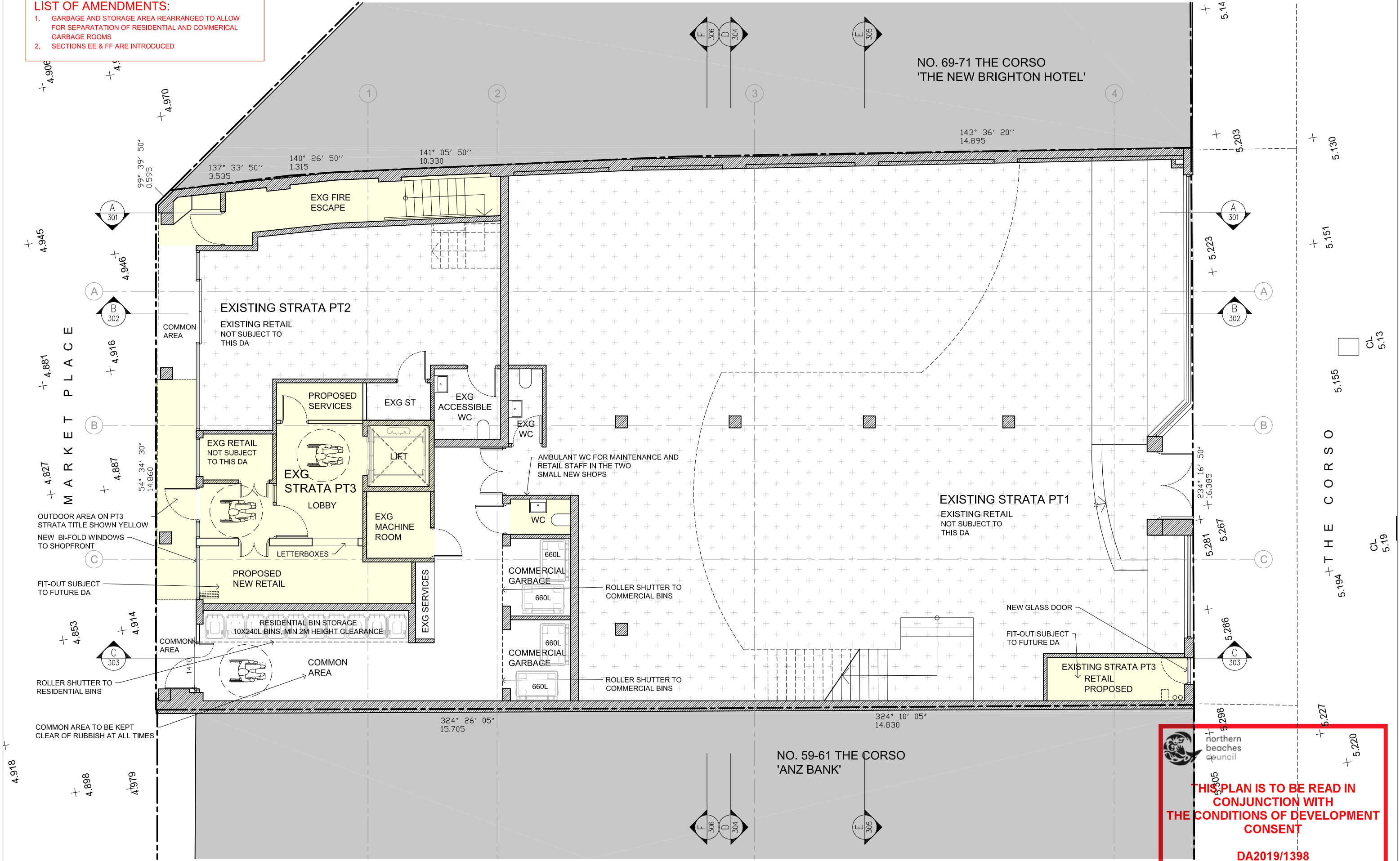


LIST OF AMENDMENTS:

- GARBAGE AND STORAGE AREA REARRANGED TO ALLOW FOR SEPARATION OF RESIDENTIAL AND COMMERCIAL GARBAGE ROOMS
- SECTIONS EE & FF ARE INTRODUCED



IMPORTANT NOTES:
Do not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

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- The Esplanade Planning Level is min 3.1m AHD. All levels to AHD.

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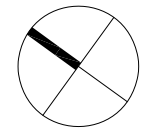
ISSUE	DATE	DESCRIPTION	BY
PR	2019.09.16	PRELIMINARY SKETCHES	FB/DL
A	2019.10.18	ISSUED TO CONSULTANTS	FB/DL
DA	2019.10.30	DEVELOPMENT APPLICATION	FB/DL
DA3	2020.05.25	AMENDED DA	FB
DA4	2020.08.07	FOR APPROVAL	FB

LEGEND	
EXISTING STRUCTURE TO BE RETAINED	REDUCED INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA
NEW CONSTRUCTION	EXISTING STRATA PT1 & PT2, NOT PART OF THIS DA
EXISTING STRATA PT 3, AREA SUBJECT TO THIS DA	
ADDITIONAL INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA	

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg Reg No. 8280

PROJECT
63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT
PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD



DRAWING TITLE		PROJECT	
GROUND FLOOR PLAN		TCM	
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	101	DA4

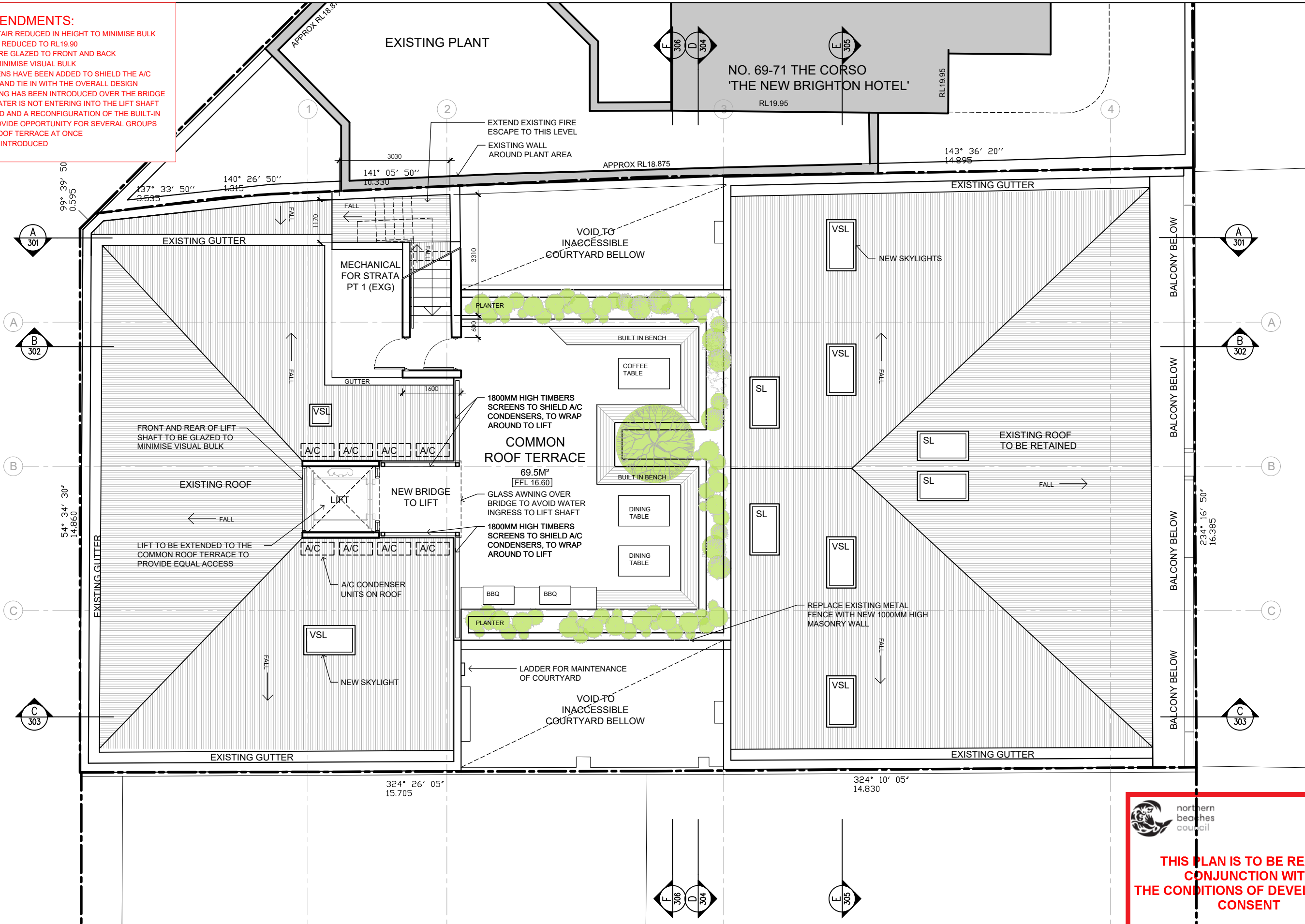
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1398

northern beaches council

LIST OF AMENDMENTS:

1. ROOF OVER STAIR REDUCED IN HEIGHT TO MINIMISE BULK
2. LIFT OVERRUN REDUCED TO RL19.90
3. LIFT ENCLOSURE GLAZED TO FRONT AND BACK TO FURTHER MINIMISE VISUAL BULK
4. TIMBER SCREENS HAVE BEEN ADDED TO SHIELD THE A/C CONDENSERS AND TIE IN WITH THE OVERALL DESIGN
5. A GLASS AWNING HAS BEEN INTRODUCED OVER THE BRIDGE TO ENSURE WATER IS NOT ENTERING INTO THE LIFT SHAFT
6. POTS REMOVED AND A RECONFIGURATION OF THE BUILT-IN BENCH TO PROVIDE OPPORTUNITY FOR SEVERAL GROUPS TO USE THE ROOF TERRACE AT ONCE
7. SECTION FF IS INTRODUCED



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ISSUE	DATE	DESCRIPTION	BY
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A	2019.10.18	ISSUED TO CONSULTANTS	FB/DL
DA	2019.10.30	DEVELOPMENT APPLICATION	FB/DL
DA2	2020.03.23	AMENDED DA	FB
DA3	2020.05.13	AMENDED DA	FB
DA4	2020.08.07	FOR APPROVAL	FB

LEGEND

- EXISTING STRUCTURE TO BE RETAINED
- NEW CONSTRUCTION
- EXISTING STRATA PT 3, AREA SUBJECT TO THIS DA
- ADDITIONAL INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA

- REDUCED INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA
- EXISTING STRATA PT1 & PT2, NOT PART OF THIS DA

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bide Gough Reg No. 8280

PROJECT

63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT

PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD



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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1398

DRAWING TITLE

ROOF PLAN/ SITE PLAN

SCALE

1:100
@A3

STATUS

DA

NUMBER

105

PROJECT

TCM

REVISION

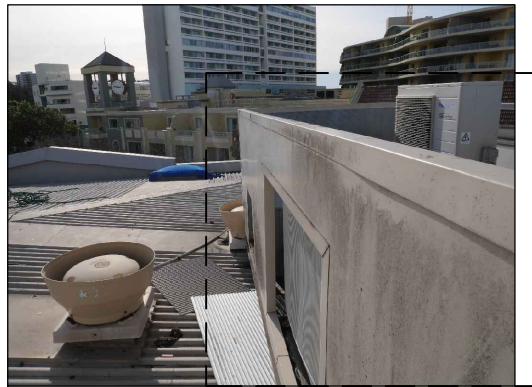
DA4



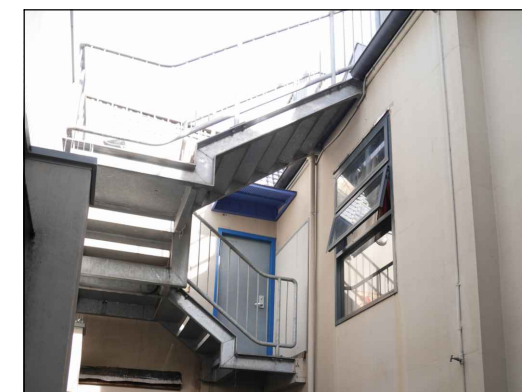
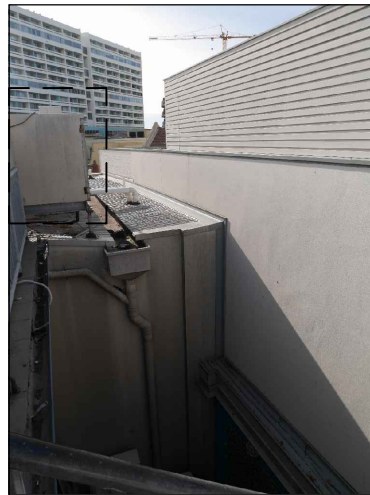
northern
beaches
council

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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

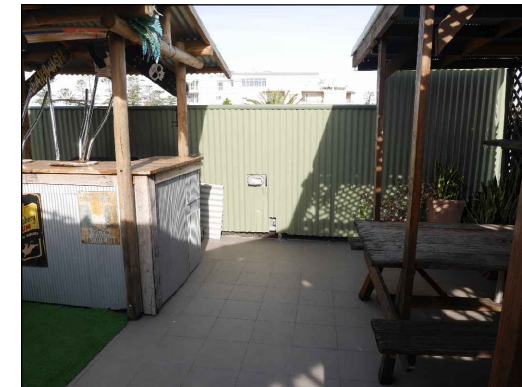
DA2019/1398



EXISTING WALLS TO MECHANICAL
PLANT (PT1) TO BE DEMOLISHED,
SEE PHOTO ABOVE AND RIGHT

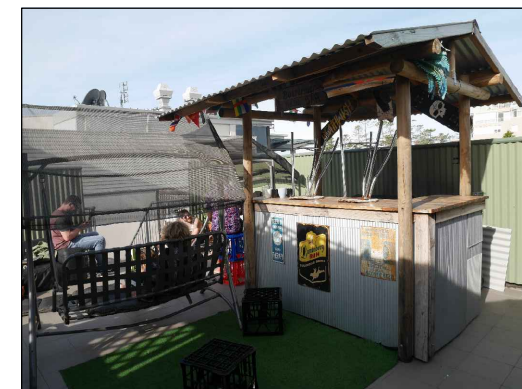


EXISTING ROOF ACCESS STAIR IN COURTYARD
TO BE REMOVED, SEE PHOTO ABOVE

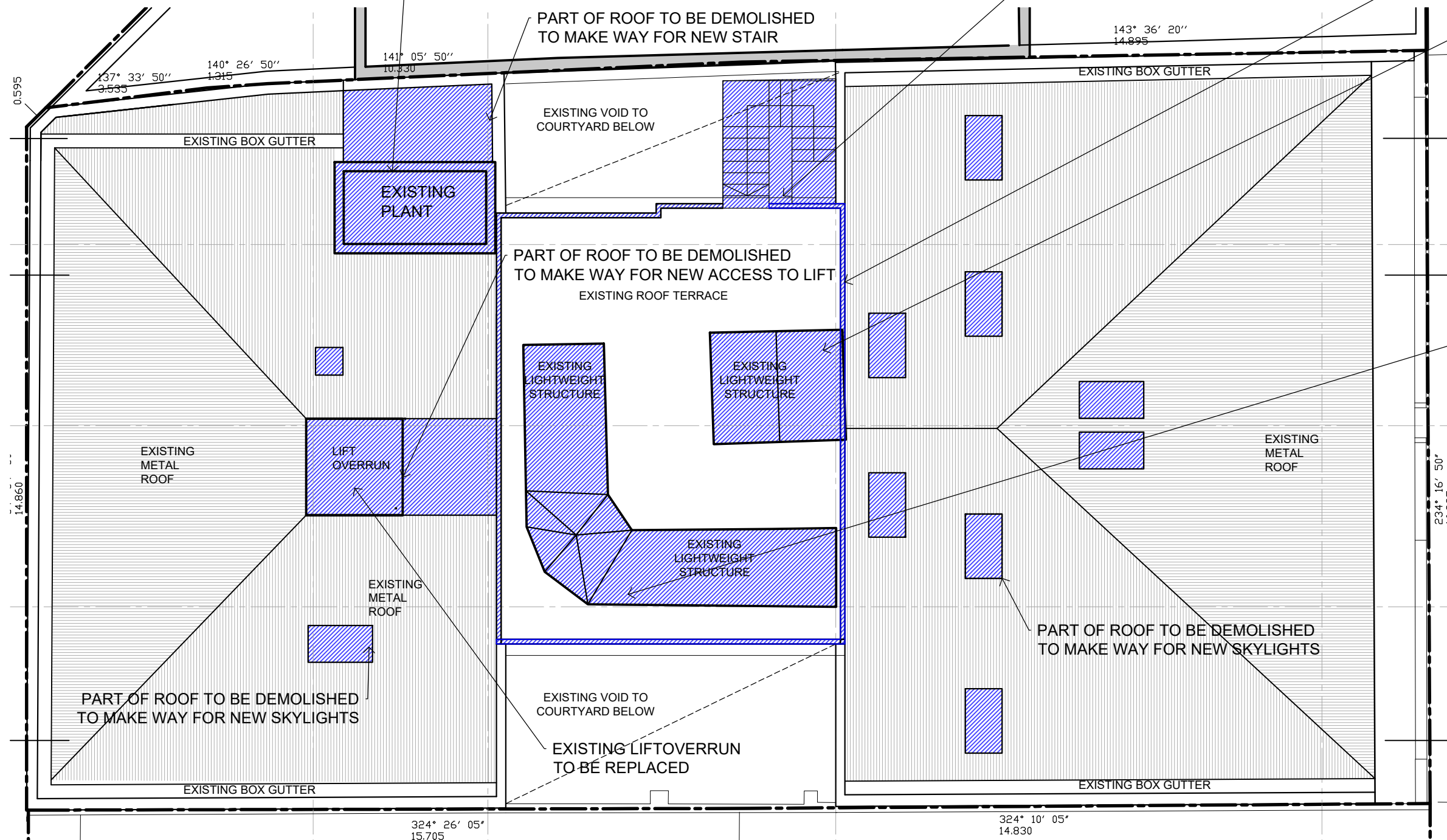
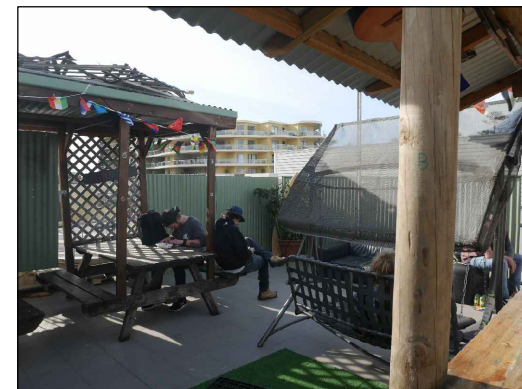


EXISTING METAL FENCE TO PERIMETER
OF ROOF TERRACE TO BE REMOVED,
SEE PHOTO ABOVE

EXISTING LIGHT-WEIGHT STRUCTURE TO
BE DEMOLISHED, SEE PHOTO BELOW



EXISTING LIGHT-WEIGHT STRUCTURE TO
BE DEMOLISHED, SEE PHOTOS BELOW



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ISSUE	DATE	DESCRIPTION	BY
DA4	2020.08.07	FOR APPROVAL	FB

LEGEND



STRUCTURE TO BE DEMOLISHED SHOWN HATCHED IN BLUE

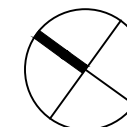
Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bide Gough Reg No. 8280

PROJECT

63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM
BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT

PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD



DRAWING TITLE

ROOF DEMOLITION PLAN

SCALE

1:100
@A3

STATUS

DA

NUMBER

108

PROJECT

TCM

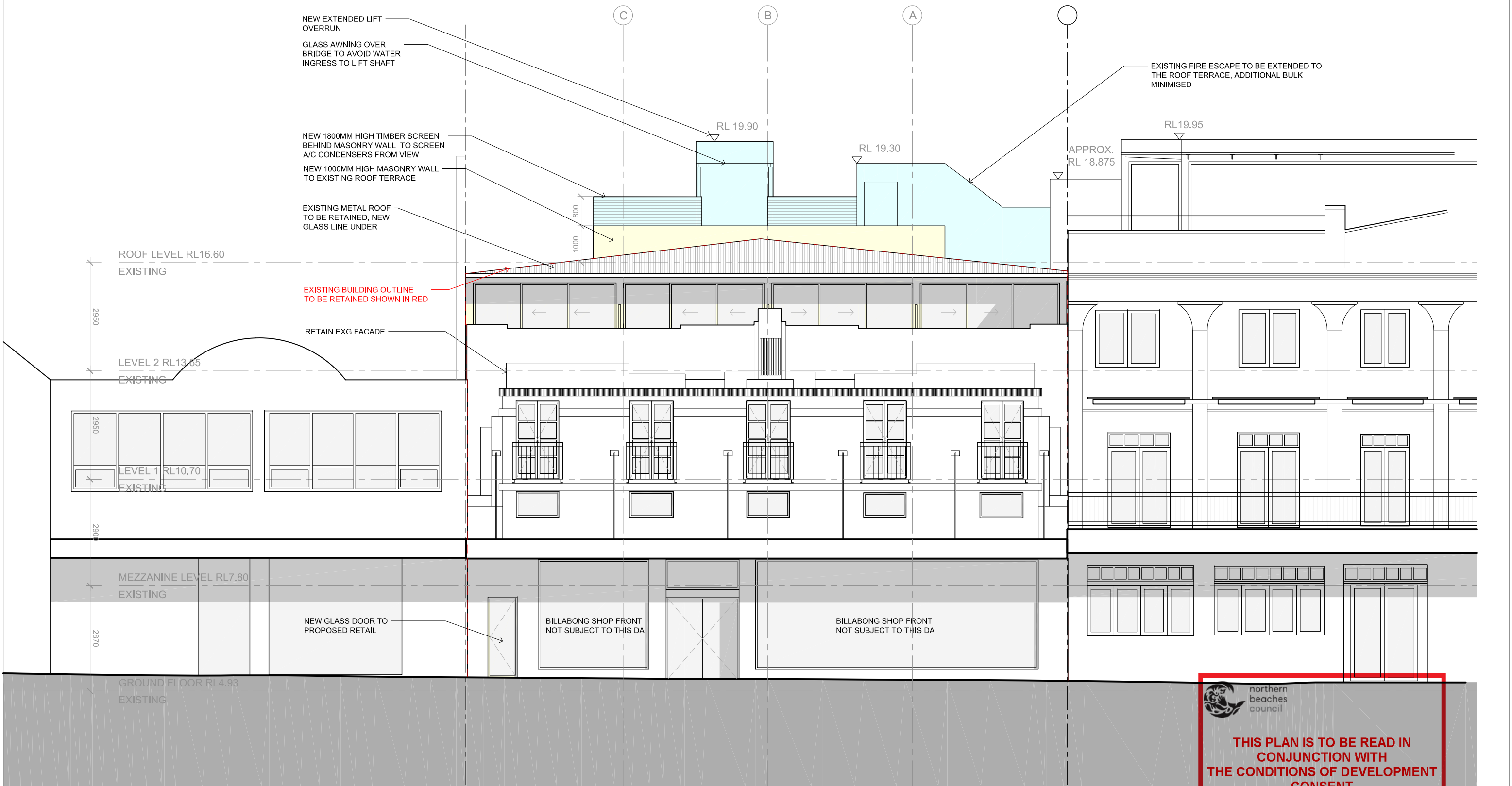
REVISION

DA4

NO. 59-61 THE CORSO
'ANZ BANK'

NO. 63-67 THE CORSO
THE SITE

NO. 69-71 THE CORSO
'THE NEW BRIGHTON HOTEL'



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1398

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REVISION	DATE	DESCRIPTION	BY
DA	2019.10.30	Development Application	FB
DA2	2020.03.23	AMENDED DA	FB
DA3	2020.07.06	AMENDED DA	FB
DA4.a	2020.08.07	CLARIFICATIONS ADDED	FB
DA4	2020.08.07	FOR APPROVAL	FB

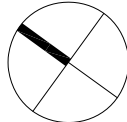
REVISION NOTES
STRUCTURES TO BE DEMOLISHED
REMOVED FROM DRAWINGS

- LEGEND
- EXISTING AND UNTOUCHED FABRIC
 - ALTERATIONS TO EXISTING FABRIC
 - ADDITIONS TO EXISTING BUILDING

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Billie Gough Reg No. 8280

PROJECT
63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM
BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

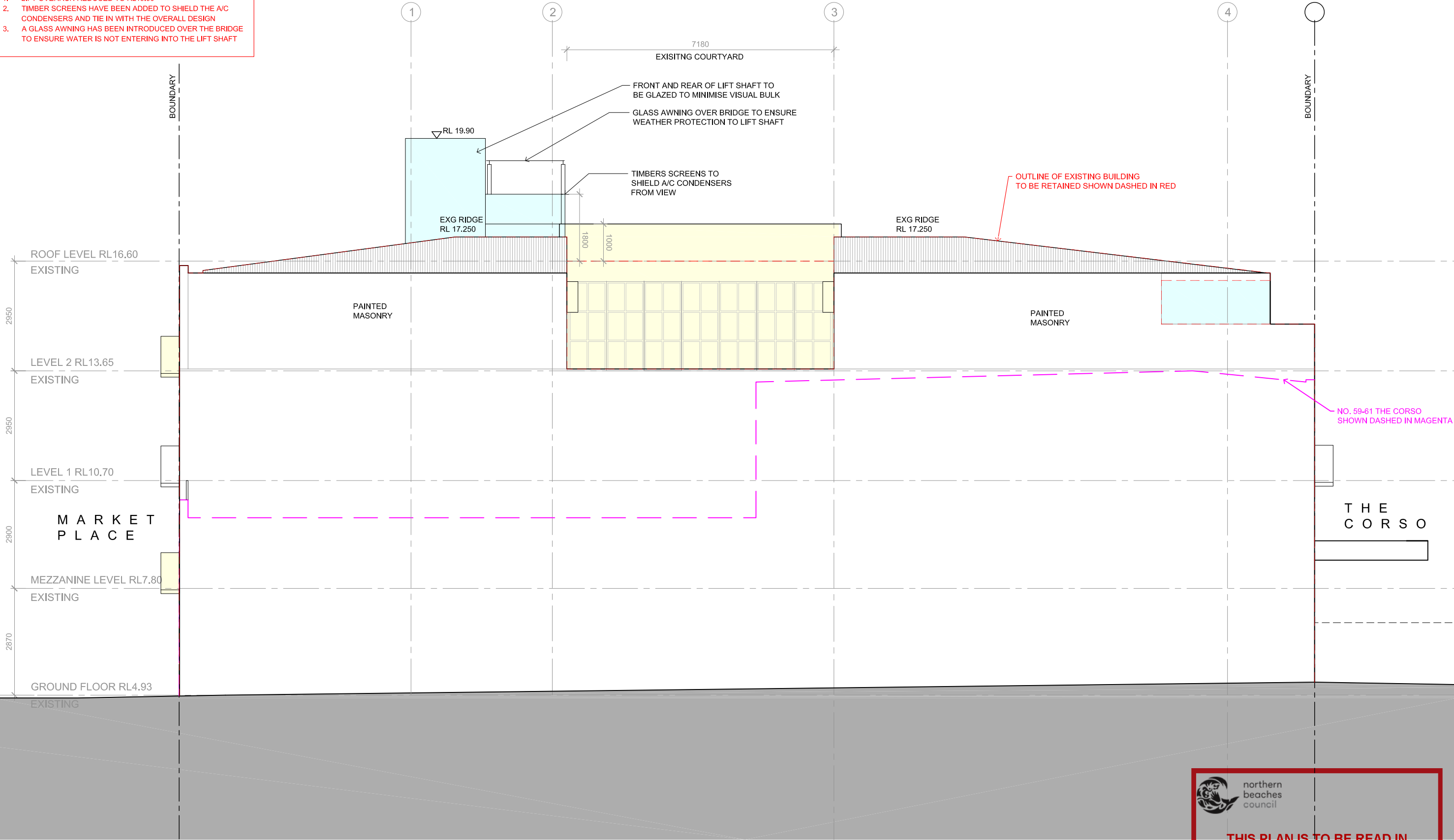
CLIENT
PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD



DRAWING TITLE	PROJECT
SOUTH ELEVATION- THE CORSO	TCM
SCALE	STATUS
1:100 @A3	DA
NUMBER	REVISION
201	DA4

LIST OF AMENDMENTS:

1. LIFT OVERRUN REDUCED TO RL19.90
2. TIMBER SCREENS HAVE BEEN ADDED TO SHIELD THE A/C CONDENSERS AND TIE IN WITH THE OVERALL DESIGN
3. A GLASS AWNING HAS BEEN INTRODUCED OVER THE BRIDGE TO ENSURE WATER IS NOT ENTERING INTO THE LIFT SHAFT



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CONSENT

DA2019/1398

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- The Estate Planning Level is min 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
DA	2019.10.30	Development Application	FB
DA2	2020.03.23	AMENDED DA	FB
DA3	2020.07.06	AMENDED DA	FB
DA4	2020.08.07	FOR APPROVAL	FB

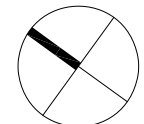
REVISION NOTES
STRUCTURES TO BE DEMOLISHED
REMOVED FROM DRAWINGS

LEGEND
EXISTING AND UNTOUCHED FABRIC
ALTERATIONS TO EXISTING FABRIC
ADDITIONS TO EXISTING BUILDING

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Billie Gough Reg No. 8280

PROJECT
63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM
BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT
PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD

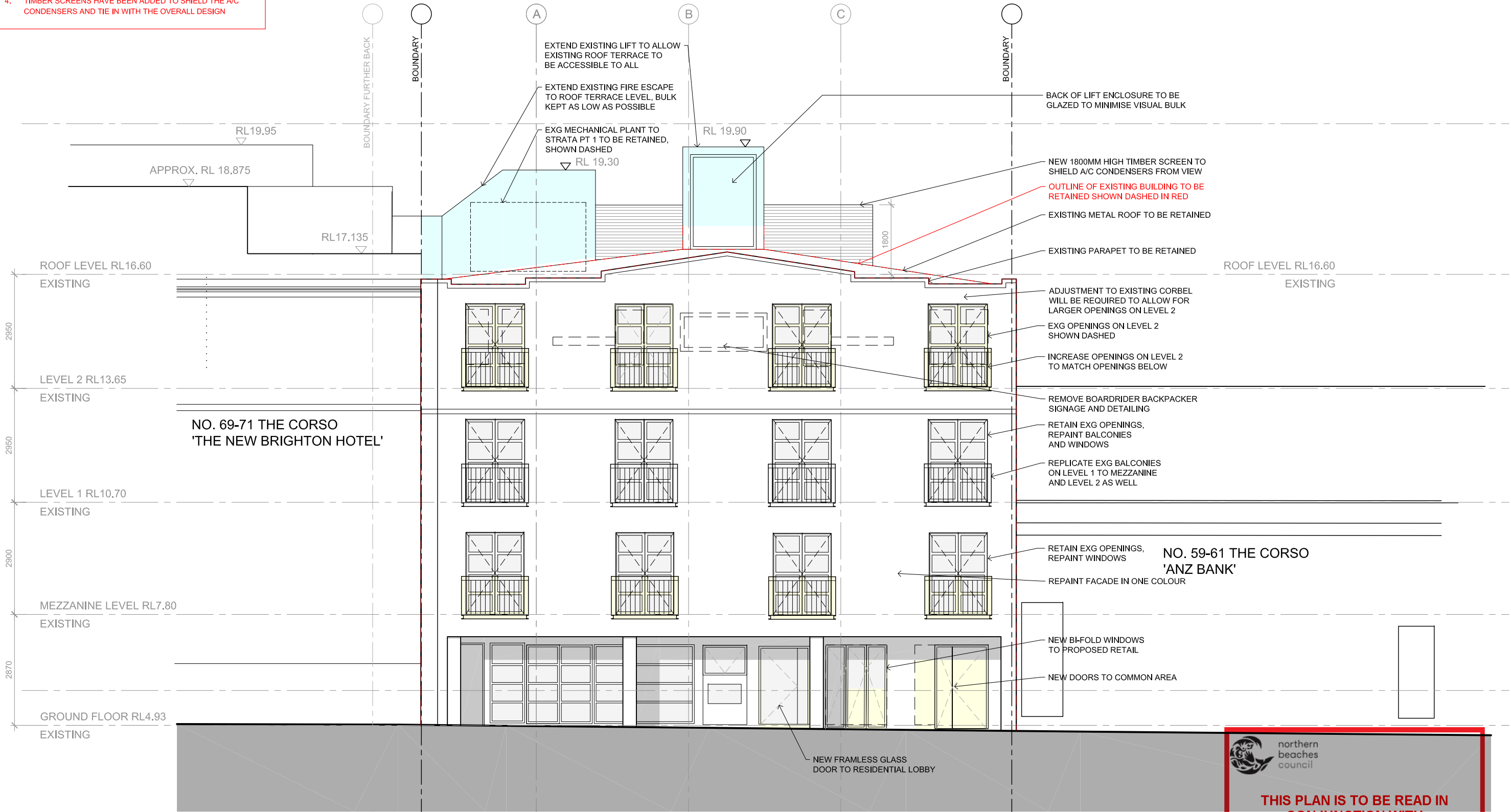


DRAWING TITLE			PROJECT
WEST ELEVATION			TCM
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	202	DA4

LIST OF AMENDMENTS:

1. ROOF OVER STAIR REDUCED IN HEIGHT TO MINIMISE BULK
2. LIFT OVERRUN REDUCED TO RL19.90
3. LIFT ENCLOSURE GLAZED TO FRONT AND BACK TO FURTHER MINIMISE VISUAL BULK
4. TIMBER SCREENS HAVE BEEN ADDED TO SHIELD THE A/C CONDENSERS AND TIE IN WITH THE OVERALL DESIGN

NO. 63-67 THE CORSO
THE SITE



THIS PLAN IS TO BE READ IN
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CONSENT

DA2019/1398

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REVISION	DATE	DESCRIPTION	BY
DA	2019.10.30	Development Application	FB
DA2	2020.03.23	AMENDED DA	FB
DA3	2020.07.06	AMENDED DA	FB
DA4.a	2020.08.07	CLARIFICATIONS ADDED	FB
DA4	2020.08.07	FOR APPROVAL	FB

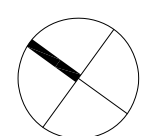
REVISION NOTES
STRUCTURES TO BE DEMOLISHED
REMOVED FROM DRAWINGS

- LEGEND
- EXISTING AND UNTOUCHED FABRIC
 - ALTERATIONS TO EXISTING FABRIC
 - ADDITIONS TO EXISTING BUILDING

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Billie Gough Reg No. 8280

PROJECT
63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM
BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT
PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD

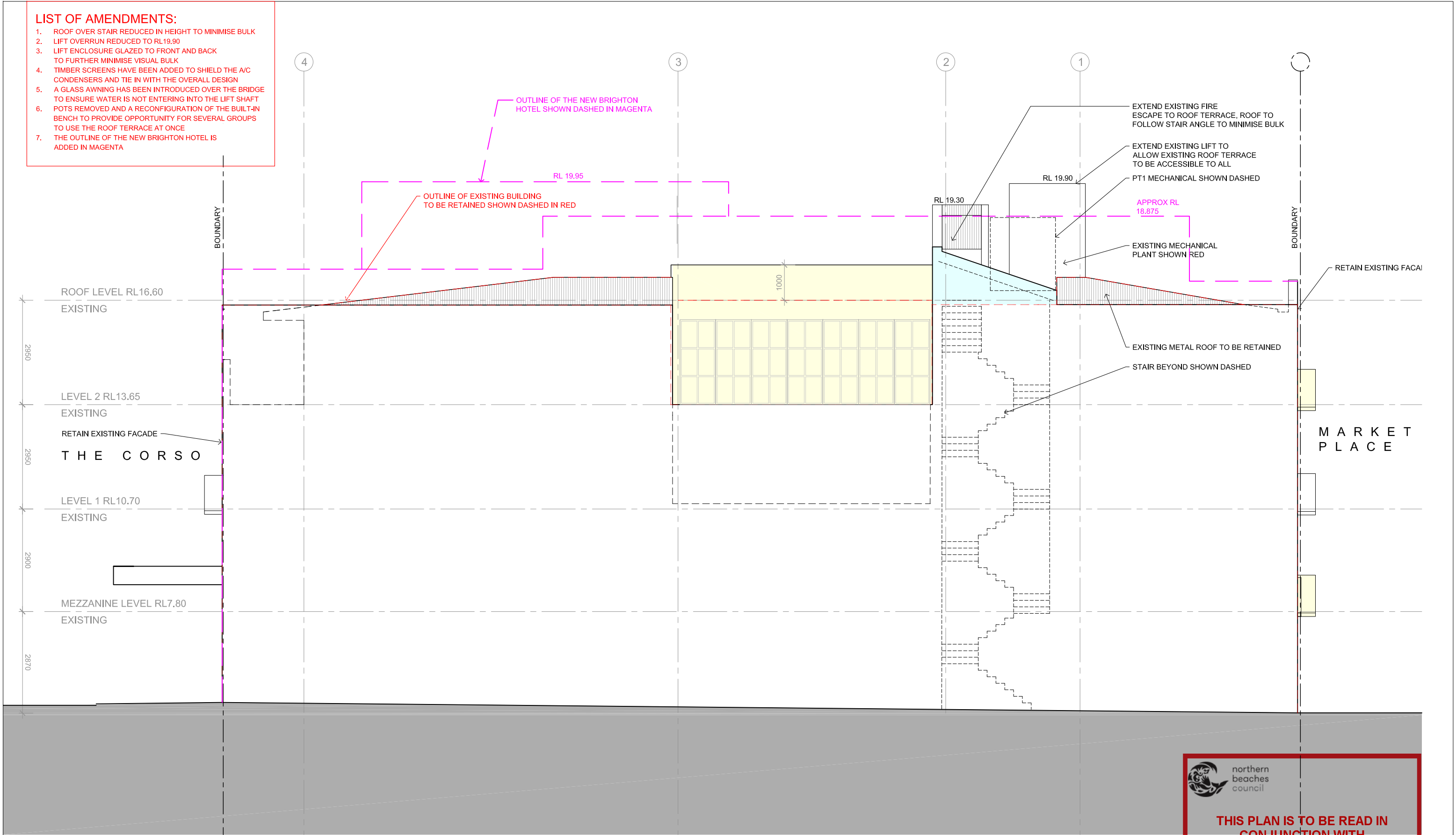



DRAWING TITLE	STATUS	NUMBER	REVISION
NORTH ELEVATION	DA	203	DA4
SCALE			
1:100 @A3			

PROJECT
TCM

LIST OF AMENDMENTS:

1. ROOF OVER STAIR REDUCED IN HEIGHT TO MINIMISE BULK
2. LIFT OVERRUN REDUCED TO RL19.90
3. LIFT ENCLOSURE GLAZED TO FRONT AND BACK TO FURTHER MINIMISE VISUAL BULK
4. TIMBER SCREENS HAVE BEEN ADDED TO SHIELD THE A/C CONDENSERS AND TIE IN WITH THE OVERALL DESIGN
5. A GLASS AWNING HAS BEEN INTRODUCED OVER THE BRIDGE TO ENSURE WATER IS NOT ENTERING INTO THE LIFT SHAFT
6. POTS REMOVED AND A RECONFIGURATION OF THE BUILT-IN BENCH TO PROVIDE OPPORTUNITY FOR SEVERAL GROUPS TO USE THE ROOF TERRACE AT ONCE
7. THE OUTLINE OF THE NEW BRIGHTON HOTEL IS ADDED IN MAGENTA

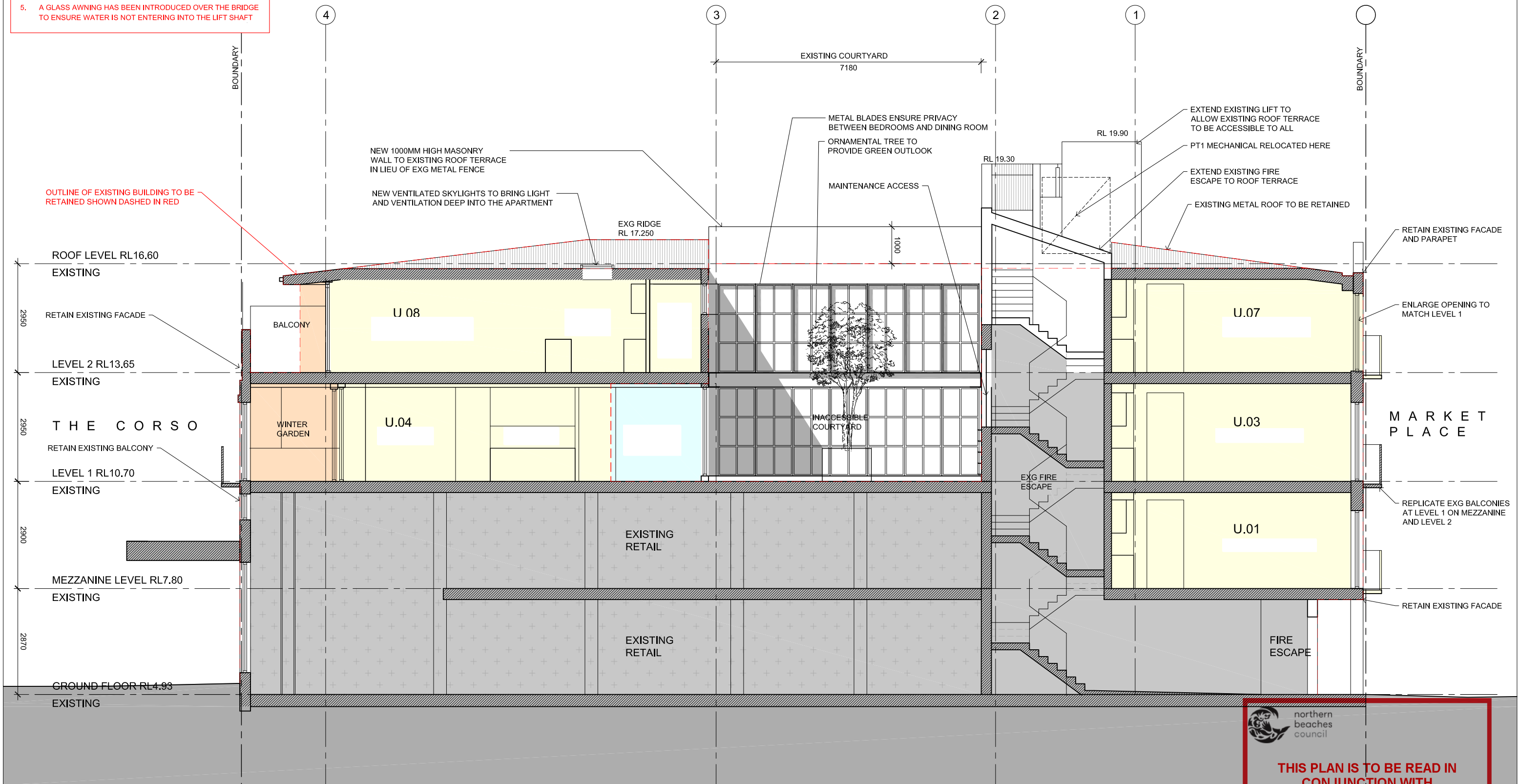



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1398

- LIST OF AMENDMENTS:**
- 1. ROOF OVER STAIR REDUCED IN HEIGHT TO MINIMISE BULK
 - 2. LIFT OVERRUN REDUCED TO RL19.90
 - 3. LIFT ENCLOSURE GLAZED TO FRONT AND BACK TO FURTHER MINIMISE VISUAL BULK
 - 4. TIMBER SCREENS HAVE BEEN ADDED TO SHIELD THE A/C CONDENSERS AND TIE IN WITH THE OVERALL DESIGN
 - 5. A GLASS AWNING HAS BEEN INTRODUCED OVER THE BRIDGE TO ENSURE WATER IS NOT ENTERING INTO THE LIFT SHAFT

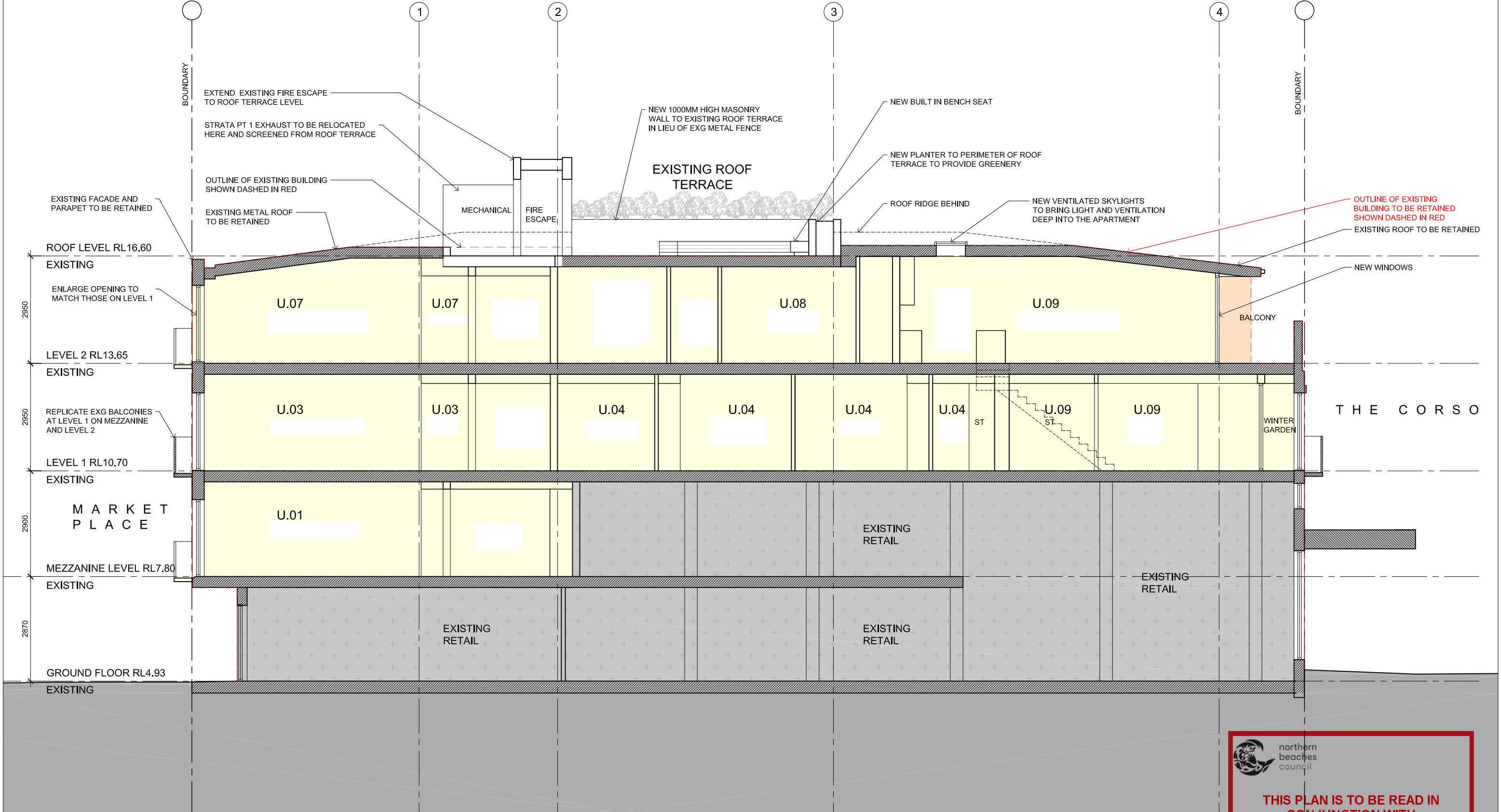


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DA2019/1398

LIST OF AMENDMENTS:
1. ROOF OVER STAIR REDUCED IN HEIGHT TO MINIMISE BULK



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DA2	2020.03.23	AMENDED DA	FB
DA3	2020.07.06	AMENDED DA	FB
DA4	2020.08.07	FOR APPROVAL	FB

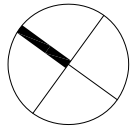
LEGEND


EXISTING STRUCTURE TO BE RETAINED	REDUCED INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA
NEW CONSTRUCTION	EXISTING STRATA PT1 & PT2, NOT PART OF THIS DA
EXISTING STRATA PT 3, AREA SUBJECT TO THIS DA	AREA TO REMAIN UNCHANGED
ADDITIONAL INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA	

Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 8846 Gough Reg No. 8280

PROJECT
63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT
PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD



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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1398

DRAWING TITLE
SECTION BB

SCALE
1:100
@A3

STATUS
DA

NUMBER
302

REVISION
DA4

PROJECT
TCM

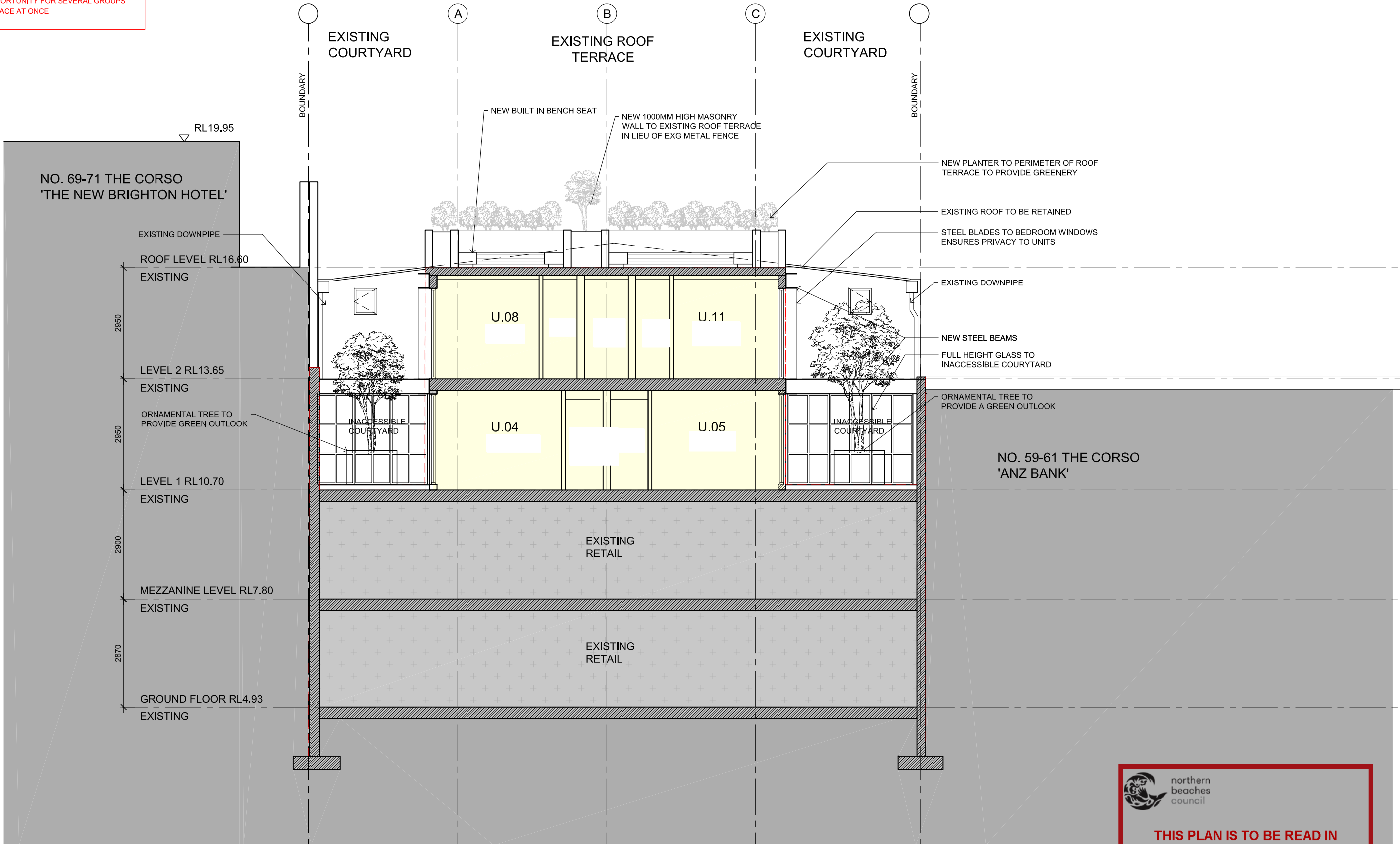
1. LIFT OVERRUN REDUCED TO RL19.90
2. LIFT ENCLOSURE GLAZED TO FRONT AND BACK TO FURTHER MINIMISE VISUAL BULK
3. TIMBER SCREENS HAVE BEEN ADDED TO SHIELD THE A/C CONDENSERS AND TIE IN WITH THE OVERALL DESIGN
4. A GLASS AWNING HAS BEEN INTRODUCED OVER THE BRIDGE TO ENSURE WATER IS NOT ENTERING INTO THE LIFT SHAFT




DRAWING TITLE		PROJECT	
SECTION CC		TCM	
SCALE	STATUS	NUMBER	REVISION
1:100 @ A3	DA	303	DA4

LIST OF AMENDMENTS:

1. POTS REMOVED AND A RECONFIGURATION OF THE BUILT-IN BENCH TO PROVIDE OPPORTUNITY FOR SEVERAL GROUPS TO USE THE ROOF TERRACE AT ONCE



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CONSENT**

DA2019/1398

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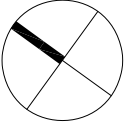
ISSUE	DATE	DESCRIPTION	BY
PR	2019.09.16	PRELIMINARY SKETCHES	FB/DL
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DA	2019.10.30	DEVELOPMENT APPLICATION	FB/DL
DA2	2020.03.23	AMENDED DA	FB
DA3	2020.07.06	AMENDED DA	FB
DA4	2020.08.07	FOR APPROVAL	FB

LEGEND	
	EXISTING STRUCTURE TO BE RETAINED
	NEW CONSTRUCTION
	EXISTING STRATA PT 3, AREA SUBJECT TO THIS DA
	ADDITIONAL INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA
	REDUCED INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA
	EXISTING STRATA PT1 & PT2, NOT PART OF THIS DA
	AREA TO REMAIN UNCHANGED

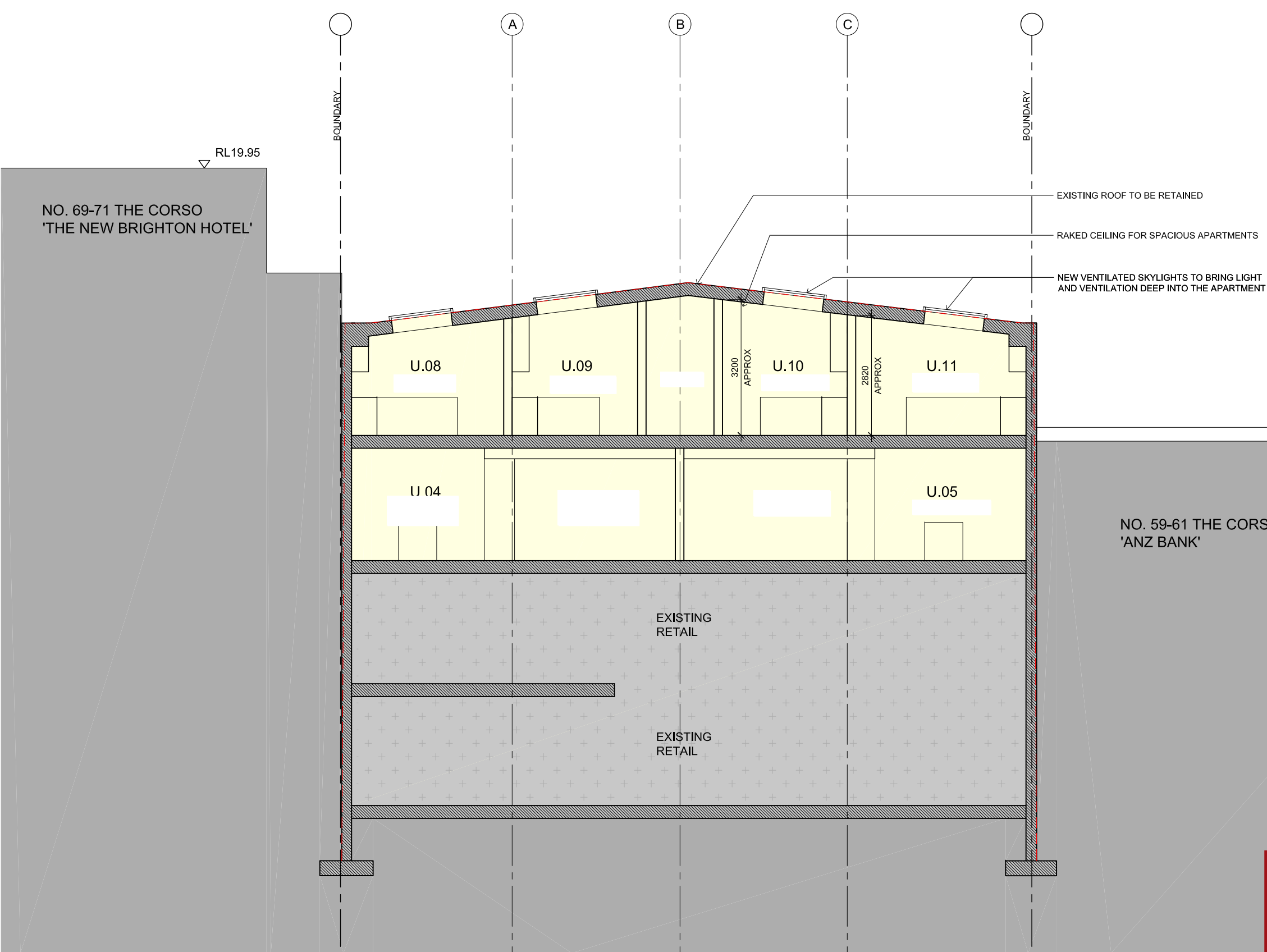
Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 8846 Gough Reg No. 8280

PROJECT
63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM
BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT
PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD



DRAWING TITLE			PROJECT
SECTION DD			TCM
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	304	DA4





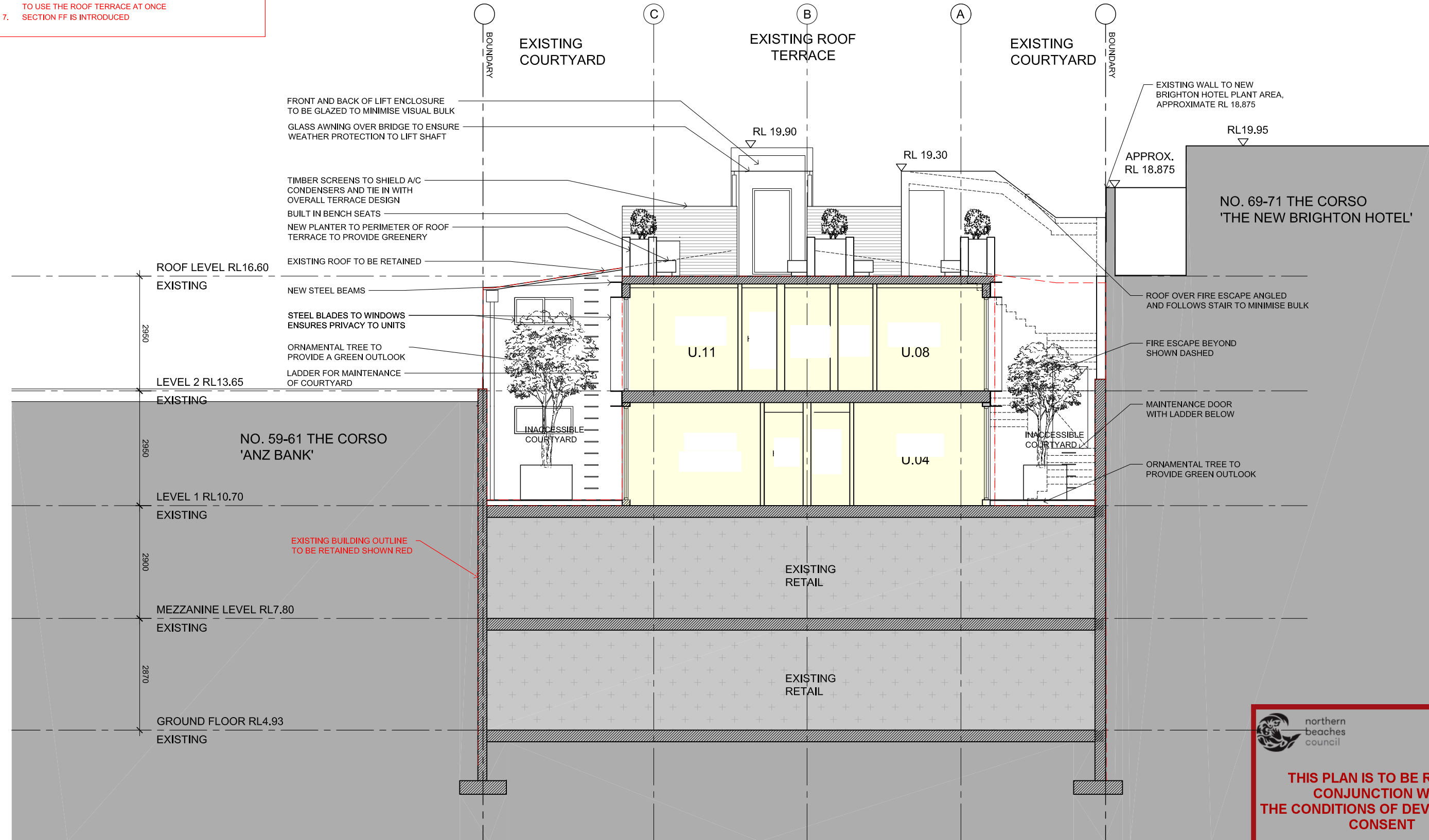
northern
beaches
council

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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1398

LIST OF AMENDMENTS:

1. ROOF OVER STAIR REDUCED IN HEIGHT TO MINIMISE BULK
2. LIFT OVERRUN REDUCED TO RL19.90
3. LIFT ENCLOSURE GLAZED TO FRONT AND BACK TO FURTHER MINIMISE VISUAL BULK
4. TIMBER SCREENS HAVE BEEN ADDED TO SHIELD THE A/C CONDENSERS AND TIE IN WITH THE OVERALL DESIGN
5. A GLASS AWNING HAS BEEN INTRODUCED OVER THE BRIDGE TO ENSURE WATER IS NOT ENTERING INTO THE LIFT SHAFT
6. POTS REMOVED AND A RECONFIGURATION OF THE BUILT-IN BENCH TO PROVIDE OPPORTUNITY FOR SEVERAL GROUPS TO USE THE ROOF TERRACE AT ONCE
7. SECTION FF IS INTRODUCED



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CONSENT

DA2019/1398

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- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.

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ISSUE	DATE	DESCRIPTION	BY
DA3	2020.05.13	AMENDED DA	FB
DA4	2020.08.07	FOR APPROVAL	FB

LEGEND

- EXISTING STRUCTURE TO BE RETAINED
- NEW CONSTRUCTION
- EXISTING STRATA PT 3, AREA SUBJECT TO THIS DA
- ADDITIONAL INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA

- REDUCED INTERNAL FLOOR AREA STRATA PT 3, SUBJECT TO THIS DA
- EXISTING STRATA PT1 & PT2, NOT PART OF THIS DA
- AREA TO REMAIN UNCHANGED

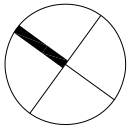
Level 1, 57 The Corso Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect 88ide Gough Reg No. 8280

PROJECT

63-67 THE CORSO, MANLY
ALTERATIONS AND ADDITIONS AND CHANGE OF USE FROM
BACKPACKER ACCOMMODATION TO SHOP TOP HOUSING

CLIENT

PETER SKERRETT OF INVERGOWRIE PROPERTIES PTY LTD



DRAWING TITLE

SECTION FF

SCALE

1:100
@A3

STATUS

DA

NUMBER

306

PROJECT

TCM

REVISION

DA4

63 THE CORSO, MANLY

ROOF TERRACE DESIGN
PLATFORM ARCHITECTS
ISSUE A 12.05.2020

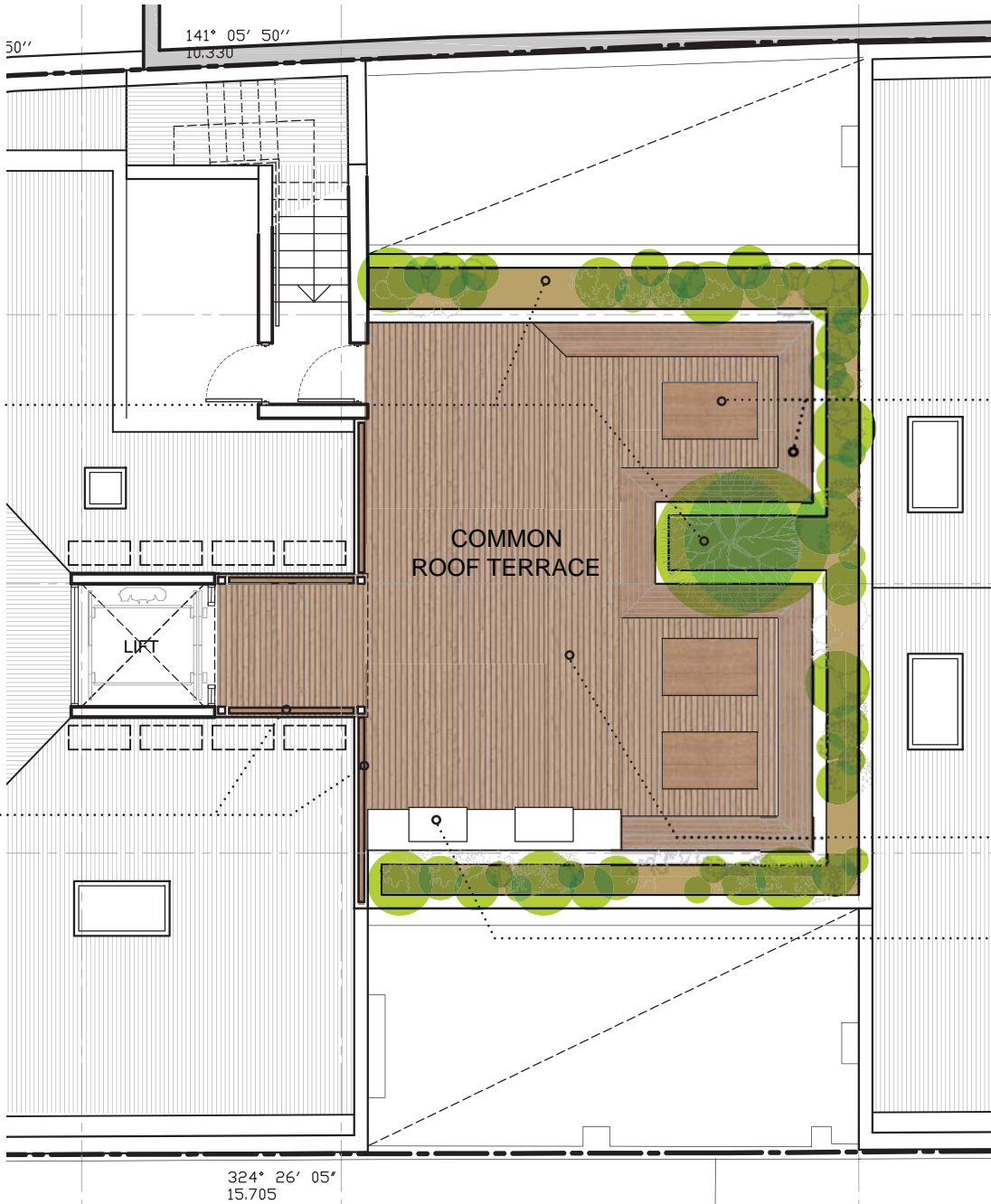
PLANTER BOXES

Planter boxes to the perimeter of the roof terrace provides greenery and outlook



TIMBER SCREENS

Timber screens are used to shield the A/C condenser units on the roof and tie in with the other timber elements of the design



ROOF TERRACE PLAN



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1398

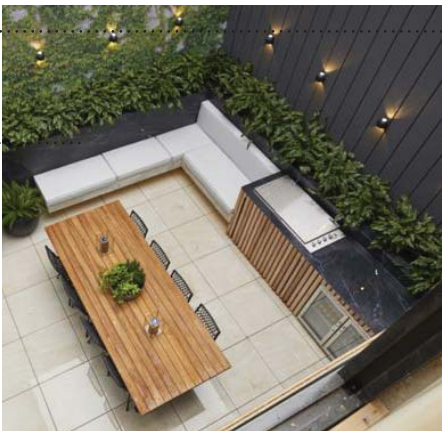
FURNITURE

A built-in timber bench and tables provide seating for lounging and eating and has been arranged to accommodate several groups at once



BBQ FACILITIES

Built-in BBQ facilities enhance the usability of the common roof terrace



NATURAL MATERIALS

Timber decking and screens provide a tactile experience and is soft to touch

