



Proposed New Residence

10 Gardere Avenue Curl Curl NSW

APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN

UrbanHarmony

Luxury Residential Design

Urban · Rural · Coastal · Alpine

M 0402 200 700 · T 02 9973 4697

PO Box 858 Avalon Beach NSW 2107

Jeremy@urbanharmony.com.au

www.urbanharmony.com.au

01			29/5/20
DA2	JM	DA Submission #2	24.12.20
DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing	13.12.20
DA-1	JM	Levels updated	19.11.20
DA-1	JM	Roof redesigned, levels updated, further info added	16.11.20
DA-1 prelim	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Site and Location Drawings
Cover

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE 24/12/20	DRAWN JMC	PRINT DATE 24/12/20
PROJECT NUMBER 580	DRAWING NUMBER 580.A00	PROJECT STATUS DA2
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General List of Abbreviations:

AL	Aluminium	GL	Ground Level
AC	Air Conditioning	GFP	Gas Fireplace
ALC	Aluminium Cladding	G	Glazing
		GR	Glazed Roofing
B	Brick	HWU	Hot Water Unit
BAL	Balustrade		
BALC	Balcony	LOH	Lift Off Hinge
BDY	Boundary	LIN	Linen
BLWK	Blockwork	LV	Louvre Window
BBQ	Barbecue	LWF	Lightweight Foam
BFD	Bifold Doors	LWC	Lightweight Cladding
BV	Brick Veneer		
BW	Brickwork	MDR	Metal Deck Roofing
BFW	Brick Face Work	MH	Manhole
BWRP	Rendered & Painted Brickwork	MW	Microwave
		NGL	Natural Ground Level
CONC	Concrete	OG	Opaque Glazing
CSD	Cavity Sliding Door	OBS	Obscure Glazing
CST	Concrete Steel Trowel Finish		
CPT	Carpet	PB	Plasterboard
CT	Ceramic Tile	PBB	Plasterboard on Brick
CBD	Cupboard	PF	Paint Finished
CPS	Concrete, Polished & Sealed	PLD	Panel Lift Door
CFC	Compressed Fibre Cement		
CJ	Control Joint	RWH	Rainwater Head
C/L	Centre Line	REF	Refrigerator
CTS	Centres	RP	Rendered & Painted
C/C	Centre to Centre		
CL	Ceiling Level	SC	Stone Cladding
		SD	Smoke Detector
D	Door	SHR	Shower
DRY	Clothes Dryer	SLD	Sliding Glazed Door
DG	Double Glazing	SP	Solar Panel
DP	Downpipe	ST	Stonework
DW	Dishwasher	SS	Stainless Steel
DPC	Damp Proof Course		
DBW	Dumb Waiter	T	Timber
DAR	Dressed All Round	TF	Timber Flooring
		TL	Timber Louvres
EJ	Expansion Joint	TR	Tiled Roof
EXG	Existing	TS	Timber Screen
EDB	Electrical Distribution Board	TOW	Top of Wall
		UHD	UrbanHarmonyDesign
F	Fixed	U/S	Underside
FG	Fixed Glazing		
FML	Fixed Metal Louvre	WB	Weatherboard
FB	Face Brickwork	WC	Water Closet
FC	Fibrous Cement	WR	Wardrobe
FW	Floor Waste	W	Window
FSS	Frameless Shower Screen	WS	Waste Stack
FCL	Finished Ceiling Level	WM	Washing Machine
FFL	Finished Floor Level		
FL	Floor Level		
FGL	Finished Ground Level		

General Notes

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This plan is to be read in conjunction with Engineering plans, Landscape plans and any other plans or written instructions issued relating to the development at the subject site.

All dimensions are NOMINAL. Figured dimensions take preference to scale readings.

Contractors are to verify all dimensions and levels on site before commencement of ANY work. Figured dimensions take preference to scale. Report any discrepancies to the designer for confirmation before proceeding with the work.

All construction practices are to be in accordance with the current issue of the National Construction Code (NCC) and all other relevant Australian Standards and codes.

All carpentry work to comply with AS 1684 Residential Timber Framed Construction. All prefabricated timber trusses & frames to be installed to the manufacturers detail & specification.

All concrete slabs, retaining walls, structural steel, foundations & footings etc to be designed and specified by the consulting structural engineer and built strictly in accordance with such details as approved.

Termite protection to be installed in accordance with AS 3660.1 and the NCC.

Smoke alarms to be installed as required to meet AS3786.

Safe Movement and Access in accordance with part 3.9 of the NCC, including Landings where required

Stair Construction to be as per Part 3.9.1, Balustrades and Handrails per Part 3.9.2. Treads to have Slip-resistance classification be as per Part 3.9.1.3 of the NCC and AS 4586.

Protection of Openable windows to be as per Part 3.9.2.5 of the NCC

Light & Ventilation to be as per Parts 3.8.4/5 of the NCC



Location Plan/Satellite Imagery

LEP Requirements.

Lot 5 DP DP6000

Site Area: 455.3m2

Warringah (Map Map 10)

Land Zoning Map - R2 Low Density Residential
Height of Buildings - 8.5m (LEP) - COMPLIES
Floor Space Ratio: N/A

Minimum Lot size: 450m2
Heritage: N/A
Acid Sulphate Soils: N/A
Warringah LEP 2011 - Land slip risk map - Area B

DCP Requirements.

Site Area: 455.3m2

Warringah LEP 2011

Side boundary envelope: 5m high / 45 degrees
Wall Height: 7.2 maximum wall height - COMPLIES
Setbacks:

Front: 6.5m - Dwelling Complies, front balcony to predominant street setback
Side: 900mm - COMPLIES
Rear: 6m - COMPLIES

Landscaped open space: 40% of site 173.4m2 required (NOTE NARROW LOT)



Proposed Floor Areas

Area	Floor Level	Measured Area (m2)
First Floor	First Floor	178.39
Front Balcony	First Floor	34.16
Garage	Ground Floor	47.69
Ground Floor	Ground Floor	129.44
Porch	Ground Floor	5.35
		395.03 m²

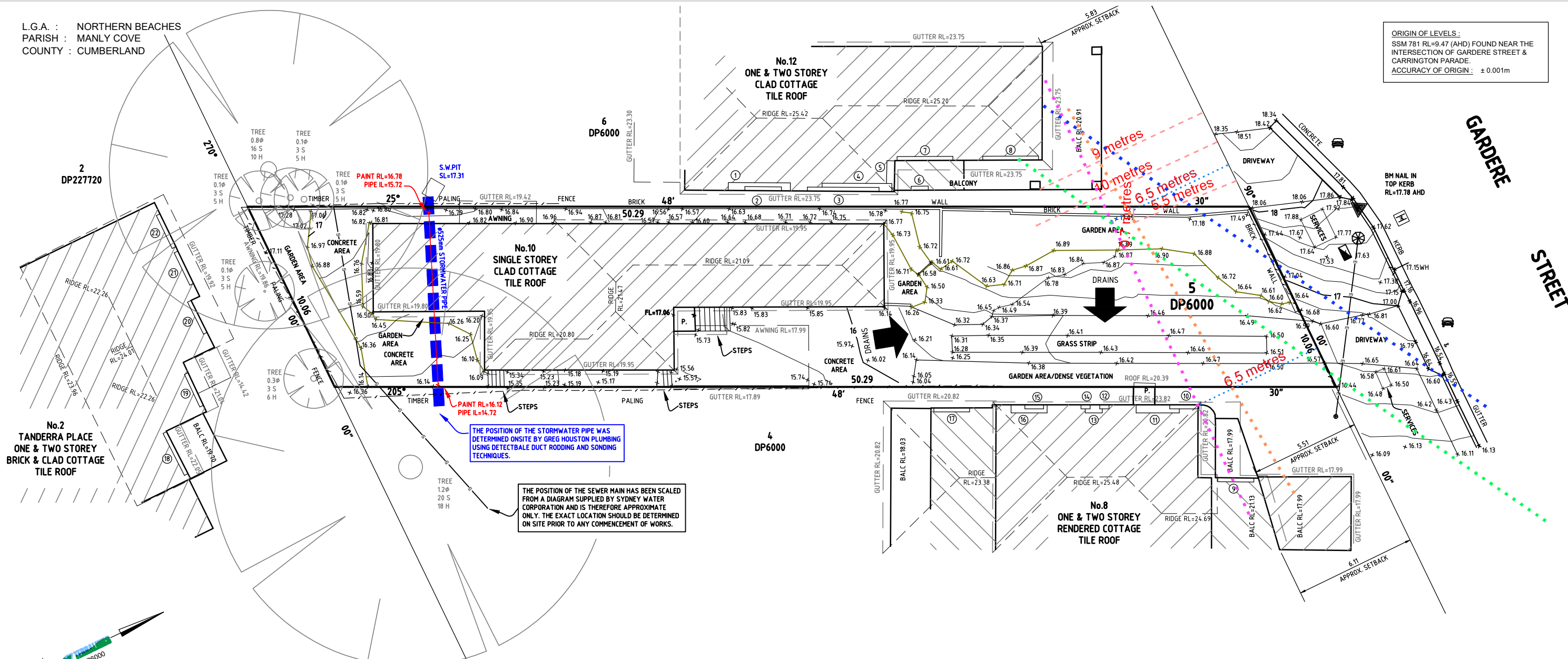
FSR Calculation

Location	Measured Area
First Floor GFA	157.10
Ground Floor GFA	111.57
	268.67 m²

<div>APPROVED BY:</div> <div>CLIENT NAME(s):</div> <div>DATE:</div>		<div>DESIGN / DRAWN</div> <div><div><div></div><div></div><div></div></div><div>UrbanHarmony</div><div>Luxury Residential Design Urban - Rural - Coastal - Alpine M 0402 200 700 T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div>		<table><tr><td>01</td><td></td><td></td><td>29/5/20</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td>DA2</td><td>JM</td><td>DA Submission #2</td><td>24.12.20</td></tr><tr><td>DA-2</td><td>JM</td><td>Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing</td><td>13.12.20</td></tr><tr><td>DA-1</td><td>JM</td><td>Levels updated</td><td>19.11.20</td></tr><tr><td>DA-1</td><td>JM</td><td>Roof redesigned, levels updated, further info added</td><td>16.11.20</td></tr><tr><td>DA-1 prelim</td><td>JM</td><td>Roof redesigned, levels updated, further info added for comment only</td><td>14.11.20</td></tr><tr><td>ISSUE</td><td>CHANGE</td><td>CHANGE NAME</td><td>DATE</td></tr></table>		01			29/5/20					DA2	JM	DA Submission #2	24.12.20	DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing	13.12.20	DA-1	JM	Levels updated	19.11.20	DA-1	JM	Roof redesigned, levels updated, further info added	16.11.20	DA-1 prelim	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20	ISSUE	CHANGE	CHANGE NAME	DATE	<div>PROJECT:</div> <div>Torrington Residence</div> <div>SITE:</div> <div>10 Gardere Avenue Curl Curl NSW</div> <div>CLIENT:</div> <div>P & A Torrington</div>		<div>DRAWING TITLE:</div> <div>Site and Location Drawings</div> <div>Drawing List Site Location</div> <div>DRAWN / DESIGNED:</div> <div>Jeremy McCulla</div> <div>SCALE:</div> <div>As Ind @ A3</div>		<table><tr><td>DATE</td><td>DRAWN</td><td>PRINT DATE</td></tr><tr><td>24/12/20</td><td>JMC</td><td>24/12/20</td></tr><tr><td>PROJECT NUMBER</td><td>DRAWING NUMBER</td><td>PROJECT STATUS</td></tr><tr><td>580</td><td>580.A01</td><td>DA2</td></tr></table> <div>© Copyright UrbanHarmony</div> <div>Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1988. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</div>			DATE	DRAWN	PRINT DATE	24/12/20	JMC	24/12/20	PROJECT NUMBER	DRAWING NUMBER	PROJECT STATUS	580	580.A01	DA2
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L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND

ORIGIN OF LEVELS :
SSM 781 RL=9.47 (AHD) FOUND NEAR THE
INTERSECTION OF GARDERE STREET &
CARRINGTON PARADE.
ACCURACY OF ORIGIN : ± 0.001m



Site Survey - Existing Conditions

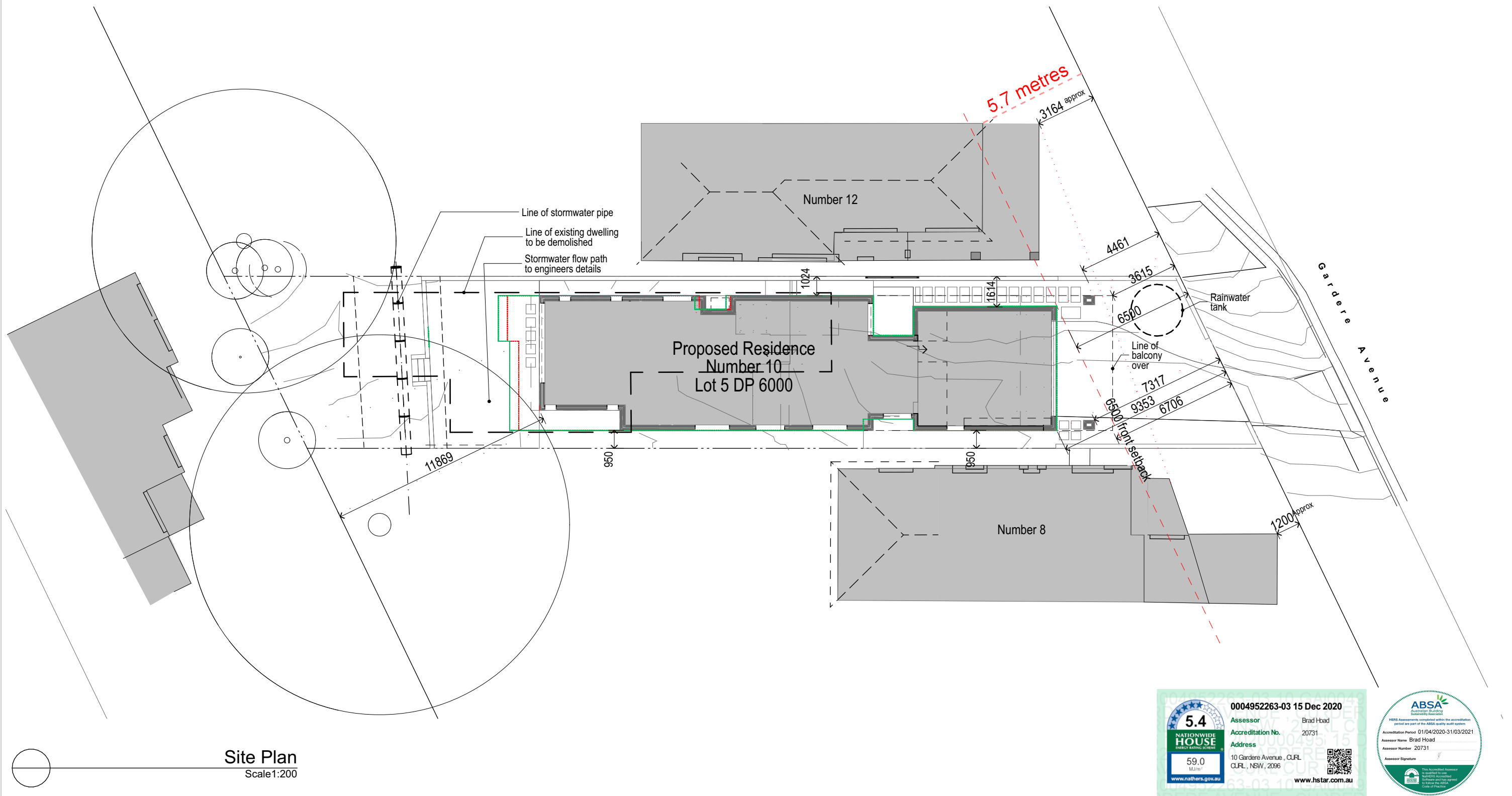
WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
1	21.77	1.52	3.12	CLEAR
2	BELOW FCE	RL=20.60	1.84	CLEAR
3	19.05	1.45	3.6	CLEAR
4	21.54	1.61	3.5	CLEAR
5	APPROX 20.95	RL=23.12	1.37	CLEAR
6	19.05	1.42	0.86	OPAQUE
7	APPROX 20.95	RL=23.17	2.8	CLEAR
8	APPROX 20.95	RL=23.17	2.8	CLEAR
9	APPROX 18.40	RL=20.01	1.81	CLEAR
10	18.68	1.51	1.48	CLEAR
11	22.11	1.21	2.17	OPAQUE
12	19.04	1.09	0.47	CLEAR
13	22.38	0.94	0.85	OPAQUE
14	19.04	1.09	0.46	CLEAR
15	19.12	1.19	0.94	CLEAR
16	22.11	1.21	1.81	CLEAR
17	BELOW FCE	RL=20.19	1.79	CLEAR
18	APPROX 19.75	RL=21.73	2.37	CLEAR
19	BELOW FCE	RL=19.12	1.81	CLEAR
20	BELOW FCE	BELOW FCE	1.8	CLEAR
21	BELOW FCE	BELOW FCE	1.8	CLEAR
22	BELOW FCE	BELOW FCE	1.83	CLEAR

AREA LOT 5
VIDE DP 6000: 455.3 m²
BY CALC : 455.3 m²

- WARNING:**
- TERRALINKS GROUP Pty Ltd GRANTS TO THE CLIENT NAMED A LICENCE TO USE THE INFORMATION HEREON FOR THE PURPOSE FOR WHICH WE WERE ENGAGED TO PERFORM THE WORK. USE OF THIS PLAN AND INFORMATION FOR ANY OTHER PURPOSE IS NOT PERMITTED UNLESS WRITTEN APPROVAL HAS BEEN OBTAINED FROM TERRALINKS GROUP Pty Ltd.
 - THE BOUNDARIES SHOWN HAVE BEEN COMPILED FROM THE INFORMATION SUPPLIED BY THE DEPARTMENT OF LANDS AND THEREFORE THE DIMENSIONS, AREA AND LOCATION OF EASEMENTS ARE SUBJECT TO A FINAL SURVEY.
 - ALL DETAILS AND FEATURES SHOWN HEREON HAVE BEEN PLOTTED IN RELATION TO THE OCCUPATIONS (FENCES AND/OR WALLS, ETC.). THESE OCCUPATIONS HAVE NOT YET BEEN ACCURATELY LOCATED IN RELATION TO THE BOUNDARIES.
 - THE DETAIL AND FEATURES AND CONTOURS ARE SHOWN TO SCALE PLOT ACCURACY ONLY. COPYING MAY DISTORT THE SCALE.
 - SERVICE STRUCTURES SHOWN HEREON ARE THOSE THAT WERE VISIBLE AT THE TIME OF SURVEY AND HAVE BEEN LOCATED BY FIELD SURVEY. FURTHER SERVICES MAY BE PRESENT. PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON SITE THE RELEVANT AUTHORITIES SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
 - THE CONTOUR INTERVAL IS 0.2 m.
 - THE ACCURACY OF THIS DATA MAY NOT BE SUITABLE FOR BUILDING PURPOSES AND THEREFORE SURVEY MARKS SHOULD BE PLACED PRIOR TO ANY CONSTRUCTION COMMENCING.
 - THE CONTOURS HAVE BEEN DERIVED FROM INTERPOLATION METHODS USING COMPUTER SOFTWARE PROGRAM AND WHEREVER POSSIBLE SPOT LEVELS SHOULD BE USED IN PREFERENCE TO CONTOURS.
 - THE RIDGE HEIGHTS, ROOF LINE, GUTTER AND WINDOW SILL LEVELS FOR BOTH THE SUBJECT AND ADJOINING BUILDINGS HAVE BEEN DETERMINED USING INDIRECT SURVEY METHODS AND ARE THEREFORE APPROXIMATE ONLY.
 - THE MEASUREMENT OF ALL TREE TRUNK DIAMETERS WAS IN ACCORDANCE WITH AS 4970-2009-"PROTECTION OF TREES ON DEVELOPMENT SITES".
 - THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN.

LEGEND

WATER MAIN	SEWER VENT
TELSTRA PILLAR	SEWER LAMPHOLE
TELSTRA MARKER POST	SEWER INSPECTION POINT
TELSTRA PIT	SUBSOIL DRAIN
TELEGRAPH POLE	STORMWATER PIT
POWER POLE	ELECTRICAL PILLAR
ELECTRICAL PILLAR	STORMWATER GRATE
POWER LIGHT POLE	SURFACE INLET PIT
LIGHT POLE	INTEL-KERB INLET PIT
HYDRANT	INTEL-KERB INLET PIT WITH GRATE
RECYCLED WATER	STORMWATER PIPE INCLUDING PIPE SIZE
WATER METER	STOP VALVE
STOP VALVE	WATER TAP
WATER TAP	GAS METER
GAS METER	GAS DIRECTION MARKER
GAS DIRECTION MARKER	GAS INSPECTION POINT
GAS INSPECTION POINT	SEWER MANHOLE
SEWER MANHOLE	STREET SIGN
STREET SIGN	PRAM CROSSING
PRAM CROSSING	VEHICLE CROSSING
VEHICLE CROSSING	OVERHEAD ELECTRICITY LINE
OVERHEAD ELECTRICITY LINE	OVERHEAD TELECOM LINE
OVERHEAD TELECOM LINE	SEWER LINE



Site Plan
Scale 1:200



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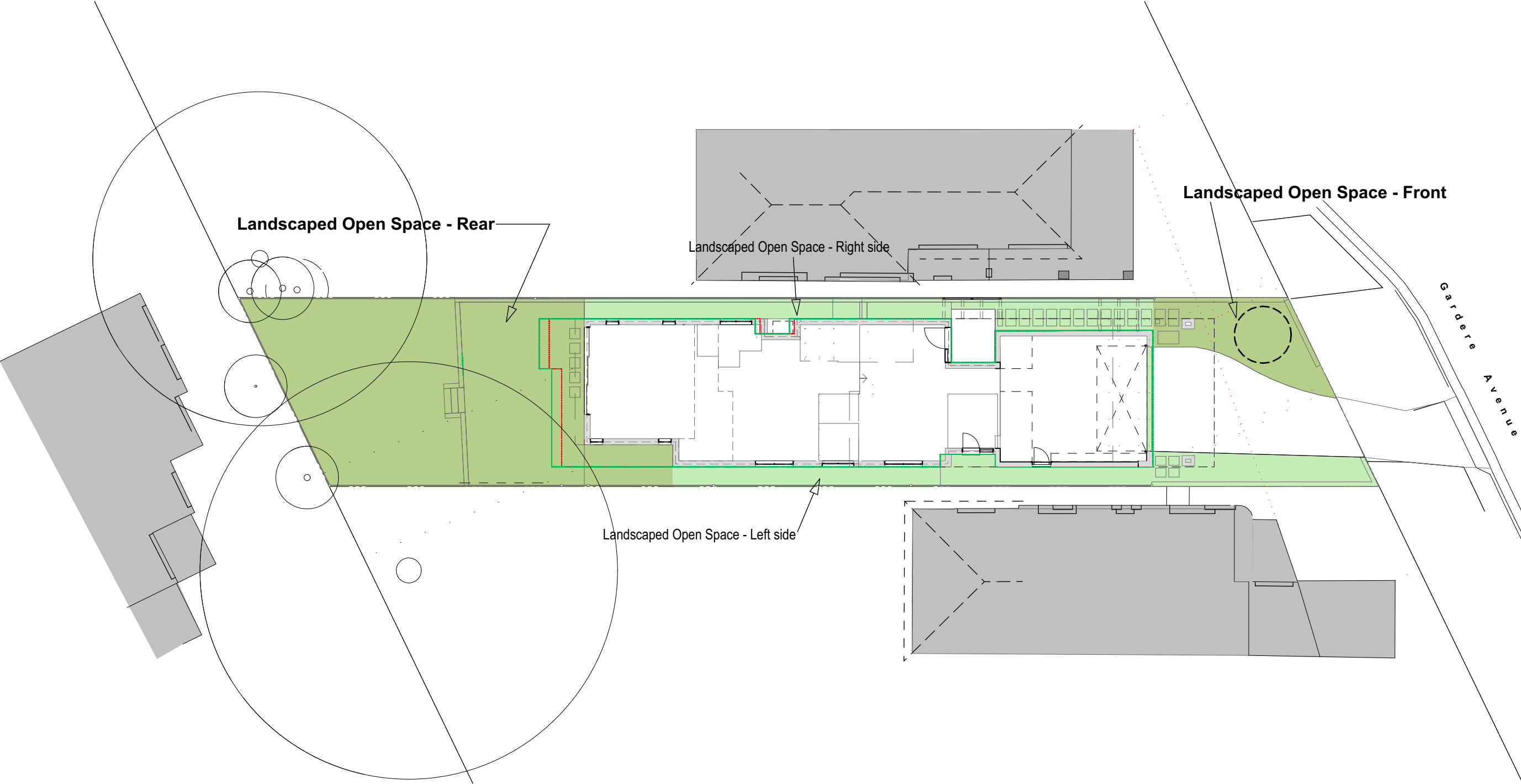
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Site Plan**
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DA2
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10F. Landscaped Area (as per 2m DCP definition)	
Location	Measured Area (m2)
Landscaped Open Space - Front	23.80
Landscaped Open Space - Rear	138.95
	162.75 m²

10G. Landscaped Open Space Area TOTAL, inclusive of areas less than 2m in dimension	
Location	Measured Area (m2)
Landscaped Open Space - Front	23.80
Landscaped Open Space - Left side	39.37
Landscaped Open Space - Rear	138.95
Landscaped Open Space - Right side	30.82
	232.94 m²



Landscaped Area Plan
Scale 1:200

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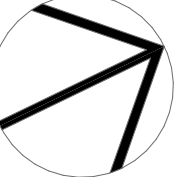
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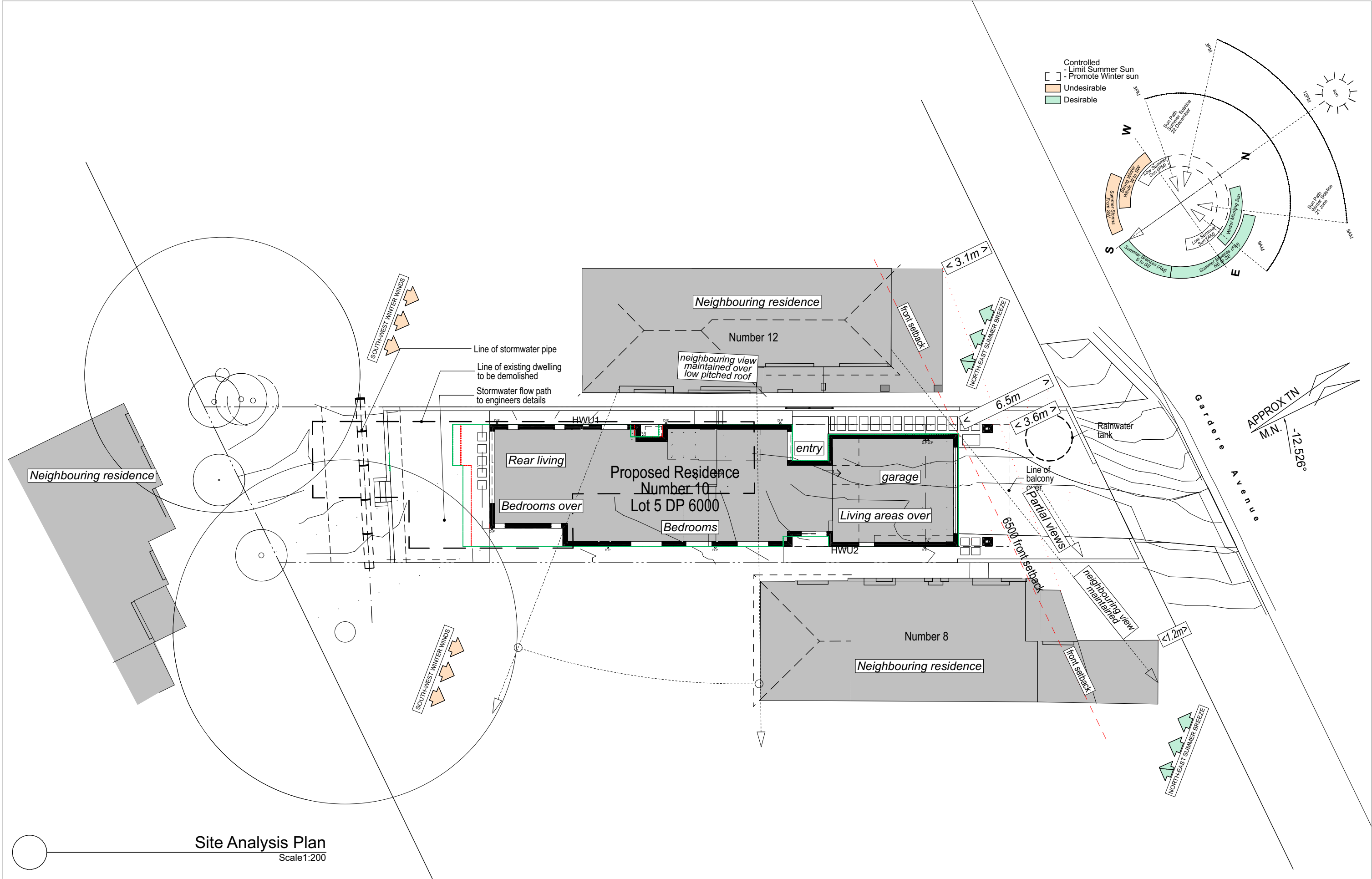
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28/8/20

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DA Submission #2

24.12.20

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Site Analysis Plan

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
DA2


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
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Key to symbols:


- 

Ceiling mounted smoke detector
- 

00.000 Floor level
- 

Manhole
- 

Waste stack
- 

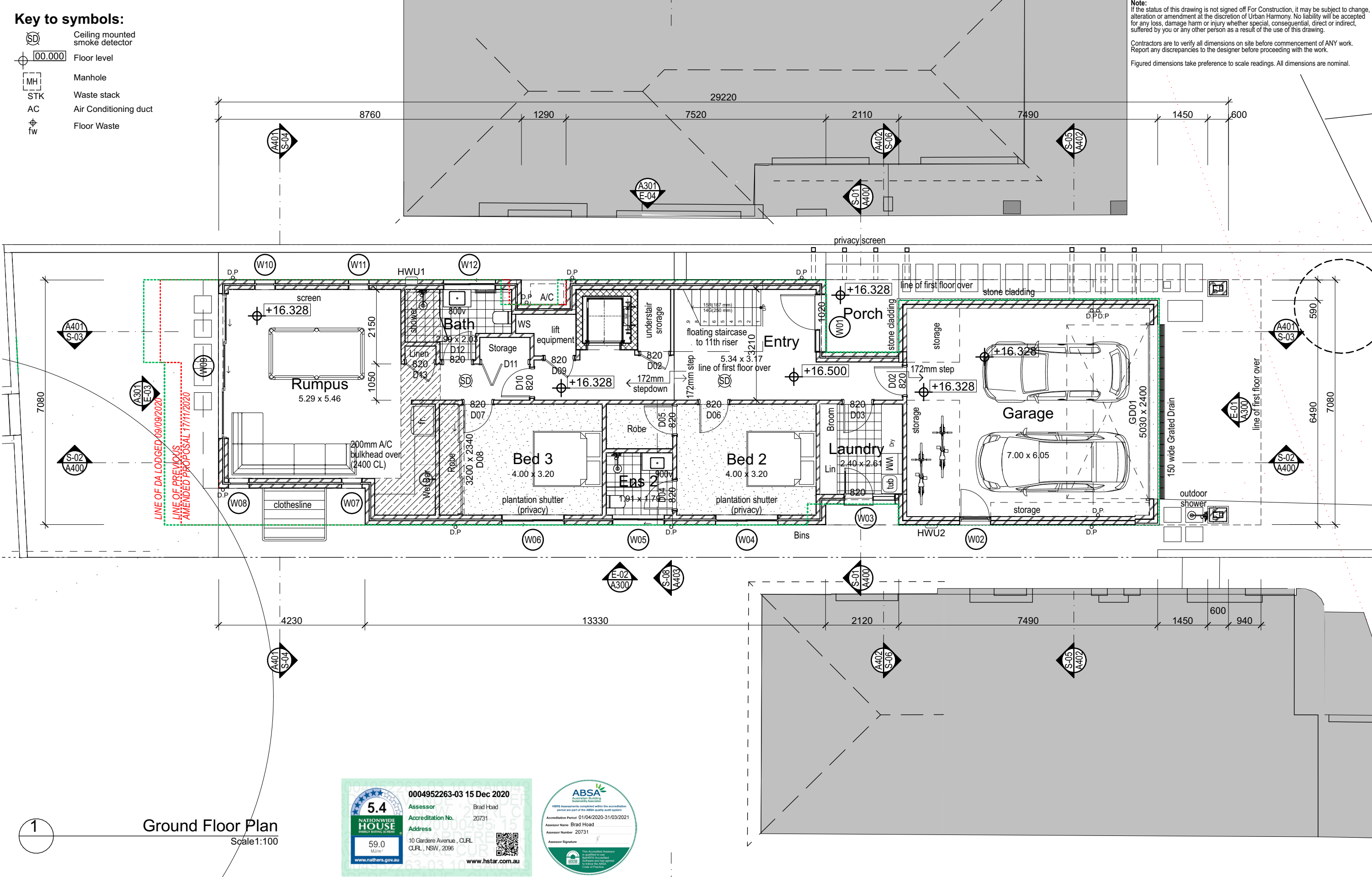
Air Conditioning duct
- 

Floor Waste

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Ground Floor Plan
Scale 1:100



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DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing	13.12.20
DA-1	JM	Levels updated	19.11.20
DA-1	JM	Roof redesigned, levels updated, further info added	16.11.20
DA-1	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Plans
Ground Floor

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

24/12/20

DRAWN

JMC

PRINT DATE

24/12/20

PROJECT NUMBER

580

DRAWING NUMBER

580.A100

PROJECT STATUS

DA2

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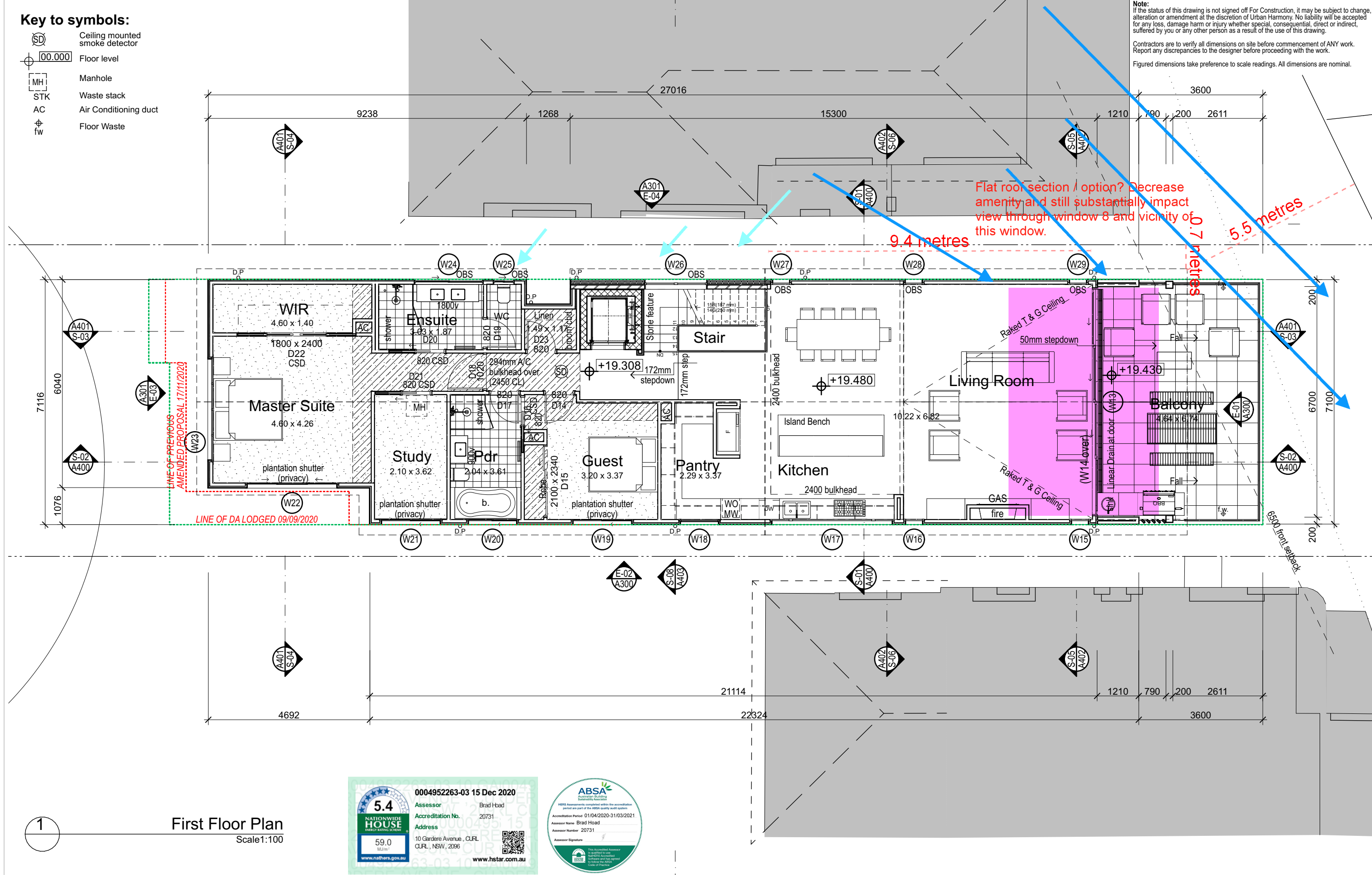
Key to symbols:

- Ceiling mounted smoke detector
- Floor level
- Manhole
- Waste stack
- Air Conditioning duct
- Floor Waste

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First Floor Plan
Scale 1:100



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DATE:

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Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

**Plans
First Floor**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

24/12/20

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A101

PROJECT STATUS

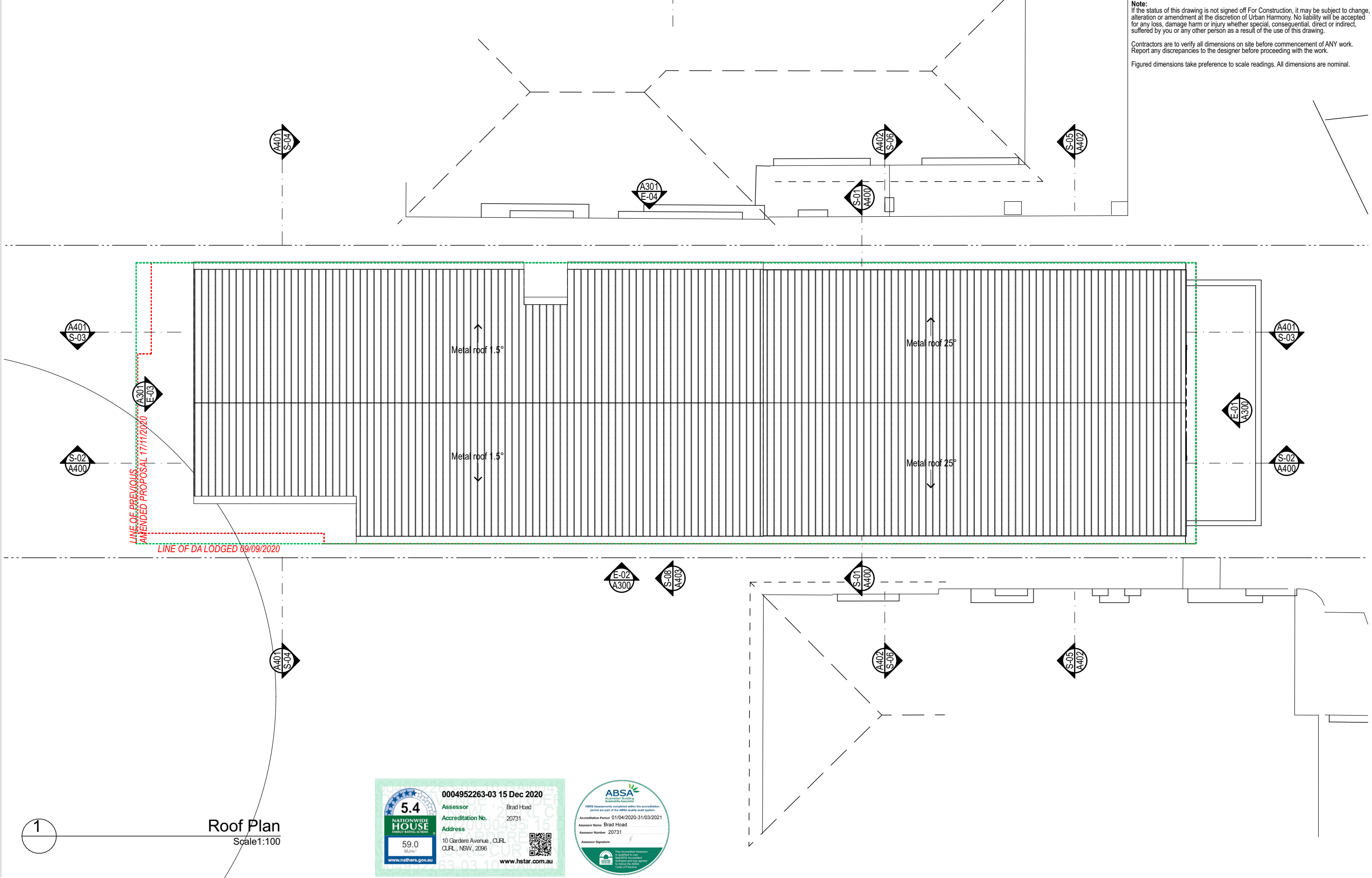
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Plans
Roof Plan

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

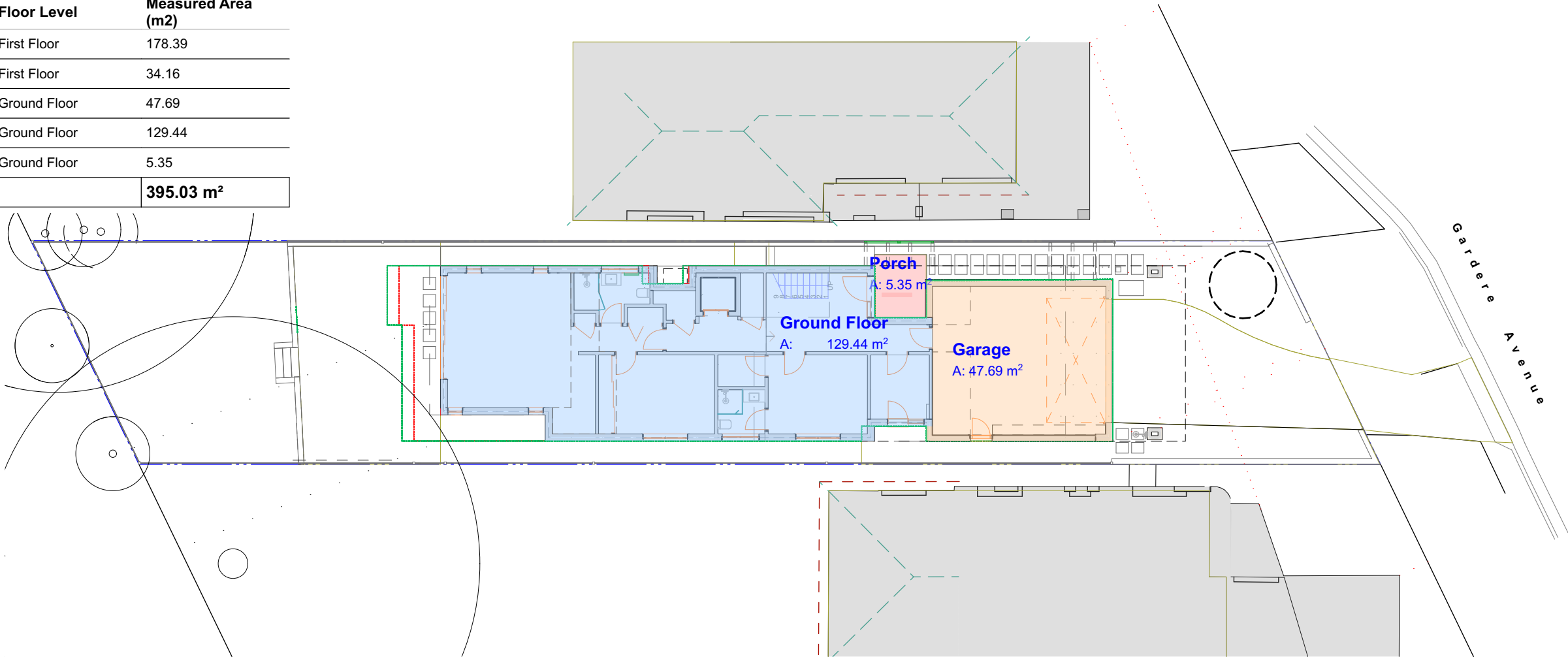
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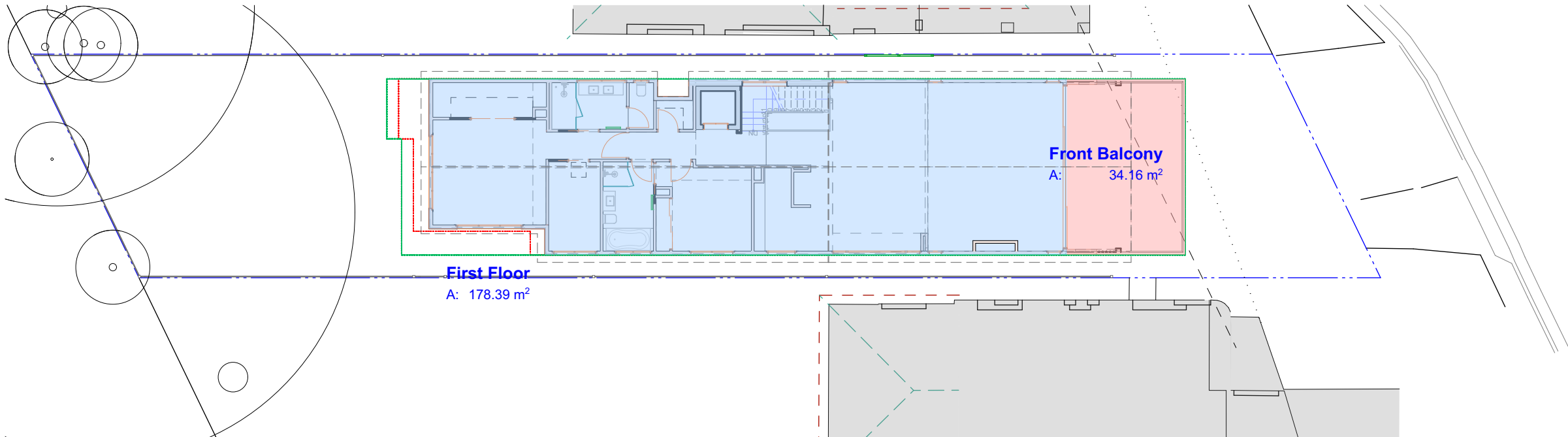
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PROJECT NUMBER	DRAWING NUMBER	PROJECT STATUS
580	580.A102	DA2

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Proposed Floor Areas		
Area	Floor Level	Measured Area (m2)
First Floor	First Floor	178.39
Front Balcony	First Floor	34.16
Garage	Ground Floor	47.69
Ground Floor	Ground Floor	129.44
Porch	Ground Floor	5.35
		395.03 m²



Ground Floor General Areas
Scale1:200



First Floor General Areas
Scale1:200

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ISSUE	CHANGE	CHANGE NAME		DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue

Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Plans

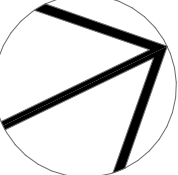
Floor Areas

DRAWN / DESIGNED:

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SCALE:

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24/12/20

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A103

PRINT DATE

24/12/20

PROJECT STATUS

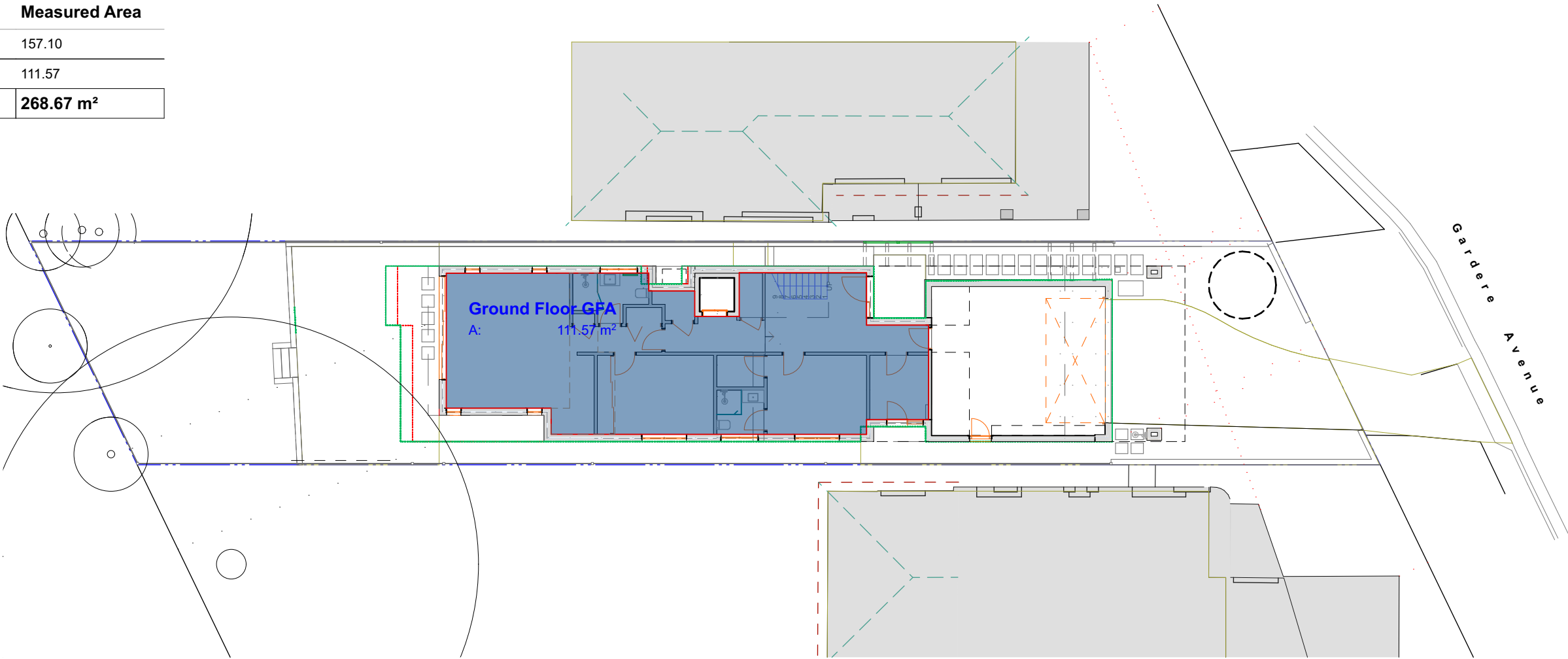
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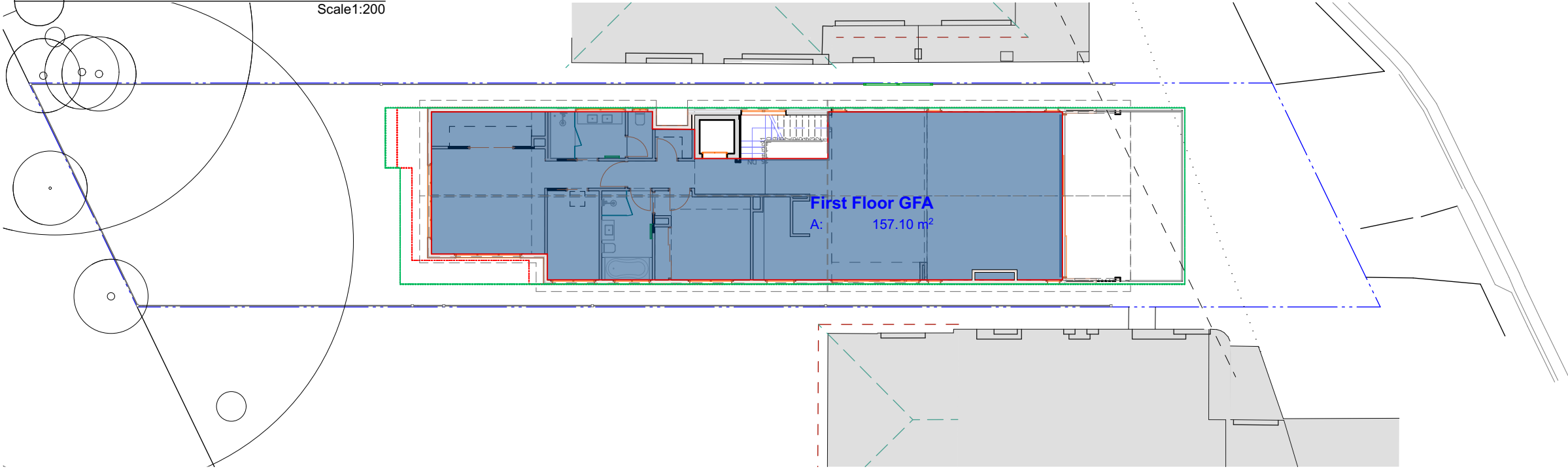
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FSR Calculation

Location	Measured Area
First Floor GFA	157.10
Ground Floor GFA	111.57
	268.67 m²



Ground Floor Gross Floor Area
Scale 1:200



First Floor Gross Floor Area
Scale 1:200

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

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CLIENT:

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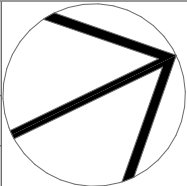
Plans
Gross Floor Areas

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3



DATE

24/12/20

PROJECT NUMBER

580

DRAWN

JMC

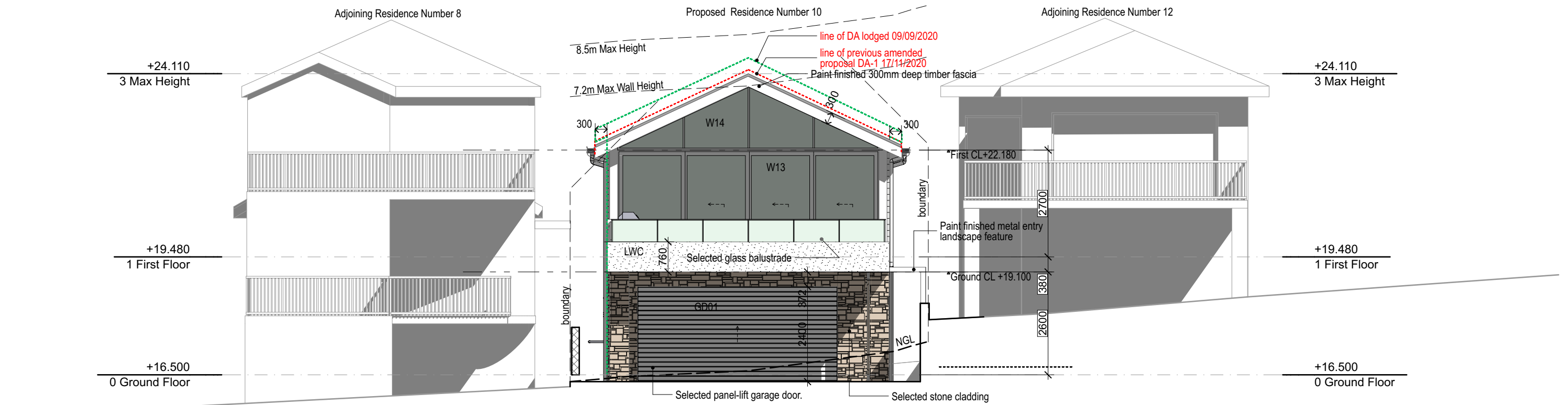
DRAWING NUMBER

580.A104

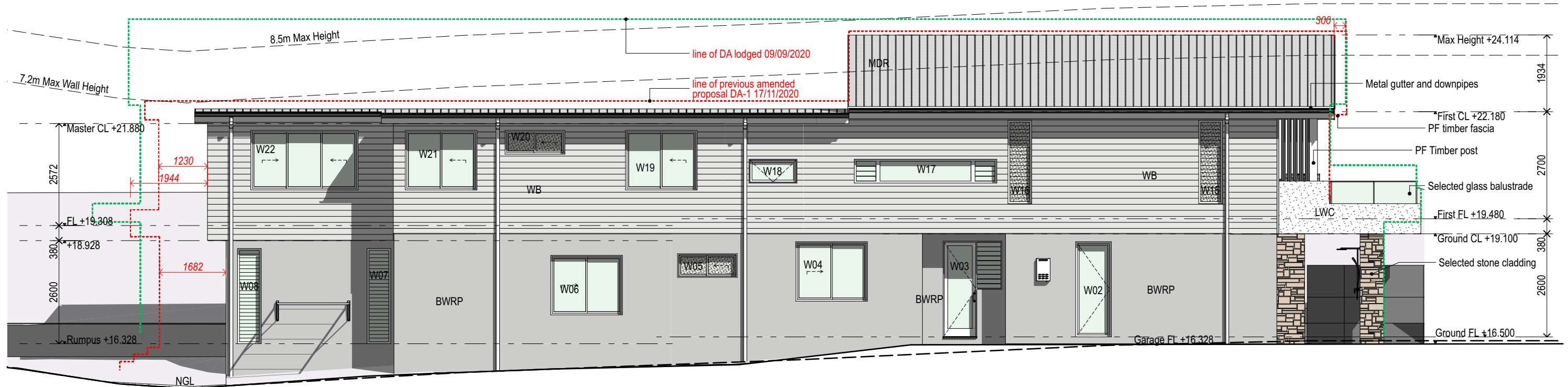
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E-01 North East (Front) Elevation
Scale 1:100



E-02 South East (Left) Elevation
Scale 1:100

5.4

NATIONWIDE HOUSE

ENERGY RATING SCHEME

59.0

MJ/m²

www.nathers.gov.au

0004952263-03 15 Dec 2020
Assessor Brad Hoad
Accreditation No. 20731
Address 10 Gardere Avenue, CURL, CURL, NSW, 2096
www.hstar.com.au

ABSA

Assessment Building Sustainability Association

ABSA Assessments completed within the accreditation period are part of the ABSA quality audit system.

Accreditation Period: 01/04/2020-31/03/2021

Assessor Name: Brad Hoad

Assessor Number: 20731

Assessor Signature

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CLIENT NAME(s):

DATE:

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue

Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Elevations

Elevations 1

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

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DATE

24/12/20

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A300

PRINT DATE

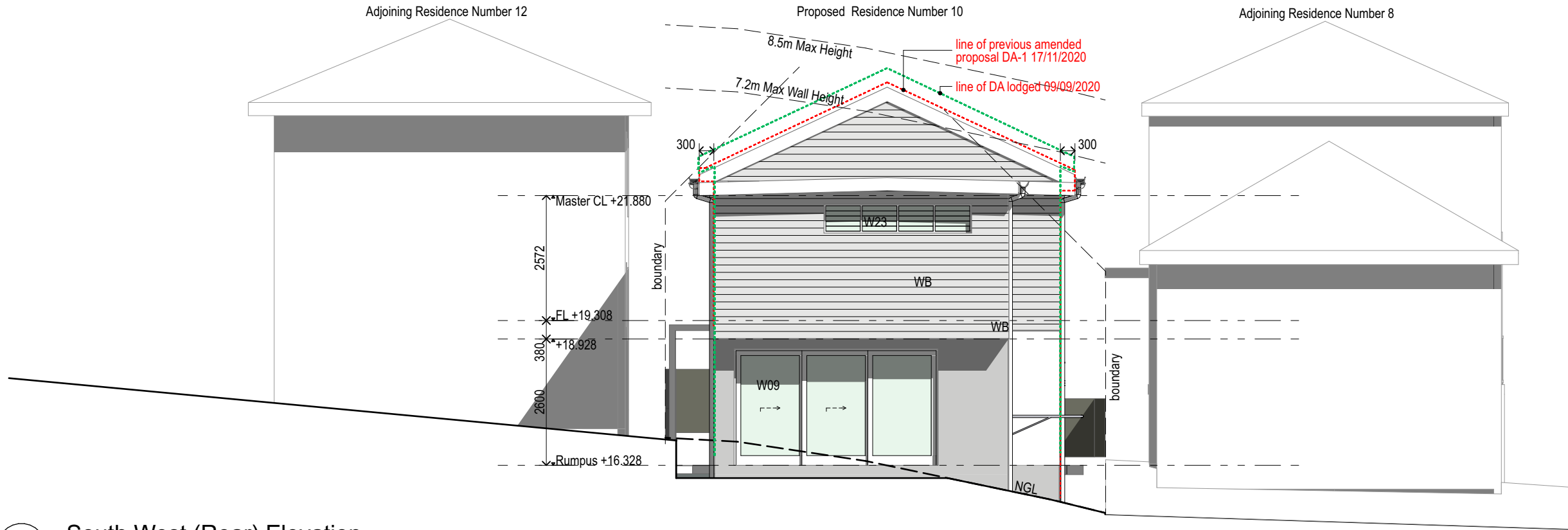
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PROJECT STATUS

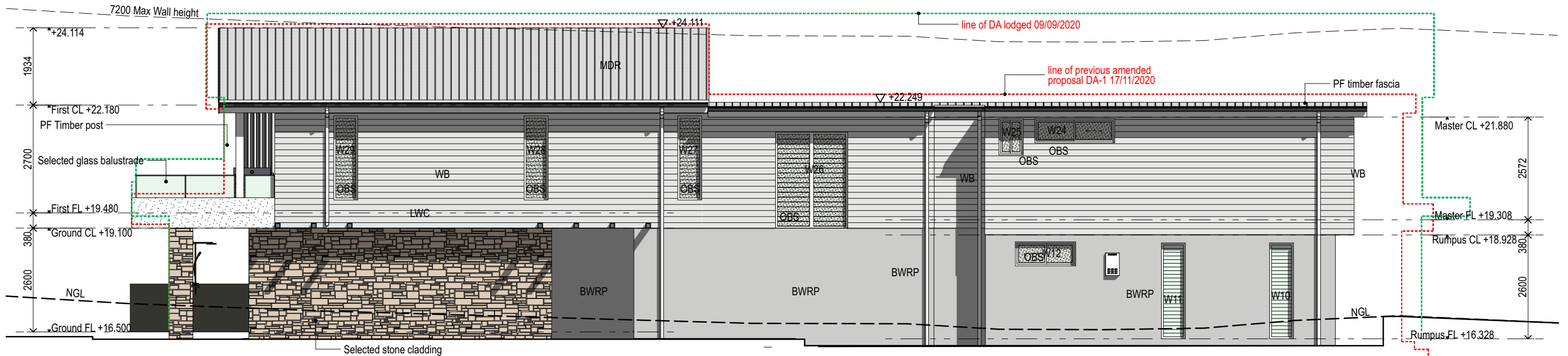
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E-03 South West (Rear) Elevation
Scale 1:100



E-04 North West (Right) Elevation
Scale 1:100



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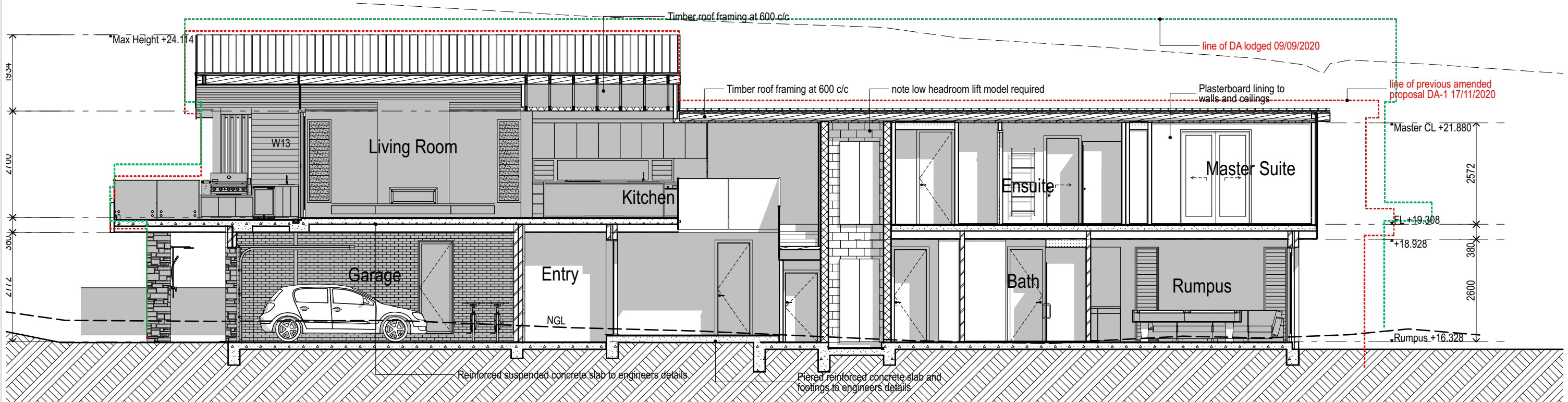
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PO Box 858 Avalon Beach NSW 2107
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence
SITE:
10 Gardere Avenue
Curl Curl NSW
CLIENT:
P & A Torrington

DRAWING TITLE:
**Elevations
Elevations 2**
DRAWN / DESIGNED:
Jeremy McCulla
SCALE:
As Ind @ A3

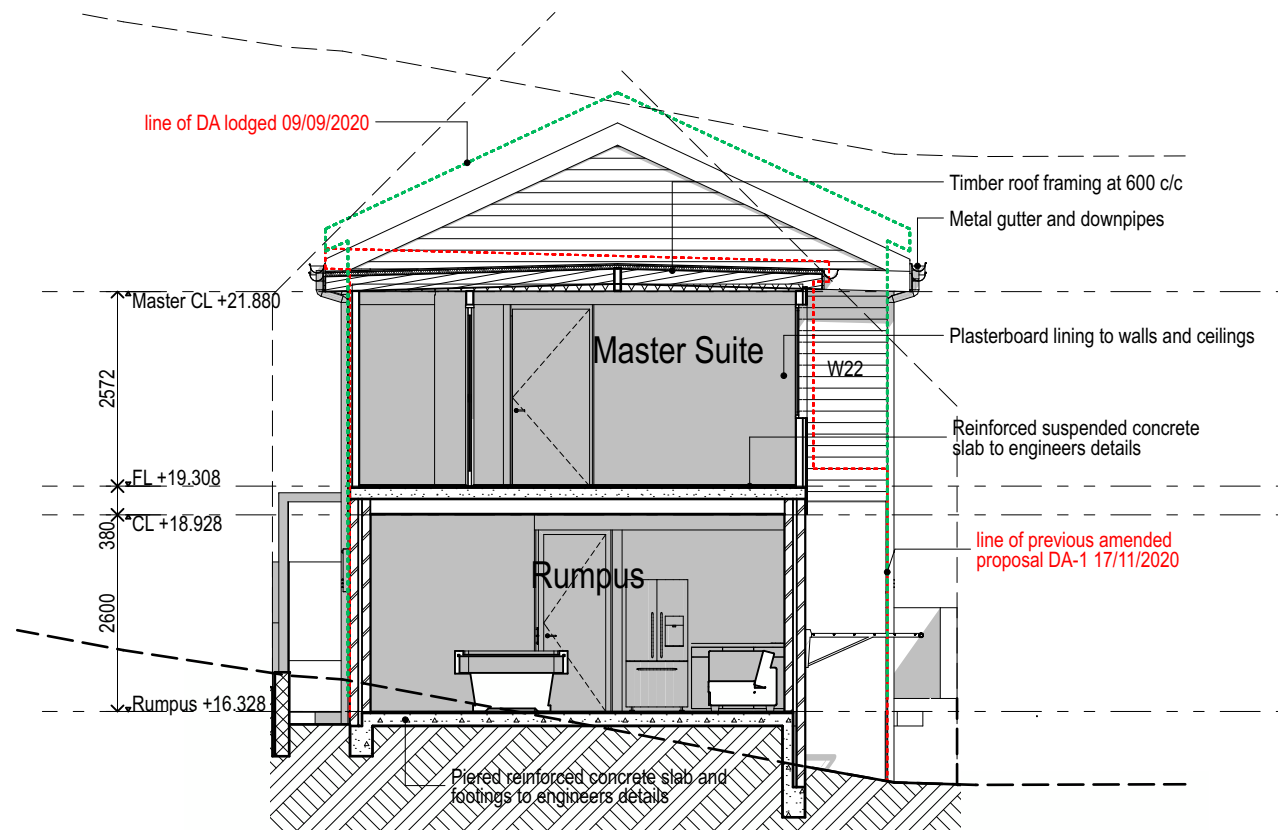
DATE
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PROJECT NUMBER
580
DRAWN
JMC
PROJECT STATUS
**580.A301
DA2**
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S-03

Section 03

Scale 1:100



S-04

Section 04

Scale 1:100



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ISSUE	CHANGE	CHANGE NAME		DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Sections

Sections 2

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

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DATE

24/12/20

DRAWN

JMC

PRINT DATE

24/12/20

PROJECT NUMBER

580

DRAWING NUMBER

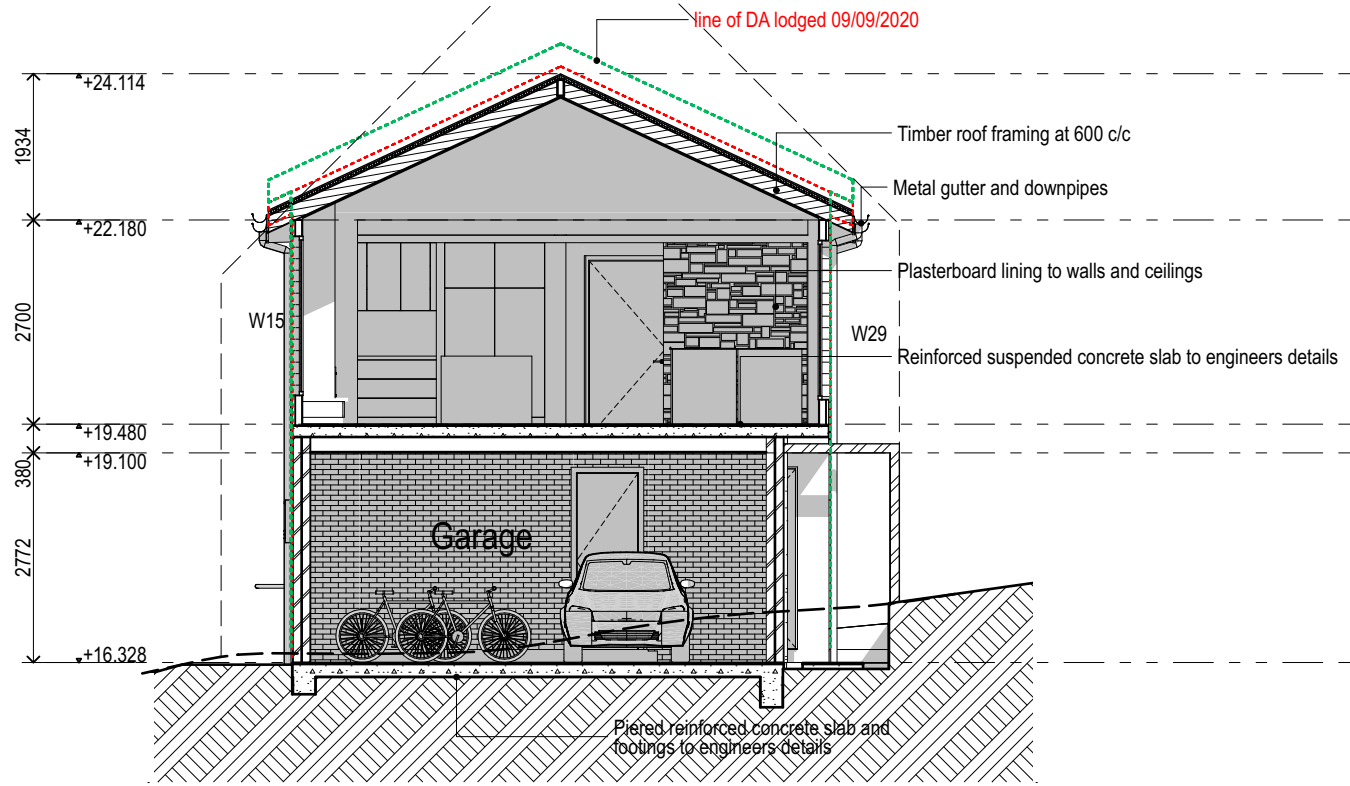
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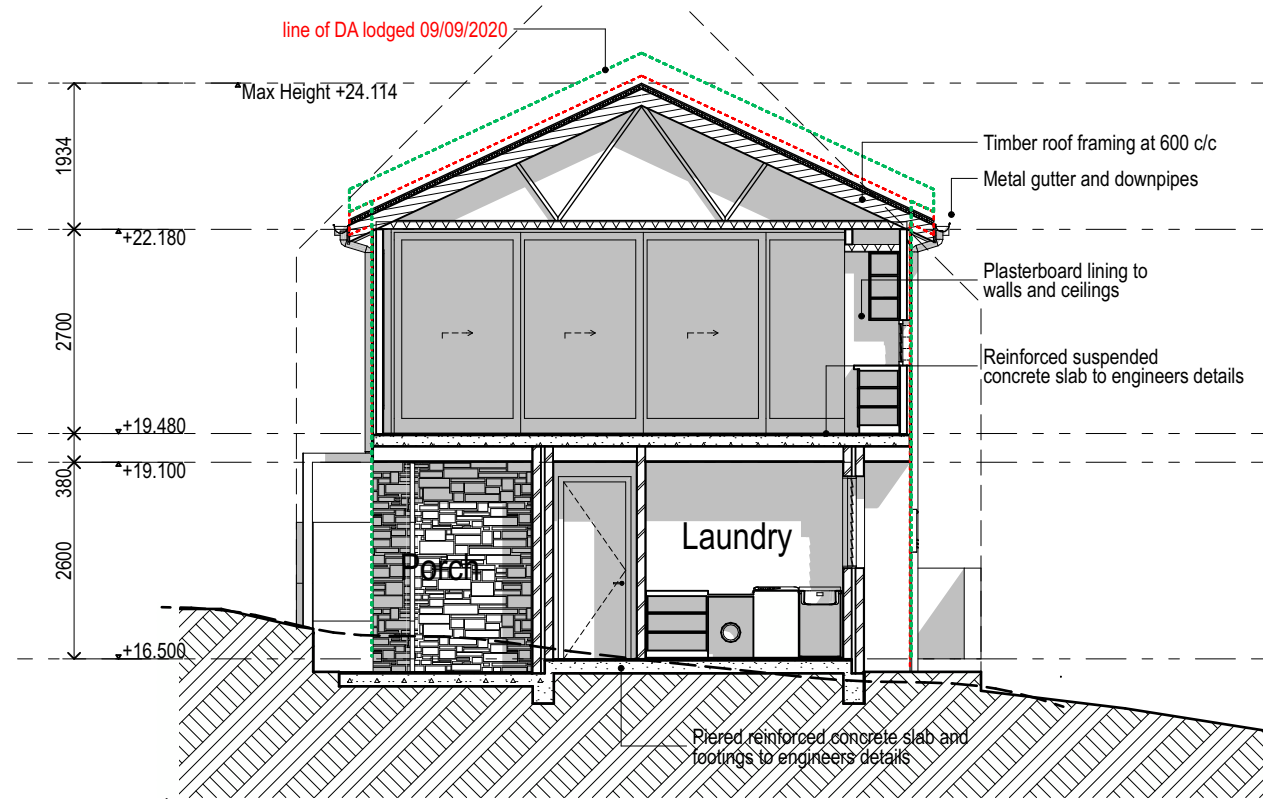
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Section 05
Scale 1:100

S-05



Section 06
Scale 1:100

S-06



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PROJECT:

Torrington Residence

SITE:

**10 Gardere Avenue
Curl Curl NSW**

CLIENT:

P & A Torrington

DRAWING TITLE:

**Sections
Sections 3**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

24/12/20

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A402

PRINT DATE

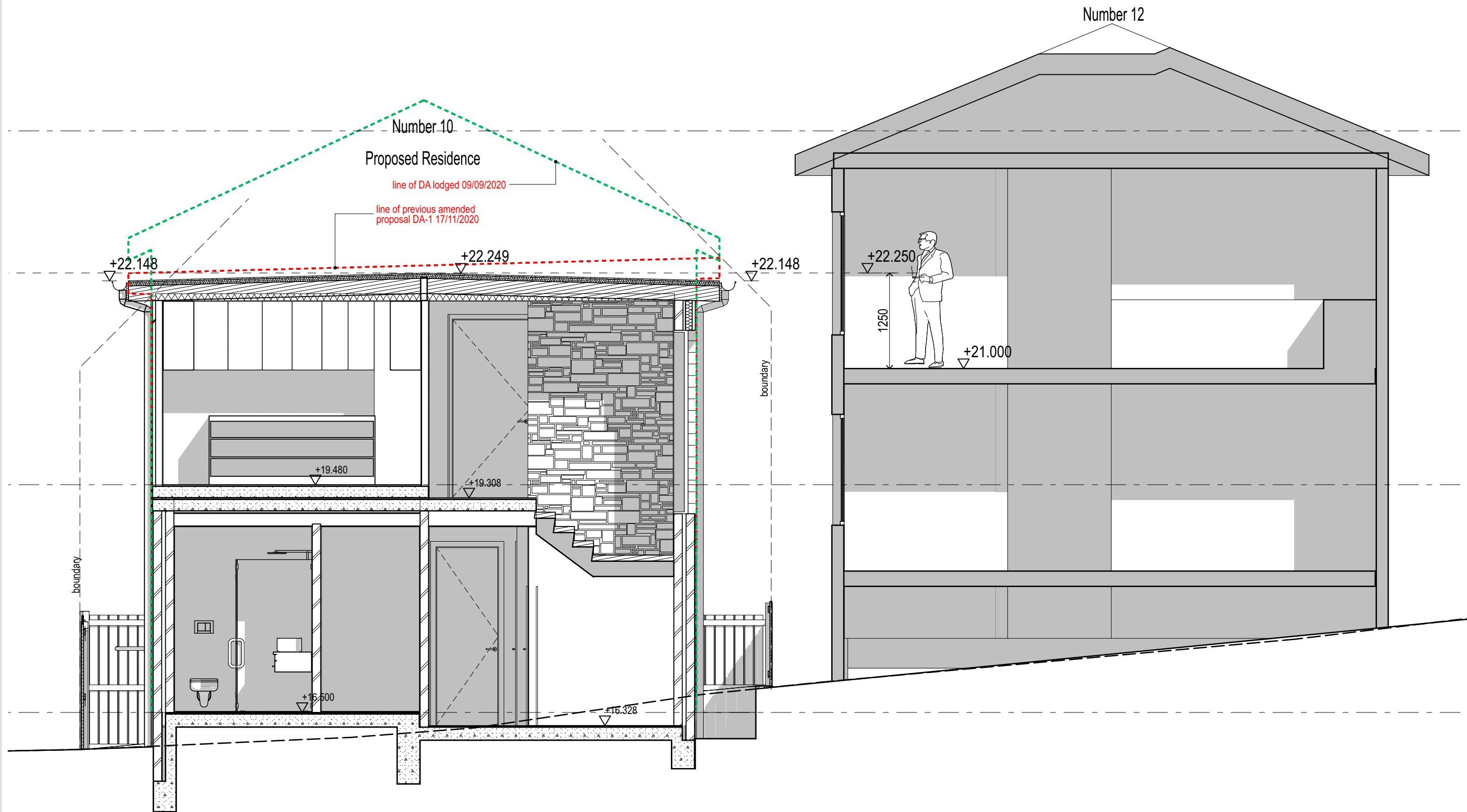
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S-08

Section Through Number 12 Kitchen / Living

Scale 1:50



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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

**Sections
Sections 4**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE
24/12/20

DRAWN
JMC

PRINT DATE
24/12/20

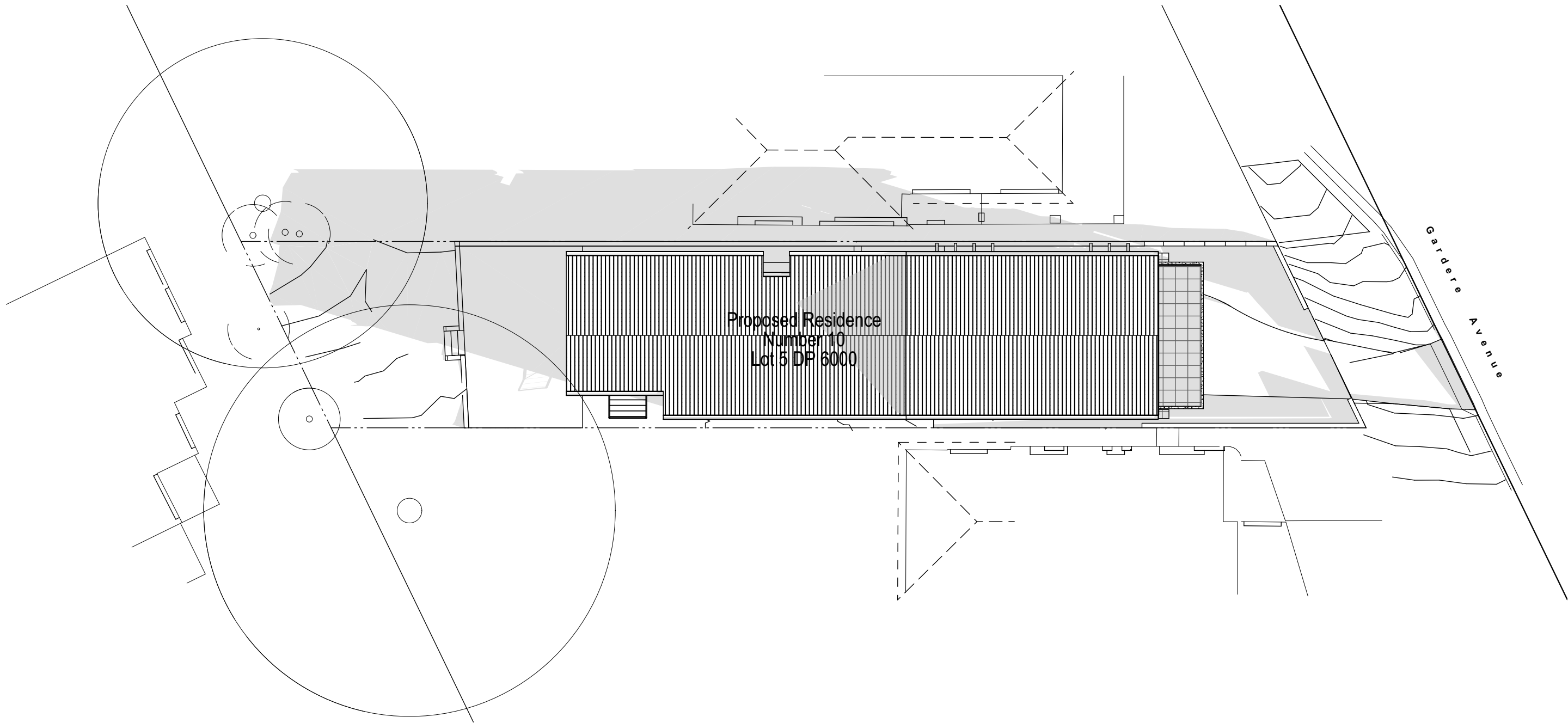
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01

Shadow Diagram 21 June at 0900h
Scale 1:200

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Shadow Diagrams
Shadow Diagram 9am

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

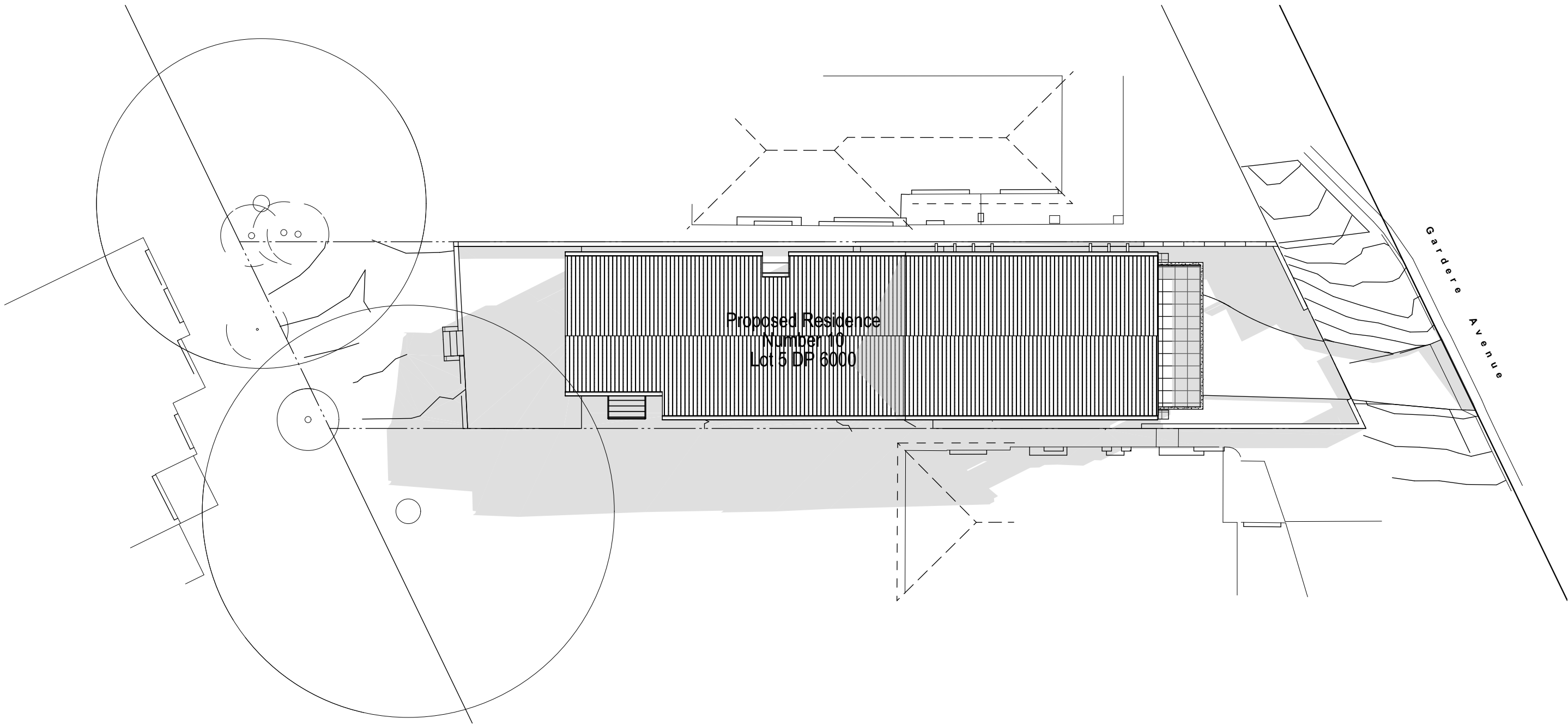
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02

Shadow Diagram 21 June at 1200h
Scale 1:200

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01			28/8/20
DA2	JM	DA Submission #2	24.12.20
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence

SITE:
10 Gardere Avenue
Curl Curl NSW

CLIENT:
P & A Torrington

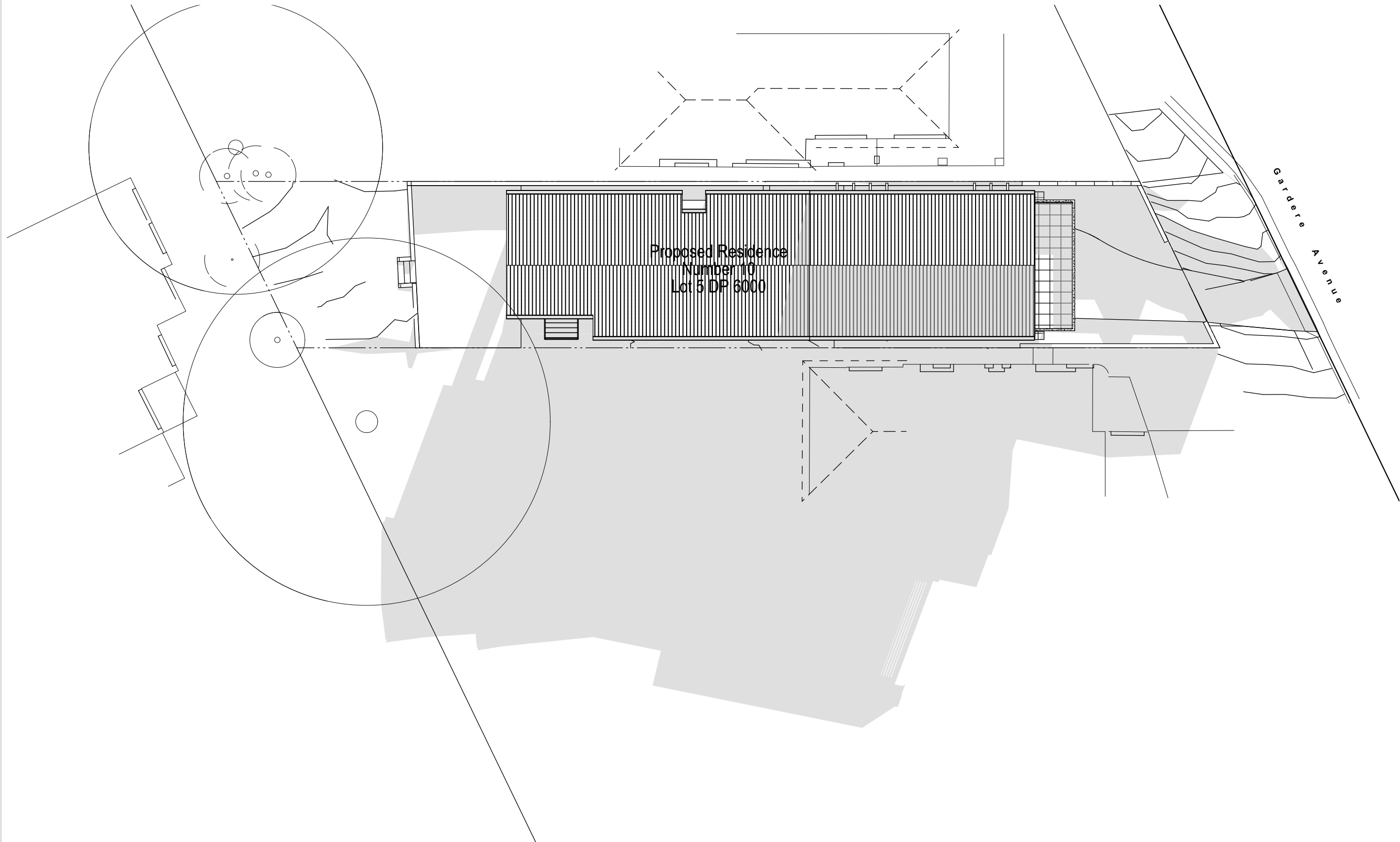
DRAWING TITLE:
Shadow Diagrams
Shadow Diagram 12pm

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
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03

Shadow Diagram 21 June at 1500h
Scale 1:200

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DA-2	JM	DA Submission #2	24.12.20
DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing	13.12.20
DA-1	JM	Levels updated	19.11.20
DA-1	JM	Roof redesigned, levels updated, further info added	16.11.20
DA-1	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence

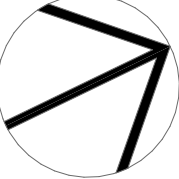
SITE:
10 Gardere Avenue
Curl Curl NSW

CLIENT:
P & A Torrington

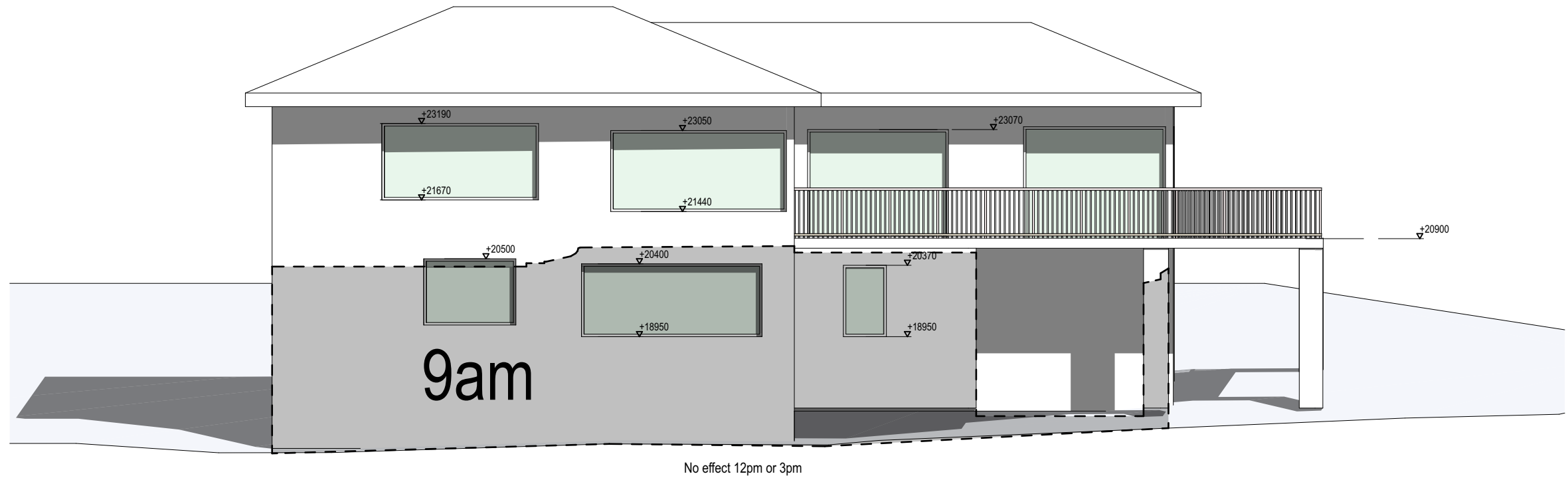
DRAWING TITLE:
Shadow Diagrams
Shadow Diagram 3pm

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



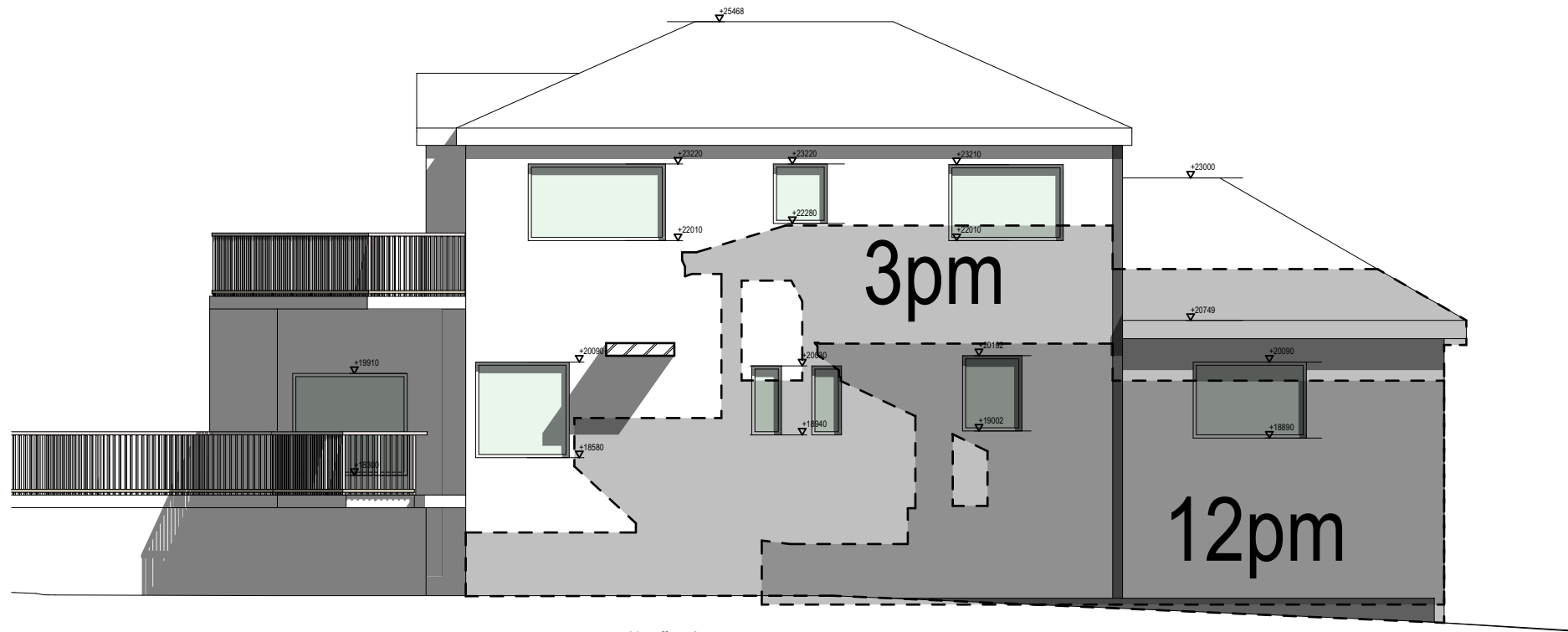
DATE 24/12/20	DRAWN JMC	PRINT DATE 24/12/20
PROJECT NUMBER 580	DRAWING NUMBER 580.A502	PROJECT STATUS DA2
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No effect 12pm or 3pm

05

Neighbouring Residence #12 - Winter Solstice 21 June
Scale1:100



No effect 9am

06

Neighbouring Residence #8 - Winter Solstice 21 June
Scale1:100

APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN



UrbanHarmony

Luxury Residential Design
Urban - Rural - Coastal - Alpine
M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

ISSUE	CHANGE	CHANGE NAME	DATE
DA-2	JM	DA Submission #2	24.12.20
DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing	13.12.20
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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Shadow Diagrams
Elevational Shadow Diagrams

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

24/12/20

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A503

PRINT DATE

24/12/20

PROJECT STATUS

DA2

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Window & External Door Schedule

Number	Height	Width	Sill Height	Head Height	Comments	Story	Location	Elevation	Glazing	Frame
W01	2400	1020	0	2400	Entry Combination	Ground Floor	Entry	S-01	TBA	Aluminium
W02	2400	900	0	2400	Single Glazed Door	Ground Floor	Garage	Left / East	TBA	Aluminium
W03	2400	820	0	2400	Laundry door & Louvres	Ground Floor	Laundry	Left / East	TBA	Aluminium
W04	1500	1810	900	2400	Sliding	Ground Floor	Bed 2	Left / East	TBA	Aluminium
W05	600	1510	1500	2100	Sliding	Ground Floor	Ens 2	Left / East	Obscure Glass	Aluminium
W06	1500	1810	556	2056	Sliding	Ground Floor	Bed 3	Left / East	TBA	Aluminium
W07	2400	600	-172	2228	Louvre	Ground Floor	Rumpus	Left / East	TBA	Aluminium
W08	2400	600	-172	2228	Louvre	Ground Floor	Rumpus	Left / East	TBA	Aluminium
W09	2400	4200	-172	2228	Sliding Door	Ground Floor	Rumpus	Rear / South	TBA	Aluminium
W10	2400	600	-172	2228	Louvre	Ground Floor	Rumpus	Right / West	TBA	Aluminium
W11	2400	600	-172	2228	Louvre	Ground Floor	Rumpus	Right / West	TBA	Aluminium
W12	600	1510	1656	2256	Sliding	Ground Floor	Bath	Right / West	Obscure Glass	Aluminium
W13	2700	6620	0	2700	Sliding Door	First Floor	Living Room	Front / North	TBA	Aluminium
W14	1645	6620	2700	4345	Angled Highlight	First Floor Highlight	Living Room	Front / East	TBA	Aluminium
W15	2105	600	380	2485	Louvre	First Floor	Living Room.	Left / East	Obscure Glass	Aluminium
W16	2105	600	380	2485	Louvre	First Floor	Living Room.	Left / East	Obscure Glass	Aluminium
W17	600	3600	900	1500	Louvre combination	First Floor	Kitchen	Left / East	TBA	Aluminium
W18	600	1210	900	1500	Fixed	First Floor	Pantry	Left / East	TBA	Aluminium
W19	1500	1810	728	2228	Sliding	First Floor	Guest	Left / East	TBA	Aluminium
W20	600	1510	1628	2228	Sliding	First Floor	Pdr	Left / East	Obscure Glazing	Aluminium
W21	1500	1810	728	2228	Sliding	First Floor	Study	Left / East	TBA	Aluminium
W22	1500	2710	728	2228	Sliding	First Floor	Master Suite	Left / East	TBA	Aluminium
W23	600	3040	1628	2228	Awning	First Floor	Master Suite	Left / South	TBA	Aluminium
W24	600	2000	1756	2356	Sliding	First Floor	Ensuite	Right / West	Obscure Glass	Aluminium
W25	900	610	1456	2356	Sliding	First Floor	Ens WC	Right / West	Obscure Glass	Aluminium
W26	2400	1810	-380	2020	Louvre	First Floor	Stair	Right / West	Obscure Glass	Aluminium
W27	2105	600	323	2428	Louvre	First Floor	Meals	Right / West	Obscure Glass	Aluminium
W28	2105	600	323	2428	Louvre	First Floor	Living Room.	Right / West	Obscure Glass	Aluminium
W29	2105	600	323	2428	Louvre	First Floor	Living Room.	Right / West	Obscure Glass	Aluminium



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DATE:

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Luxury Residential Design
Urban · Rural · Coastal · Alpine
M 0402 200 700 | T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

01				29/5/20
DA2	JM	DA Submission #2		24.12.20
DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing		13.12.20
DA-1	JM	Levels updated		19.11.20
DA-1	JM	Roof redesigned, levels updated, further info added		16.11.20
DA-1 prelim	JM	Roof redesigned, levels updated, further info added for comment only		14.11.20
ISSUE	CHANGE	CHANGE NAME		DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Schedules
Window Schedule

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

24/12/20

DRAWN

JMC

PRINT DATE

24/12/20

PROJECT NUMBER

580

DRAWING NUMBER

580.A600

PROJECT STATUS

DA2

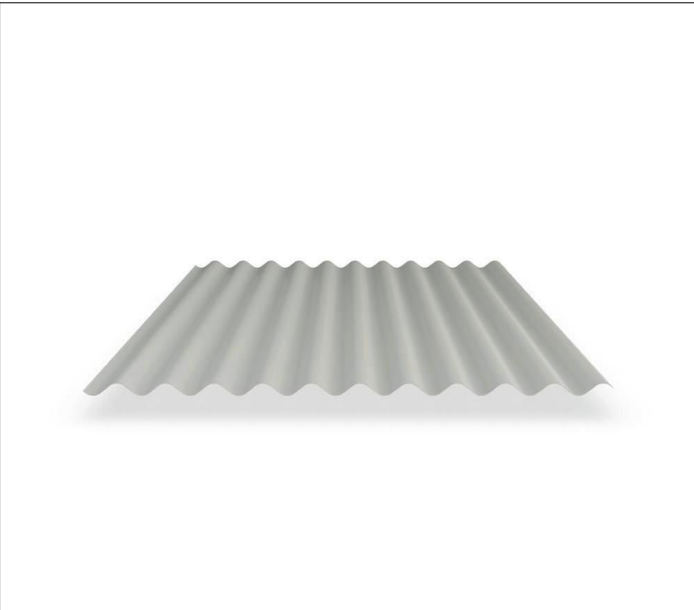
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The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area





Roof - Colorbond Custom Orb - Windspray (Note BASIX Medium solar absorptance required)
(Note, low pitched areas in Klip-Lok or similar)



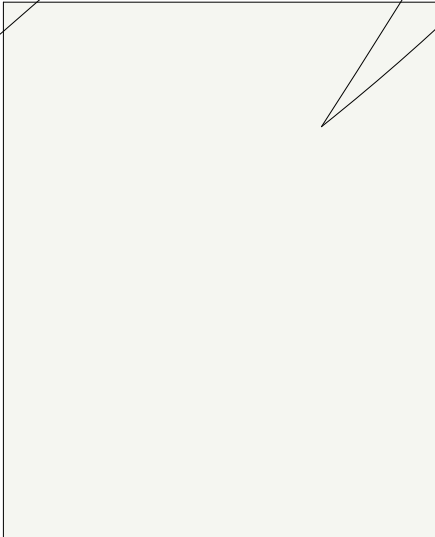
Stone Cladding



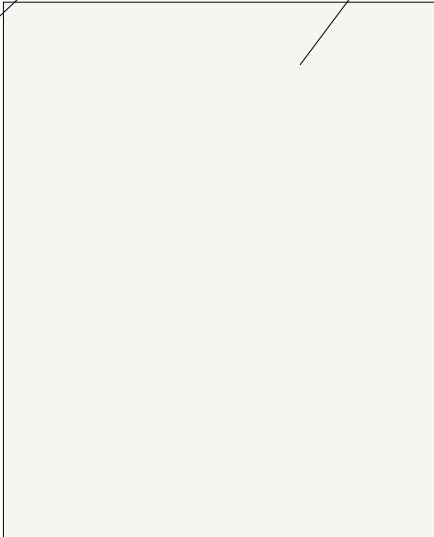
Rendered areas - Dulux Doe



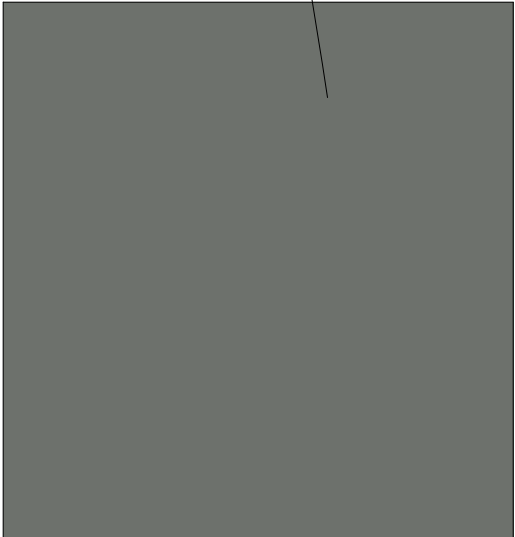
Feature areas and fascia - Dulux Lexicon quarter
or Dulux Vivid White



Window & External door frames - Natural white
Balcony hob - Natural white



Painted Weatherboards - Dulux - Natural White



Gutters - Windspray (downpipes painted to match walls)

NOTE
Colours Must be confirmed on site by client utilising
1.0m x 1.0m swatches as environment can alter final colour

Preliminary selections only , Final colour and
material selection at owner's discretion.

APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN

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Luxury Residential Design

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PO Box 858 Avalon Beach NSW 2107

Jeremy@urbanharmony.com.au

www.urbanharmony.com.au

01				28/8/20
DA2	JM	DA Submission #2		24.12.20
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ISSUE	CHANGE	CHANGE NAME		DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue

Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Schedules

Colours and Materials

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

24/12/20

DRAWN

JMC

PRINT DATE

24/12/20

PROJECT NUMBER

580

DRAWING NUMBER

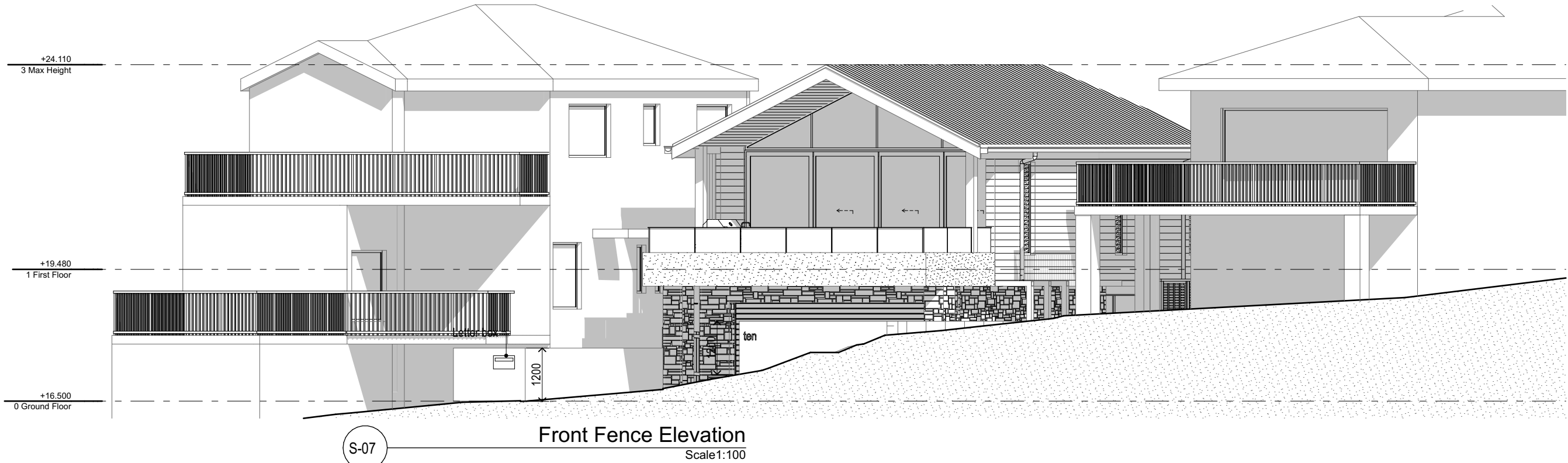
580.A602

PROJECT STATUS

DA2

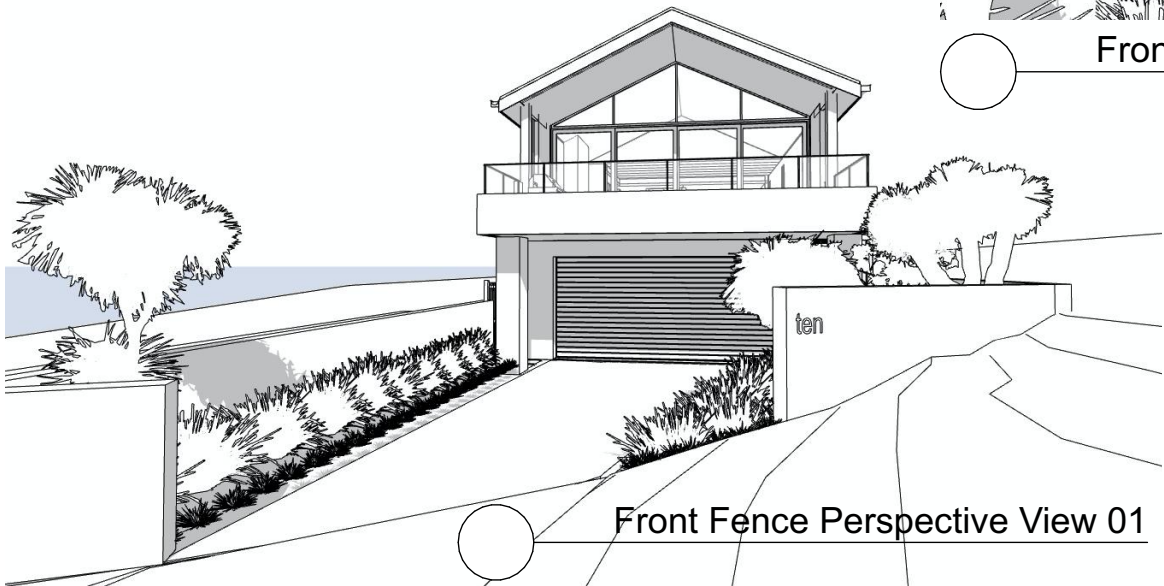
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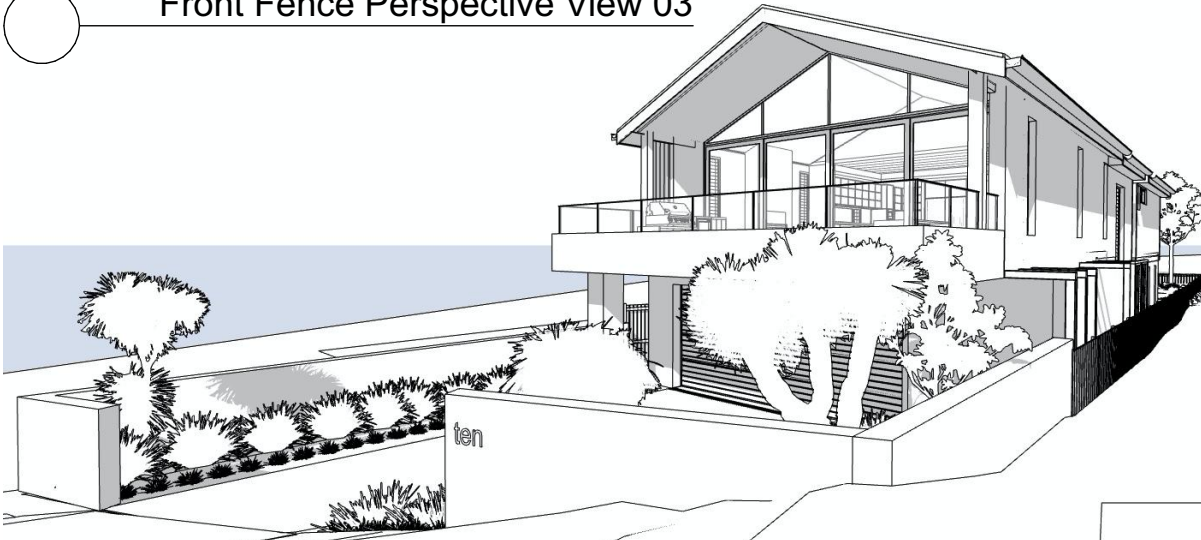


Front Fence Perspective View 02

Front Fence Perspective View 03



Front Fence Perspective View 01



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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Landscape Plans
Front Fence Elevation & 3D

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

24/12/20

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A701

PRINT DATE

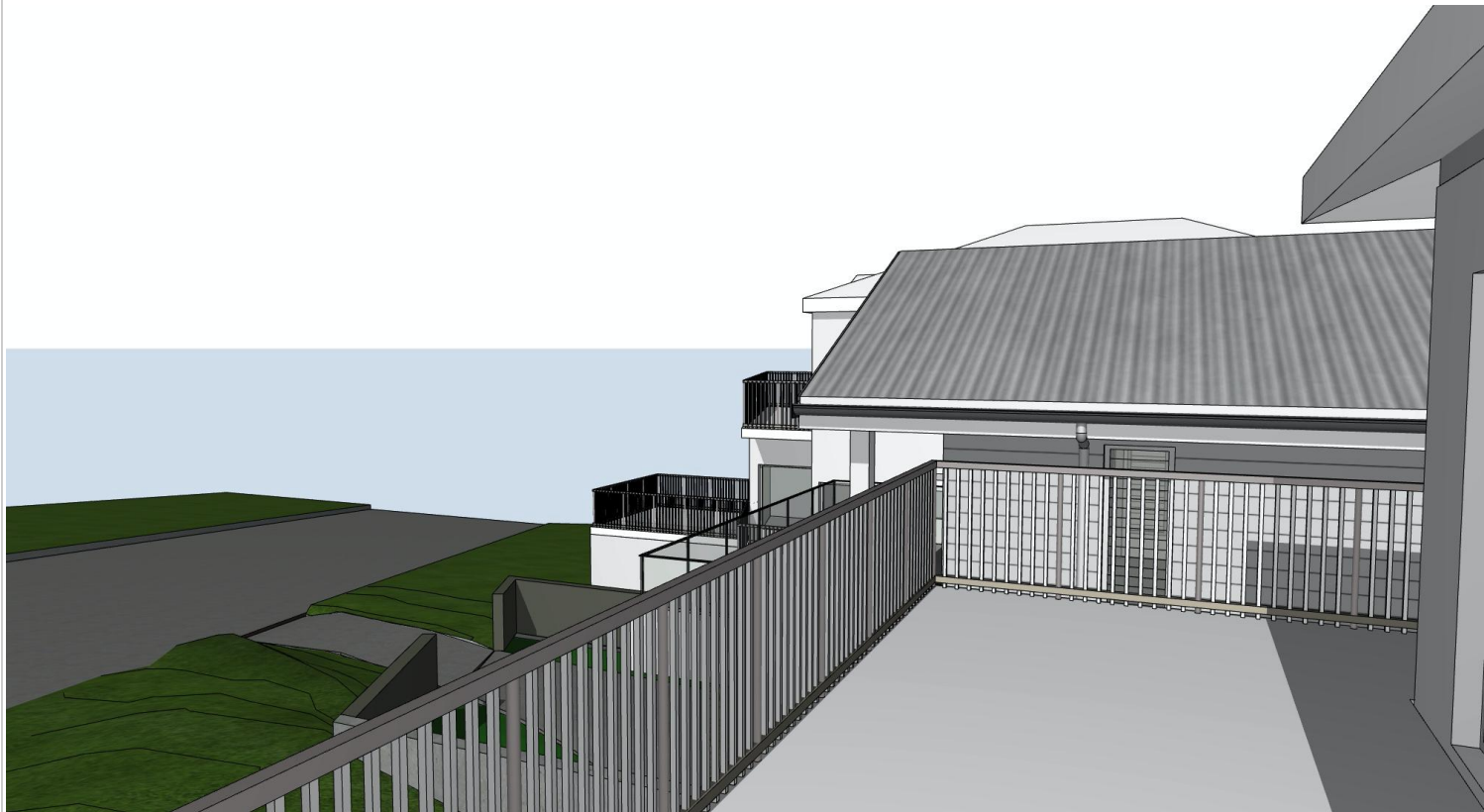
24/12/20

PROJECT STATUS

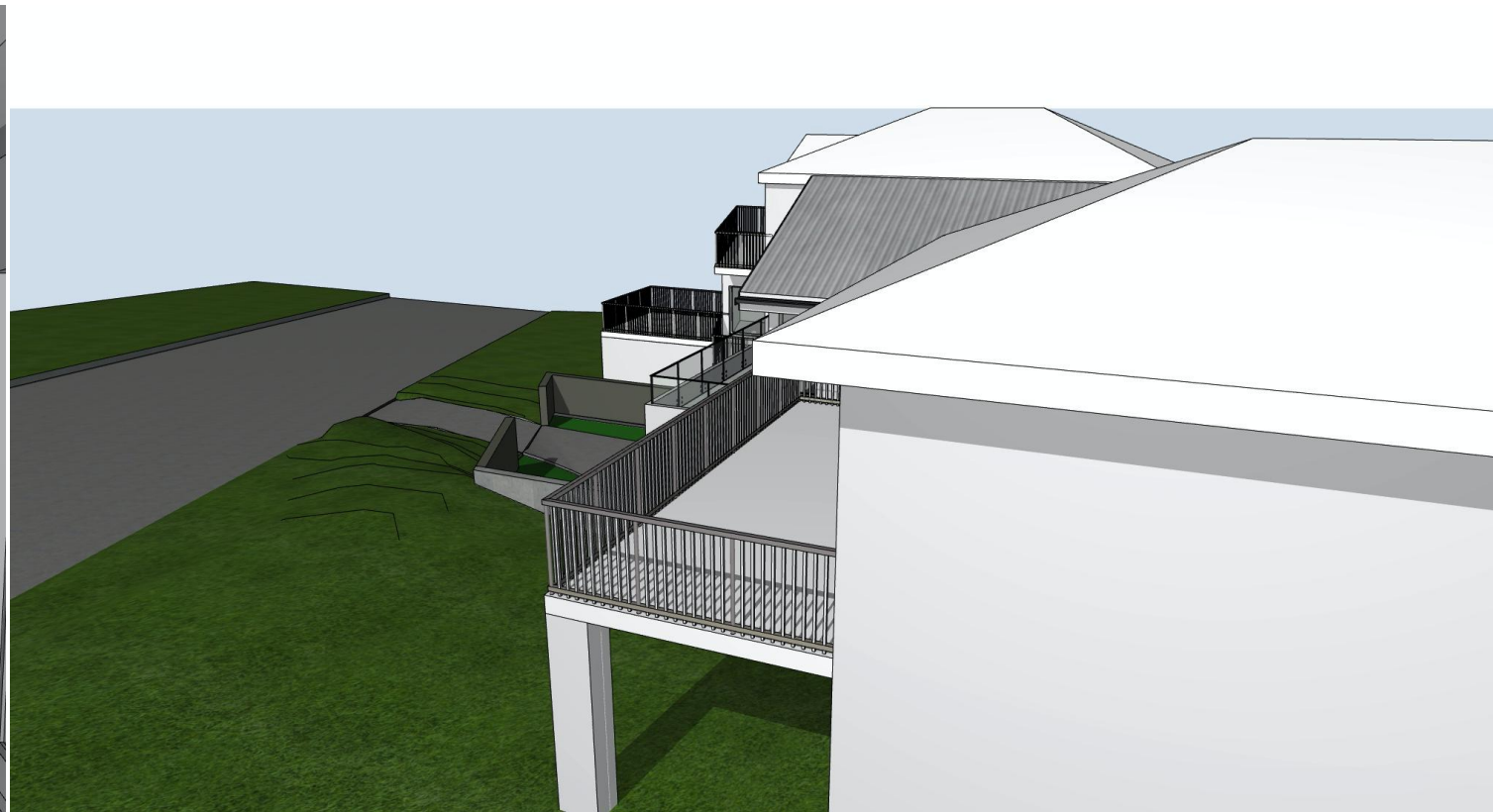
DA2

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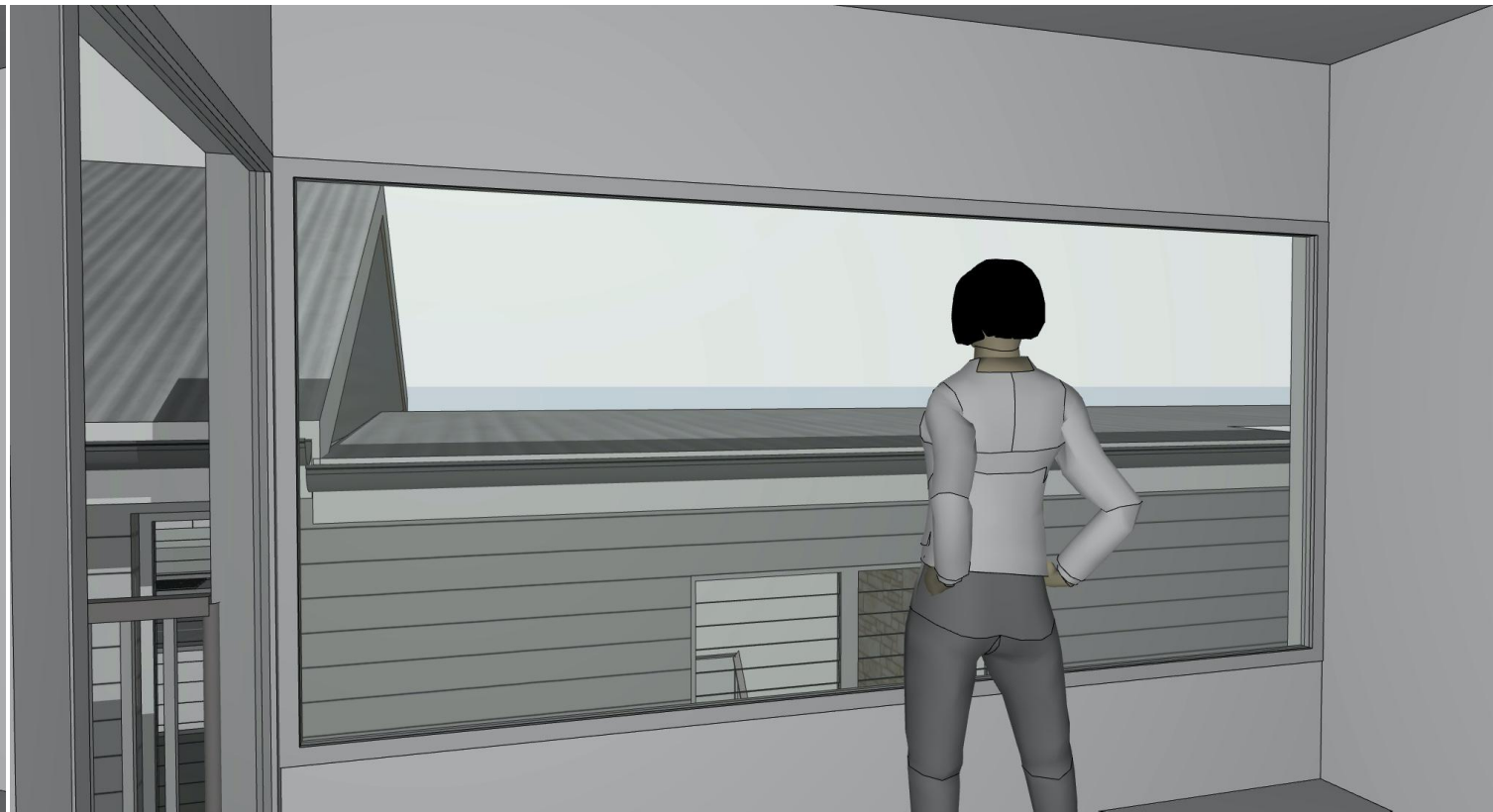
Perspective 01



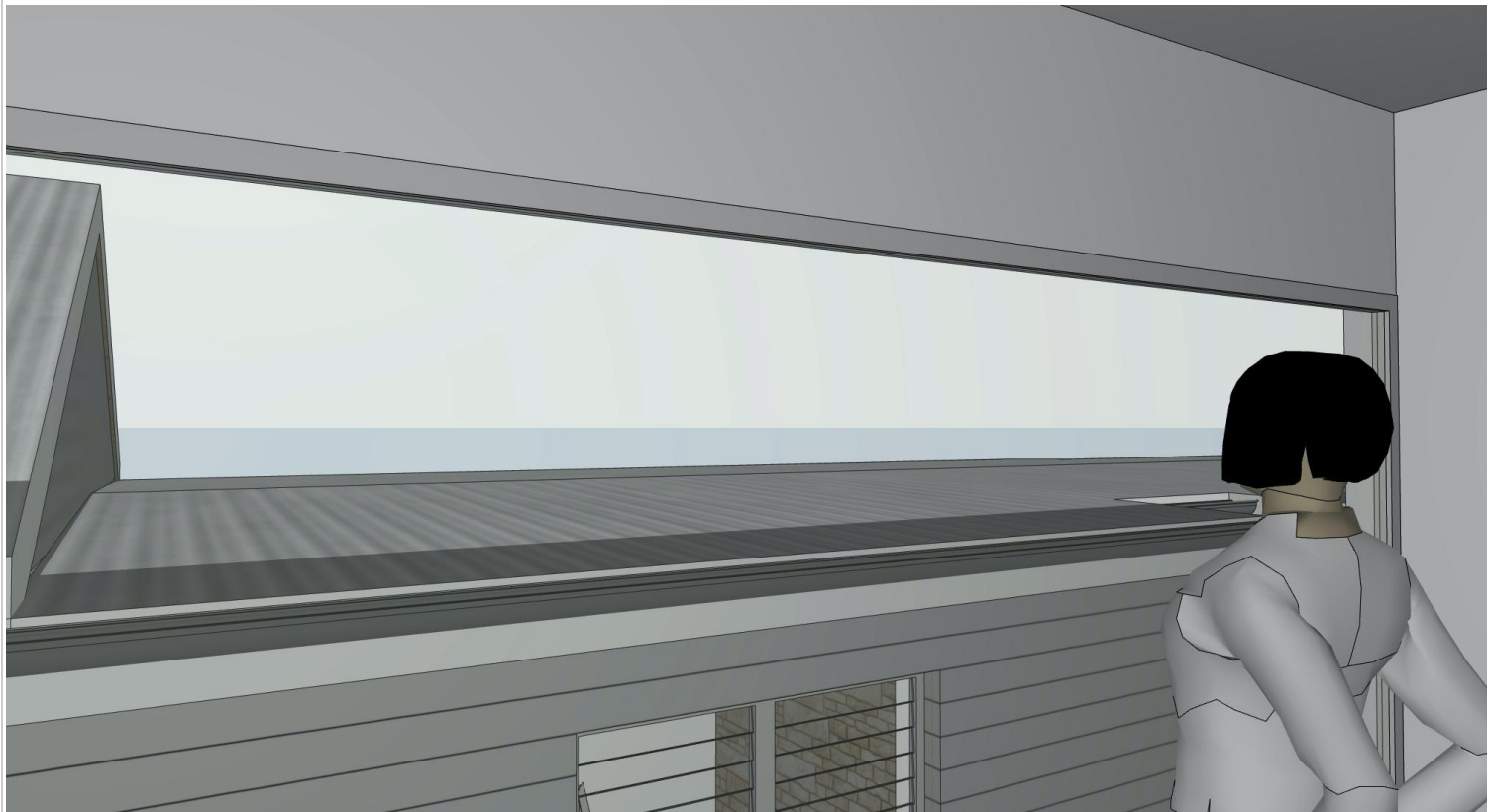
Perspective 02



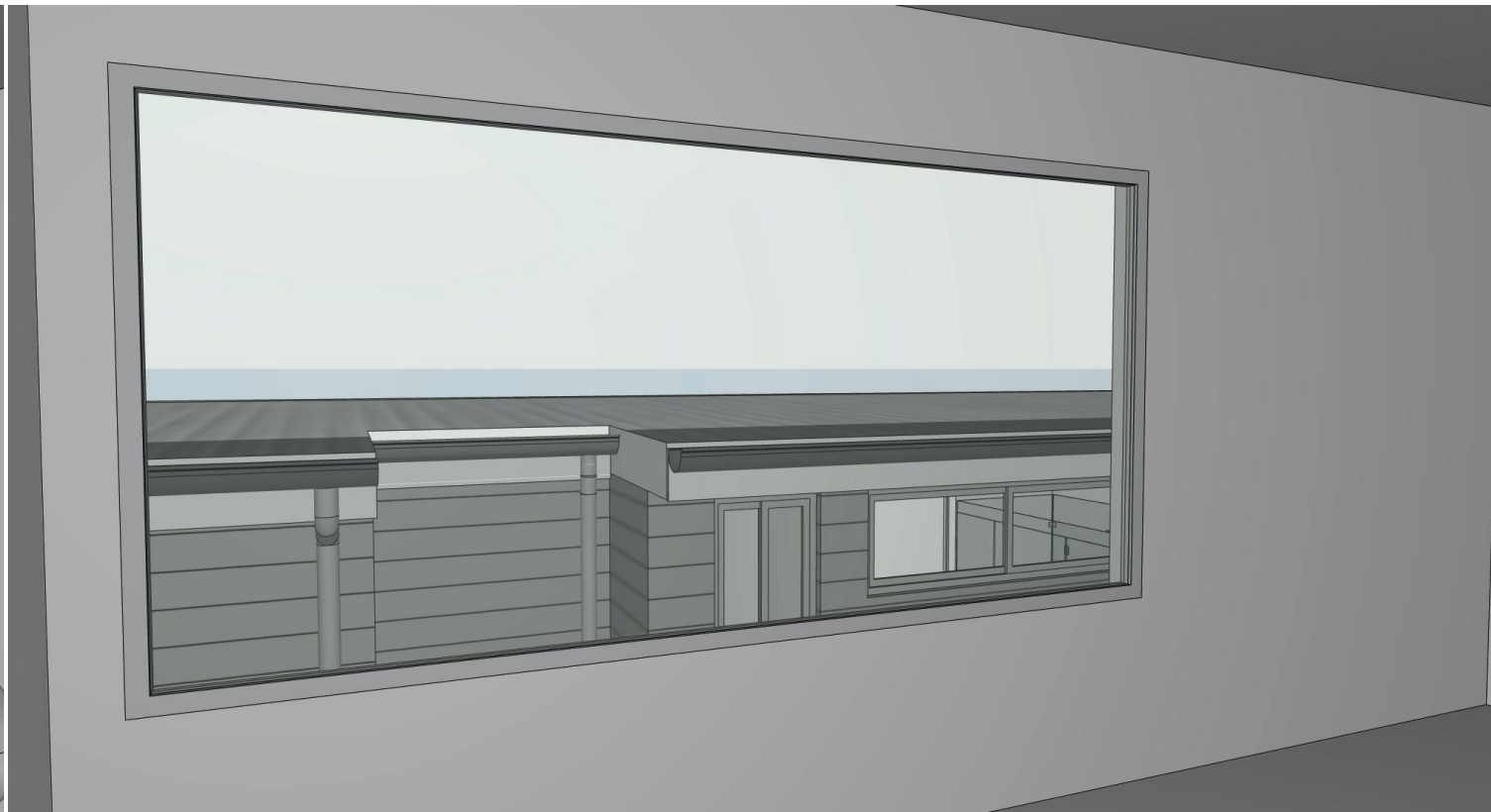
Perspective 03



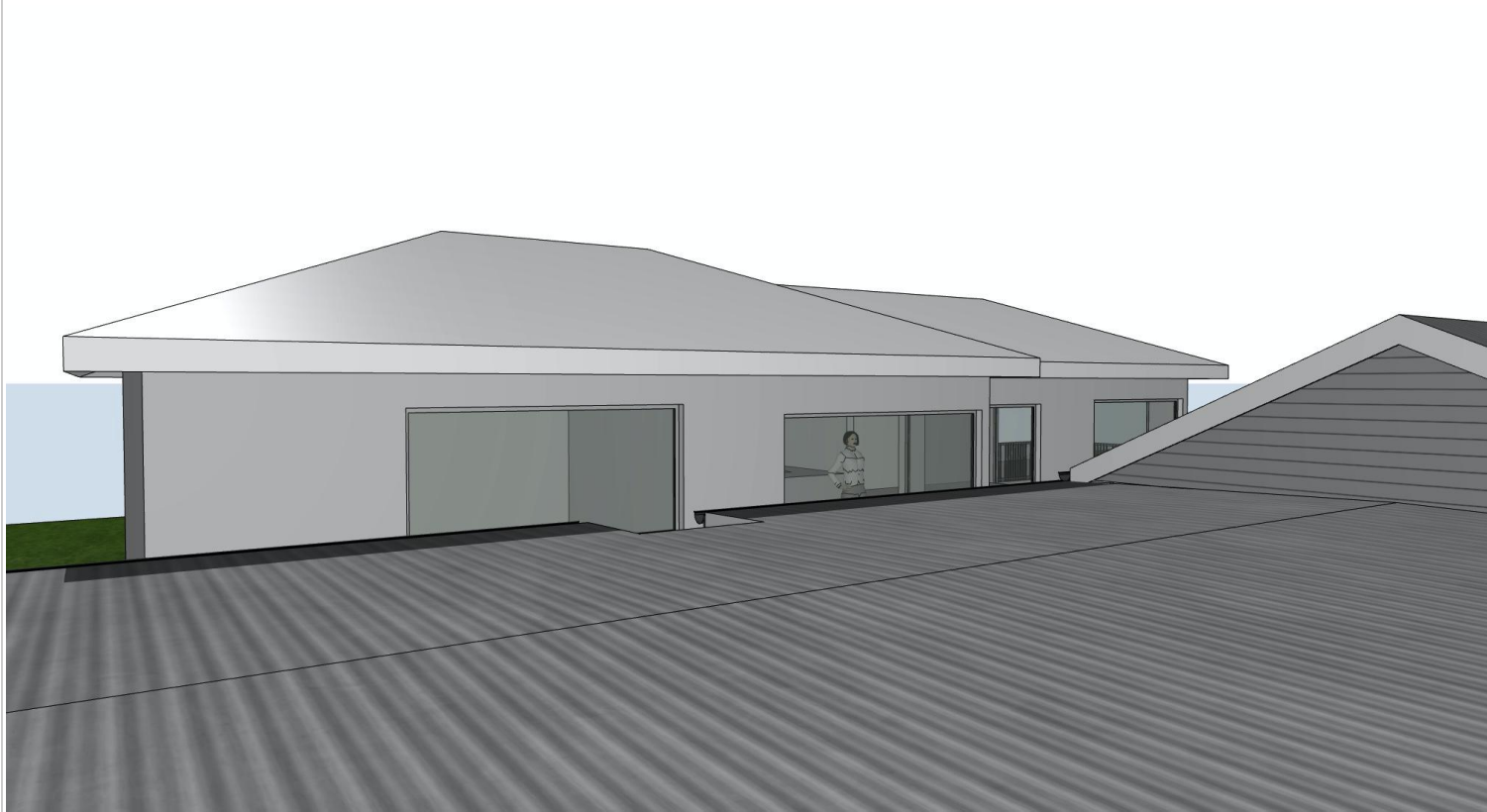
Perspective 04



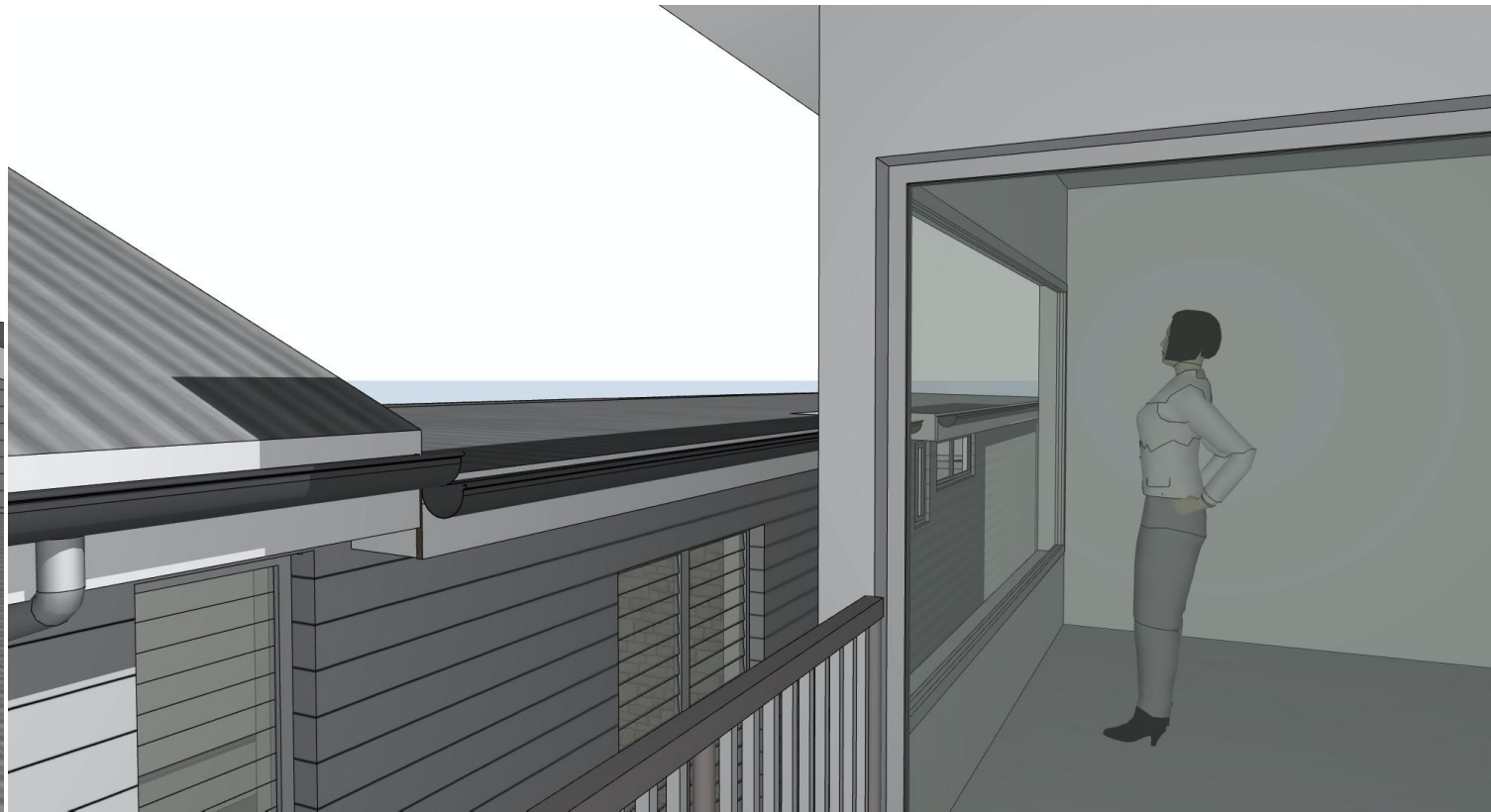
Perspective 05



Perspective 06



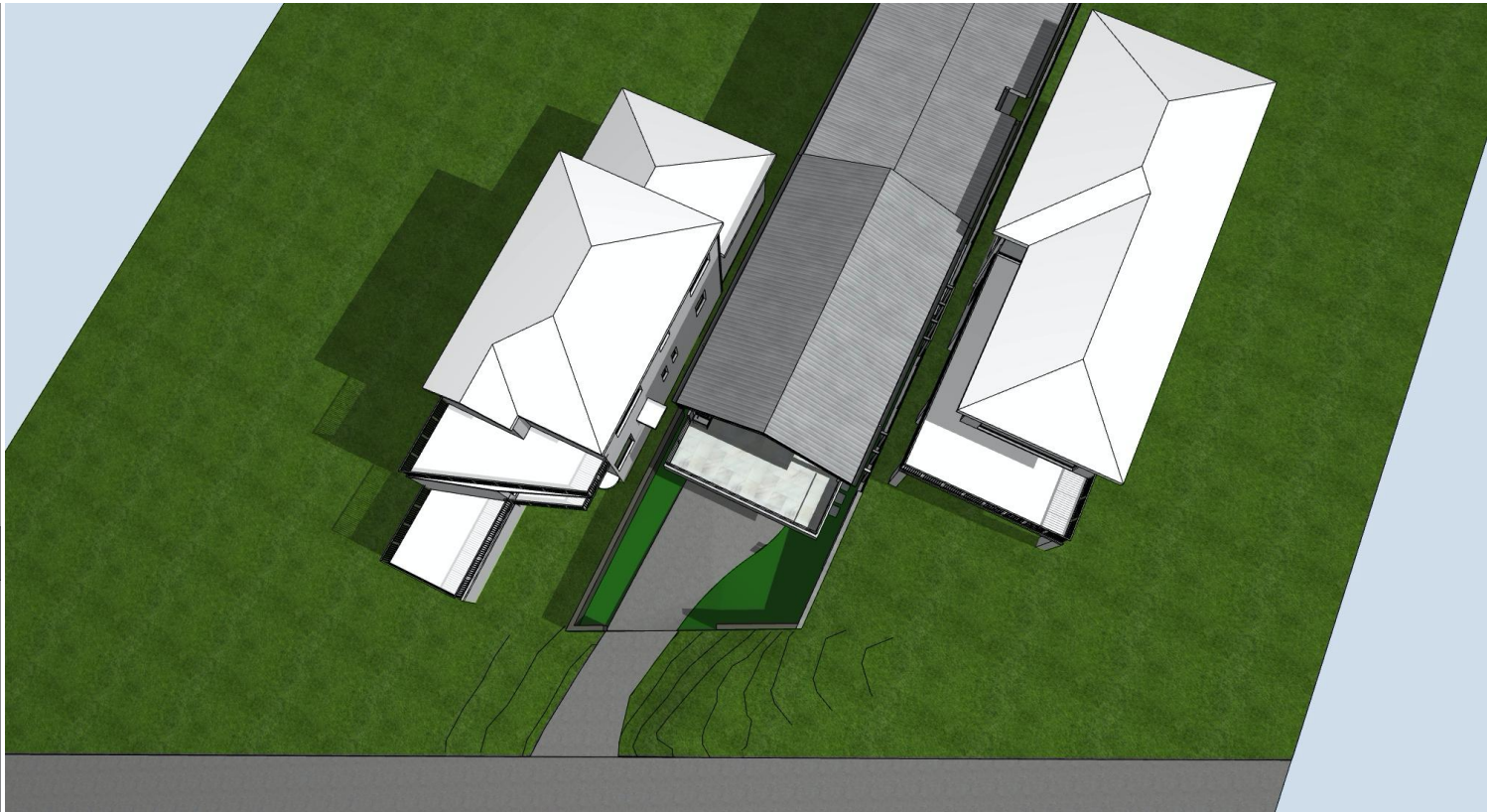
Perspective 07



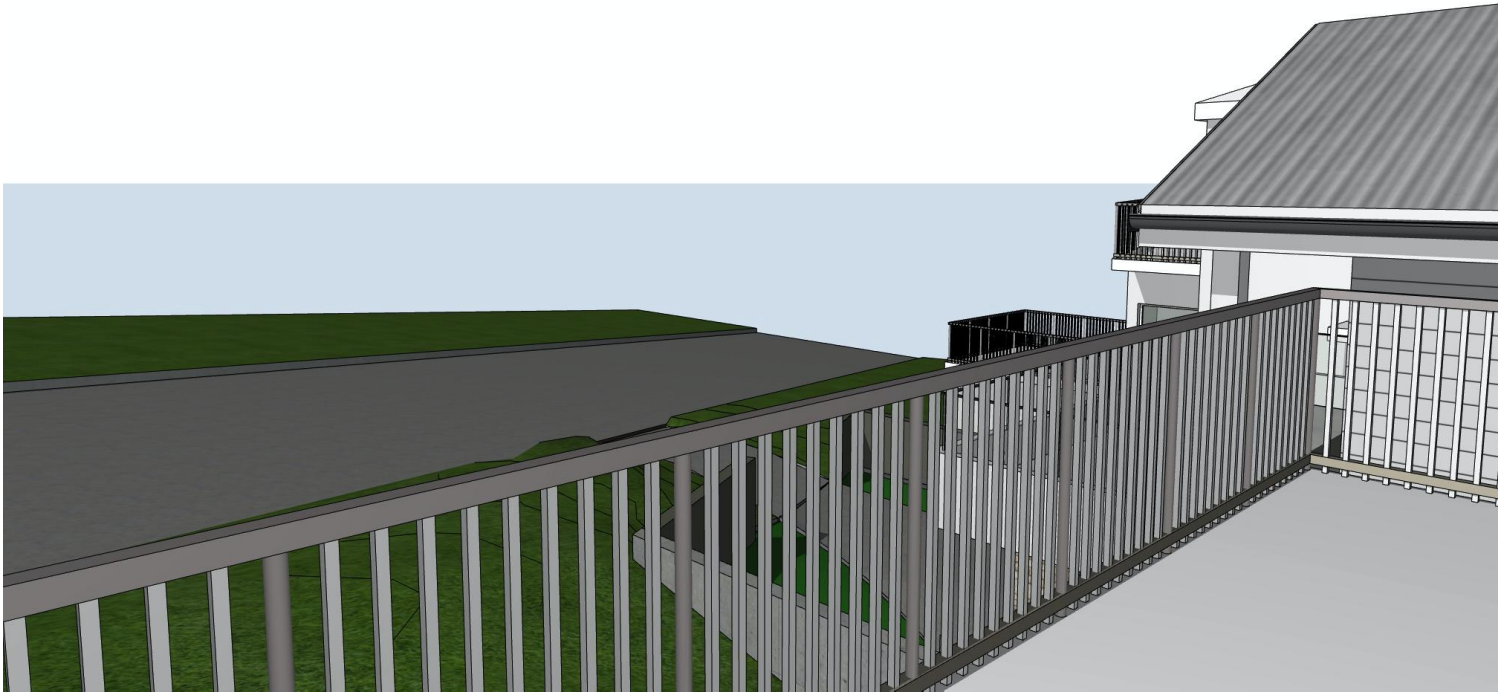
Perspective 08



Perspective 09



Perspective 10



Perspective 11



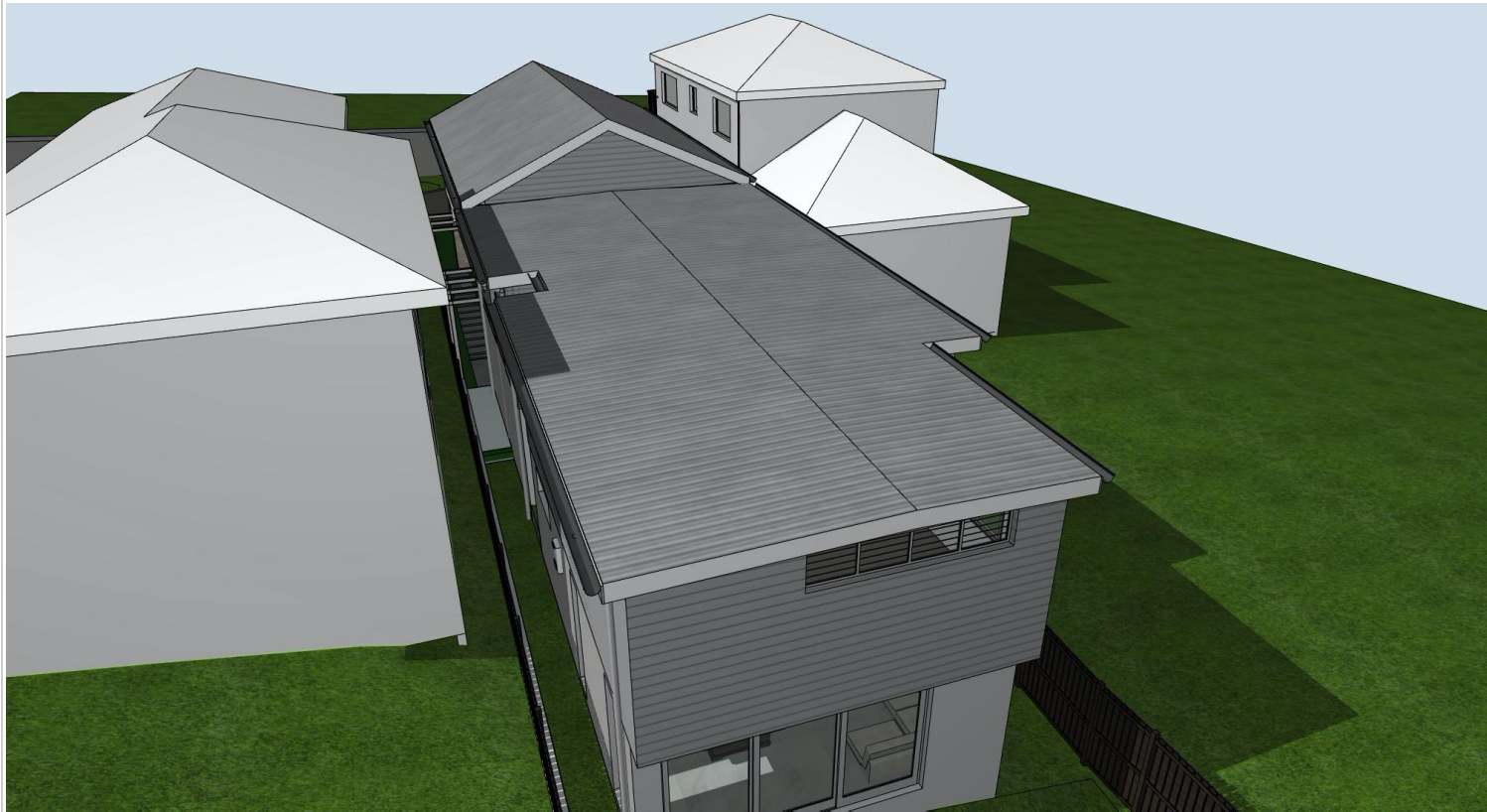
Perspective 12



Perspective 13



Perspective 14



Perspective 15



Perspective 16