCH FILL MATERIALS AS FOLLO:-  
**EMBEDMENT-**  
FOR GRANULAR FILL MATERIAL (NON-COHESIVE SOIL) e.g. COARSE AGGREGATE FILL, THE DENSITY INDEX (ID) SHALL BE NOT LESS THAN 70%.  
**TRENCH FILL-**  
FOR GRANULAR MATERIAL (NON COHESIVE SOILS). THE DENSITY INDEX (ID) SHALL BE NOT LESS THAN 70%. FOR NON-GRANULAR FILL MATERIAL (COHESIVE SOILS), THE DRY DENSITY RATIO (RD) SHALL BE NOT LESS THAN 95%.
- S14 EXISTING SERVICES  
UTILITY INFORMATION SHOWN ON THE PLANS IS NOT INTENDED TO DEPICT MORE THAN THE PRESENCE OF ANY SERVICES. ACTUAL LOCATIONS SHOULD BE VERIFIED BY HAND EXCAVATION PRIOR TO CONSTRUCTION.
- S15 THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL (IF REQUIRED) OF ALL EXISTING SERVICES IN AREAS AFFECTED BY THE WORKS.
- S16 THE CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED AT ALL TIMES. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING WHERE REQUIRED. ONCE THE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
- S17 DRAINAGE PIPES  
EXISTING PIPES WHICH FORM NO PART OF THE DRAINAGE SYSTEM SHALL BE REMOVED OR SEALED AS INDICATED ON THE PLANS. PIPES UP TO 300mm DIAMETER SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS (U.N.O.). ALL PIPE JUNCTIONS AND TAPERS SHALL BE VIA PURPOSE MADE FITTINGS.
- S18 WHERE DOWNPIPES PASS UNDER FLOOR SLABS, SEWER GRADE uPVC WITH RUBBER RING JOINTS ARE TO BE USED.
- S19 MINIMUM GRADE TO DRAINAGE PIPES TO BE 1% (U.N.O.), MIN. SIZE 100mm DIAMETER (U.N.O.).
- S20 PIPES LARGER THAN OR EQUAL TO 300mm DIAMETER TO BE REINFORCED CONCRETE RUBBER RING JOINTED TYPE (CLASS 2) MANUFACTURED TO AS4058 (U.N.O.).
- S21 PIPE INSTALLATION UNDER TRAFFICABLE AREAS SHALL BE IN ACCORDANCE WITH CONCRETE PIPE ASSOCIATION OF AUSTRALIA PUBLICATION "CONCRETE PIPE SELECTION & INSTALLATION" TYPE H33 SUPPORT.
- S22 EQUIVALENT STRENGTH FRC PIPES MAY BE USED SUBJECT TO AUTHORITY APPROVAL.
- S23 MINIMUM PIPE COVER TO BE 600mm UNDER TRAFFICABLE AREAS AND 300mm ELSEWHERE (U.N.O.).

### EROSION CONTROL (CONTINUED)

- E24 CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
- E25 PROVIDE CLEANING EYES TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS.
- E26 STORMWATER DRAINAGE CONNECTIONS TO COUNCIL'S SYSTEM SHALL BE TO THE REQUIREMENTS AND THE SATISFACTION OF LOCAL COUNCIL.
- E27 DRAINAGE PITS  
PITS DEEPER THAN 1200mm TO BE FITTED WITH STEP IRONS AT 300 CENTRES TO AS1657-2013:FIXED PLATFORMS, WALKWAYS, STARWAYS AND LADDERS - DESIGN, CONSTRUCTION AND INSTALLATION.
- E28 ALL EXPOSED EDGES TO BE ROUNDED WITH 20mm RADIUS, OR CHAMFERED 20mm x 20mm.
- E29 PIT REINFORCEMENT - MESH S/L2 LAP TO BE 400mm MIN. CLEAR COVER 40 MIN. CAST AGAINST BLINDING OR FORMWORK. CORNER RETURNS MAY BE FABRIC OR EQUIVALENT BARS.
- E30 BENCHING TO BE HALF OUTGOING PIPE DEPTH. CONCRETE FOR BENCHING TO BE 20MPa MASS CONCRETE.
- E31 APPROVED PRECAST PITS MAY BE USED.
- E32 100mm DIAMETER HOLE FOR SUBSOIL DRAINAGE OUTLET TO BE LOCATED 100mm ABOVE INVERT OF ALL INLET PIPES. SUBSOIL DRAINAGE TO EXTEND FOR A DISTANCE OF 3m UPSTREAM OF PIT (AT EACH INLET TRENCH) WITH THE UPSTREAM END SEALED.
- E33 ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
- E34 PIT GRATE, FRAMES AND SOLID COVERS SHALL BE CLASS B IN NON TRAFFIC AREAS AND CLASS D IN TRAFFICABLE AREAS IN ACCORDANCE WITH AS3996.
- E35 ALL GRATES SHALL BE PROVIDED WITH A LOCKING CLIP.
- E36 MAXIMUM FRONT ENTRY PIPE:-  
STRAIGHT ENTRY - Ø750  
SKEW ENTRY 45° - Ø525
- E37 PIT GRATING TO BE GALVANISED STEEL TYPE 'WELDLOK' OR APPROVED EQUIVALENT.
- E38 SUBSOIL DRAINAGE  
SUBSOIL PIPES SHALL BE LAID AT A MIN GRADE OF 0.5% (U.N.O.).
- E39 ADDITIONAL SUBSOIL DRAINAGE SHALL BE LAID TO SUIT SITE CONDITIONS AND GROUNDWATER PRESENCE AS DIRECTED.
- E40 SUBSOIL PIPES SHALL BE LAID BEHIND KERBS IN CUT AREAS OF THE SITE.
- E41 SUBSOIL DRAINAGE SHALL CONSIST OF A SLOTTED 100mm DIAMETER PLASTIC PIPE WRAPPED IN GEOTEXTILE AND PLACED A MINIMUM OF 600mm BELOW THE SUBGRADE LEVEL AND COVERED WITH 500mm OF 20mm GRAVEL. PROVIDE A MINIMUM OF 150mm GRAVEL AROUND SUBSOIL PIPE. TRENCH TO BE LINED WITH GEOTEXTILE FABRIC TYPE BDM A24
- E42 GRATES TO PITS IN FOOTPATH AREAS SHALL BE HEEL SAFE COMPLYING WITH THE DISABLED ACCESS CODE
- E43 CONTRACTOR TO PROVIDE WORKSHOP COORDINATED DRAWINGS PRIOR TO COMMENCING WORKS ON SITE. WORKSHOP DRAWINGS TO BE REVIEWED AND APPROVED BY DESIGN ENGINEER.
- E44 ALL EXTERNAL AREA TO HAVE A MINIMUM 1% FALL TO OUTLETS PROVIDED.
- E45 PROVIDE OVERFLOWS TO ALL AREAS TO ARCHITECT'S SPECIFICATIONS.
- E46 ALL RAINWATER OUTLETS TO OPEN AREAS SHALL BE SPS TRUFO TYPE TIA100P UNLESS NOTED OTHERWISE. DO NOT INSTALL BALCONY OUTLETS OR SIMILAR IN AREAS SUBJECT TO DIRECT RAINFALL.

### SITWORKS LEGEND

EROSION CONTROL (CONTINUED)

EC10 CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

EC11 TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS SO THE DISCHARGE WATER QUALITY TO COUNCIL STORMWATER DRAINAGE SYSTEM HAS A MAXIMUM CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 50 MILLIGRAMS PER LITRE IN ACCORDANCE WITH THE PROTECTION OF THE ENVIRONMENT OPERATION ACT (POEO 1997) AND SHALL BE APPROVED BY LOCAL COUNCIL

EC12 ADOPT TEMPORARY MEASURES AS MAY BE NECESSARY FOR EROSION & SEDIMENT CONTROL, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:-  
- DRAINS: TEMPORARY DRAINS AND CATCH DRAINS.  
- SPREADER BANKS OR OTHER STRUCTURES: TO DISPERSE CONCENTRATED RUNOFF.  
- SILT TRAPS: CONSTRUCTION AND MAINTENANCE OF SILT TRAPS TO PREVENT DISCHARGE OF SCOURED MATERIAL TO DOWNSTREAM AREAS.

EC13 AFTER RAIN, INSPECT, CLEAN, AND REPAIR IF REQUIRED, TEMPORARY EROSION & SEDIMENT CONTROL MEASURES.

EC14 REMOVE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES WHEN THEY ARE NO LONGER REQUIRED.

EC15 COMPLY WITH THE REQUIREMENTS OF LANDCOM'S MANAGING URBAN STORMWATER - SOIL AND CONSTRUCTION 'THE BLUE BOOK' LATEST EDITION

EC16 THE EROSION & SEDIMENT CONTROL PLAN PROVIDED IS ONLY INDICATIVE. THE CONTRACTOR SHOULD PREPARE A DETAILED ESCP SUITABLE FOR THE SPECIFIC SITE CONDITIONS

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THE TRADE MARK OF THE ASSOCIATION OF DIAL BEFORE YOU DIG SERVICES LTD. USED UNDER LICENSE.

**ABBREVIATIONS:**  
 Ø or DIA DIAMETER  
 CO CLEAR OUT  
 DDO DISH DRAIN OUTLET  
 DP DOWNPIPE  
 e EXISTING  
 FFL FINISHED FLOOR LEVEL  
 GTO GRATED TRENCH DRAIN  
 GSP GRATED SURFACE INLET PIT  
 IL INVERT LEVEL  
 KIP KERB INLET PIT  
 NGL NATURAL GROUND LEVEL  
 ODP OVERLAND FLOWPATH  
 OSD ON-SITE DETENTION  
 RCP REINFORCED CONCRETE PIPE  
 RL REDUCED LEVEL  
 RWT RAINWATER TANK  
 SW STORMWATER  
 SWP STORMWATER PIT  
 SWRM STORMWATER RISING MAIN  
 SWS STORMWATER SUMP  
 TOK TOP OF KERB  
 TOW TOP OF WALL  
 UPVC UNPLASTICISED POLYVINYL CHLORIDE

STORMWATER LINE  
 STORMWATER LINE TO RAINWATER TANK  
 GRATED DRAIN  
 SUBSOIL LINE  
 STORMWATER RISING MAIN  
 JUNCTION PIT  
 GSP 450x450  
 GSP 600x600  
 GSP 900x900  
 DROP PIPE  
 DOWN PIPE  
 DOWNPIPE CARRYING ROOF WATER ONLY  
 RAIN WATER OUTLET  
 STORMWATER RISING MAIN  
 FIRST FLUSH  
 CLEAR OUT  
 OVERLAND FLOW PATH  
 PLANTER DRAIN  
 FLASHING LIGHT

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT  
 DA NUMBER: DA20200579  
 (Activation of consent must be obtained from Northern Beaches Council)

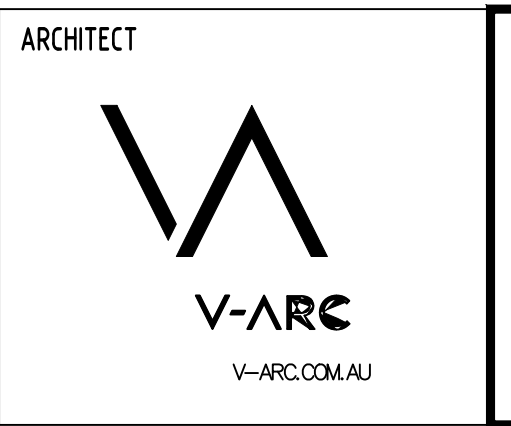
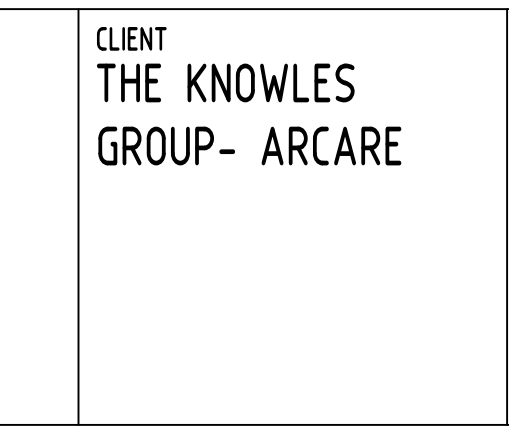
Issue	Date	By	Status
D	26.05.20	MS	2
C	15.05.20	MS	2
B	05.05.20	RJ	2
A	30.04.20	RJ	2
P3	24.02.20	MS	1
P2	17.01.20	MS	1
P1	29.11.19	MS	1
Issue	Last revision title	by	Date Status

Discipline	Drawing Title and Number	Date	Rev.
DISCIPLINE	DRAWING TITLE AND NUMBER	DATE	REV.
ARCH			
CHECKED	SH	DATE	26.05.20
DESIGNED	MS	DATE	26.05.20
VERIFIED	SH	DATE	26.05.20
APPROVED	SH	DATE	26.05.20

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 Web: www.sgce.com.au

PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**  
 25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

Grid Datum Sheet Scale (at original size)  
 - A.H.D. 2 OF 10 NTS

A.B.N. 21 118 222 530

Drawing Status	FOR APPROVAL	
Drawing Title	NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Drawing Title	STORMWATER CONCEPT DESIGN SPECIFICATION SHEET	
Project No	Drawing No	Revision No
20160112	SW101	D



SERVICES ON THIS DRAWING ARE SHOWN BELOW SLAB U.N.O

**northern beaches council**

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DA NUMBER: DA20200579

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**SUBSOIL DESIGN CALCS:**

100yr 2hr ARI STORM= 60.1mm/hr  
 ARkz=120.2mm  
 AREA OF DRIVEWAY  
 RAMP UNCOVERED= 40.00m<sup>2</sup>

V=Avd  
 =40.00x(120.2/1000)  
 =4.80m<sup>3</sup>

**GEO-TECHNICAL NOTE:**

BASEMENT DRAINAGE DESIGN SUBJECT TO GEOTECHNICAL INVESTIGATION AND STRUCTURAL DESIGN OF WALLS AND SLABS.

GEO-TECH ENGINEER IS TO CONFIRM IF THE BASEMENT NEEDS TO BE TANKED.

AS PER THE GEOTECHNICAL REPORT, THE GROUNDWATER HAS BEEN OBSERVED 7.5m BELOW NATURAL SURFACE LEVEL. IF SIGNIFICANT WATER INFLOWS ARE OBSERVED DURING EXCAVATION, BUILDER SHOULD LET THE GEOTECHNICAL ENGINEER KNOW IMMEDIATELY AND CONDUCT FURTHER ASSESSMENT ON THE SEEPAGE FLOW RATE AND REPORT BACK TO STORMWATER ENGINEER TO RESIZE UP THE PUMP OUT PIT.

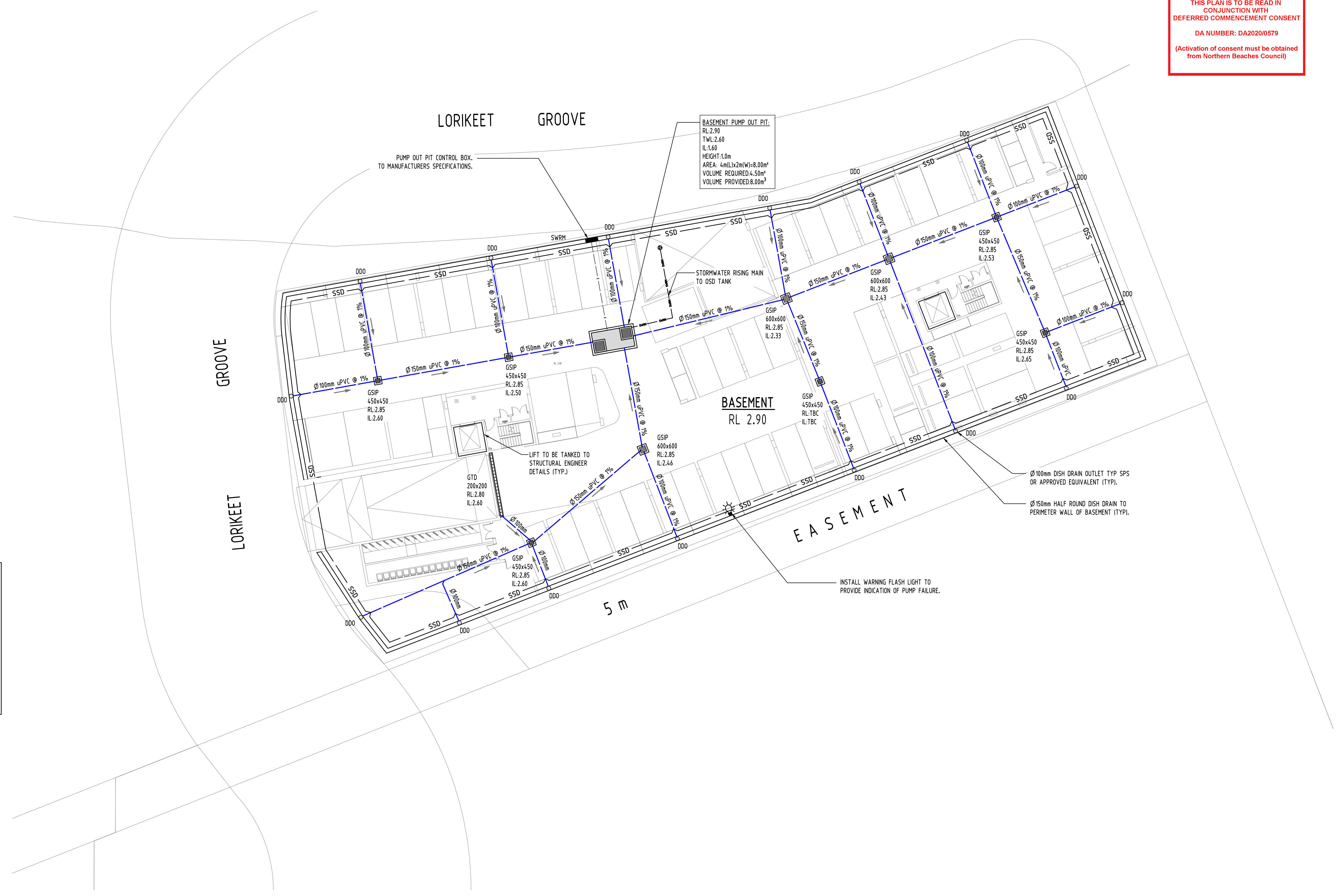
**PUMP-OUT PIT NOTE:**

EACH PUMP NEED TO BE INSTALLED FOLLOWING ITEMS:

- 900SD HEAVY DUTY CLASS "C" STEEL GRATED LID FOR ACCESS AND MAINTENANCE PURPOSES.
- CONFINED SPACE SIGN ABOVE PUMP OUT PIT FOR PUBLIC AWARENESS AND WARNING.
- STEP IRONS, REFER SW300 TO DETAILS.
- INSTALL TWO (2) DRE 150/22/650H AOCTS SUBMERSIBLE PUMPS FROM ZENIT PUMPS OR APPROVED EQUIVALENT WITH A PUMP CAPACITY OF 10L/s FOR 8m HEAD
- FLOAT SWITCH AND CONTROL PANEL TO MANUFACTURER'S SPECIFICATIONS.
- ALL STORMWATER PUMPS TO BE CLASS 1 ZONE 2 FLAME SAFE TO ELECTRICAL CONSULTANT'S REQUIREMENTS.

**GRADING NOTES:**

BASEMENT SLAB TO HAVE 1% MINIMUM FALL TO INLET PITS TO AS 2890 REQUIREMENTS.



2020/05/27 12:27:27 Warriewood Road, Warriewood/Con/Stage 2/5/2020/01/01

Reference Coordination Drawing			
Issue	Last revision title	by	Date
D	ISSUE FOR DA	MS	26.05.20
C	ISSUE FOR DA	MS	15.05.20
B	ISSUE FOR DA	RJ	05.05.20
A	ISSUE FOR DA	RJ	30.04.20
P3	PRELIMINARY ISSUE	MS	24.02.20
P2	PRELIMINARY ISSUE	MS	17.01.20
P1	PRELIMINARY ISSUE	MS	29.11.19

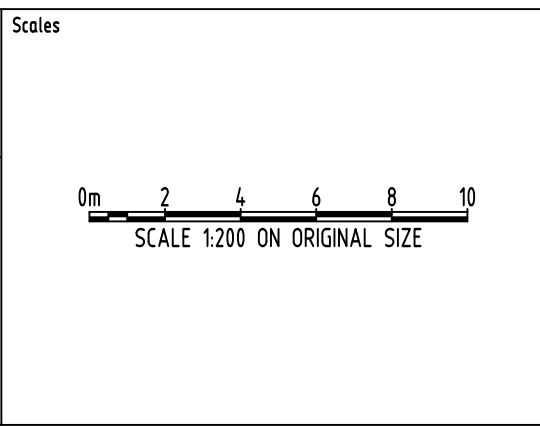
  

Issuer internal sequence and revision history			
Discipline	Date	Status	Rev.
LANDS			
CIVIL			
SURVEY			

QUALITY CONTROL			
Discipline	Date	Status	Rev.
DRAWN	MS	DATE	26.05.20
CHECKED	SH	DATE	26.05.20
DESIGNED	MS	DATE	26.05.20
VERIFIED	SH	DATE	26.05.20
APPROVED	SH	DATE	26.05.20

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Dimensions not shown to be checked on site. Do not scale off this drawing. Positions of authorities marks and/or existing services are to be checked prior to commencement of work. Report any discrepancies to the consulting engineer for reason/clarification before proceeding with the work. This drawing is to be read in conjunction with the specifications and other consultants drawings.



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PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**

25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

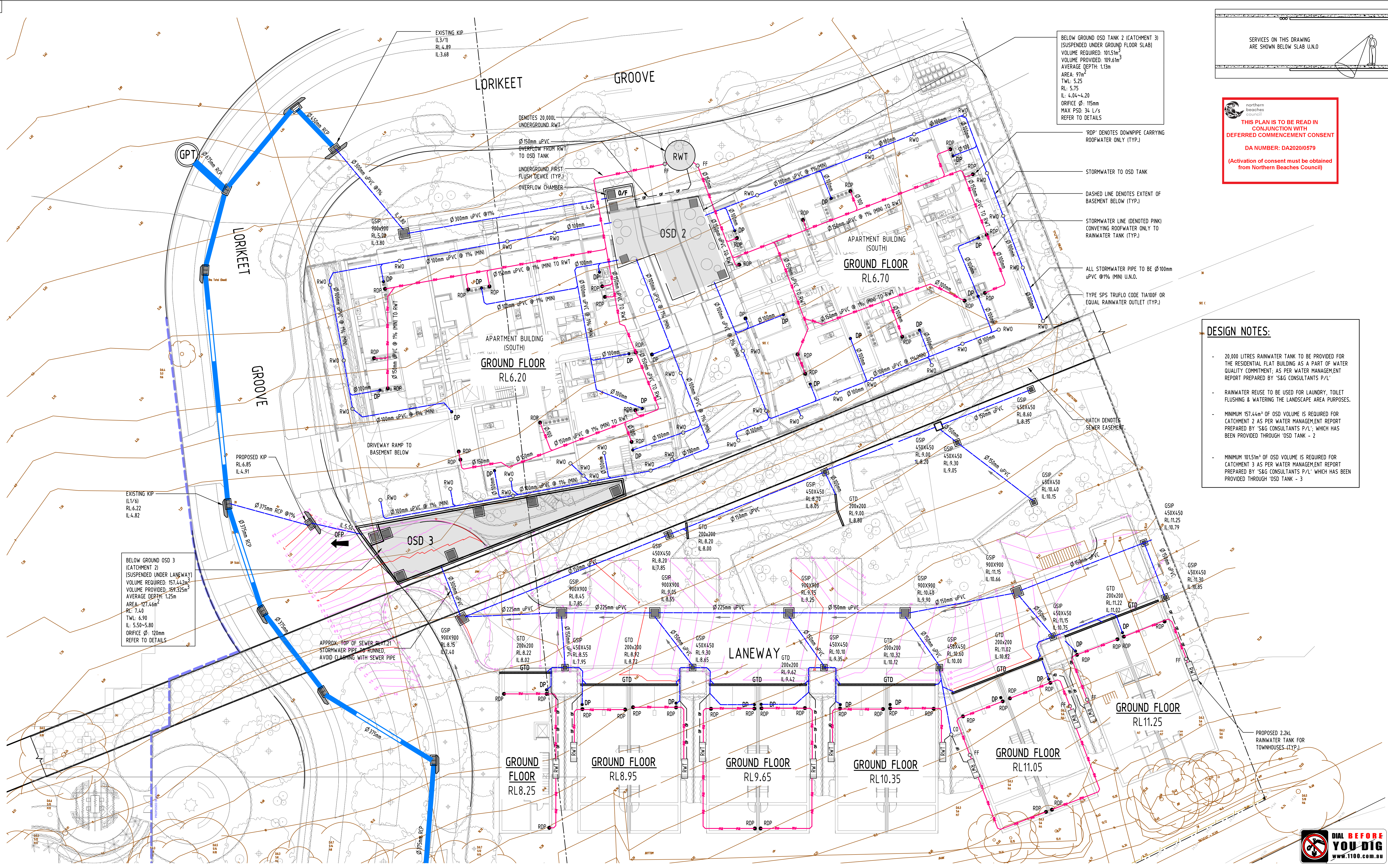
Drawing Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Drawing Title	STORMWATER CONCEPT DESIGN BASEMENT PLAN
Project No	20160112
Drawing No	SW200
Revision No	D

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	3 OF 10	1:200 @ A1

A.B.N. 21 118 222 530



DATE PLOTTED: 26 May 2020 6:22 PM BY: SGCE-PM/CL  
 A1  
 PROJECT: PRODUCTION/2016/2016/21-27 Warriewood Road, Warriewood/Con/Stage 2/SK/2016/21-27



BELOW GROUND OSD TANK 2 (CATCHMENT 3)  
 (SUSPENDED UNDER GROUND FLOOR SLAB)  
 VOLUME REQUIRED: 101.5m<sup>3</sup>  
 VOLUME PROVIDED: 109.6m<sup>3</sup>  
 AVERAGE DEPTH: 1.13m  
 AREA: 97m<sup>2</sup>  
 TWL: 5.25  
 RL: 5.75  
 IL: 4.04-4.20  
 ORIFICE Ø: 115mm  
 MAX PSD: 34 L/s  
 REFER TO DETAILS

SERVICES ON THIS DRAWING  
 ARE SHOWN BELOW SLAB U.N.O.

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 DA NUMBER: DA2020/0579  
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- 'RDP' DENOTES DOWNPIPE CARRYING ROOFWATER ONLY (TYP.)
- STORMWATER TO OSD TANK
- DASHED LINE DENOTES EXTENT OF BASEMENT BELOW (TYP.)
- STORMWATER LINE (DENOTED PINK) CONVEYING ROOFWATER ONLY TO RAINWATER TANK (TYP.)
- ALL STORMWATER PIPE TO BE Ø100mm uPVC @1% (MIN) U.N.O.
- TYPE SPS TRUFLO CODE T1A100F OR EQUAL RAINWATER OUTLET (TYP.)

- DESIGN NOTES:**
- 20,000 LITRES RAINWATER TANK TO BE PROVIDED FOR THE RESIDENTIAL FLAT BUILDING AS A PART OF WATER QUALITY COMMITMENT, AS PER WATER MANAGEMENT REPORT PREPARED BY 'S&G CONSULTANTS P/L'
  - RAINWATER REUSE TO BE USED FOR LAUNDRY, TOILET FLUSHING & WATERING THE LANDSCAPE AREA PURPOSES.
  - MINIMUM 157.44m<sup>3</sup> OF OSD VOLUME IS REQUIRED FOR CATCHMENT 2 AS PER WATER MANAGEMENT REPORT PREPARED BY 'S&G CONSULTANTS P/L', WHICH HAS BEEN PROVIDED THROUGH 'OSD TANK - 2'
  - MINIMUM 101.5m<sup>3</sup> OF OSD VOLUME IS REQUIRED FOR CATCHMENT 3 AS PER WATER MANAGEMENT REPORT PREPARED BY 'S&G CONSULTANTS P/L', WHICH HAS BEEN PROVIDED THROUGH 'OSD TANK - 3'

BELOW GROUND OSD 3 (CATCHMENT 2)  
 (SUSPENDED UNDER LANEWAY)  
 VOLUME REQUIRED: 157.44m<sup>3</sup>  
 VOLUME PROVIDED: 159.325m<sup>3</sup>  
 AVERAGE DEPTH: 1.25m  
 AREA: 127.44m<sup>2</sup>  
 RL: 7.40  
 TWL: 6.90  
 IL: 5.50-5.80  
 ORIFICE Ø: 120mm  
 REFER TO DETAILS



Issue	Date	Revised	Discipline	Drawing Title and Number	Date	Rev.
D	26.05.20	2	MS	Reference Coordination Drawing		
C	15.05.20	2	RJ			
B	05.05.20	2	ARCH			
A	30.04.20	2	ARCH			
PL	09.04.20	1	SH			
P3	24.02.20	1	MS			
P2	17.01.20	1	MS			
P1	29.11.19	1	MS			
Issue	Last revision title	by	Date	Status		

Issue	Date	Revised	Discipline	Drawing Title and Number	Date	Rev.
1	26.05.20	2	MS	Reference Coordination Drawing		
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3	05.05.20	2	ARCH			
4	30.04.20	2	ARCH			
5	09.04.20	1	SH			
6	24.02.20	1	MS			
7	17.01.20	1	MS			
8	29.11.19	1	MS			

Issue	Date	Revised	Discipline	Drawing Title and Number	Date	Rev.
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3	05.05.20	2	ARCH			
4	30.04.20	2	ARCH			
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6	24.02.20	1	MS			
7	17.01.20	1	MS			
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5	09.04.20	1	SH			
6	24.02.20	1	MS			
7	17.01.20	1	MS			
8	29.11.19	1	MS			



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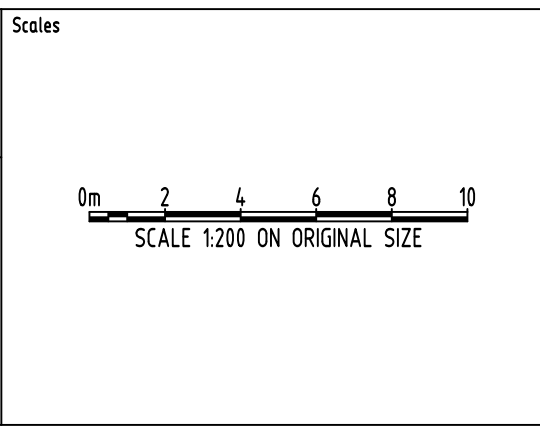


- KEY NOTES:**
1. ALL STORMWATER PIPES SHOWN ON PLAN ARE Ø100mm uPVC AND SLOPING AT 1.0% (MIN) U.N.O.
  2. INSTALL 50mm uPVC SPITTER PIPES 20mm ABOVE SURFACE LEVEL FOR BALCONY AND CONCRETE ROOF AREAS TO ALLOW FOR EMERGENCY OVERFLOW IN CASE OF BLOCKAGE DURING HEAVY STORM. PLUMBER/CONTRACTOR TO LOCATION DURING CONSTRUCTION.
  3. BALCONY, TERRACE & CONCRETE ROOF AREA TO SLOPE TOWARDS RAINWATER OUTLETS (TYP.)
  4. PROVIDE BREAK/CUT IN HOB OR SIMILAR ADEQUATE STORMWATER DRAINAGE FEATURE, WHERE REQUIRED (TYP.)
  5. STORMWATER PIPES TO BE CONCEALED WITH FALSE CEILING, COLUMNS AND BULKHEADS, IF REQUIRED.
  6. PLUMBER TO PROVIDE SPREADER DOWNPIPE, WHERE REQUIRED TO DIRECT STORMWATER ONTO LOWER ROOF AREAS.
  7. ALL BUILDING & HYDRAULIC SERVICES TO BE PROPERLY CO-ORDINATED WITH STORMWATER PIPES TO ENSURE NO CLASHES ARE PRESENT DURING CONSTRUCTION (TYP.)

Issue	Discipline	Date	Status
D	ISSUE FOR DA	MS 26.05.20	2
C	ISSUE FOR DA	MS 15.05.20	2
B	ISSUE FOR DA	RJ 05.05.20	2
A	ISSUE FOR DA	RJ 30.04.20	2
P3	PRELIMINARY ISSUE	MS 24.02.20	1
P2	PRELIMINARY ISSUE	MS 17.01.20	1
P1	PRELIMINARY ISSUE	MS 29.11.19	1
Issue Last revision title by Date Status			

Discipline	Drawing Title and Number	Date	Rev.
MS	26.05.20	2	
RJ	05.05.20	2	
RJ	30.04.20	2	
MS	24.02.20	1	
MS	17.01.20	1	
MS	29.11.19	1	
Issue Last revision title by Date Status			

Discipline	Checked	SH	DATE
MS	DATE	26.05.20	
MS	DATE	26.05.20	
MS	DATE	26.05.20	
MS	DATE	26.05.20	



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PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**  
25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	5 OF 10	1:200 @ A1

Project No	Drawing No	Revision No
20160112	SW202	D

Drawing Status  
**FOR APPROVAL**  
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Drawing Title  
**STORMWATER CONCEPT DESIGN LEVEL 1 PLAN**



DATE PLOTTED: 26 May 2020 6:22 PM BY: SGCE-MAC



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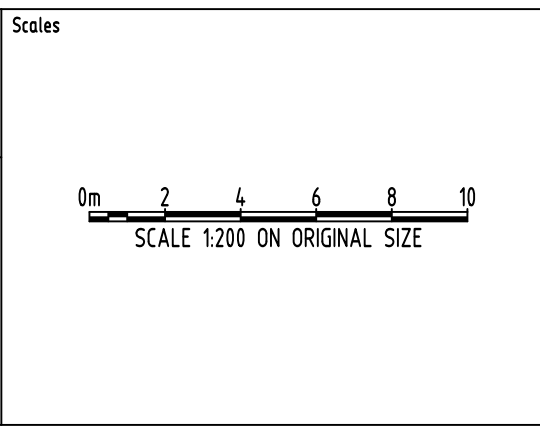
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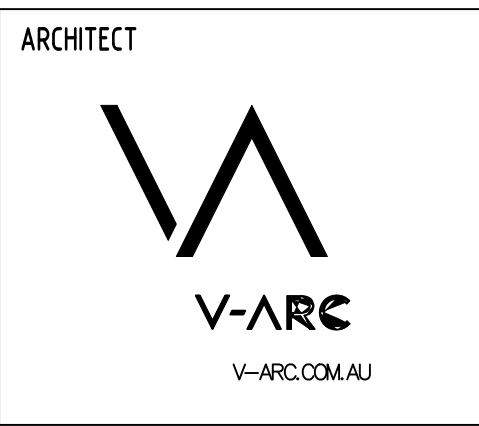
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C	ISSUE FOR DA	MS	15.05.20	2
B	ISSUE FOR DA	RJ	05.05.20	2
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P3	PRELIMINARY ISSUE	MS	24.02.20	1
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P1	PRELIMINARY ISSUE	MS	29.11.19	1

Discipline	Drawing Title and Number	Date	Rev.
DISCIPLINE	DRAWING TITLE AND NUMBER	DATE	REV.

QUALITY CONTROL	DATE	DATE
DRAWN	MS	DATE 26.05.20
CHECKED	SH	DATE 26.05.20
DESIGNED	MS	DATE 26.05.20
VERIFIED	SH	DATE 26.05.20
APPROVED	SH	DATE 26.05.20



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PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**  
 25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

Drawing Status	FOR APPROVAL
Drawing Title	NOT TO BE USED FOR CONSTRUCTION PURPOSES <b>STORMWATER CONCEPT DESIGN</b> LEVEL 2 PLAN
Project No	20160112
Drawing No	SW203
Revision No	D

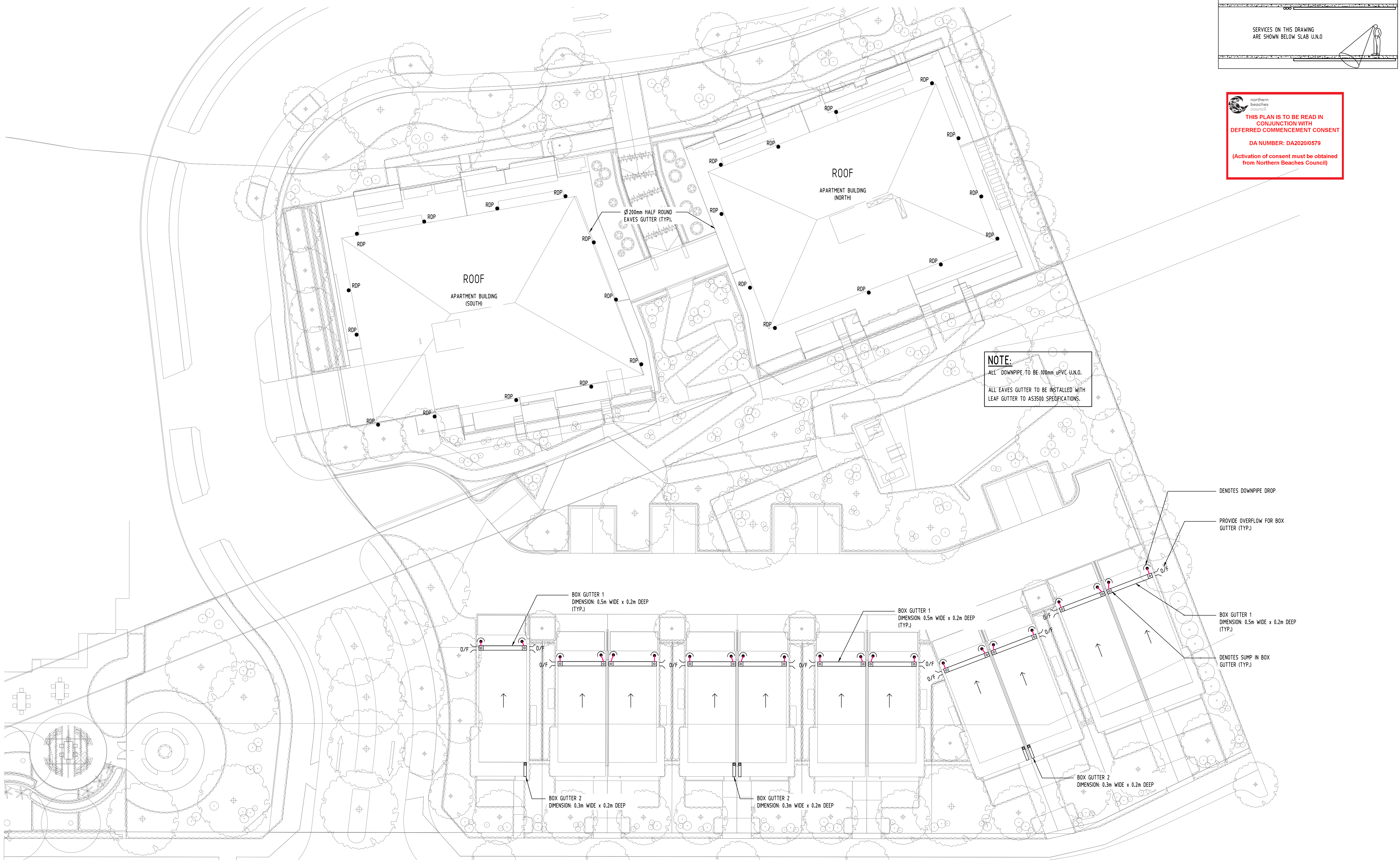


DATE PLOTTED: 26 May 2020 6:22 PM BY: SGCE-MKL  
 2020 File Path: Production\2016\_2016\02\_23-27 Warriewood Road, Warriewood\Civil\Stage 2\SR204.dwg

A1

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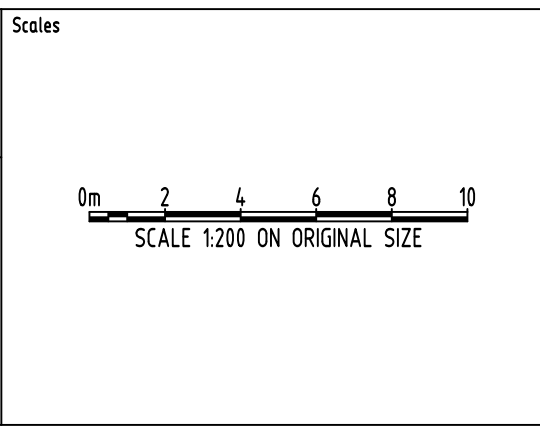
**northern beaches council**  
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P1	29.11.19	MS	1
Issue	Last revision title	by	Date Status

Issued internal sequence and revision history			
Issue	Date	Discipline	Revision
1	26.05.20	MS	2
2	15.05.20	MS	2
3	05.05.20	RJ	2
4	30.04.20	RJ	2
5	24.02.20	MS	1
6	17.01.20	MS	1
7	29.11.19	MS	1

QUALITY CONTROL			
Discipline	Checked	Date	Status
DRAWN	MS	26.05.20	DATE
CHECKED	SH	26.05.20	DATE
DESIGNED	MS	26.05.20	DATE
VERIFIED	SH	26.05.20	DATE
APPROVED	SH	26.05.20	DATE



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PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**  
 25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

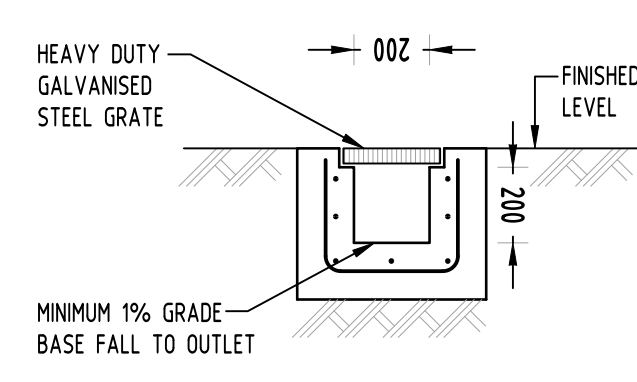
Drawing Status		
FOR APPROVAL		
NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Drawing Title		
STORMWATER CONCEPT DESIGN ROOF PLAN		
Project No	Drawing No	Revision No
20160112	SW204	D

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	7 OF 10	1:200 @ A1

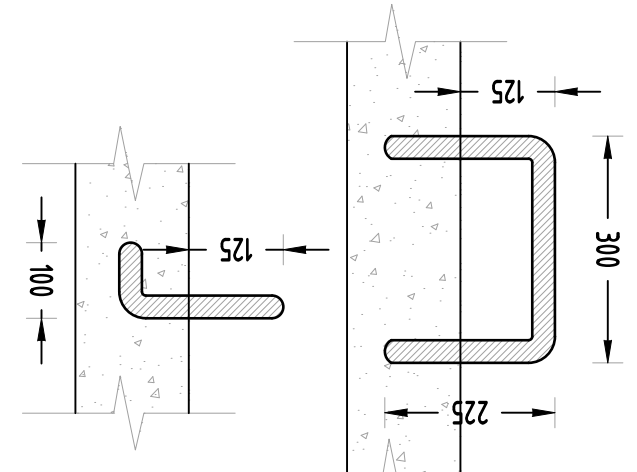
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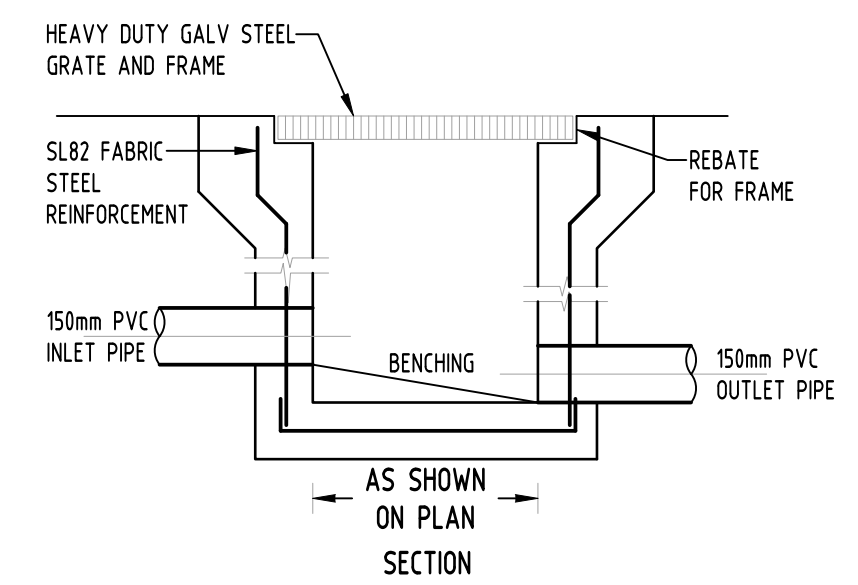
DATE PLOTTED: 26 May 2020 03:21 PM BY: SGCE-PM/AG



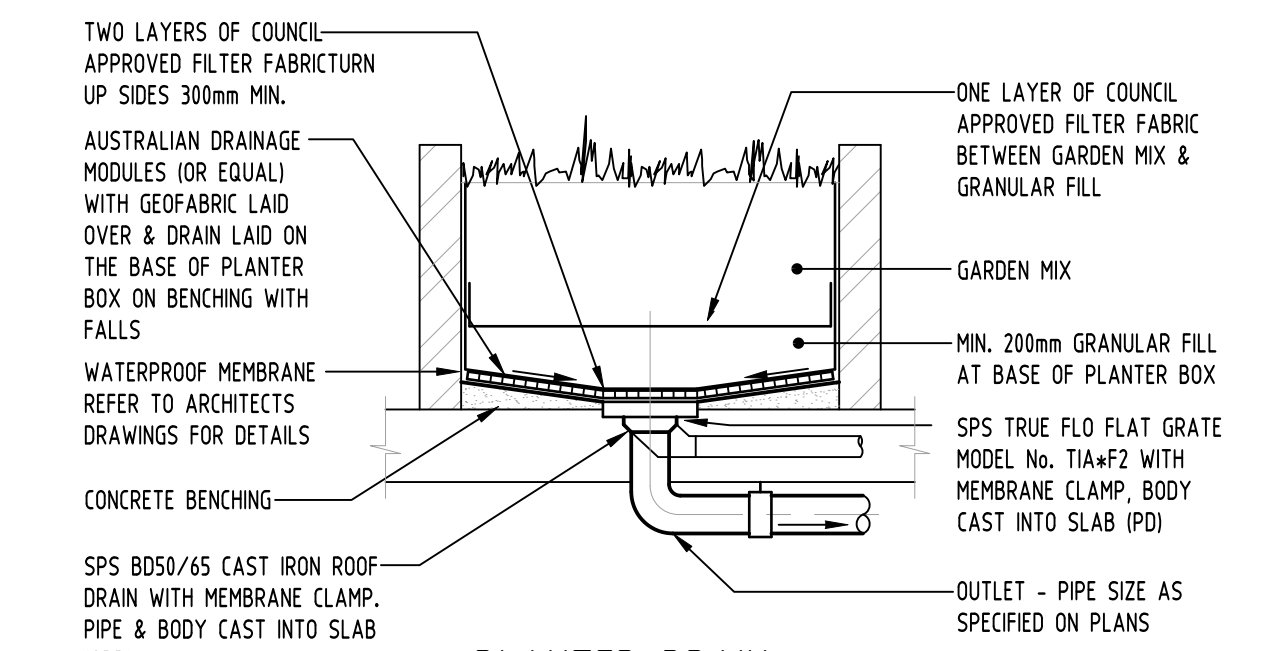
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NOT TO SCALE



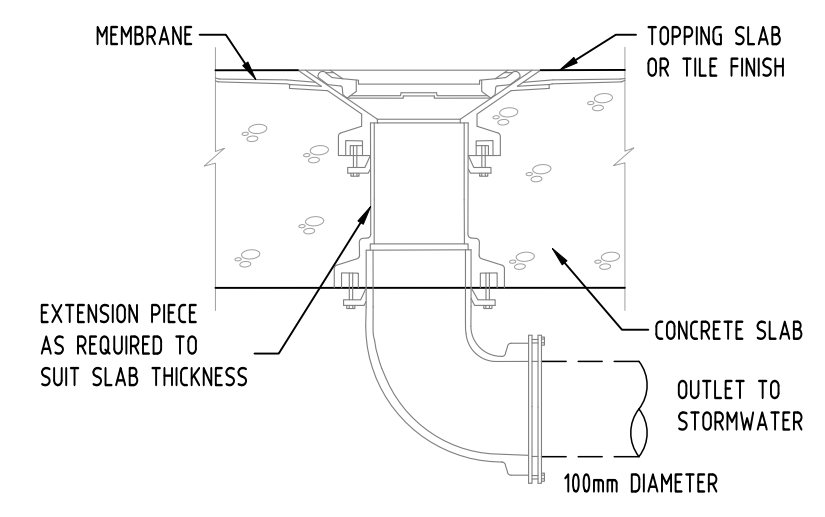
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NOT TO SCALE



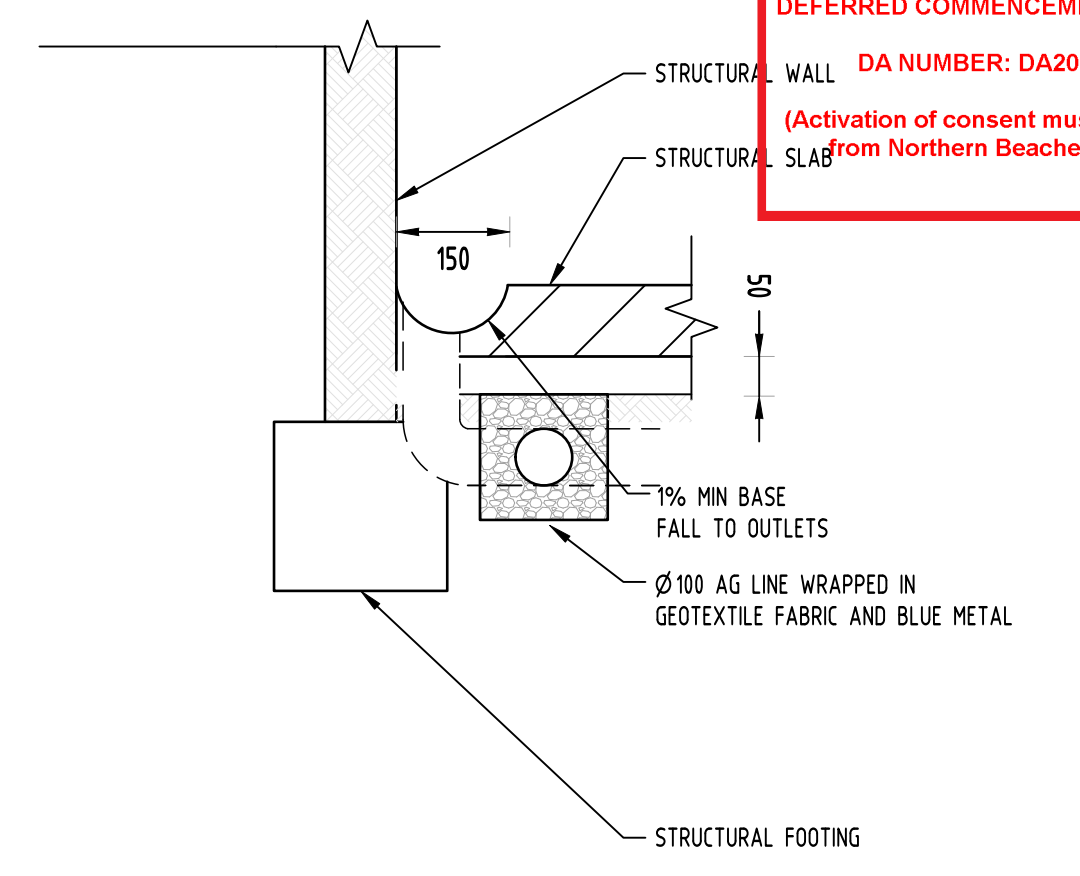
**PLAN WITHOUT GRATE**  
**STORMWATER PIT**  
NOT TO SCALE



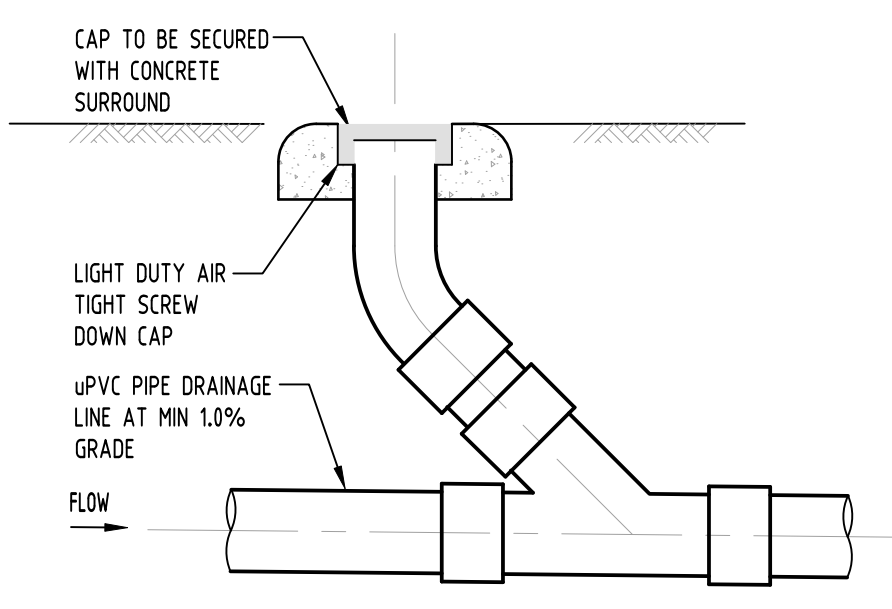
**PLANTER DRAIN**  
NOT TO SCALE



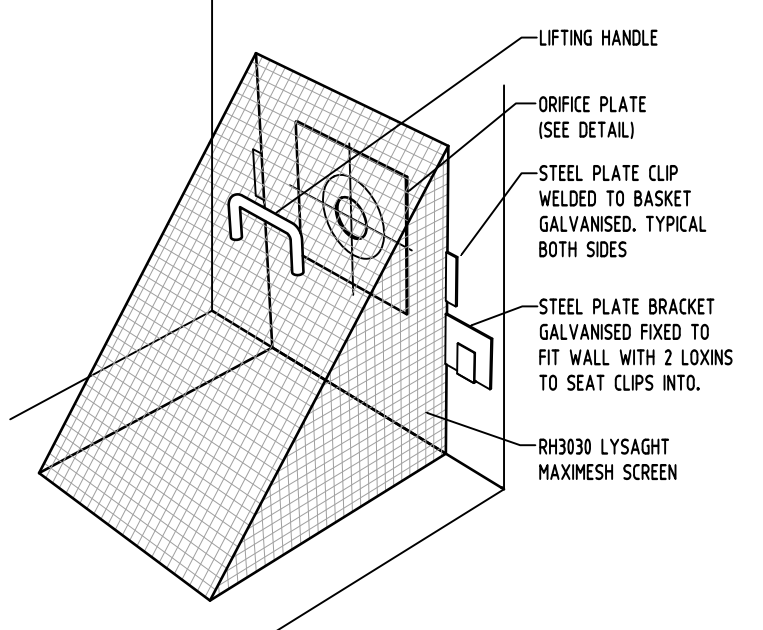
**RAINWATER OUTLET**  
NOT TO SCALE



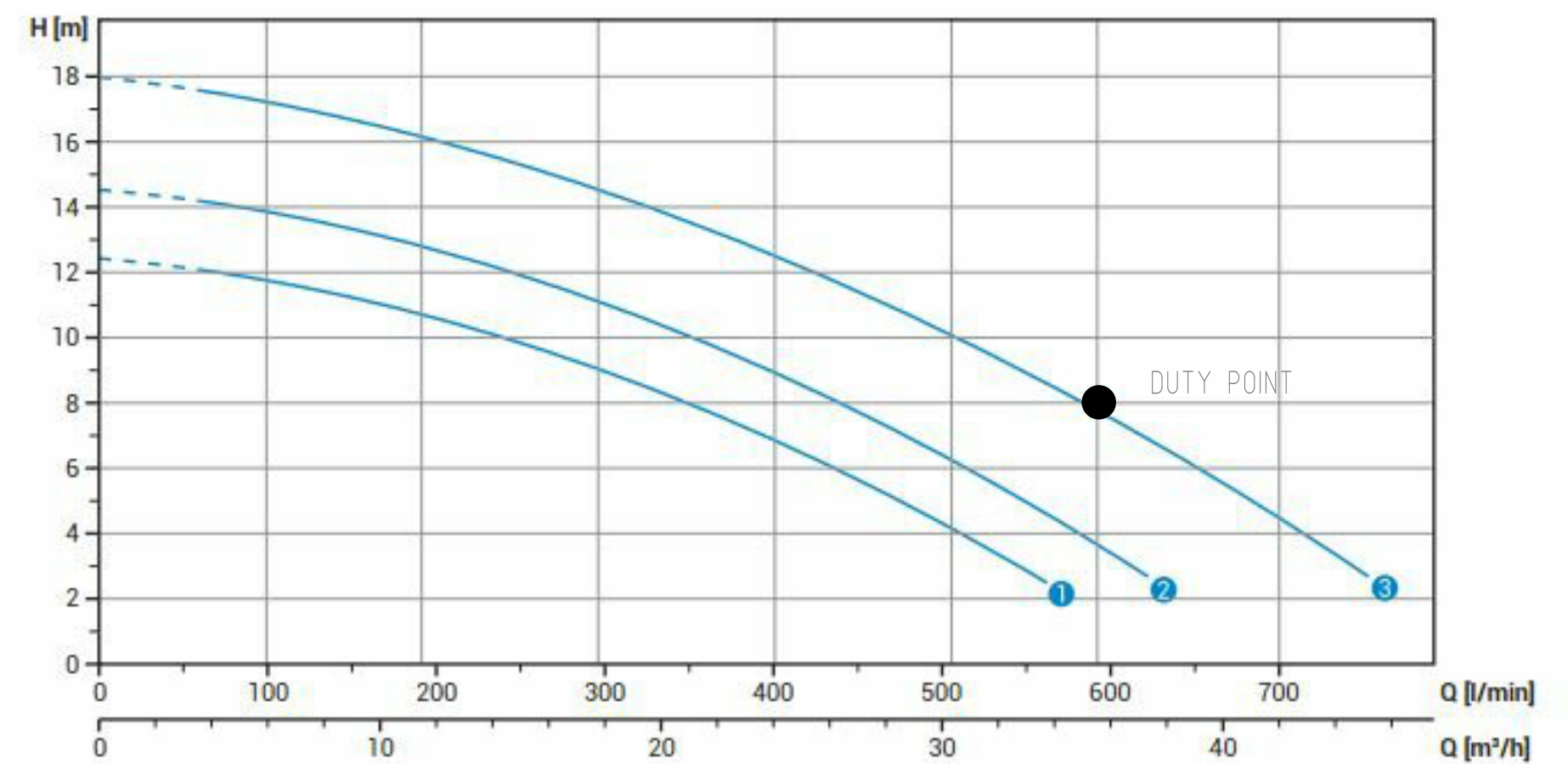
**PERIMETER WALL SUBSOIL DRAINAGE**  
NOT TO SCALE



**CLEANING EYE**  
NOT TO SCALE



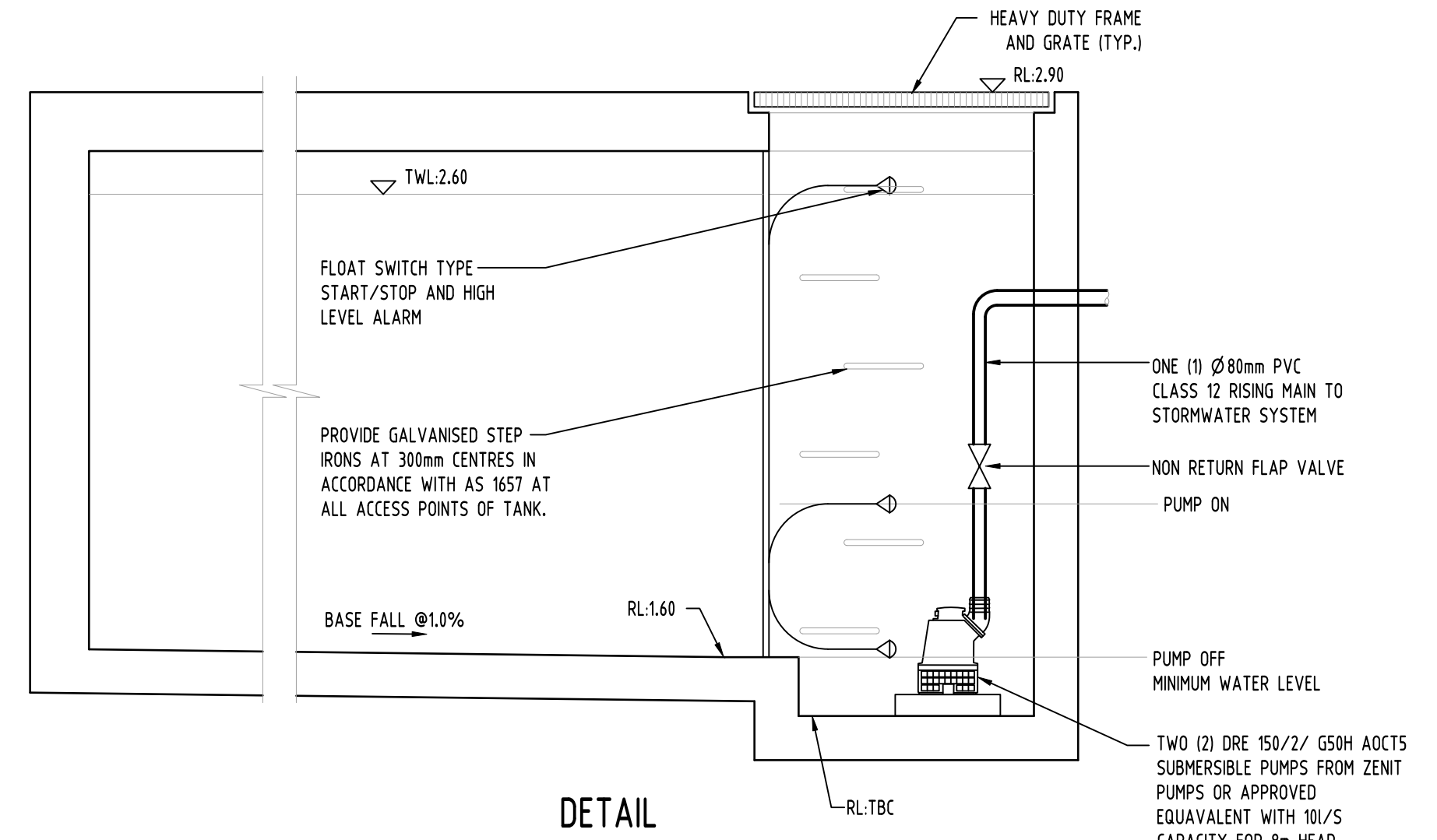
**DETAIL**  
**DEBRIS SCREEN**  
NOT TO SCALE



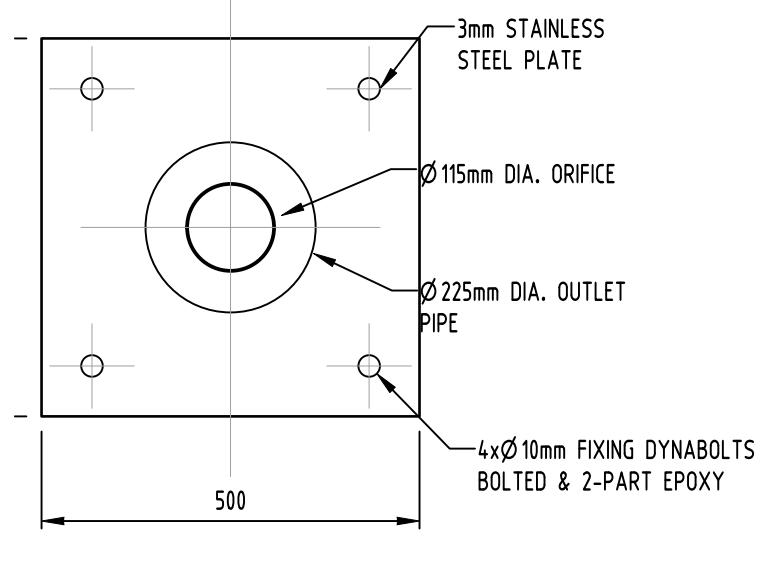
**Technical data**

	V	Phases	P1 [kw]	P2 [kw]	A	Rpm	Ø	Free passage	
1	DRE 100/2/G50H AOCMS	230	1	-	0.88	6.5	2900	G 2" - DN50 PN10-16	15 mm
2	DRE 150/2/G50H AOCMS	230	1	-	1.10	8.2	2900	G 2" - DN50 PN10-16	15 mm
3	DRE 200/2/G50H AOCMS	230	1	-	1.50	9.3	2900	G 2" - DN50 PN10-16	15 mm
1	DRE 100/2/G50H AOCT5	400	3	-	0.88	2.3	2900	G 2" - DN50 PN10-16	15 mm
2	DRE 150/2/G50H AOCT5	400	3	-	1.10	2.7	2900	G 2" - DN50 PN10-16	15 mm
3	DRE 200/2/G50H AOCT5	400	3	-	1.50	3.5	2900	G 2" - DN50 PN10-16	15 mm

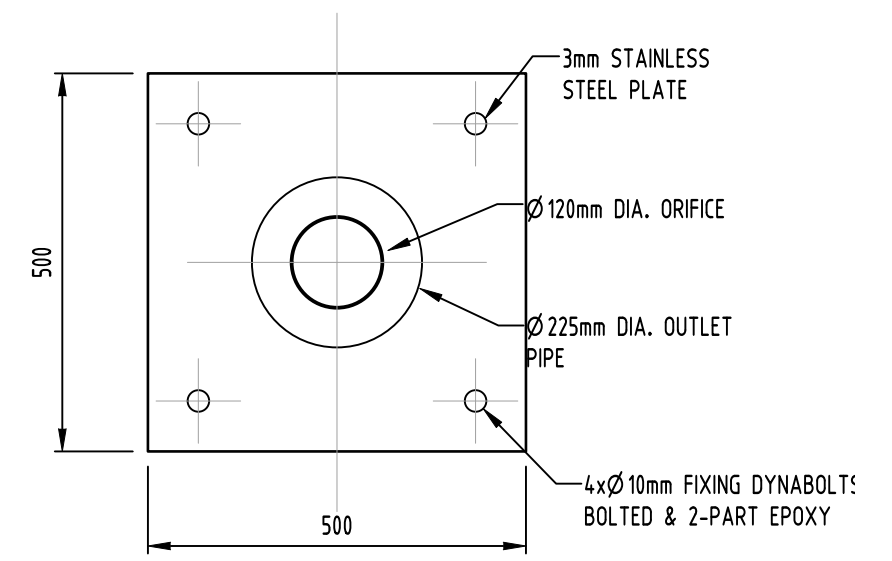
**PUMP PERFORMANCE CURVE**



**DETAIL**  
**BASEMENT PUMP OUT PIT**  
NOT TO SCALE



**DETAIL**  
**ORIFICE PLATE OSD 2**  
SCALE 1:10



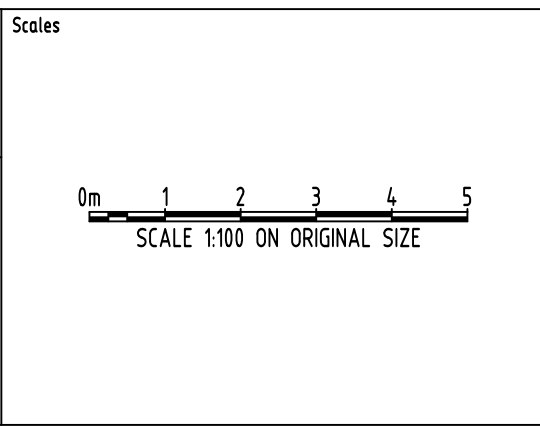
**DETAIL**  
**ORIFICE PLATE OSD 3**  
SCALE 1:10

RECOMMENDED PUMP

Issue	Date	By	Status	Revision
D	26.05.20	MS	2	1
C	15.05.20	MS	2	2
B	05.05.20	RJ	2	3
A	30.04.20	RJ	2	4
P3	24.02.20	MS	1	5
P2	17.01.20	MS	1	6
P1	29.11.19	MS	1	7
Issue	Last revision title	by	Date	Status

Discipline	Drawing Title and Number	Date	Rev.
ARCH			
STRUC			
MEECH			
ELEC			
HYD			
LANDS			
CIVIL			
SURVEY			

Discipline	Checked	SH	DATE
DRAWN	MS	DATE	26.05.20
DESIGNED	MS	DATE	26.05.20
VERIFIED	SH	DATE	26.05.20
APPROVED	SH	DATE	26.05.20



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PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**  
25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	8 OF 10	AS SHOWN

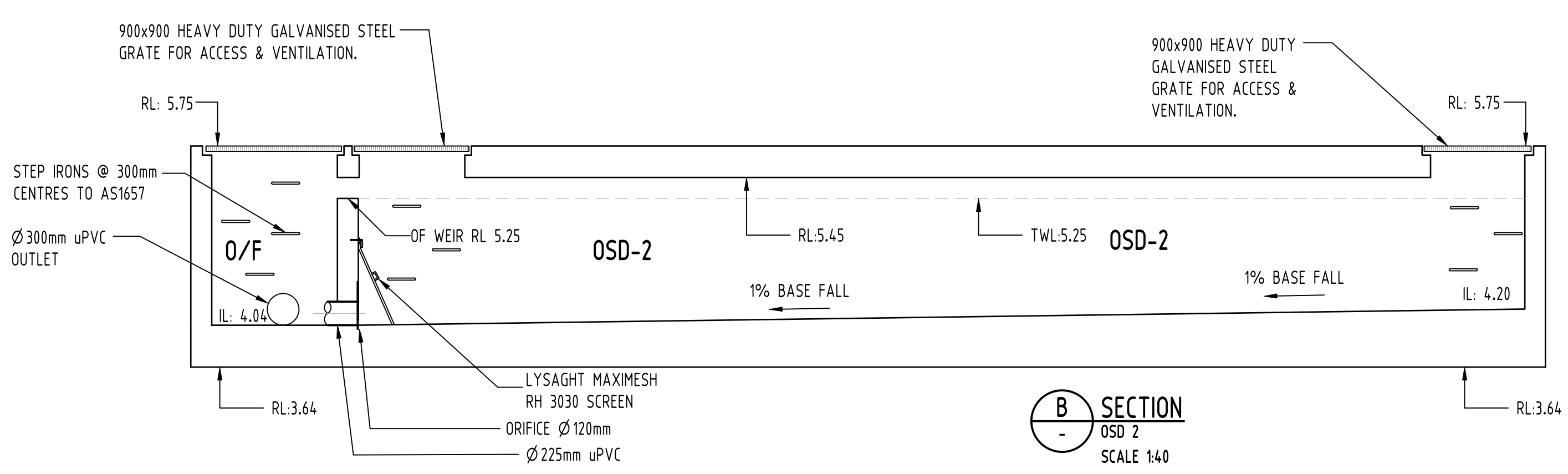
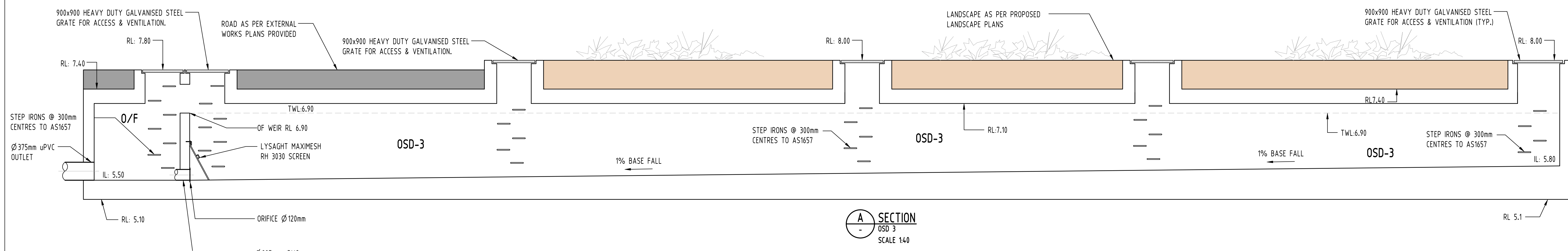
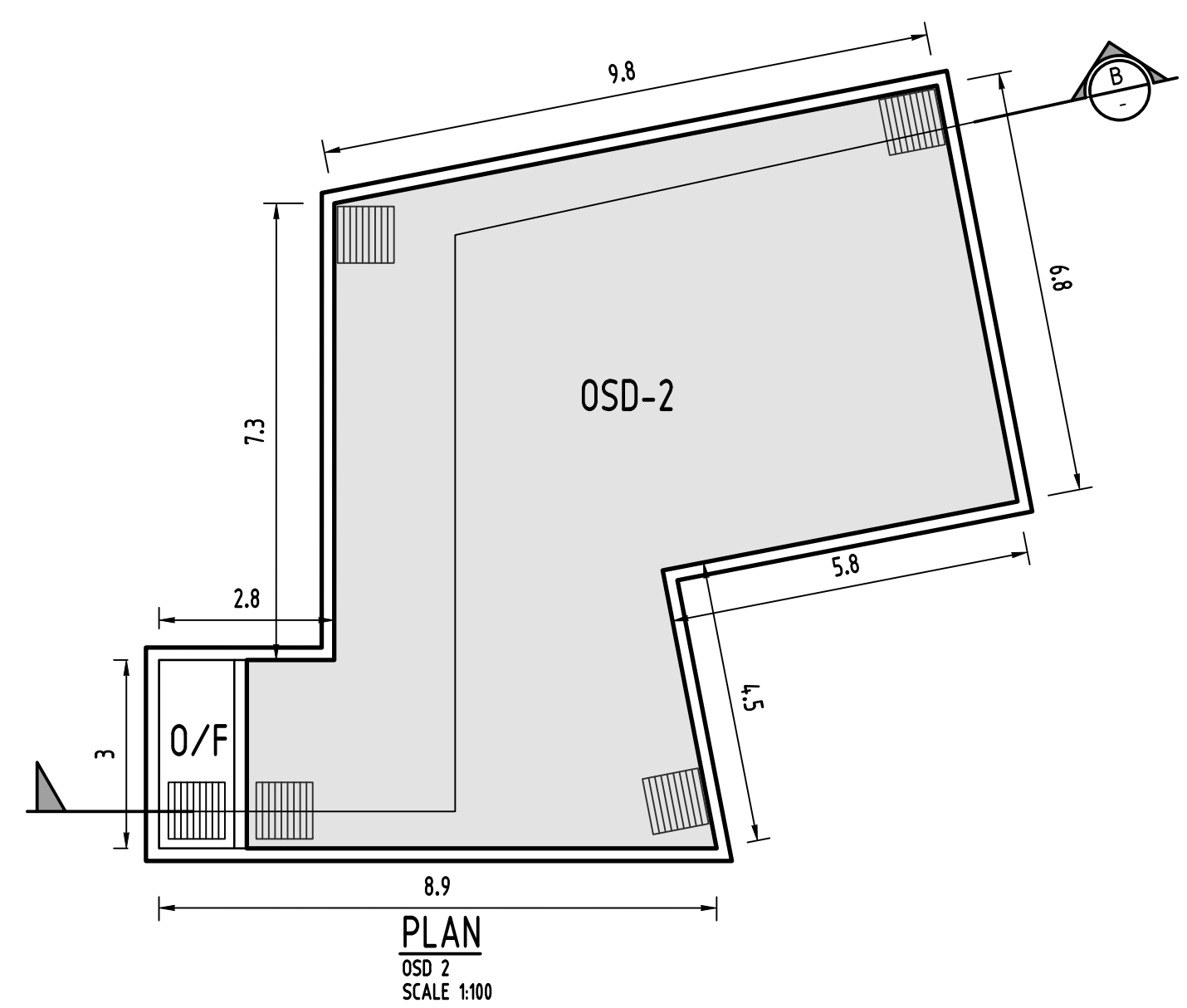
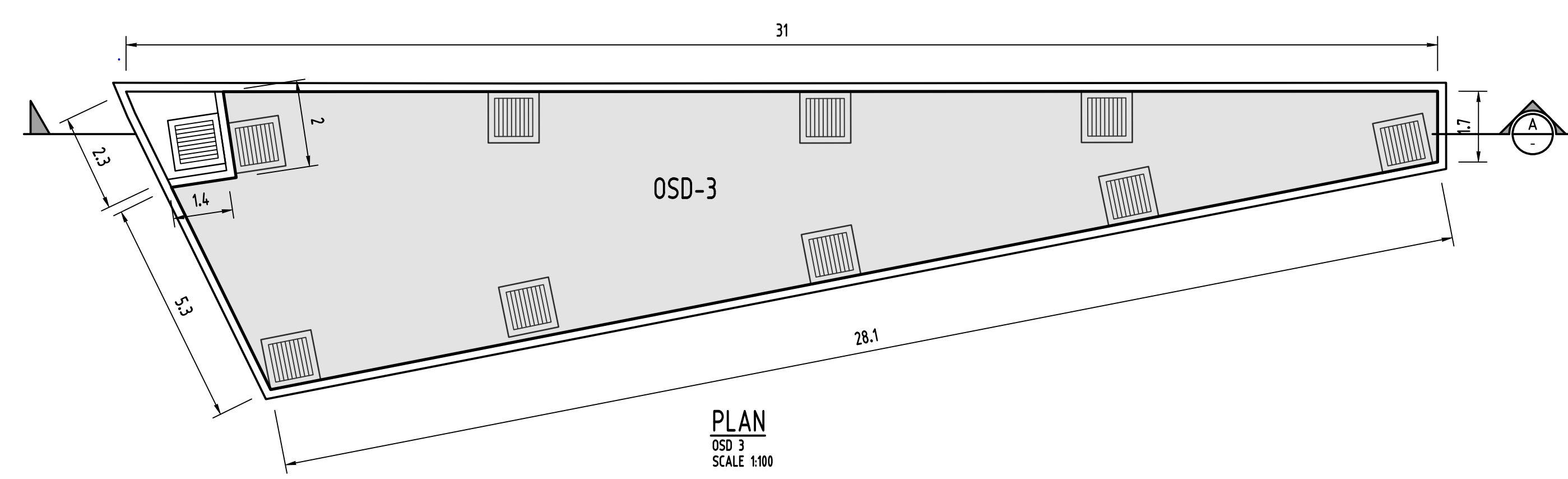
Drawing Status	FOR APPROVAL
Drawing Title	NOT TO BE USED FOR CONSTRUCTION PURPOSES
Drawing No	STORMWATER CONCEPT DESIGN
Revision No	DETAILS SHEET
Project No	20160112
Drawing No	SW300
Revision No	D

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THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT  
DA NUMBER: DA2020/0579  
(Activation of consent must be obtained from Northern Beaches Council)



DATE PLOTTED: 26 May 2020 6:22 PM BY: SGCE-PM/CL

northern beaches council  
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 DA NUMBER: DA2020/0579  
 (Activation of consent must be obtained from Northern Beaches Council)

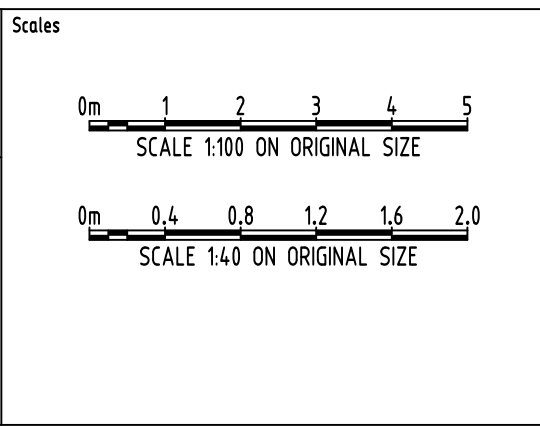


Reference Coordination Drawing			
Discipline	Drawing Title and Number	Date	Rev.
D	ISSUE FOR DA	MS 26.05.20	2
C	ISSUE FOR DA	MS 15.05.20	2
B	ISSUE FOR DA	RJ 05.05.20	2
A	ISSUE FOR DA	RJ 30.04.20	2
P3	PRELIMINARY ISSUE	MS 24.02.20	1
P2	PRELIMINARY ISSUE	MS 17.01.20	1
P1	PRELIMINARY ISSUE	MS 29.11.19	1
Issue	Last revision title	by	Date Status
<b>Issuer internal sequence and revision history</b> 1-preliminary 2-development application 3-construction certificate 4-tender 5-construction 6-other			

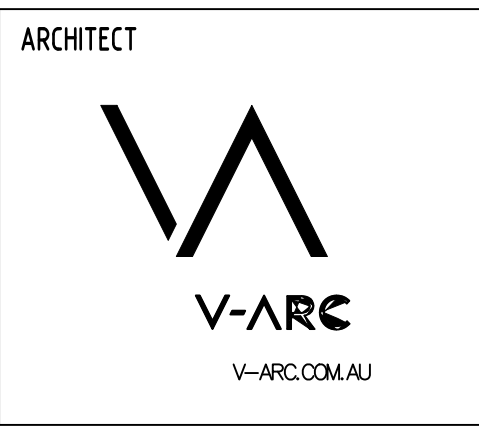
QUALITY CONTROL			
Discipline	Checked By	Date	Status
DRAWN	MS	DATE 26.05.20	
CHECKED	SH	DATE 26.05.20	
DESIGNED	MS	DATE 26.05.20	
VERIFIED	SH	DATE 26.05.20	
APPROVED	SH	DATE 26.05.20	

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DIMENSIONS NOT SHOWN TO BE CHECKED ON SITE. DO NOT SCALE UP THIS DRAWING. POSITIONS OF AUTHORITIES MANS AND/OR EXISTING SERVICES ARE TO BE CHECKED PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER FOR DESIGN/CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER CONSULTANTS DRAWINGS.



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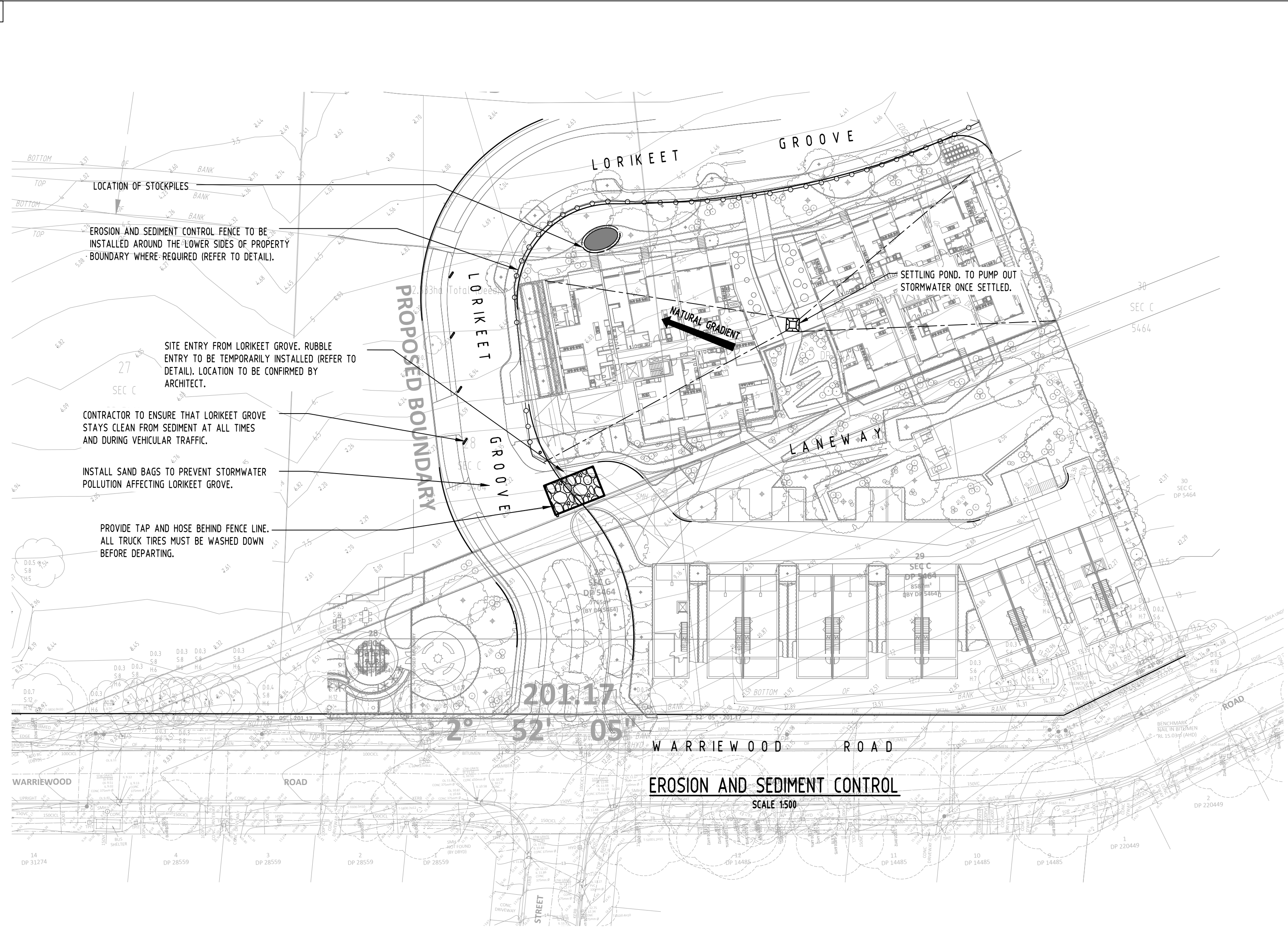
A.B.N. 21 118 222 530

PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**  
 25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

Drawing Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Drawing Title	STORMWATER CONCEPT DESIGN DETAILS SHEET SHEET 2 OF 2
Project No	20160112
Drawing No	SW301
Revision No	D
Grid	-
Datum	A.H.D.
Sheet	9 OF 10
Scale (at original size)	AS SHOWN



DATE PLOTTED: 26 May 2020 6:22 PM BY: SGCE-PM/AC



**EROSION AND SEDIMENT CONTROL**  
SCALE 1500

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT  
DA NUMBER: DA2020/0579  
(Activation of consent must be obtained from Northern Beaches Council)

**EROSION & SEDIMENTATION CONTROL NOTES**

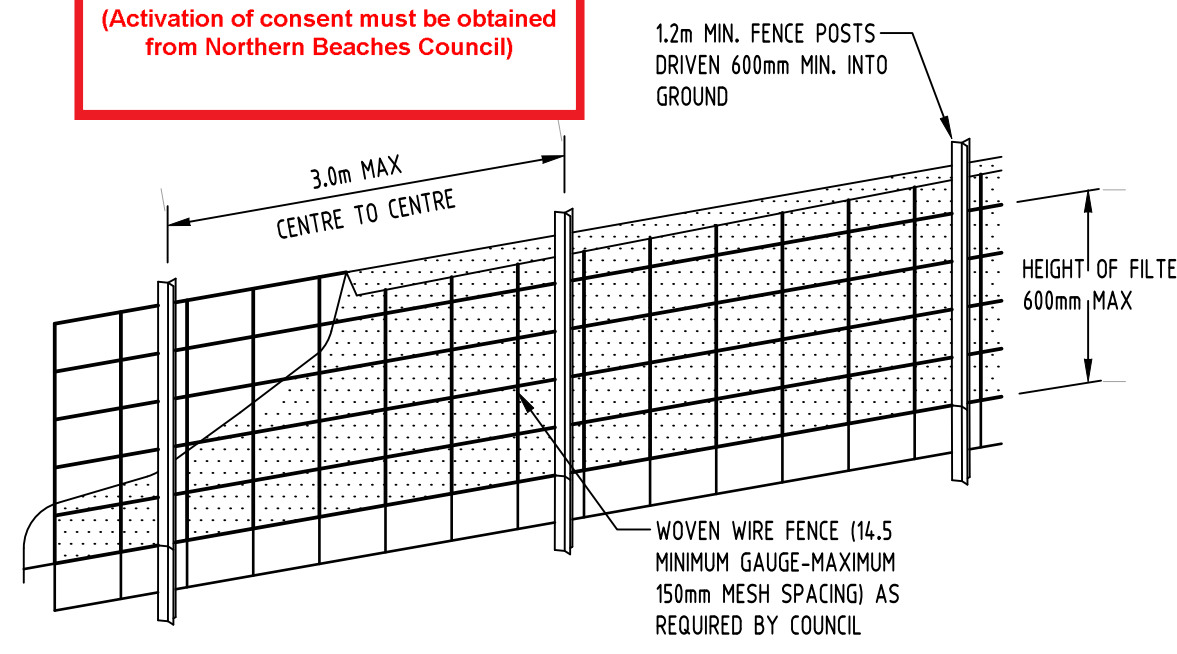
- CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE OF THE WORKS, TIE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND & EXTENDING 150mm BELOW GROUND.
- EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
- GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

**GENERAL NOTES**

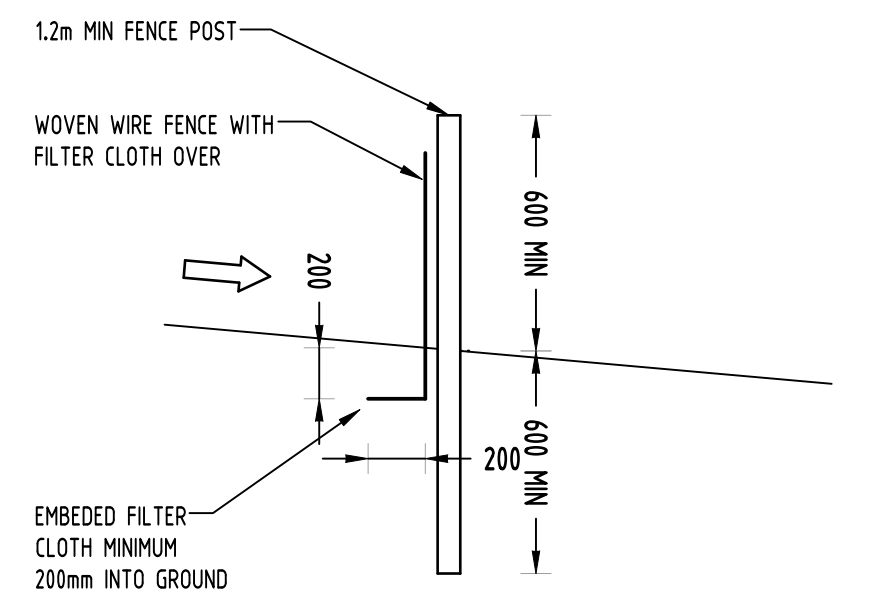
- THIS PLAN IS A CONCEPT PLAN ONLY FOR STORMWATER DISPOSAL & EROSION CONTROL. IT IS NOT SUITABLE FOR CONSTRUCTION. THIS PLAN SHOULD BE ADAPTED BY THE BUILDER DURING DEMOLITION, EXCAVATION & CONSTRUCTION PHASES TO ENSURE ADEQUATE PERFORMANCE.
- ALL DRAINAGE LAYOUT & DETAILS ARE DIAGRAMMATIC & INDICATIVE ONLY. ACTUAL LOCATION, SIZES, LEVELS & GRADES MAY ALTER WHEN DETAIL DESIGN WORKS ARE DOCUMENTED.

**CLAY SOILS**

- A SYSTEM SHALL BE INSTALLED TO EITHER:
- TRANSPORT STORMWATER RUNOFF WITH SUSPENDED SOLIDS FROM SITE VIA PUMP TRUCKS.
  - TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS SO THE DISCHARGE WATER QUALITY TO COUNCIL STORMWATER DRAINAGE SYSTEM HAS A MAXIMUM CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 50 MILLIGRAMS PER LITRE IN ACCORDANCE WITH THE PROTECTION OF THE ENVIRONMENT OPERATION ACT (POEO 1997) AND SHALL BE APPROVED BY LOCAL COUNCIL.

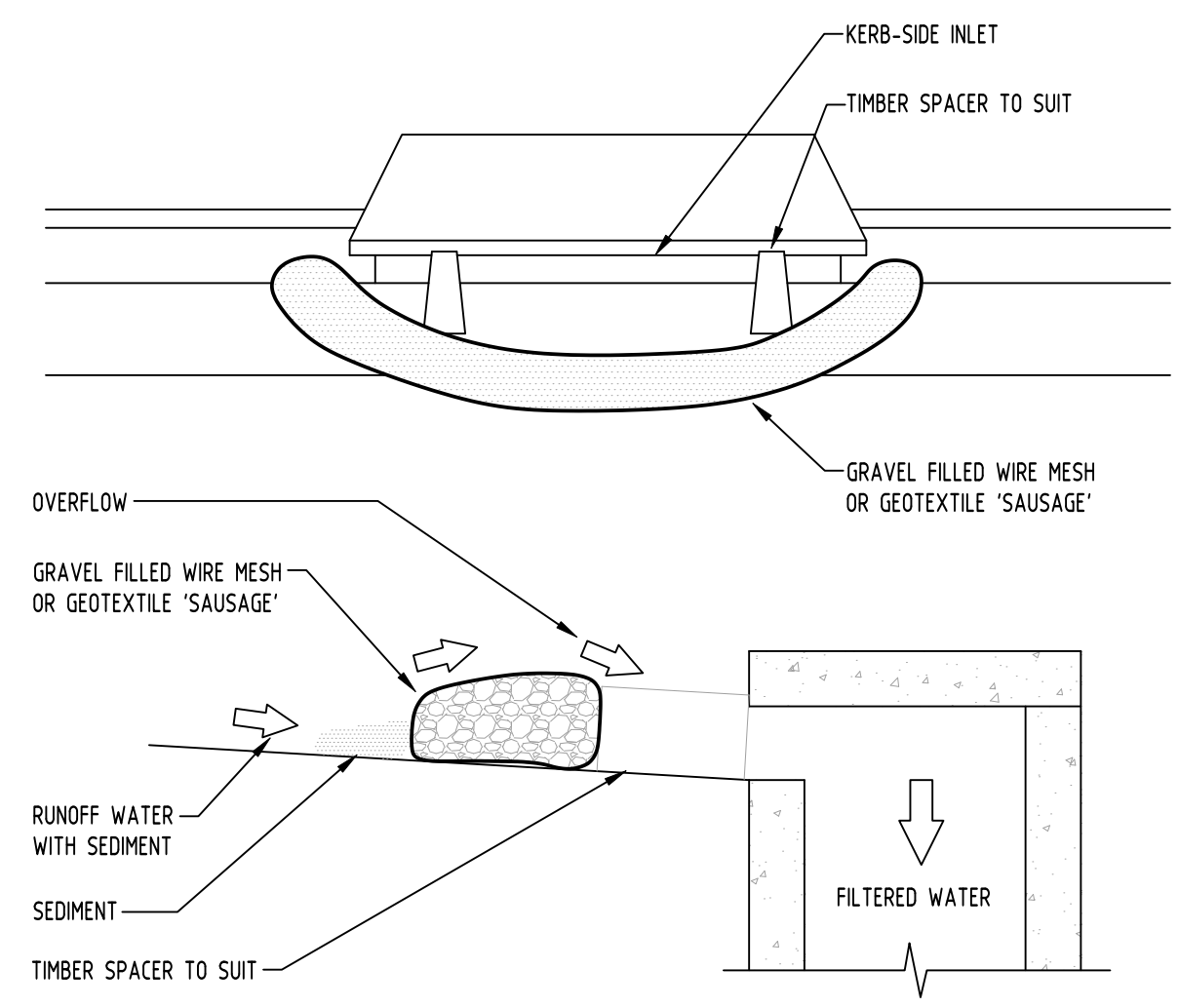


DIAGRAMMATIC VIEW



TYPICAL SECTION

**SEDIMENT FENCE**  
NOT TO SCALE



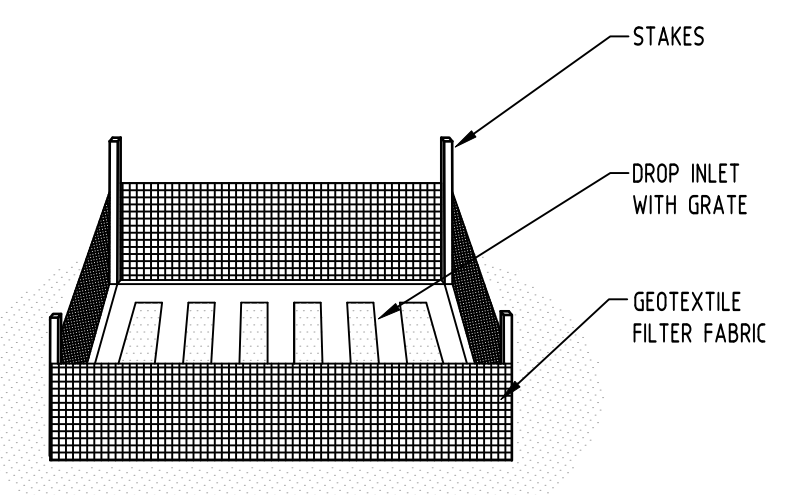
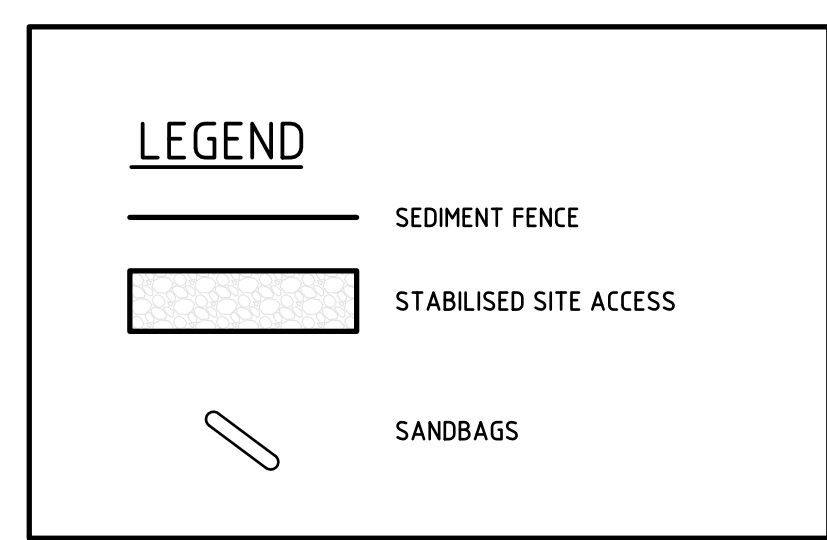
**CONSTRUCTION NOTES:**

- FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT
- FILL THE SLEEVE WITH 25mm TO 50mm GRAVEL
- FORM AN ELLIPTICAL CROSS-SECTION OF THE KERB INLET LEAVING A 100mm GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY
- MAINTAIN THE OPENING WITH SPACER BLOCKS
- FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER
- FIT TO ALL KERB INLETS AT SAG POINTS

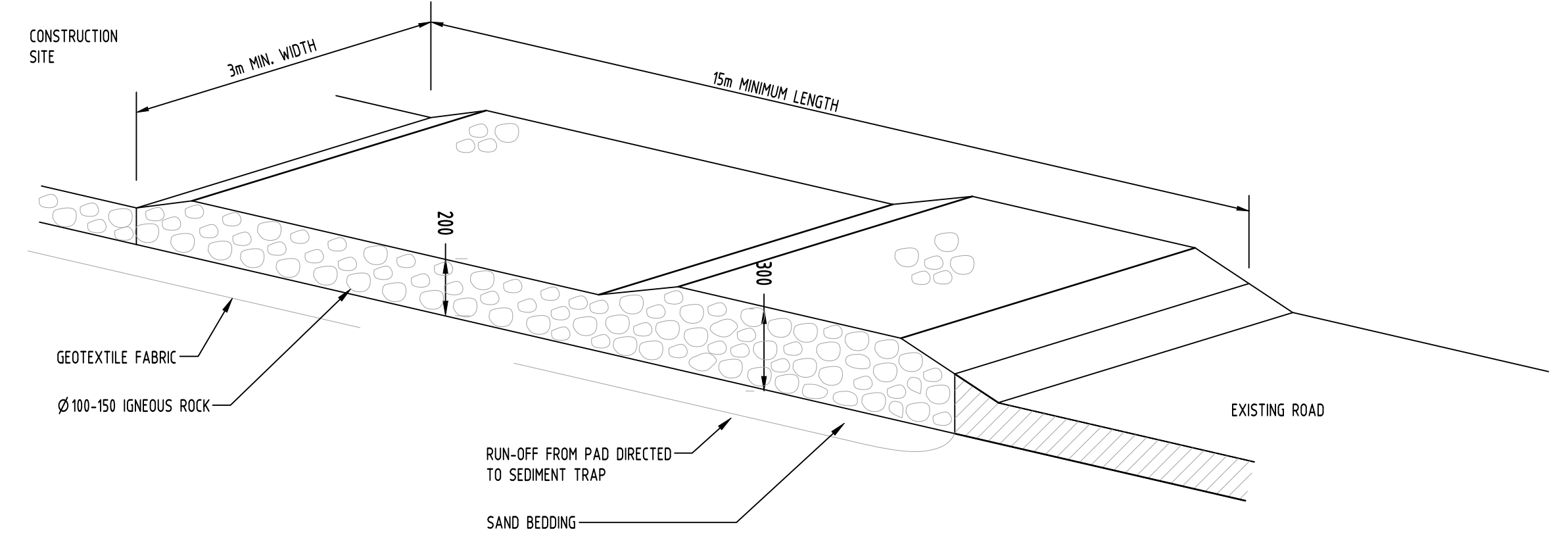
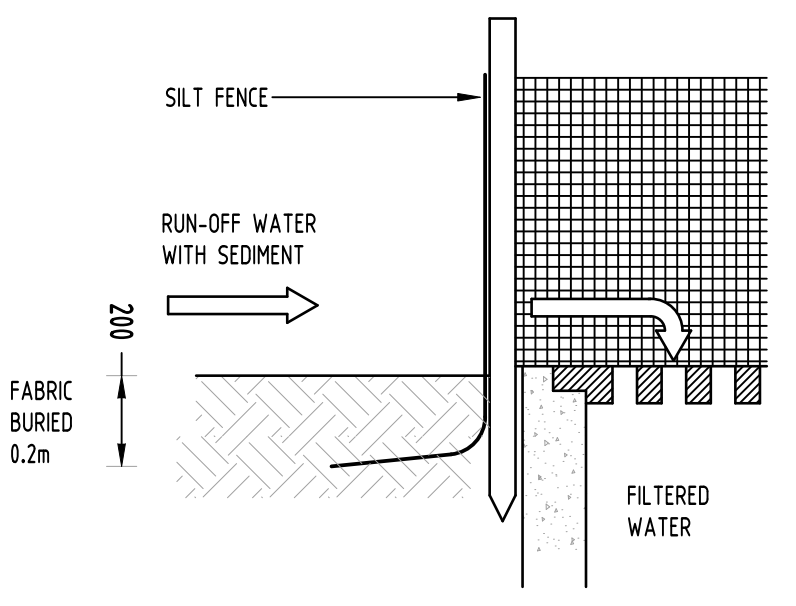
**GRAVEL INLET FILTER (SAUSAGE)**  
NOT TO SCALE

**GEOTEXTILE INLET FILTER**

GEOTEXTILE INLET FILTER IS PLACED IN EVERY PIT WITHIN THE SITE TO ENSURE THE RUNOFF WATER DURING CONSTRUCTION NOT ENTER THE PITS.



**GEOTEXTILE INLET FILTER**  
NOT TO SCALE

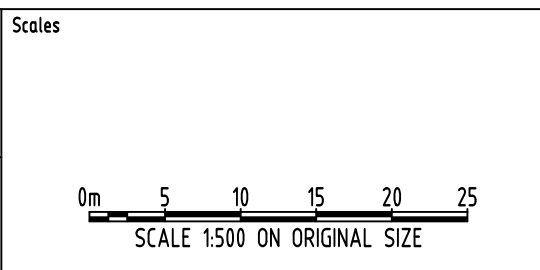


**TEMPORARY CONSTRUCTION EXIT**  
**RUBBLE ALTERNATIVE**  
NOT TO SCALE

Reference Coordination Drawing			
Discipline	Drawing Title and Number	Date	Rev.
D	ISSUE FOR DA	MS 26.05.20	2
C	ISSUE FOR DA	MS 15.05.20	2
B	ISSUE FOR DA	RJ 05.05.20	2
A	ISSUE FOR DA	RJ 30.04.20	2
P3	PRELIMINARY ISSUE	MS 24.02.20	1
P2	PRELIMINARY ISSUE	MS 17.01.20	1
P1	PRELIMINARY ISSUE	MS 29.11.19	1
Issue	Last revision title	by	Date Status

QUALITY CONTROL			
Discipline	Date	Checked	Status
DRAWN	MS 26.05.20	MS	DATE 26.05.20
CHECKED	SH 26.05.20	SH	DATE 26.05.20
DESIGNED	MS 26.05.20	MS	DATE 26.05.20
VERIFIED	SH 26.05.20	SH	DATE 26.05.20
APPROVED	SH 26.05.20	SH	DATE 26.05.20

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PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS**  
23-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	9 OF 10	1:500 @ A1
Project No	Drawing No	Revision No	
20160112	SW400	D	

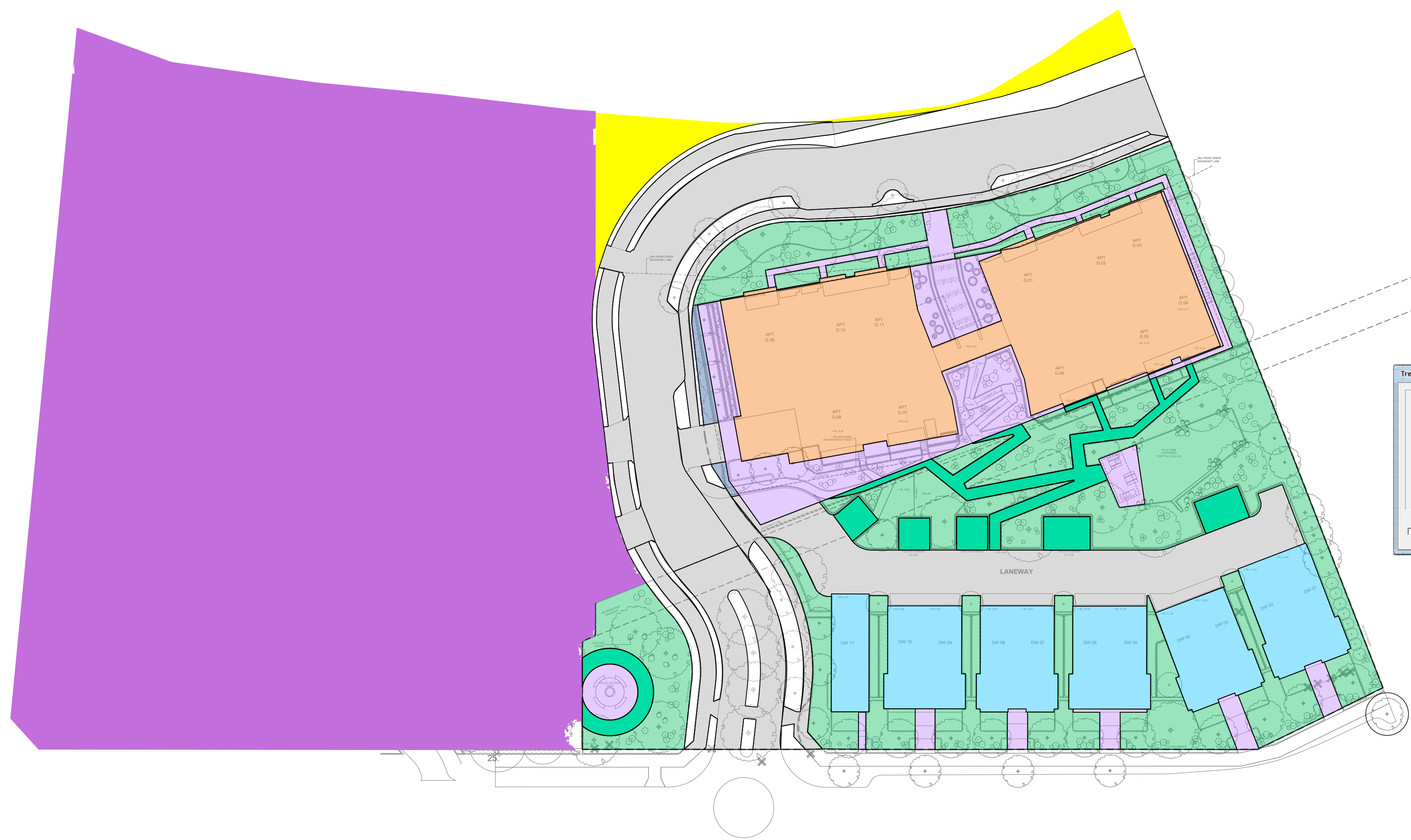
Drawing Status  
**FOR APPROVAL**  
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Drawing Title  
**EROSION AND SEDIMENT CONTROL PLAN AND DETAILS**

A.B.N. 21 118 222 530

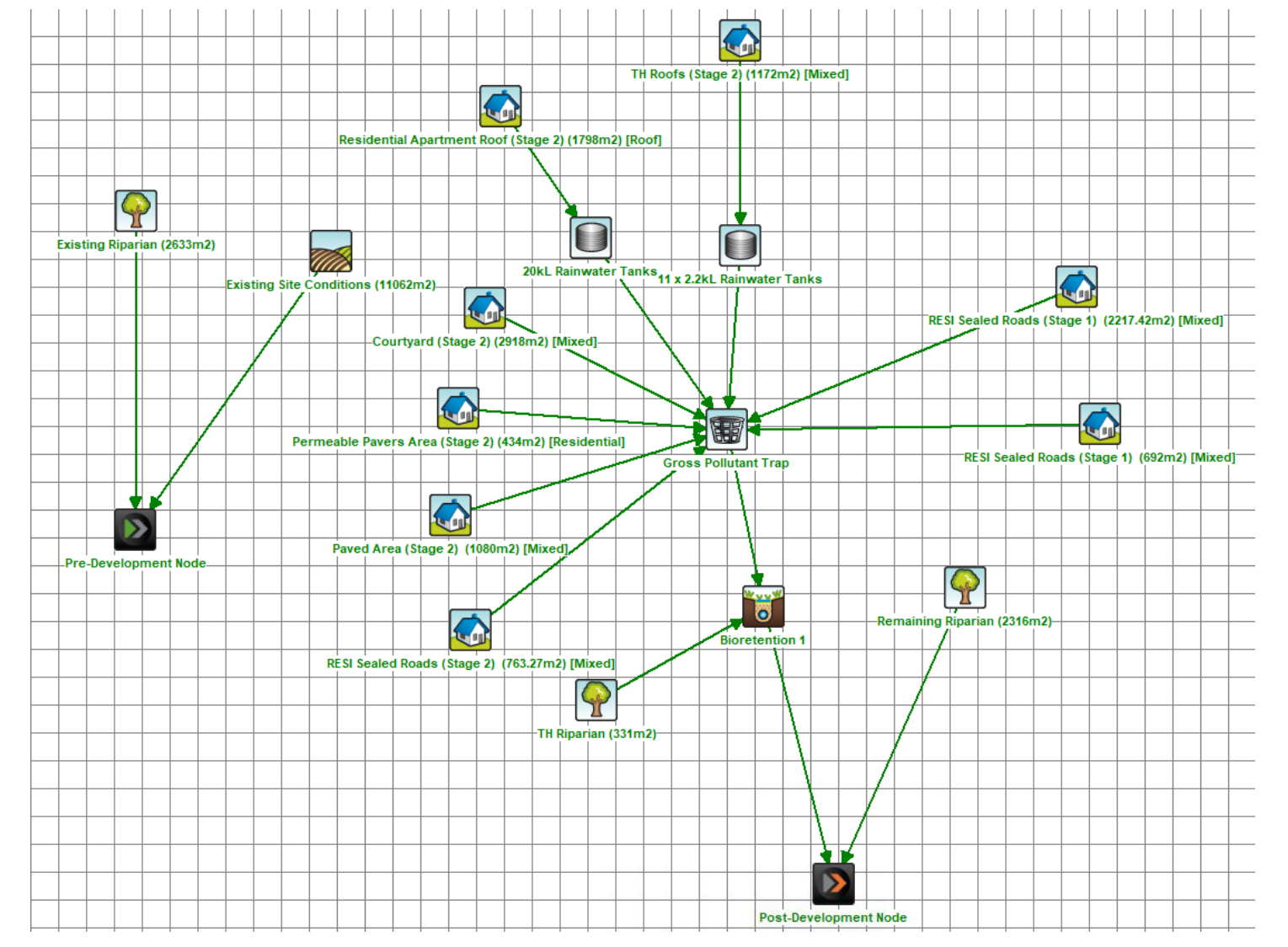


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 DA NUMBER: DA2020/0579  
 (Activation of consent must be obtained from Northern Beaches Council)



	Sources	Residual Load	% Reduction
Flow (ML/yr)	12.5	6.69	46.3
Total Suspended Solids (kg/yr)	2380	319	86.6
Total Phosphorus (kg/yr)	4.67	1.09	76.6
Total Nitrogen (kg/yr)	26.2	10.1	61.5
Gross Pollutants (kg/yr)	227	0	100

Include Pre-Development



MUSIC MODEL AND RESULT  
 NOT TO SCALE

**TOWNHOUSES CATCHMENT (BIORETENTION 1) STAGE 1**

- RIPARIAN ZONE INTO BIO 1. AREA: 331m<sup>2</sup>, 100% PERVIOUS (OUTSIDE STAGE 2 SITE AREA)
- SEALED ROADS LANDSCAPE INTO GPT & BIO 1. AREA: 692m<sup>2</sup>, 100% PERVIOUS
- SEALED ROADS INTO GPT & BIO 1. AREA: 2217m<sup>2</sup>, 100% IMPERVIOUS

**AGEDCARE (AC) CATCHMENT (BIORETENTION 2)**

- AREA WHICH MUSIC MODEL HAS BEEN APPROVED IN DA N0611/16

**STAGE 2 MUSIC CATCHMENT SUMMARY**

TOTAL PERVIOUS AREA EXCLUDING ROADS (m2)	TOTAL SITE AREA EXCLUDING ROADS (m2)	PERVIOUS (%) (OF STAGE 2 SITE AREA)
3353	8187	41.00

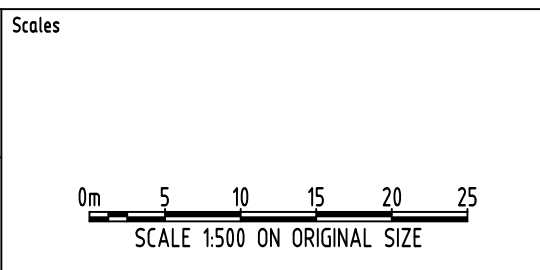
**TOWNHOUSE CATCHMENT (BIORETENTION 1) STAGE 2**

- AREA WHICH MUSIC MODEL HAS BEEN APPROVED IN DA N0611/16
- COURTYARD INTO GPT & BIO 1. AREA: 2918m<sup>2</sup>, 100% PERVIOUS
- RESIDENTIAL APARTMENT ROOF INTO 20000L RWT, GPT & BIO 1. AREA: 1798m<sup>2</sup>, 100% IMPERVIOUS
- 11 TOWNHOUSES ROOF INTO 11x2200L RWT, GPT & BIO 1. AREA: 1172m<sup>2</sup>, 100% IMPERVIOUS
- SEALED ROADS INTO GPT & BIO 1. AREA: 763.3m<sup>2</sup>, 100% IMPERVIOUS
- PAVED AREA INTO GPT & BIO 1. AREA: 1082m<sup>2</sup>, 100% IMPERVIOUS
- PERMEABLE PAVING INTO GPT & BIO 1. AREA: 434.3m<sup>2</sup>, 100% PERVIOUS

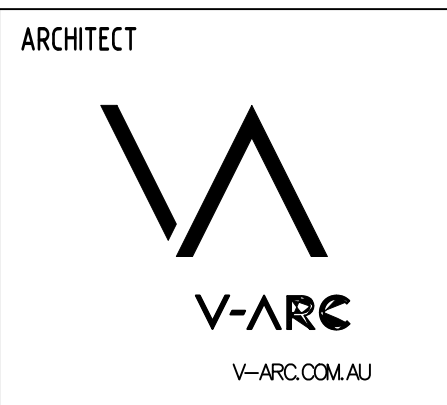
Reference Coordination Drawing			
Issue	Date	Discipline	Drawing Title and Number
D	26.05.20	MS	2
C	15.05.20	MS	2
B	05.05.20	RJ	2
A	30.04.20	RJ	2
P3	24.02.20	MS	1
P2	17.01.20	MS	1
P1	28.11.19	MS	1

QUALITY CONTROL			
Checked	SH	DATE	26.05.20
DESIGNED	MS <td>DATE</td> <td>26.05.20</td>	DATE	26.05.20
VERIFIED	SH <td>DATE</td> <td>26.05.20</td>	DATE	26.05.20
APPROVED	SH <td>DATE</td> <td>26.05.20</td>	DATE	26.05.20

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PROJECT  
**PROPOSED RESIDENTIAL APARTMENTS & DWELLING/ SEMI-DETACHED DWELLINGS**  
 25-27 WARRIEWOOD ROAD, WARRIEWOOD - STAGE II

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	10 OF 10	1:500 @ A1
Project No		Drawing No	Revision No
20160112		SW500	D

Drawing Status  
**FOR APPROVAL**  
 NOT TO BE USED FOR CONSTRUCTION PURPOSES

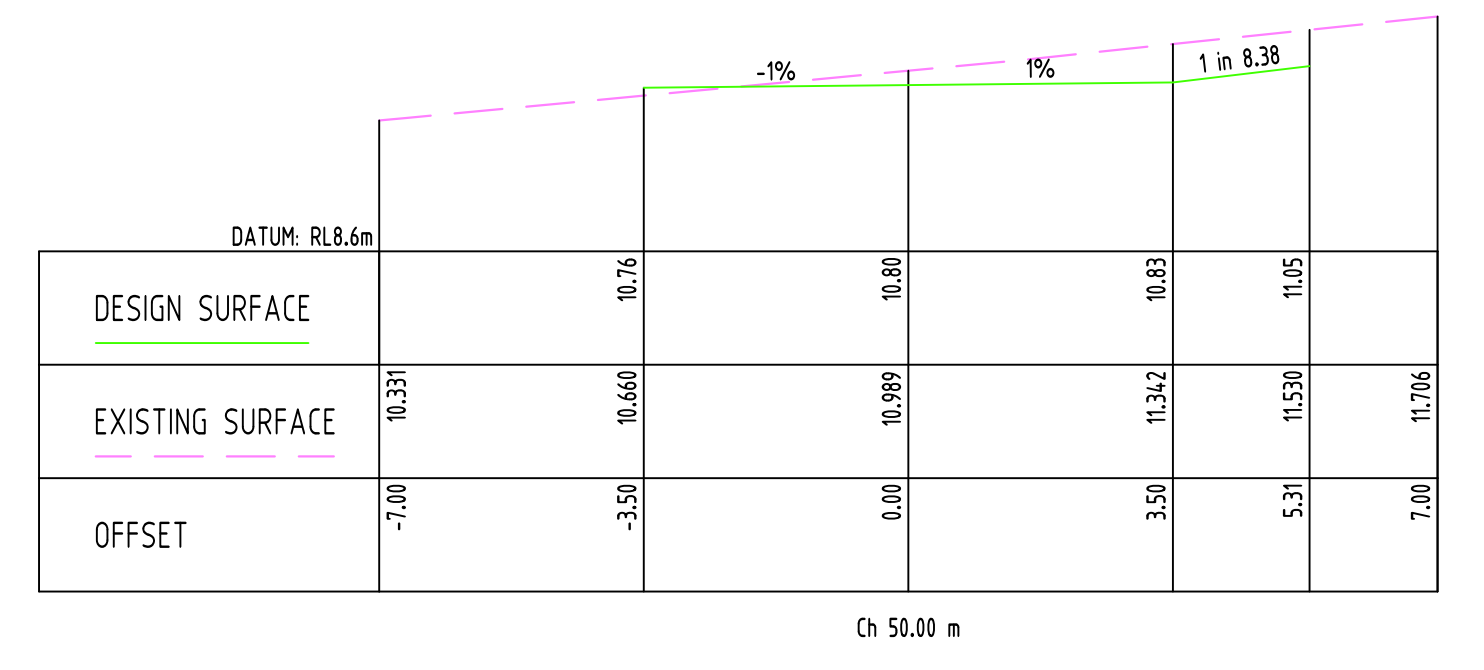
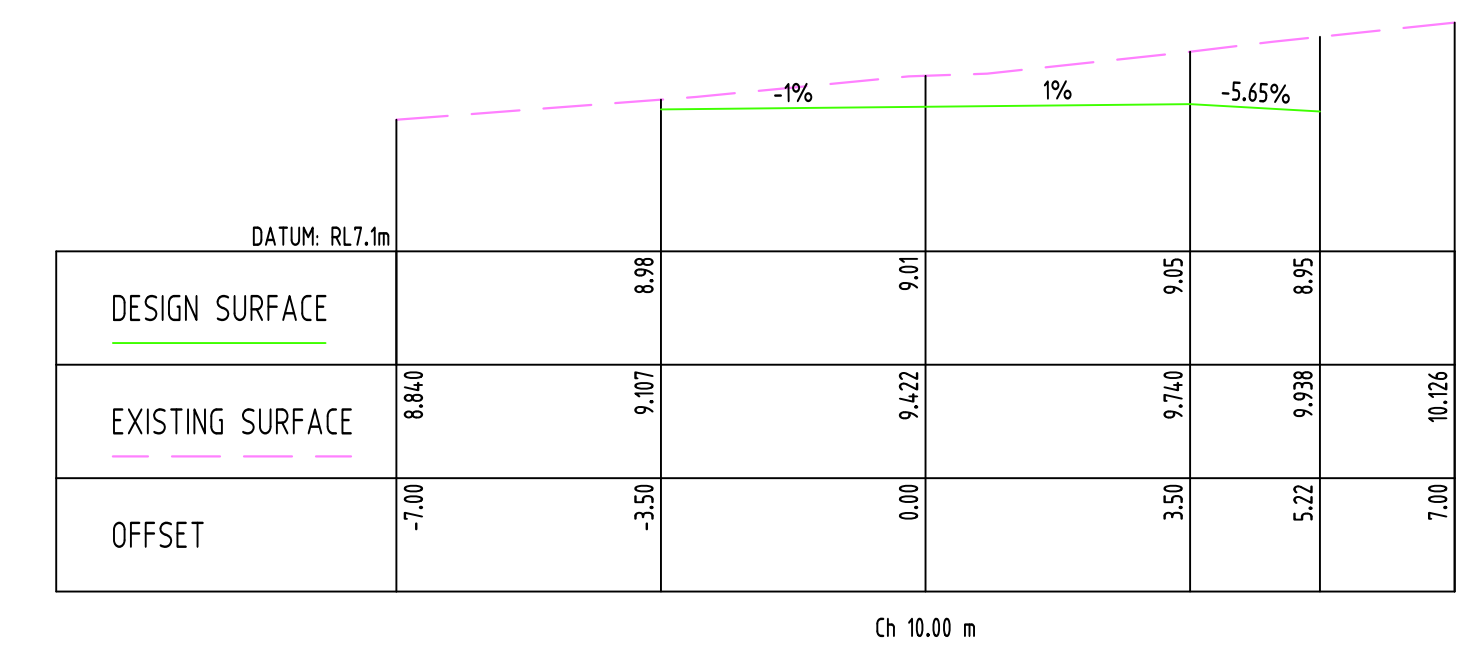
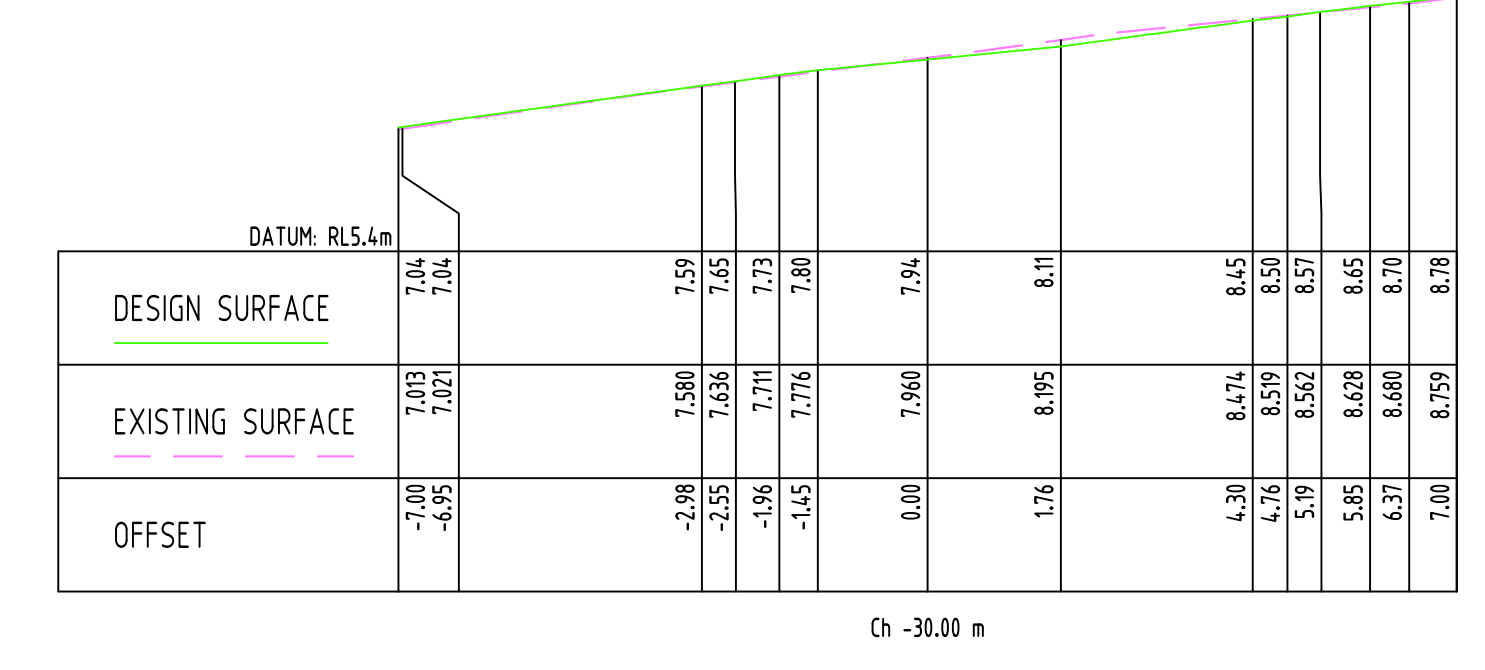
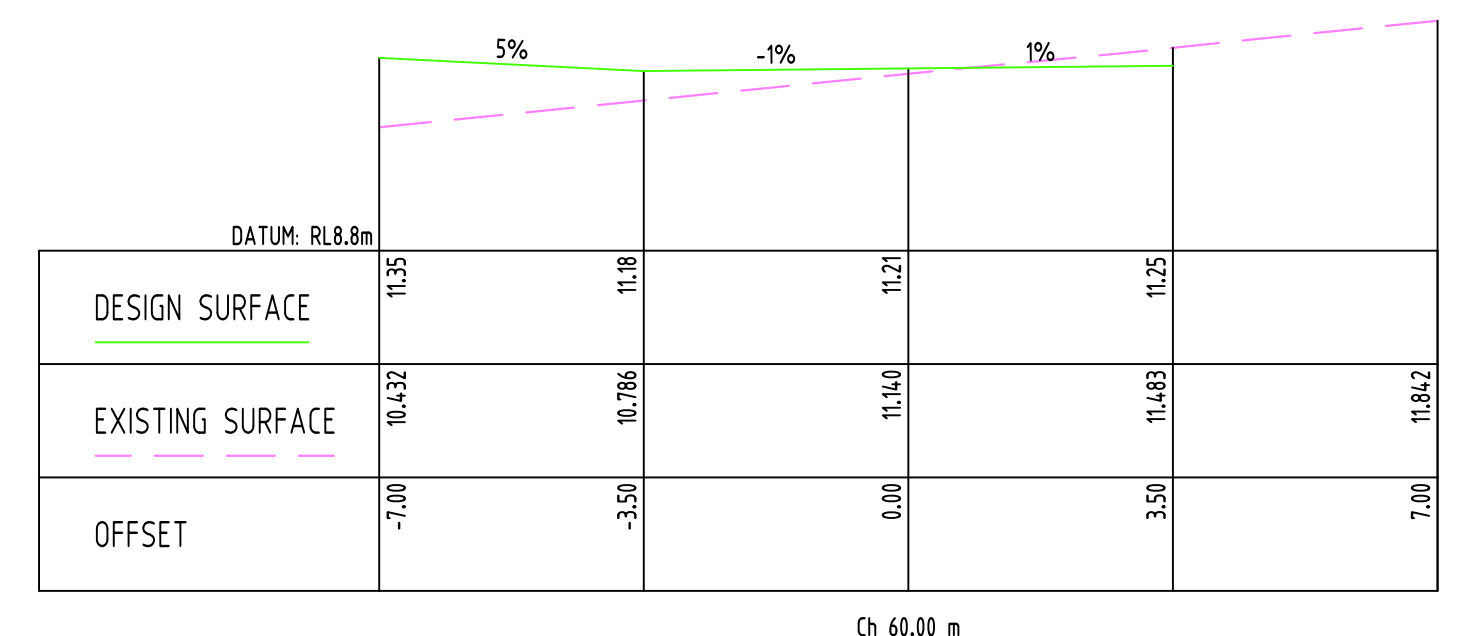
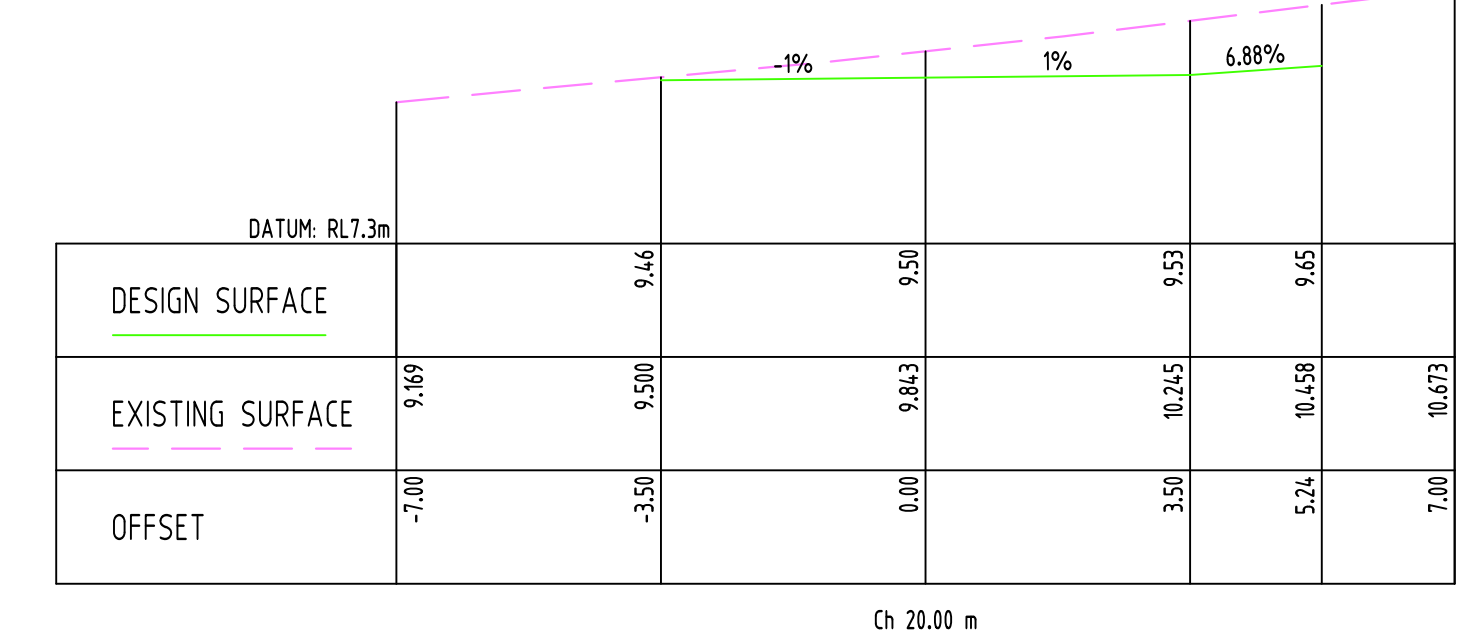
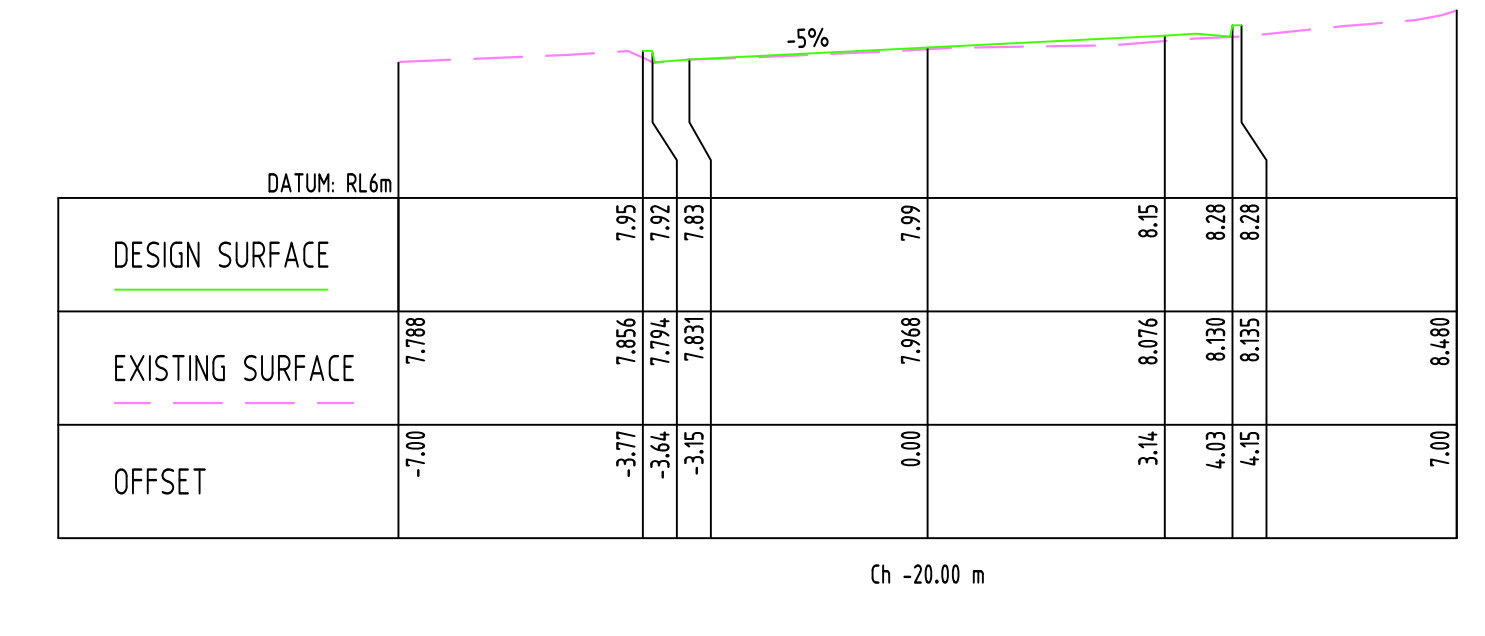
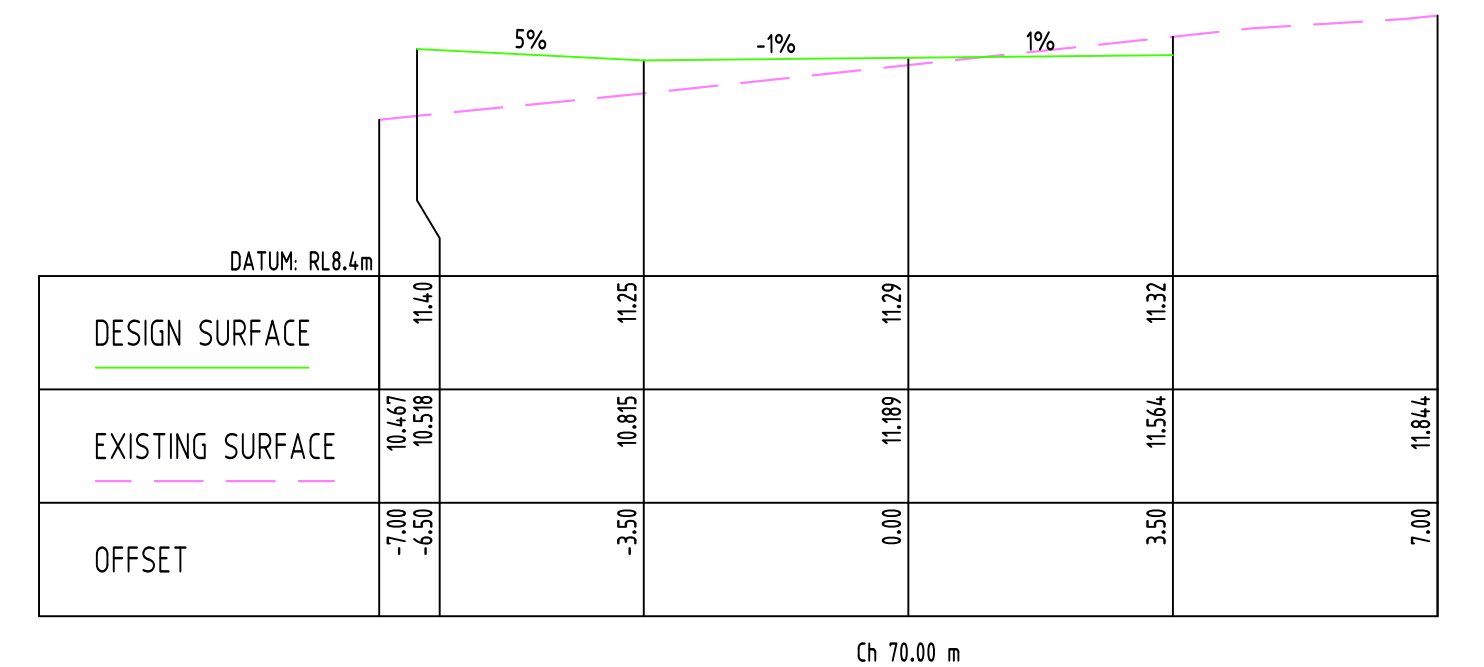
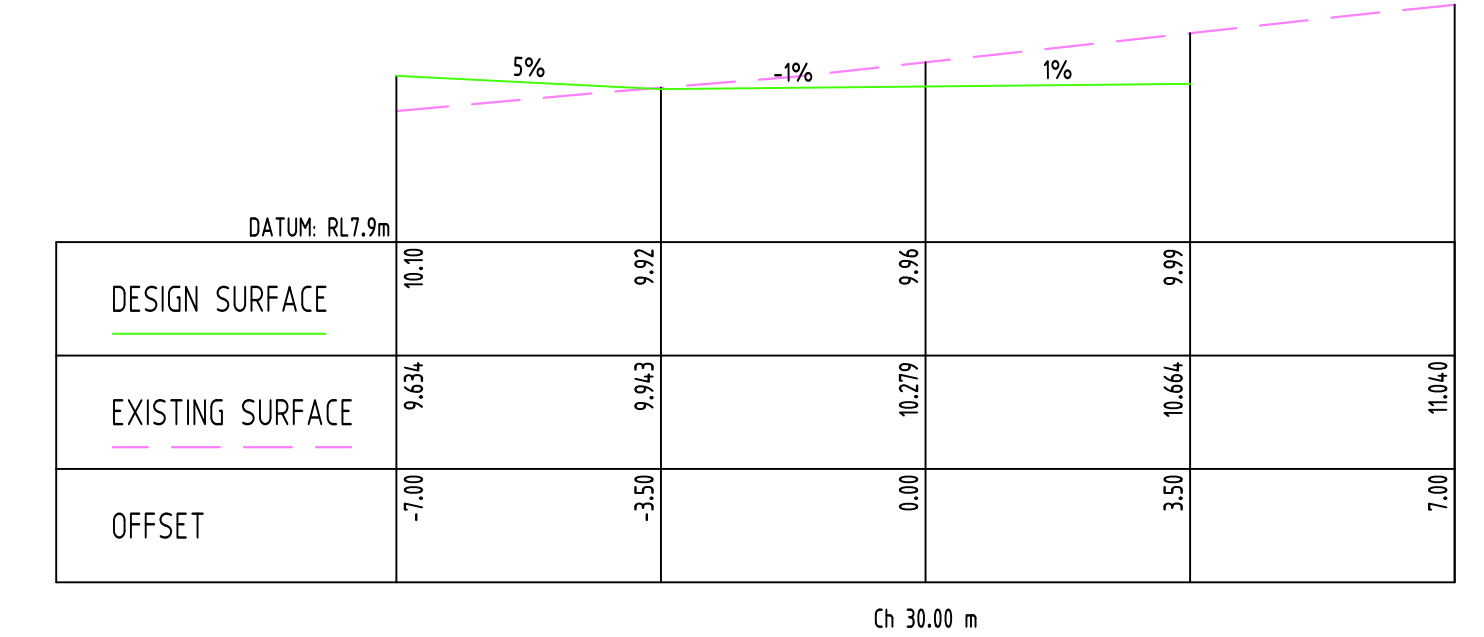
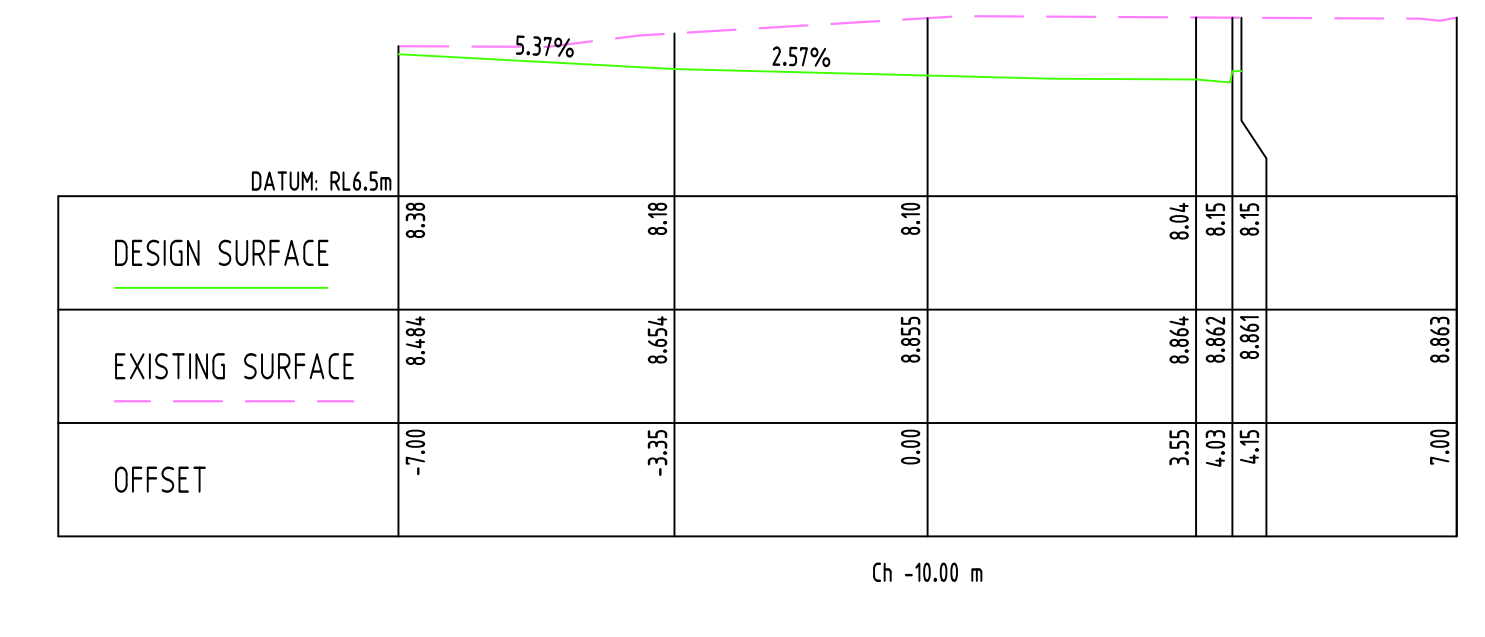
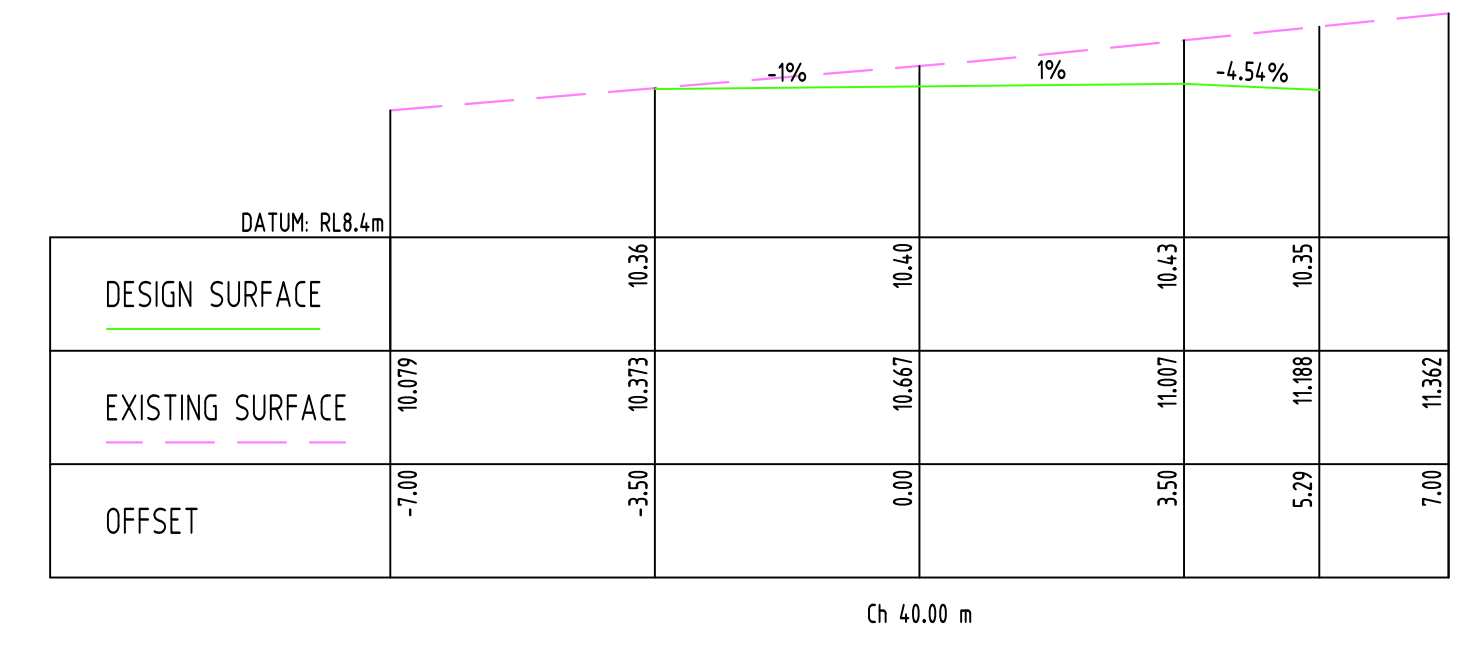
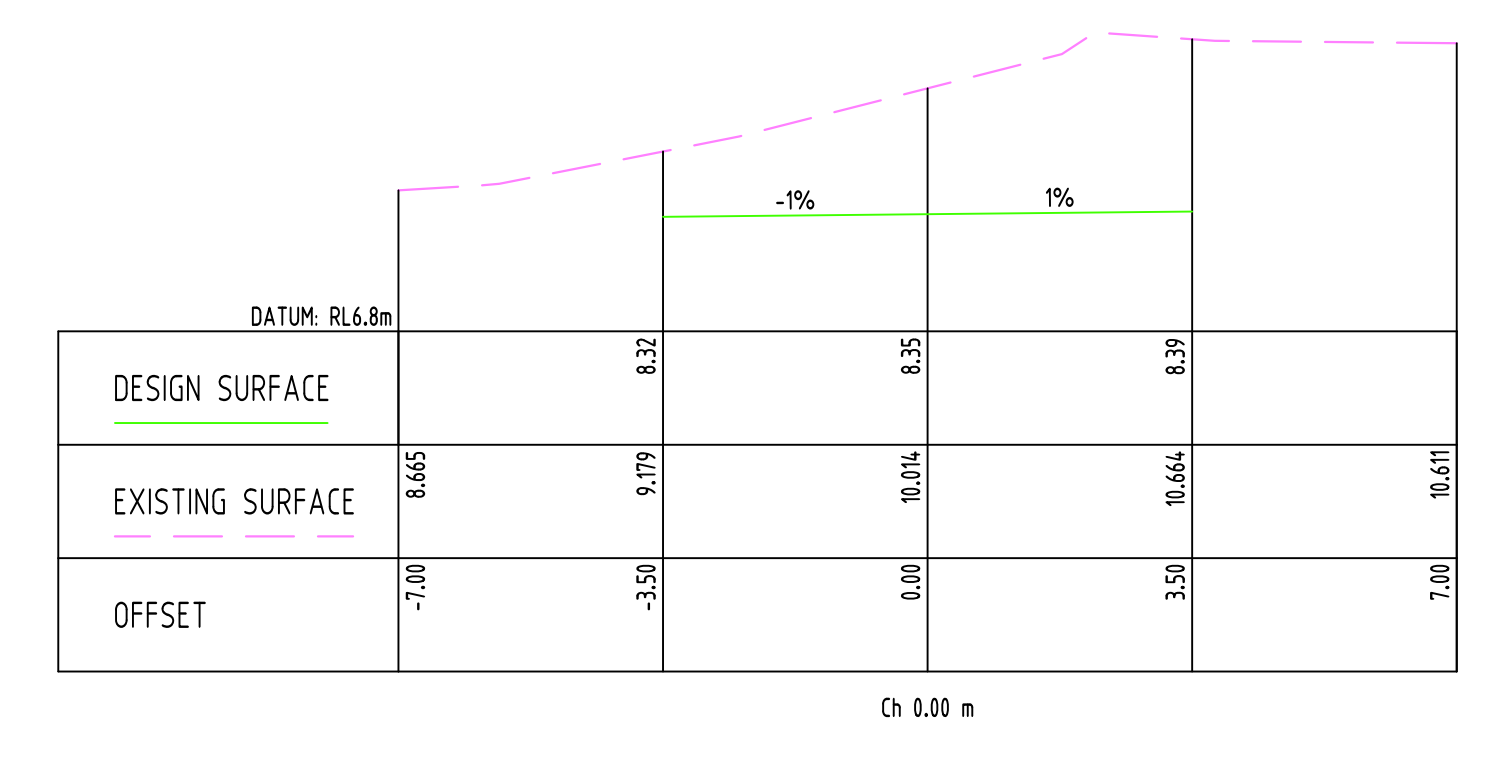
Drawing Title  
**STORMWATER CONCEPT DESIGN MUSIC CATCHMENT PLAN**








**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**  
 DA NUMBER: DA20200579  
 (Activation of consent must be obtained from Northern Beaches Council)



Discipline	Drawing Title and Number	Date	Rev.
ARCH			
STRUCT			
MECH			
ELECT			
CIVIL			
LANDSCAPE			
VEGETATION			
WATER			
SOIL			
TRAFFIC			
UTILITIES			

Issue	Date	Author	Checked
1	26.05.20		
2	26.05.20		
3	26.05.20		
4	26.05.20		
5	26.05.20		

Discipline	Checked	DATE
ARCH	CK	26.05.20
STRUCT	CK	26.05.20
MECH	CK	26.05.20
ELECT	CK	26.05.20
CIVIL	CK	26.05.20
LANDSCAPE	CK	26.05.20
VEGETATION	CK	26.05.20
WATER	CK	26.05.20
SOIL	CK	26.05.20
TRAFFIC	CK	26.05.20
UTILITIES	CK	26.05.20

WARNING: THE DESIGNER ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING.

DRAWING NO: 20160112  
 SHEET NO: 4 OF 4  
 DATE: 26.05.20

**CLIENT**  
 KNOWLES GROUP

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**PROJECT**  
 PROPOSED RESIDENTIAL  
 SUBDIVISION & AGED CARE  
 25-27 WARRIEWOOD ROAD, WARRIEWOOD

**FOR APPROVAL**  
 Drawing Title: CIVIL WORKS  
 CROSS SECTIONS ALONG LANEWAY CONTROL LINE  
 Project No: 20160112  
 Drawing No: EW401  
 Revision No: C



A.B.N. 21 118 222 530  
 MGA 56 A.H.D.  
 4 OF 4  
 NOT TO SCALE