

FRENCHS FOREST ROAD WEST

SITE RATIO'S - EXISTING:

SITE AREA	709.70m <sup>2</sup>
BUILDING FOOTPRINT	149.68m <sup>2</sup>
PORCH/TERRACE	22.55m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	55.39m <sup>2</sup>
CUBBY HOUSE	6.24m <sup>2</sup>
AREAS UNDER 2m WIDE	35.63m <sup>2</sup>
SUM TOTAL	269.49m <sup>2</sup>
EXISTING LANDSCAPED AREA	440.21m <sup>2</sup>
	62%

SITE RATIO'S - PROPOSED:

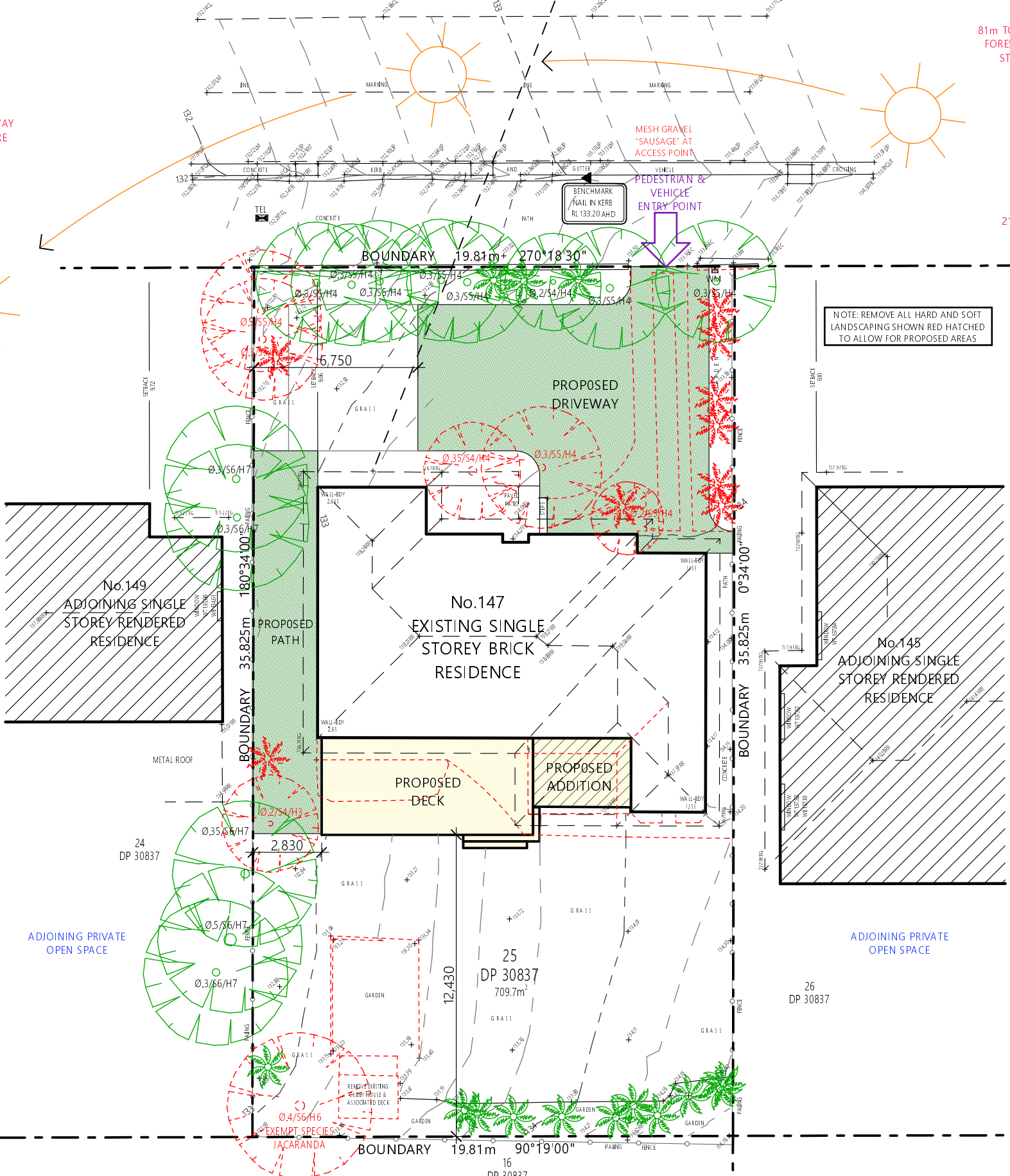
SITE AREA	709.70m <sup>2</sup>
BUILDING FOOTPRINT	162.59m <sup>2</sup>
PORCH/TERRACE	45.76m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	166.64m <sup>2</sup>
AREAS UNDER 2m WIDE	30.24m <sup>2</sup>
SUM TOTAL	405.23m <sup>2</sup>
PROPOSED LANDSCAPED AREA	304.47m <sup>2</sup>
	42.9%

450m TO FORESTWAY SHOPPING CENTRE

81m TO FRENCHS FOREST POLICE STATION

400m TO NORTHERN BEACHES HOSPITAL

210m TO THE FOREST HIGH SCHOOL



**NOTES**

All work is to comply with the Building Code of Australia, the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.

Finished ground levels on the plan are subject to site conditions.

Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.

All figured dimensions to be checked on site.

**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or LED lamps.

**WATER COMMITMENTS:**  
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating.

**HOT WATER SYSTEM:**  
Any new Hot water system shall be an electric heat pump system in accordance with the Basic certificate.

**INSULATION REQUIREMENTS:**  
External walls: The external walls shall be framed (weatherboard) and shall meet minimum R1.70 (including construction).  
Floors: The suspended floor with enclosed subfloor shall be framed and meet minimum R1.30 (including construction).  
Ceilings: The new flat ceiling/pitched roof ceilings shall meet minimum R3.00 (upl).  
Roof: The roof shall have foil/sarking and be of medium colour (solar absorption 0.475 - 0.70).

**WINDOWS, GLAZED DOORS:**  
All window & door numbers shown on the window/door schedule correspond to matching window/door numbers shown in the Basic certificate.  
Sizes: The total area of glazing for each window/door shall be no greater than that shown on the Basic certificate.  
Shading devices: Shading devices shall be installed in accordance with the Basic certificate.  
Frames and glazing: Frame and glazing types shall meet the requirements of the Basic certificate.

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Client  
**MR. & MS. D'URSO**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**147 FRENCHS FOREST ROAD WEST**  
**LOT 25, DP 30837**  
**FRENCHS FOREST NSW 2086**

**JAH**  
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Drawing Title:  
**SITE PLAN**

Scale: <b>1:200 @ A3</b>	Date: <b>APRIL 2025</b>
Status: <b>DA submission</b>	Checked By: <b>JAH</b>
Project No: <b>2428</b>	Drawing No.: <b>DA01</b>
Plot Date:	6/05/2025

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