

CONSTRUCTION CERTIFICATE

issued under the Environmental Planning and
Assessment Act 1979

Section 109C (1) (b), 81A (2) and 81A (4)

COUNCIL: Pittwater

CONSTRUCTION CERTIFICATE NO: 2003/140

APPLICANT

Name **Mrs Susan Dovell**
Address **24 Capua Place, Avalon NSW 2107**
Contact No: (telephone/fax) **9918 8118**

OWNER

Name **Mrs Susan & Mr Andrew Dovell**
Address **24 Capua Place, Avalon NSW 2107**
Contact No: (telephone/fax) **9918 8118**

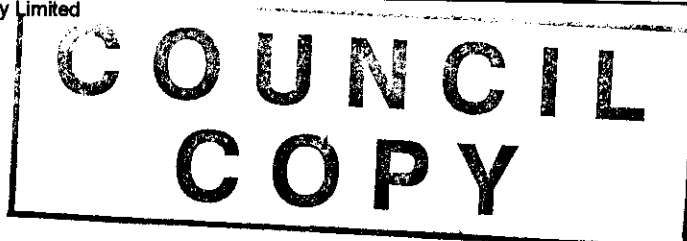
SUBJECT LAND

Address **24 Capua Place, Avalon**
Lot No: 17 **DP: 219898**

DESCRIPTION OF DEVELOPMENT

Type of Work ☒ Building work ☐ Subdivision work
Description **First floor addition to an existing dwelling**

Insight Development Consultants Pty Limited



DEVELOPMENT CONSENT

Development Consent No: **NO 385/02**
Date of Determination **5 July 2002**

BUILDING CODE OF AUSTRALIA

Building Classification **1a**

BUILDER or OWNER/BUILDER

Name **Sue Dovell**
Contractor License No./Permit **Owner Builder's Permit No: 260269P**
No. in case of Owner Builder

\$ VALUE OF WORK

Building/Subdivision **\$250,000.00**

DATE C.C APPLICATION RECEIVED

Date Received **19 June 2003**

DETERMINATION

Decision **Approved**
Date of Decision **4 July 2003**

ATTACHMENTS **Nil**

**PLANS AND SPECIFICATIONS
APPROVED/REFUSED**

List plan no(s) and specifications
Reference

1. Architectural Plans, Reference No. 02345 – 1 to 5 (inclusive), prepared by J D Evans and Company Pty Ltd, dated 26 March 2002.
2. Structural Details, Reference No. 0269 (S01), prepared by Warwick Donnelly Pty Ltd consulting Engineers, dated May 2003, endorsed by Jack Hodgson practicing Geotechnical Engineer, dated 21 June 2003.
3. Certificate of Structural Adequacy, Reference No. C0269A, issued by Warrick Donnelly Pty Ltd Consulting Engineers, dated 26 June 2003.

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

CERTIFICATE

Certificate Final

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the land Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority Insight Development Consultants Pty. Limited

Name of Accredited Certifier Tom Bowden

Registration No 93

Contact No (02) 9889 4770

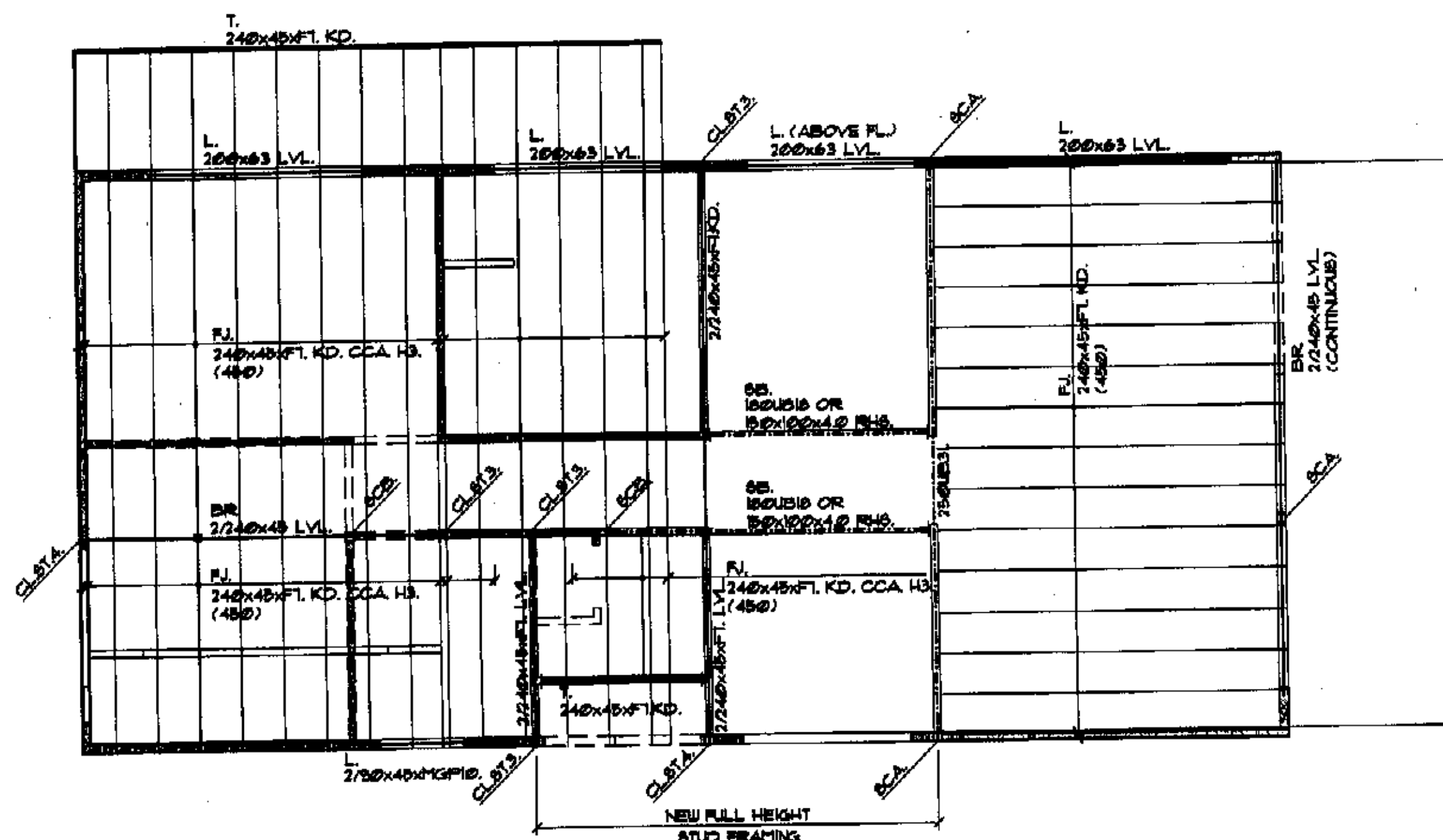
Address 7 Kingsford Avenue, Eastwood NSW 2122

SIGNED



DATE

- 4 JUL 2003

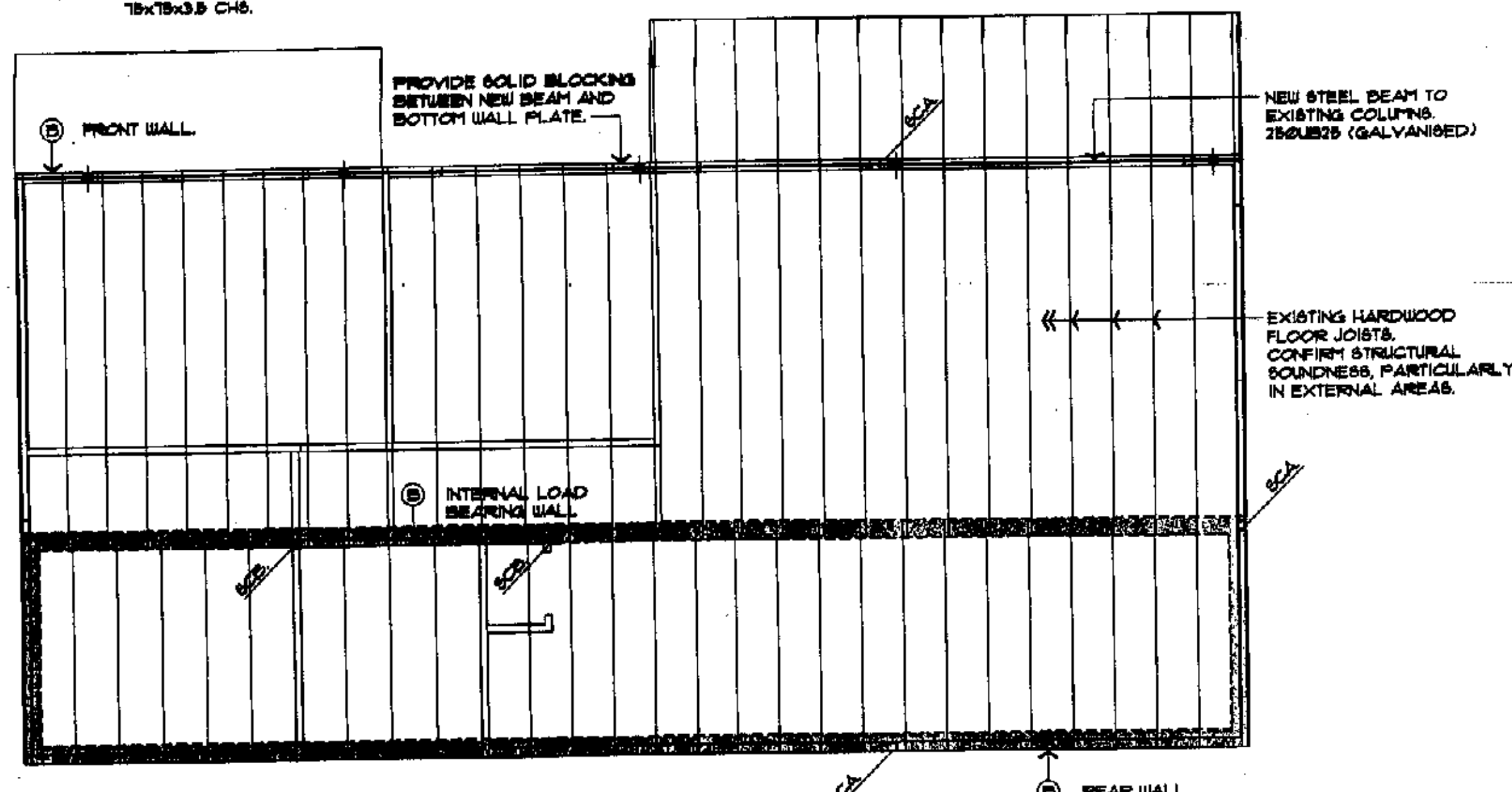


PLAN - UPPER FLOOR FRAMING

PRIMARY STRUCTURAL FRAMING ONLY IS SHOWN. REFER TO THE ARCHITECT'S SPECIFICATION AND TO THE AUSTRALIAN STANDARD AS 1684 FOR FRAMING NOT SHOWN. ALL STEELWORK SHALL BE HOT DIPPED GALVANISED AFTER FABRICATION UNLESS NOTED AS STAINLESS STEEL.

NOTATION:

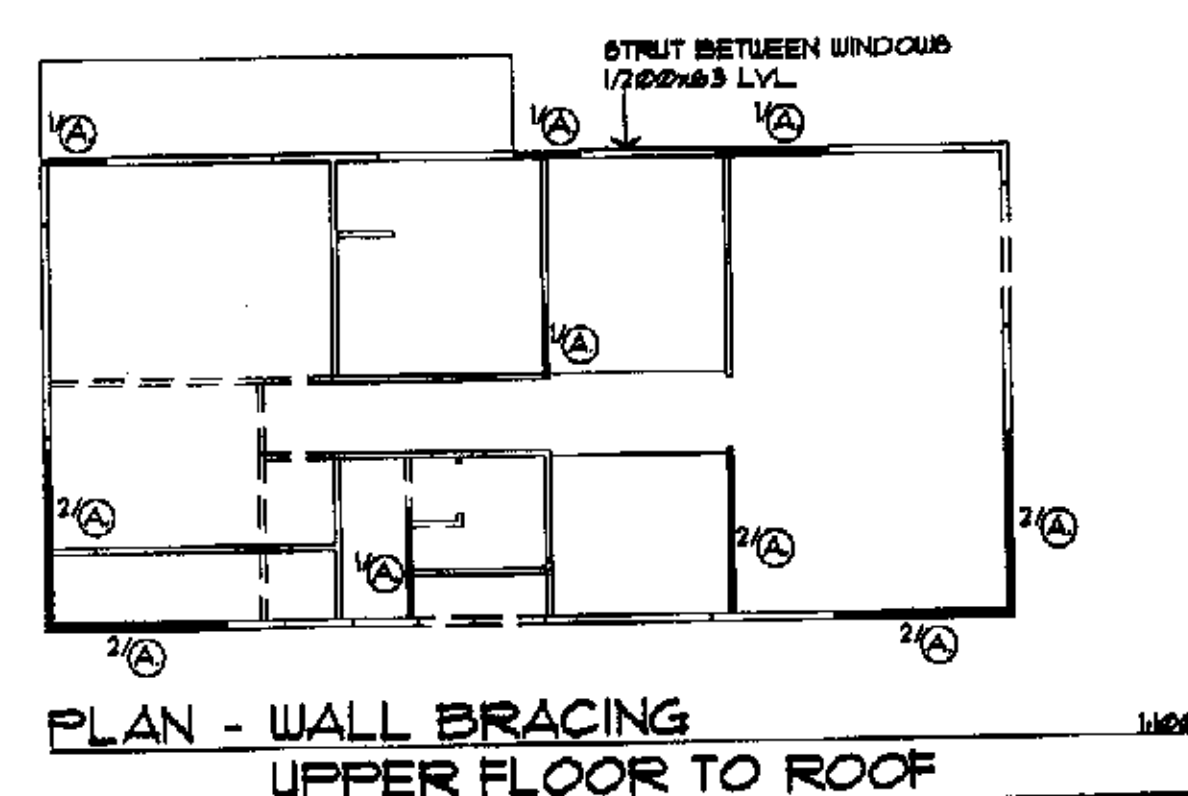
- FJ - FLOOR JOISTS
- T - TRIM
- L - LINTEL
- SD - STEEL BEAM
- SC - STEEL COLUMN
- CLUSTS - CLUSTER OF 4/20x45x12 STUDS
- CLUSTA - CLUSTER OF 4/20x45x12 STUDS
- SCA - NEW FLOOR SUPPORT COLUMNS UNDER
- SCB - NEW FLOOR SUPPORT COLUMNS UNDER
- SCB - NEW FLOOR SUPPORT COLUMNS UNDER
- SCB - NEW FLOOR SUPPORT COLUMNS UNDER



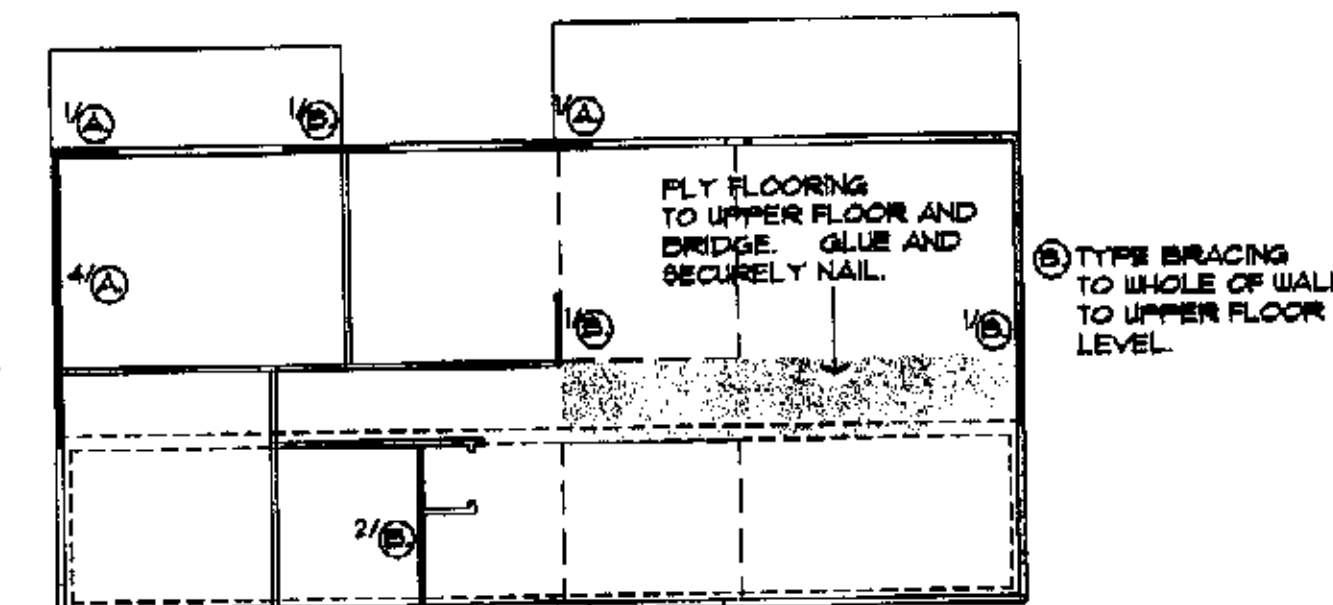
PLAN - GROUND FLOOR FRAMING

REFER TO UPPER FLOOR FRAMING PLAN FOR NOTES. SCA AND SCB - NEW STEEL COLUMN TO UPPER FLOOR OVER.

- (A) - CONFIRM 150x50x7 STUDS AT 450 CENTRES.
- (B) - CONFIRM 100x50x7 STUDS AT 450 CENTRES.



PLAN - WALL BRACING
UPPER FLOOR TO ROOF

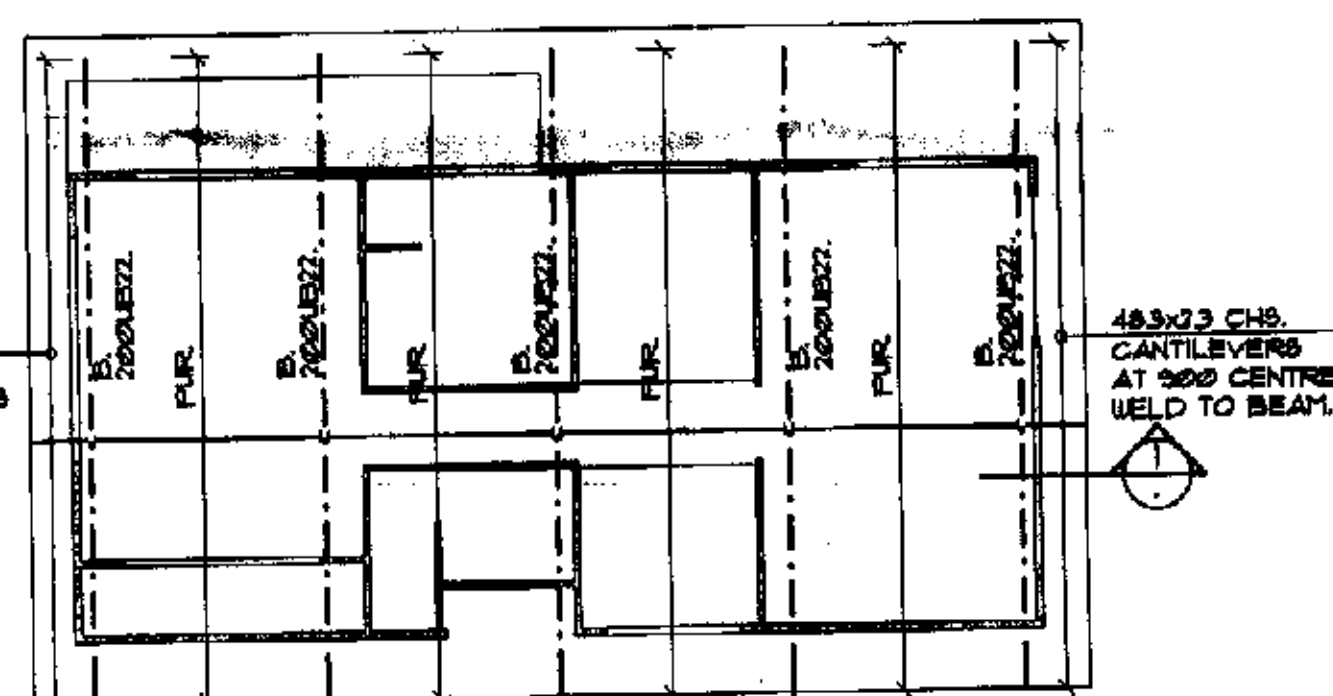


PLAN - WALL BRACING
LOWER TO UPPER FLOOR

BRACING HAS BEEN DESIGNED FOR 41M/SEC GUST WIND SPEED (NOT CYCLONIC)

NOTATION:

- (A) - TYPE A, 10M PLYWOOD WALL BRACING FIXED IN ACCORDANCE WITH AS 1684-1992, (FIGURE 4.12)
- (B) - TYPE B, 10M PLYWOOD WALL BRACING FIXED IN ACCORDANCE WITH AS 1684-1992, (FIGURE 4.13)



PLAN - ROOF FRAMING

PRIMARY STRUCTURAL FRAMING ONLY IS SHOWN. REFER TO THE ARCHITECT'S SPECIFICATION AND TO THE AUSTRALIAN STANDARD AS 1684 FOR FRAMING NOT SHOWN. ALL STRUCTURAL STEELWORK TO BE HOT DIPPED GALVANISED AFTER FABRICATION.

NOTATION:

- B - BEAM
- PUR - PURLINS
- PUR - PURLINS AT 600 CENTRES OR 140x45x7.1 AT 200 CENTRES OR 2/140x45x7.1 AT 200 CENTRES
- PUR - PURLINS IN EXTERNAL LOCATIONS TO BE HOT DIPPED GALVANISED AFTER FABRICATION
- PUR - PURLINS IN EXTERNAL LOCATIONS TO BE HOT DIPPED GALVANISED AFTER FABRICATION

PLYWOOD WALL BRACING NOTES:

Plywood braced wall with 10m DD grade x 10m, face of the length shown solid black.

AS 1684-1992 PLYWOOD FIXING REQUIREMENTS:

TYPE A: Fix plywood panels with galvanised flathead nails 2.2mm diameter x 30mm long minimum or equivalent at 150mm centres along all edges and 300mm centres along intermediate studs and nogging.

TYPE B: Fix plywood panels with galvanised flathead nails 2.2mm diameter x 30mm long minimum or equivalent at 150mm centres along top and bottom plates, 150mm centres along vertical edges and 300mm centres along intermediate studs and nogging. Nails should be located a minimum of 10mm from panel edges.

GENERAL NOTES:

Engineering drawings shall be read in conjunction with all architectural and other consultants drawings.

Dimensions shall not be obtained by scaling the structural drawings, unless noted otherwise. During construction the structure shall be maintained in a stable condition and no part shall be overstressed.

All workmanship and materials shall be in accordance with the current SAA Codes and the by-laws and ordinances of all relevant authorities.

Prior to commencing excavations, the Builder shall ascertain the location of existing services and obtain instructions for their protection.

The Engineer shall be given twenty-four hours minimum notice for all site inspections.

The floor systems have been designed for the following live loads: 15 kPa.

TIMBER NOTES:

Primary structural framing only is shown on plan. All timber framing not shown shall be to the Architect's specification or to AS1684.

All timber members shall have minimum stress grading as noted on plan.

All timber to be exposed to the weather shall be of durable species hardwood or CCA treated radiata pine. External timber fully sheltered from the weather shall be treated and regularly maintained to the Architect's specification. All timber having ground contact or within 150mm of ground level shall be radiata pine, treated to hazard level 3. The client is warned of the possible restricted life period of Oregon timber installed in external locations and of the need for regular protective treatment maintenance of Oregon in this situation.

All fasteners, including bolts, nuts, washers, and specified structural nails shall be galvanised. All bolts shall be fastened snug tight and retightened at a later date, where possible, to take up timber drying shrinkage. All screws in an exterior environment shall be stainless steel 304 or better. All screws in an interior environment shall be class 3 finished or be stainless steel unless detailed otherwise. All fasteners shall be installed in accordance with AS1720 'Timber Engineering Code'. All bolts shall be fitted with oversized galvanised washers as specified in AS1720. Bolts and screws to be installed in CCA treated timber shall be stainless steel.

All roof planes shall be fully cross braced with 'Speedbrace' or equivalent. All steel wall panels shall be braced with galvanised steel angle bracing.

All timber beams shall be supported on a cluster of 3/100x50x75 studs at timber framed walls, or for a minimum bearing length of 100mm at brick walls, unless noted or detailed otherwise on the engineering drawings.

STEELWORK NOTES:

All steelwork shall conform to AS4100.

All welds shall be 6mm continuous fillet welds, unless noted otherwise.

All bolts, nuts, washers, holding down bolt assemblies and masonry anchors shall be hot dipped galvanised. Unless noted otherwise, holding down bolts cast into concrete shall be Grade 4.6 fastened snug tight (4.6/5). All other bolts shall be Grade 8.8 fastened snug tight (8.8/5).

All steelwork shall be hot dipped galvanised after fabrication unless noted as stainless steel.

Three copies of shop detail drawings shall be submitted to the Engineer for approval, and this approval shall be obtained prior to commencing fabrication.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer
I hold the following qualifications M. Eng. Sc.
F.I.E. Aust. N Per 3 Civil & Structural No. 149788
Further I am appropriately qualified to certify the geotechnical component of the project.
I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian industry standards.
JACK HOGGSON 21/6/03
Name Date Signature

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

Structural Details C.C. No. 2003/140

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Structural Engineers of their responsibility to ensure the structural adequacy of this project.

WARNING

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicants responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.
Dial Before You Dig 1100

DOVELL ADDITION

24 CAPUA PLACE, AVALON.

WARWICK DONNELLY PTY LTD

CONSULTING STRUCTURAL & CIVIL ENGINEERS

10 PERRY ROAD ARCADEA 259

PHONE: 9454 1457

FAX: 9454 1458

ABN 32 802 074 286

ARCHITECT: DOVELL BROTHERS DESIGN.

DRAWING NO: 1100

PLOT NO: 1100

DATE: MAY 2003.

APPROVED FOR CONSTRUCTION:

WARWICK DONNELLY PTY LTD.

DRAWING:

FRAMING PLANS

PROJECT NUMBER: 0269

DRAWING: S01

Warwick Donnelly Pty Ltd

Consulting Structural and Civil Engineers

10 Perry Road Arcadia NSW 2159
Telephone: (02) 9656 1457
Facsimile: (02) 9656 1458
Email: wdpl@ihug.com.au
ABN 32 002 074 266

Mr A and Ms S Dovell
24 Capua Place
AVALON NSW 2107

26 June 2003
Ref: C0269A

Dear Sir

**RE: PROPOSED ALTERATIONS AND ADDITIONS
AT 24 CAPUA PLACE AVALON**

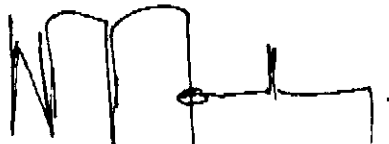
CERTIFICATE OF STRUCTURAL ADEQUACY

The subject house was inspected prior to the preparation of the structural engineering documentation, and the geotechnical and foundation report prepared by Jack Hodgson Consultants Pty Ltd has been reviewed.

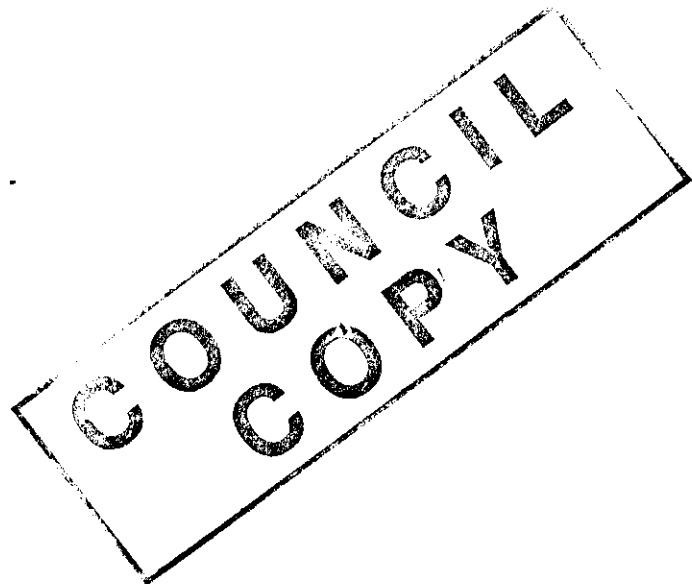
The existing house is considered to be structurally adequate to accept the proposed alterations and additions, subjected to the strengthening, confirmation of member sizes and confirmation of member soundness noted on the structural drawing no. 0269 - S01, and subject to regular and adequate maintenance to prevent deterioration of structural elements.

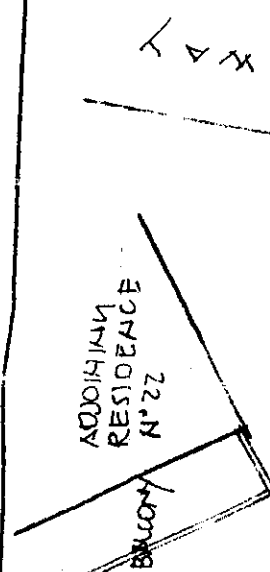
All existing structural members should be checked for deterioration and/or corrosion during the works and engineering advice should be sort where deterioration has occurred.

Yours faithfully,

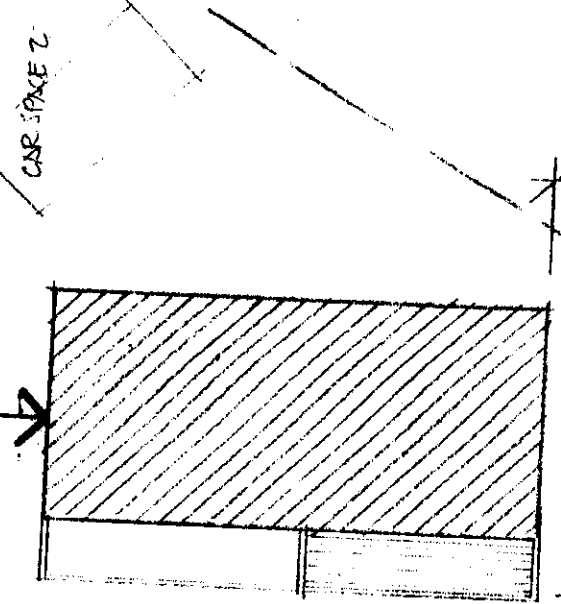


Warwick Donnelly
B.E., M.Eng.Sci., M.I.E.Aust.
Director





PROPOSED ADDITIONS



EXISTING GARAGE

ARC 15.849

52.32

WARNING
PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicants responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.
Dial Before You Dig 1100

THE COUNCIL OF PITWATER
APPROVED
DEVELOPMENT CONSENT PLAN

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD
CONSENT NO. 385702 DATE 5/7/02
CONSTRUCTION CERT. NO. 3003/140
CONSTRUCTION CERTIFICATE PLANS
Bowden - 4 JUL 2003
T. Bowden Accreditation No 93

SITE PLAN
LOT 17 IN PP 210738

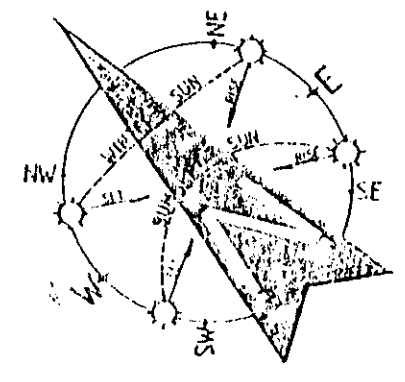
DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING	PROPOSED	
FLOOR AREA	146	10 (720)	
ROOF AREA	123	13	
SITE COVERAGE (WARD SURF ETC)	123	13	10%
LANDSCAPING AREA	559	1042	
SITE AREA	1258		NOT APPLICABLE

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 24 CAPUA PLACE
CLIENT
ANDY and SUE DOVELL
DATE 26/03/02 SCALE 1:100, 1:200
DRAWN JOE CHECKED
DRAWING No 07375-1

ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORMWATER SYSTEM THAT DISCHARGES TO AN EXISTING COUNCIL STORMWATER COLLECTION SYSTEM

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERVIEW AVE, AVON BEACH, 2107
Phone (02) 9918 9106 Fax (02) 9913 2454
Mobile 046 916 596

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J.D EVANS and COMPANY PTY. LTD.
10/10/02

INSIGHT DEVELOPMENT
CONSULTANTS PTY LTD

CONSENT NO. 385/02 DATE 3/7/02

CONSTRUCTION CERT. NO. 2003/140

CONSTRUCTION
CERTIFICATE PLANS

Bowden - 4 JUL 2003

T. Bowden Accreditation No 93

WARNING

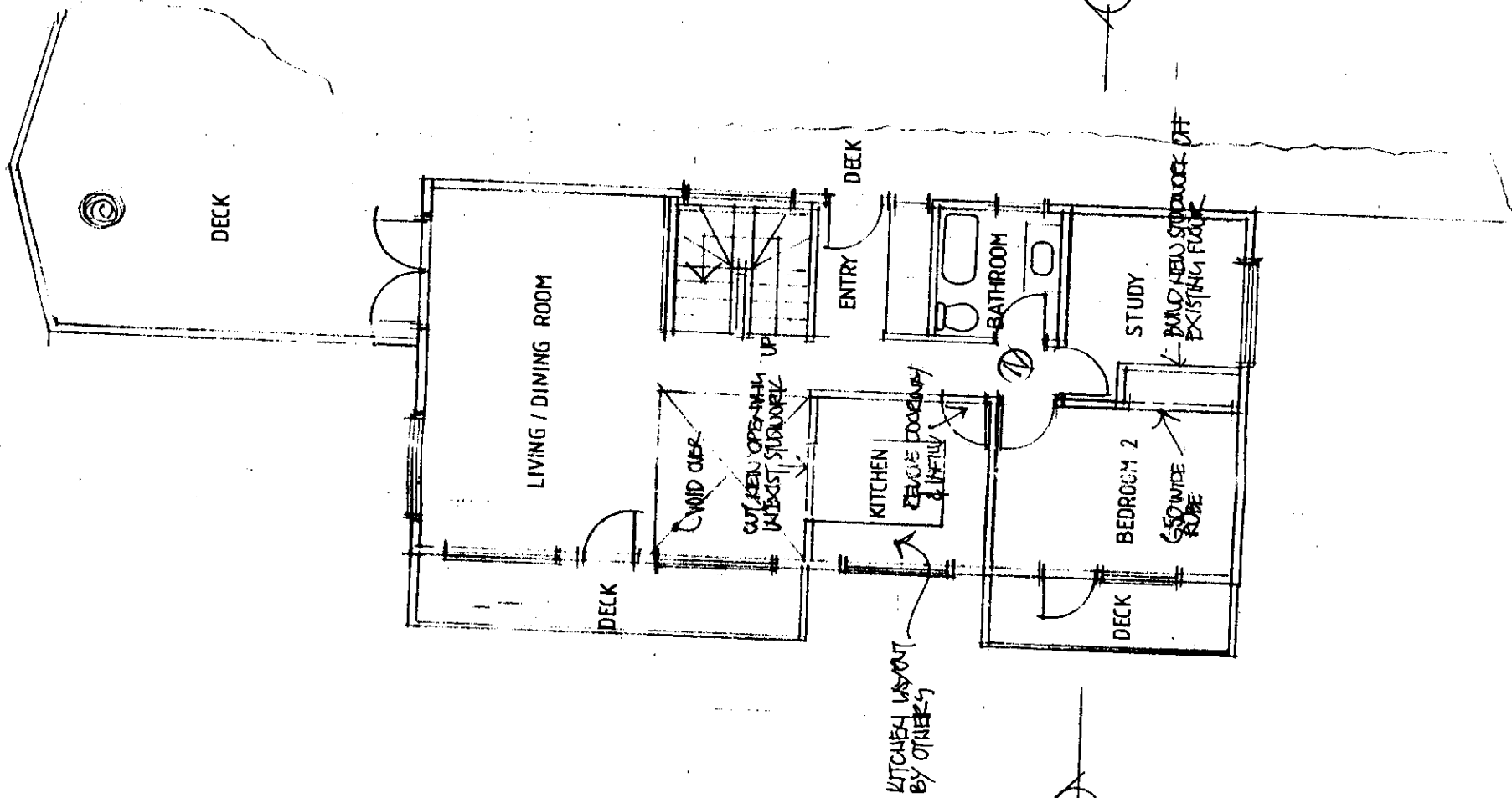
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THE COUNCIL OF
APPROVED
DEVELOPMENT CONSENT PLAN

Dial Before Y

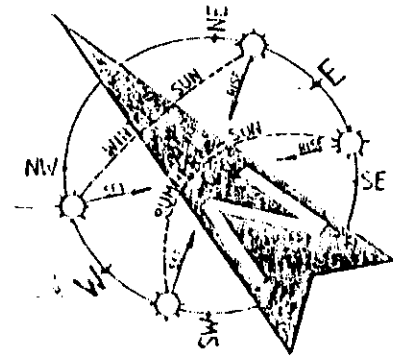
PITTWATER

① smoke alarm



LOWER FLOOR PLAN

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74 RIVIERA AVE. AVALON BEACH, QLD 4216
Phone (07) 9418 9206 Fax (07) 9418 2334
Mobile 048 976 596

1. All work to be done in accordance with the latest specifications for the work to be done.
2. All work to be done in accordance with the latest specifications for the work to be done.
3. All work to be done in accordance with the latest specifications for the work to be done.
4. All work to be done in accordance with the latest specifications for the work to be done.
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Mobile 048 976 596

PROJECT
PROPOSED ALTERATIONS / ADDITIONS
No. 24 CAPUA PLACE
CLIENT
ANDY and SUE DOVELL

DATE 26/03/02 SCALE 1:100 1:200
DRAWN JDE
CHECKED
ISSUE
02345-2

INSIGHT DEVELOPMENT
CONSULTANTS PTY LTD

CONSENT NO. 385/02 DATE 5/7/02

CONSTRUCTION CERT. NO. 2003/140

CONSTRUCTION
CERTIFICATE PLANS

4 JUL 2003

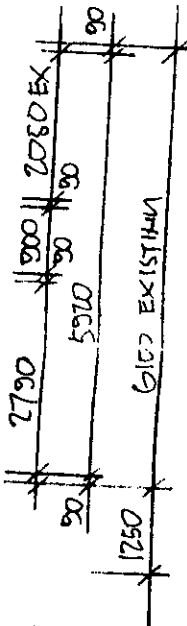
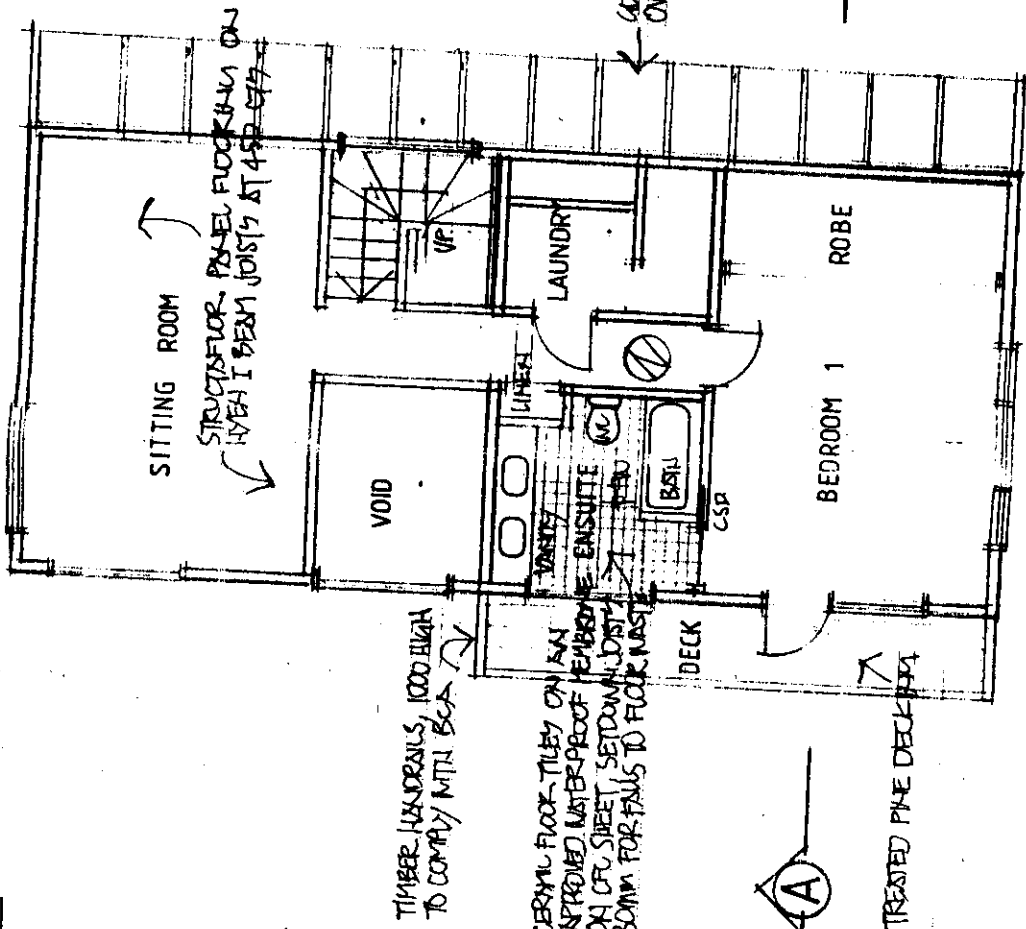
T. Bowden Accreditation No 93

WARNING

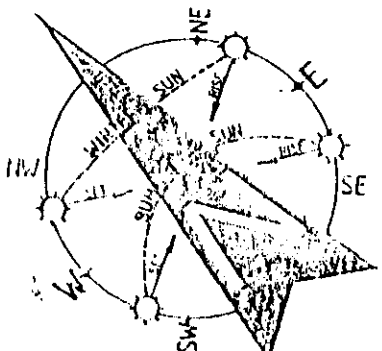
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THE COUNCIL OF PITTWATER
Dial Before You Dig 1100 1100
APPROVED
DEVELOPMENT CONSENT PLAN

⊗ Smoke alarm.



UPPER FLOOR PLAN



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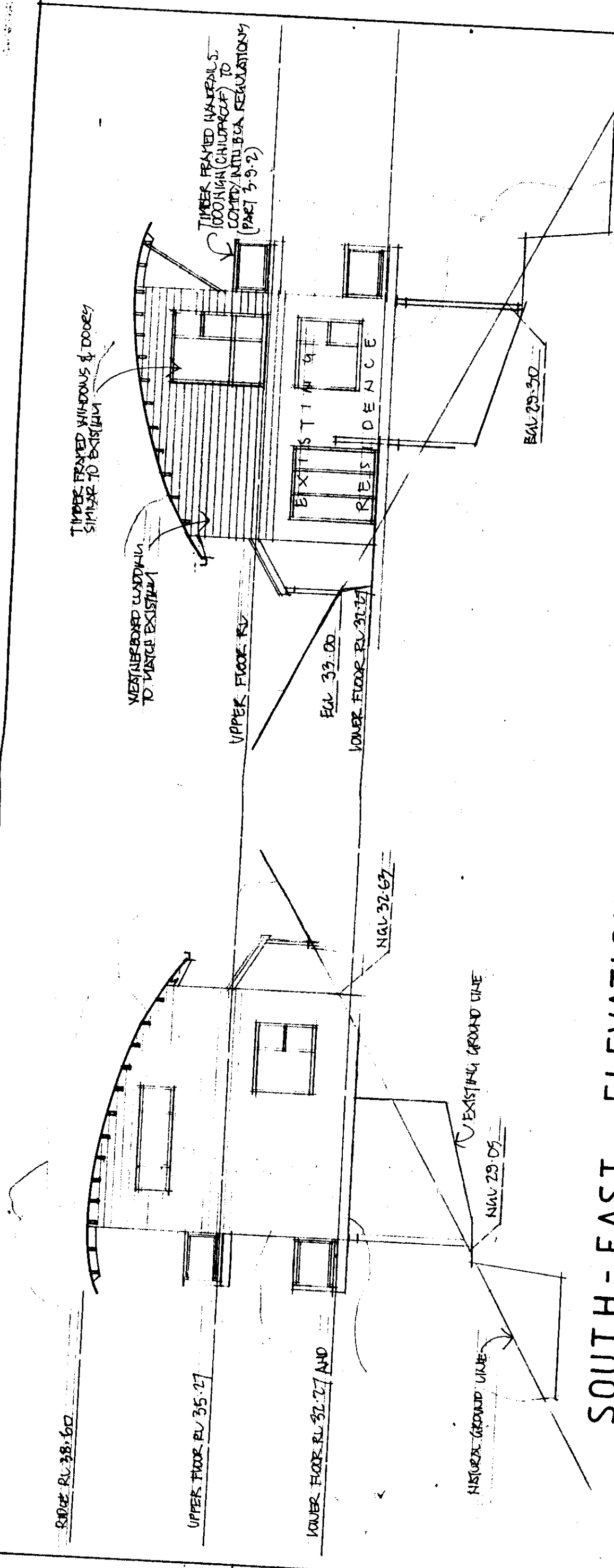
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1. Before the owner commences any work on the site, the owner must obtain a copy of this plan and drawings from the Council of Pittwater.
2. All dimensions and notes on the plan and drawings are subject to verification by a surveyor.
3. All work must be done in accordance with the Building Code of Australia and the instructions of the Council of Pittwater.
4. The owner must ensure that the plan and drawings are kept up to date and that any changes are made in accordance with the instructions of the Council of Pittwater.
5. The owner must ensure that the plan and drawings are kept up to date and that any changes are made in accordance with the instructions of the Council of Pittwater.
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Phone (02) 9918 9206 Fax (02) 9918 2454
Mobile 096 976 596

PROPOSED ALTERATIONS / ADDITIONS
No. 24 CAPUA PLACE
AVALON BEACH N.S.W. 2107
CLIENT
ANDY and SUE DOVELL

DATE 26/03/02 SCALE 1:100, 1:200
DRAWN JDE
CHECKED
DRAWING No. 02345-3
ISSUE



SOUTH - EAST ELEVATION

NORTH - WEST ELEVATION

WARNING

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INSIGHT DEVELOPMENT CONSULTANTS PTY LTD
CONSENT NO. 385/02 DATE 5/7/02
CONSTRUCTION CERT. NO. 2003/140
CONSTRUCTION CERTIFICATE PLANS
Bowden 4 JUL 2003
T. Bowden Accreditation No. 93

THE COUNCIL OF PITWATER
APPROVED
DEVELOPMENT CONSENT PLAN

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1. Subject to any and all necessary amendments on site prior to construction. Do not scale the drawing.
2. All dimensions are to be taken from the centre line of the building unless otherwise stated.
3. All dimensions are to be taken from the centre line of the building unless otherwise stated.
4. All dimensions are to be taken from the centre line of the building unless otherwise stated.
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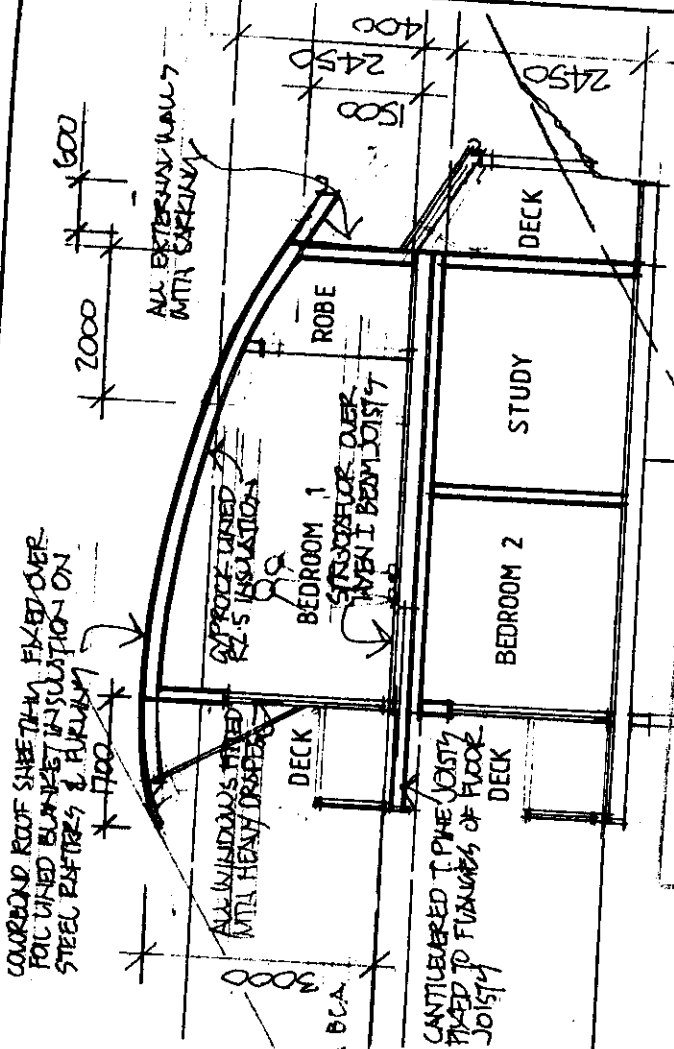
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NO.	REVISION	DATE

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BUILDING DESIGN CONSULTANTS
74 RIVERVIEW AVE. AVALON BEACH, 2107
Ph: (02) 9418 9206 Fax: (02) 9973 2454
Mobile: 046 778 596

PROJECT
PROPOSED ALTERATIONS / ADDITIONS
No. 24 CAPUA PLACE
AVALON BEACH N.S.W. 2107
CLIENT
ANDY and SUE DOVELL

DATE 26/03/02 SCALE 1:100, 1:200
DRAWN JDE
CHECKED
DRAWING NO. 02345-4
SITE

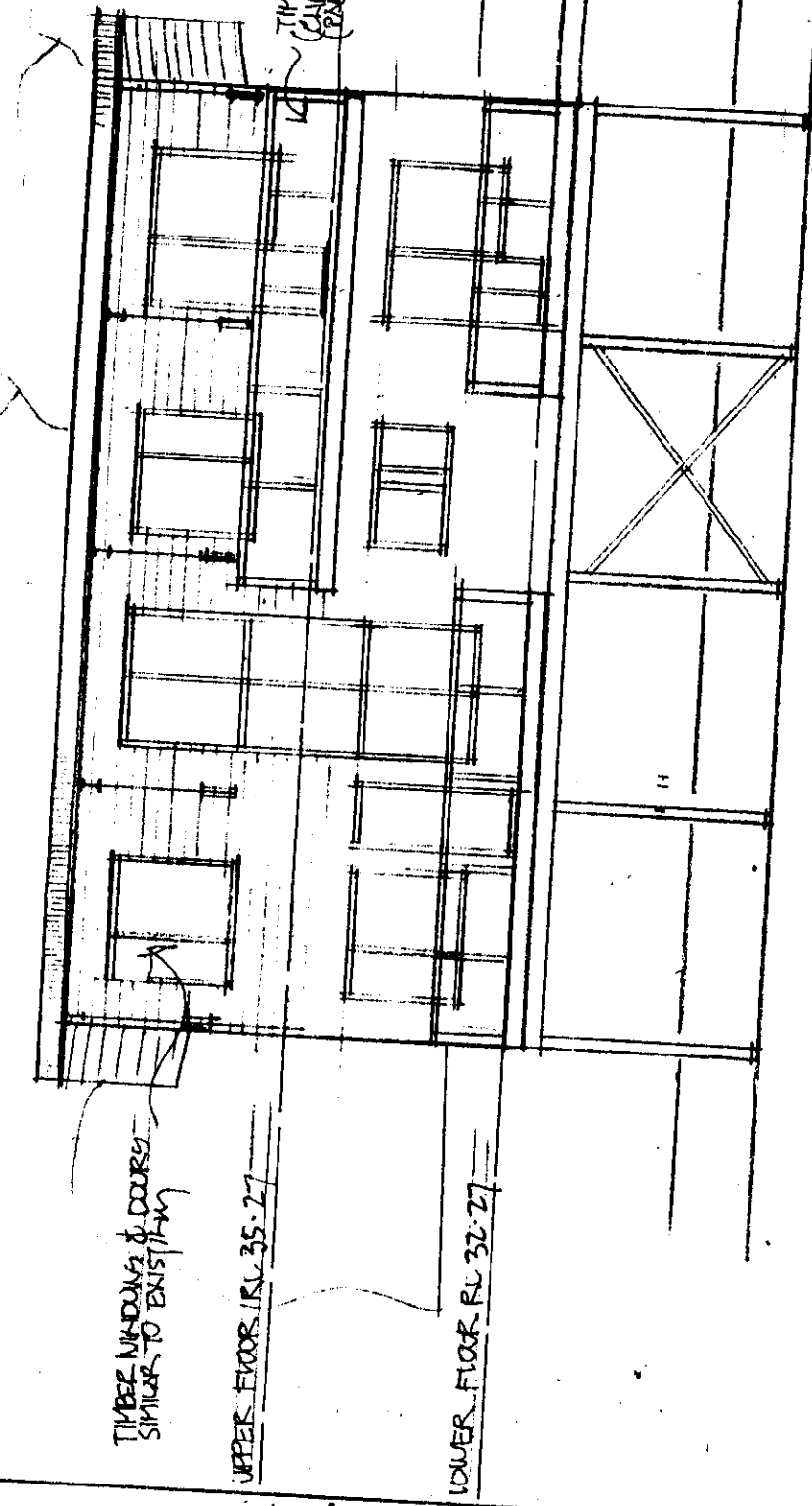


INSIGHT DEVELOPMENT CONSULTANTS PTY LTD
 CONSENT NO. 385/02 DATE 5/7/02
 CONSTRUCTION CERT. NO. 2003/140
 CONSTRUCTION CERTIFICATE PLANS
 1000dm - 4 JUL 2003
 SECTION A - A

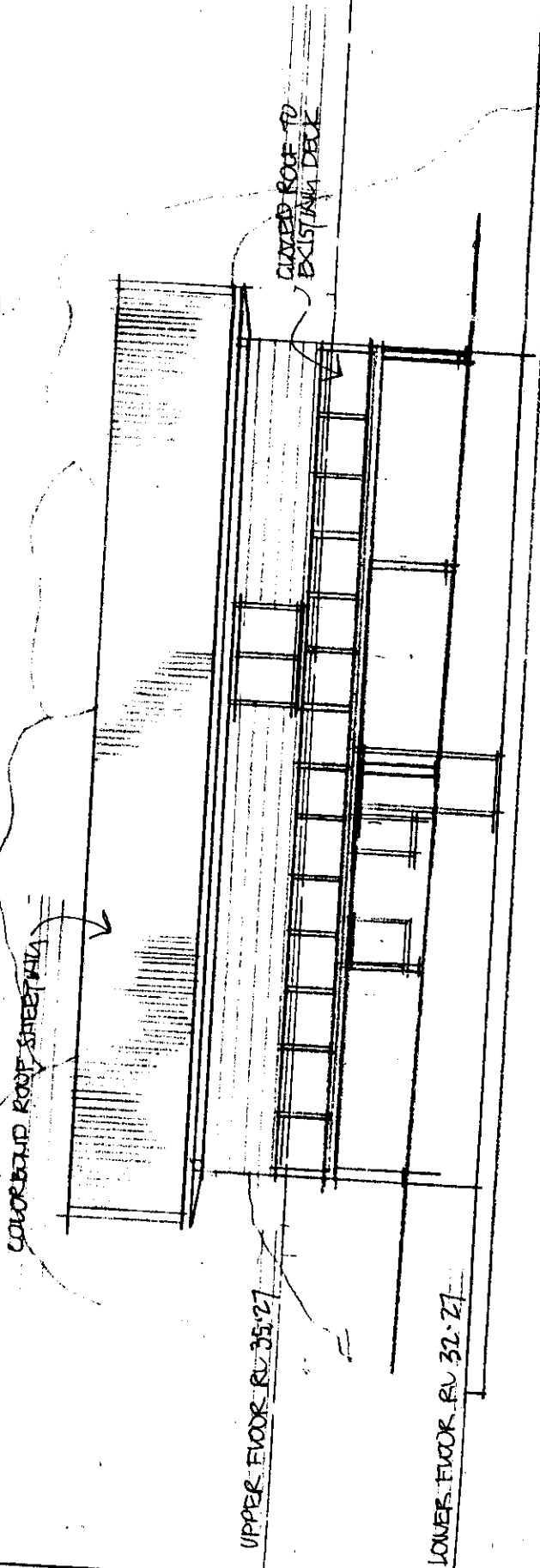
THE COUNCIL OF PITTWATER
APPROVED
 DEVELOPMENT CONSENT PLAN

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 Dial Before You Dig 1100

PROJECT	PROPOSED ALTERATIONS / ADDITIONS
CLIENT	AVOLON BEACH N.S.W. 2107
DATE	26/03/02
DRAWN	JDE
CHECKED	
SCALE	1:100, 1:200



SOUTH - WEST ELEVATION



NORTH - EAST ELEVATION

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 Phone (02) 9418 9206 Fax (02) 9973 2454
 Mobile 0408 976 396

1. Refer to the site plan and section drawings on this plan for construction. Do not scale the drawing.
 2. All dimensions are to the face of the work unless otherwise stated.
 3. All dimensions are to be in accordance with the BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. The drawings are to be used in accordance with the "BUILDING CODE" only.
 5. The drawings are to be used in accordance with the "BUILDING CODE" only.
 6. The drawings are to be used in accordance with the "BUILDING CODE" only.
 7. The drawings are to be used in accordance with the "BUILDING CODE" only.
 8. The drawings are to be used in accordance with the "BUILDING CODE" only.

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