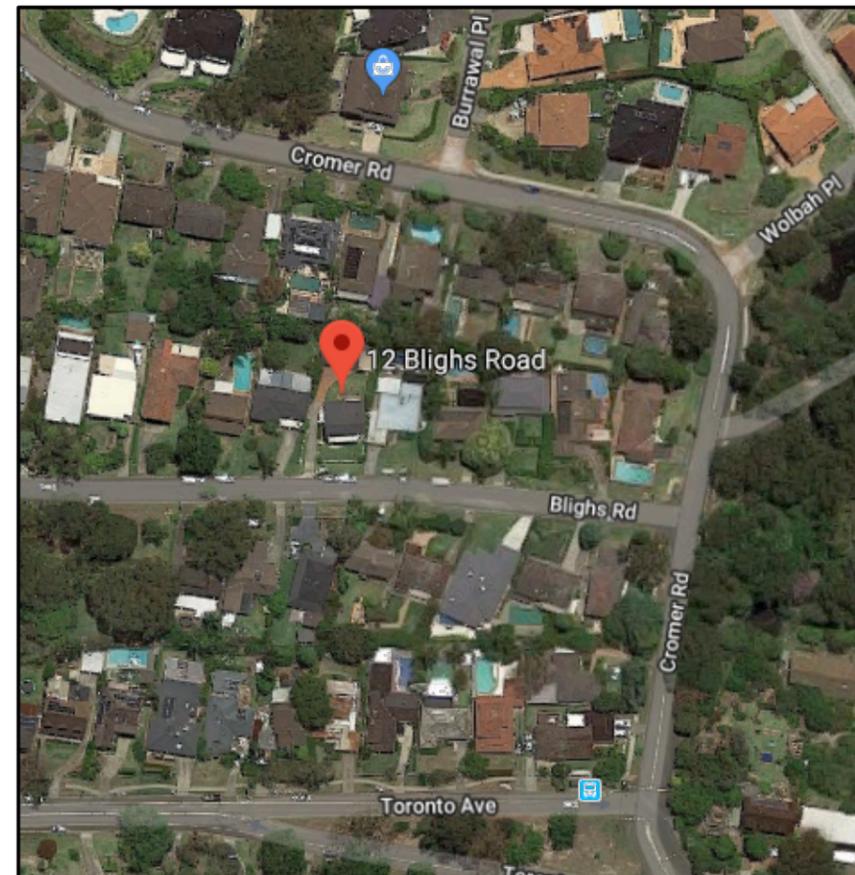


DEVELOPMENT APPLICATION
**PROPOSED MINOR ALTERATIONS AND ADDITIONS TO THE RESIDENCE,
 SWIMMING POOL AND ASSOCIATED LANDSCAPE WORKS**
RESIDENTIAL DEVELOPMENT
12 Blighs Road,
Cromer, NSW 2099

DRAWING LIST

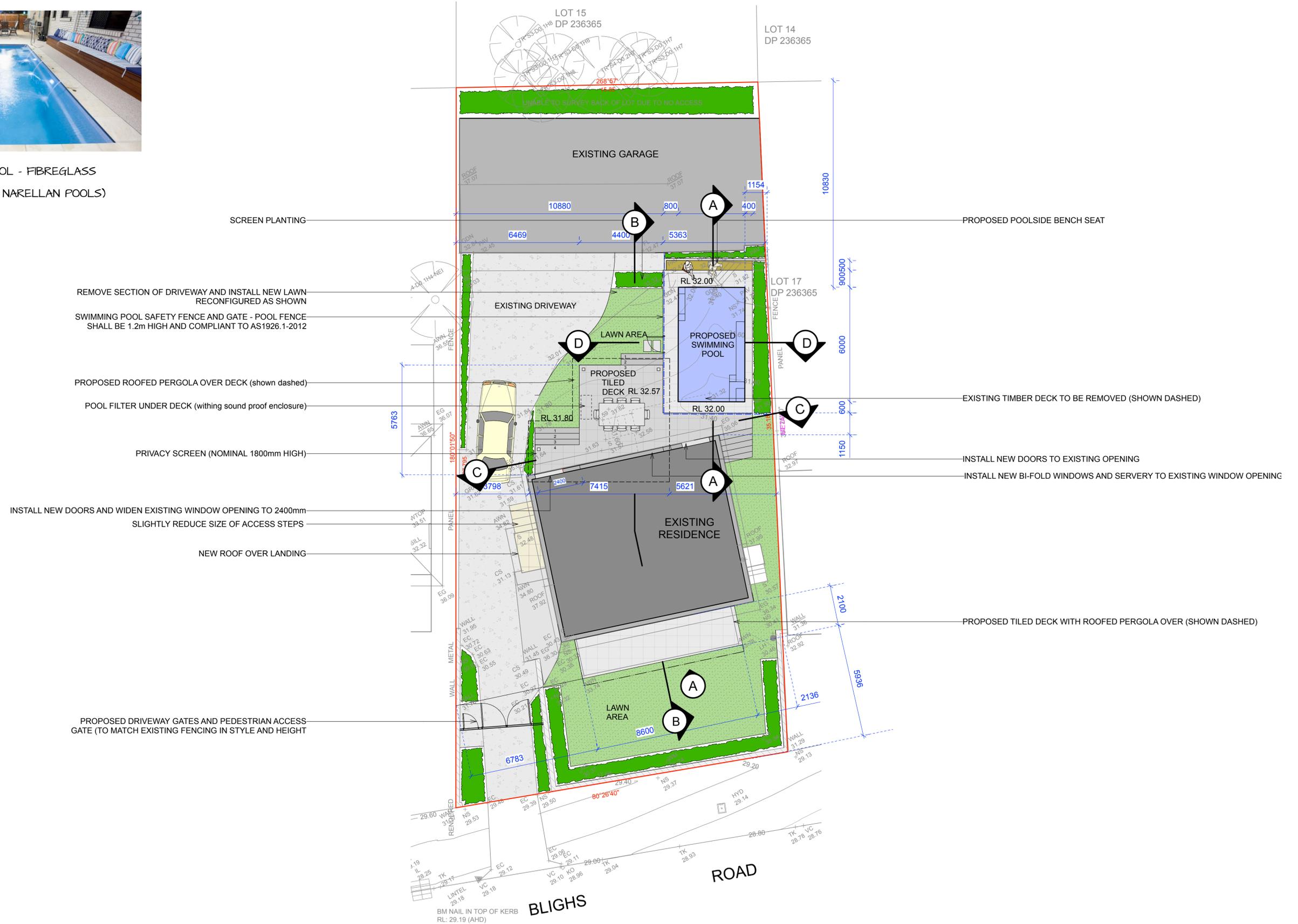
SHEET NO.	SHEET TITLE	DATE
C0	COVER SHEET	25.09.2019
C1	SITE PLAN	25.09.2019
C2	SECTIONS SHEET A	25.09.2019
C3	SECTIONS SHEET B	25.09.2019
C4	SECTIONS SHEET C	25.09.2019
C5	ELEVATION SHEET A	25.09.2019
C6	SECTIONS SHEET D	25.09.2019
C7	SITE ANALYSIS PLAN	25.09.2019
C8	LANDSCAPE AREA PLAN	25.09.2019
C9	SEDIMENT CONTROL PLAN	25.09.2019
C10	NOTIFICATION PLAN	25.09.2019

SITE LOCATION



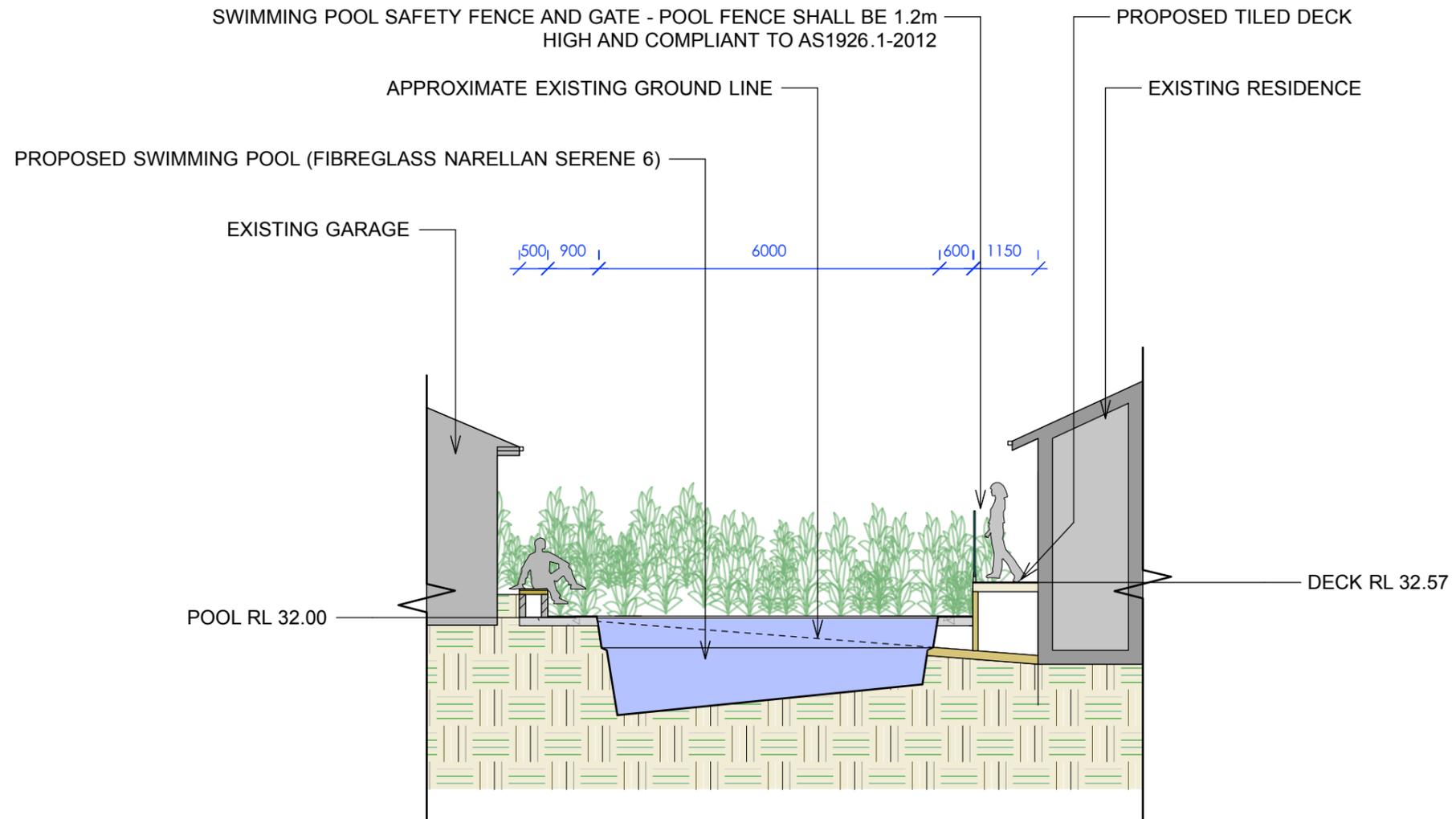


PROPOSED POOL - FIBREGLASS
(MADERIA 6 BY NARELLAN POOLS)



- SCREEN PLANTING
- REMOVE SECTION OF DRIVEWAY AND INSTALL NEW LAWN RECONFIGURED AS SHOWN
- SWIMMING POOL SAFETY FENCE AND GATE - POOL FENCE SHALL BE 1.2m HIGH AND COMPLIANT TO AS1926.1-2012
- PROPOSED ROOFED PERGOLA OVER DECK (shown dashed)
- POOL FILTER UNDER DECK (withing sound proof enclosure)
- PRIVACY SCREEN (NOMINAL 1800mm HIGH)
- INSTALL NEW DOORS AND WIDEN EXISTING WINDOW OPENING TO 2400mm
- SLIGHTLY REDUCE SIZE OF ACCESS STEPS
- NEW ROOF OVER LANDING
- PROPOSED DRIVEWAY GATES AND PEDESTRIAN ACCESS GATE (TO MATCH EXISTING FENCING IN STYLE AND HEIGHT)
- PROPOSED POOLSIDE BENCH SEAT
- EXISTING TIMBER DECK TO BE REMOVED (SHOWN DASHED)
- INSTALL NEW DOORS TO EXISTING OPENING
- INSTALL NEW BI-FOLD WINDOWS AND SERVERY TO EXISTING WINDOW OPENING
- PROPOSED TILED DECK WITH ROOFED PERGOLA OVER (SHOWN DASHED)





SECTION AA
SCALE 1:100
 (DIAGRAMMATIC ONLY)

CONTOUR
 LANDSCAPE ARCHITECTURE
 PO Box 698 MONA VALE NSW 1660
 Tel: 0434 500 705 - AIDLM

PROJECT
Adrian & Amanda Cirillo
 12 Blighs Road,
 Cromer, NSW 2099

NOTES

comply with building code of australia and all relevant australian standards
 all works shall be in accordance with development application and construction certificate conditions of consent
 all levels to ahd
 refer to survey information relating to existing site data
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DATE	REV.	ISSUE
01/08/19	A	-----
02/09/19	B	-----
25/09/19	C	-----
-----	-----	-----

DATE: 01/08/19

SCALE: 1:100 @ A3

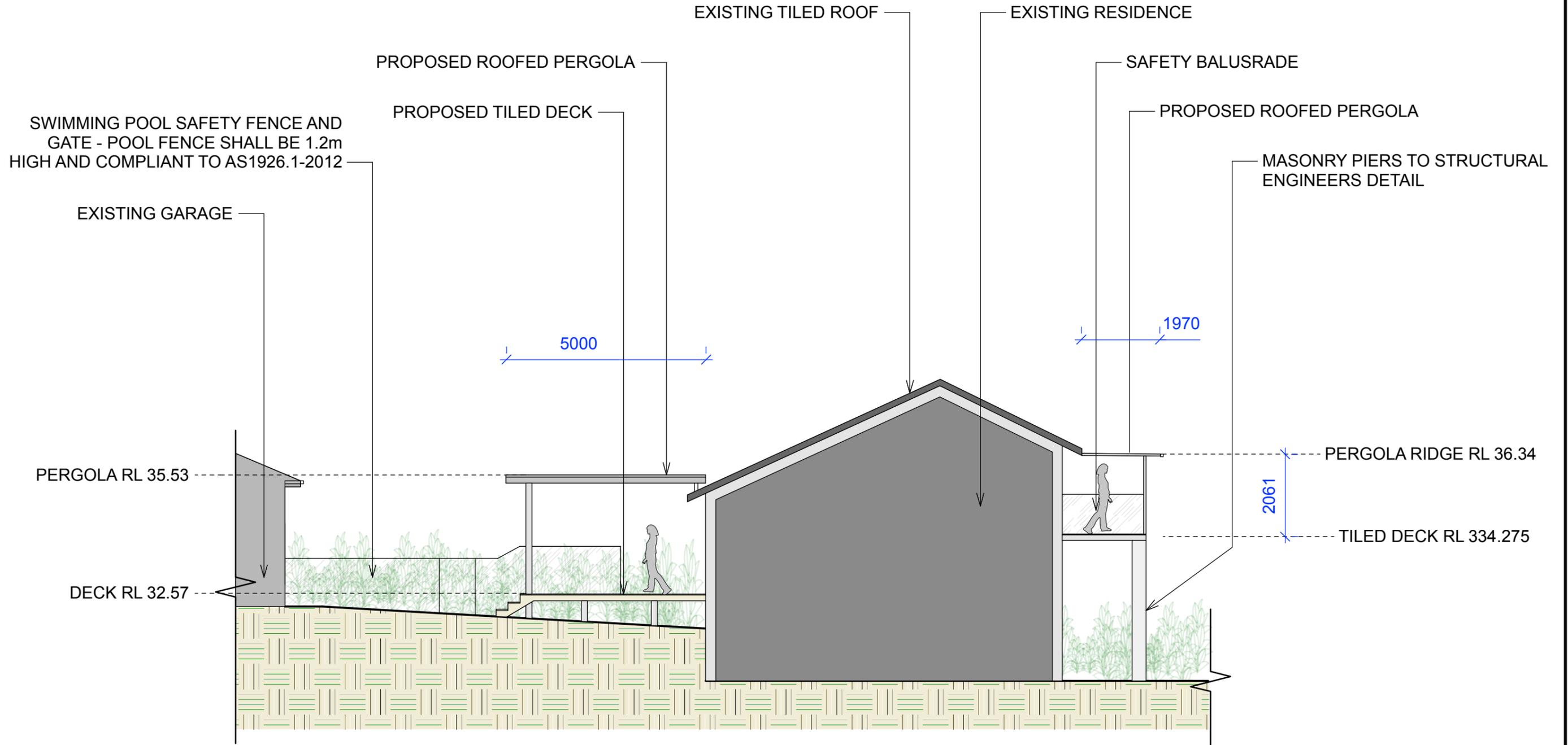
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DRAWING
SECTION SHEET A

DRAWING NO:
 C2_N1

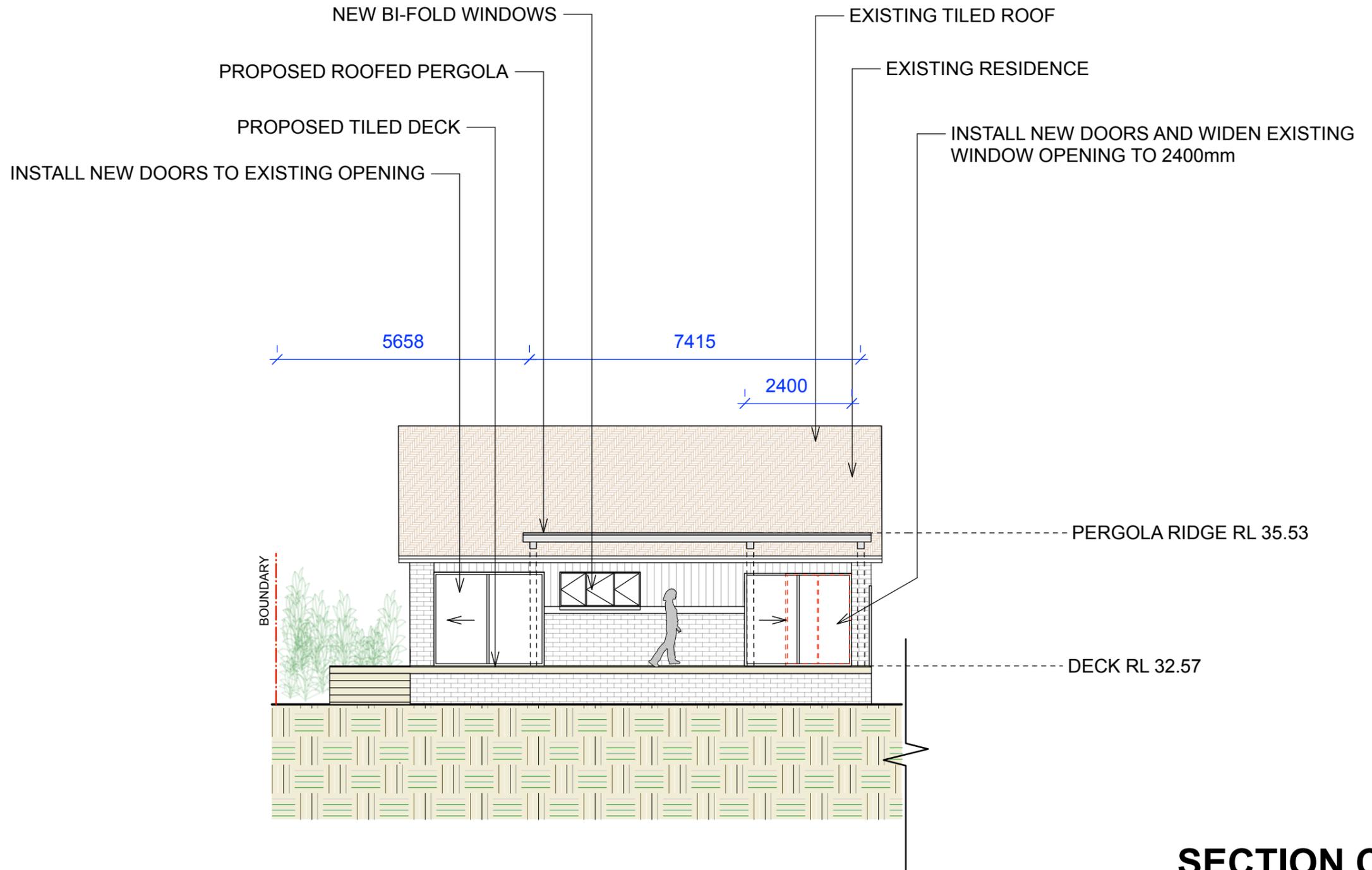
REV:
 C





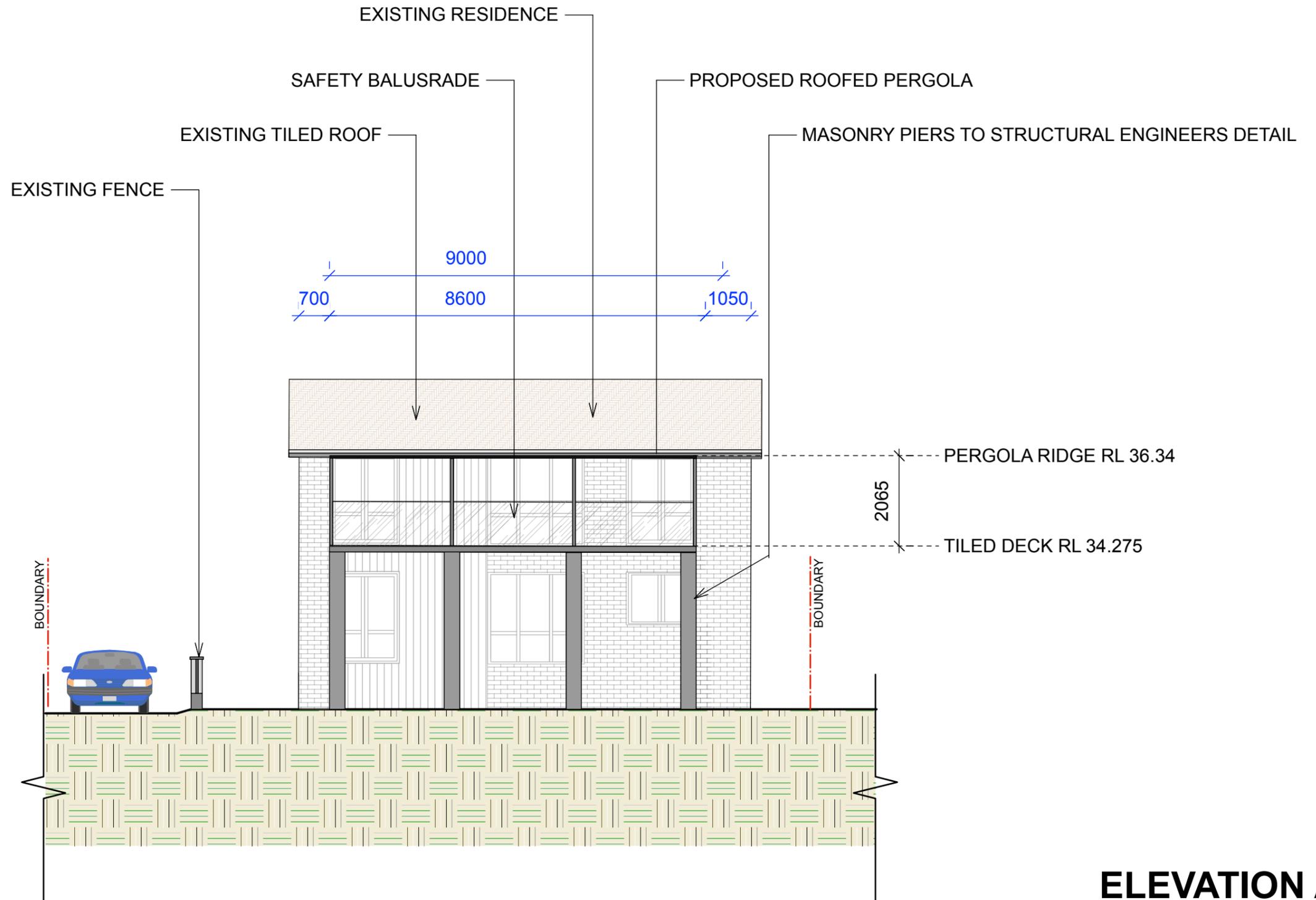
SECTION BB
 SCALE 1:100
 (DIAGRAMMATIC ONLY)





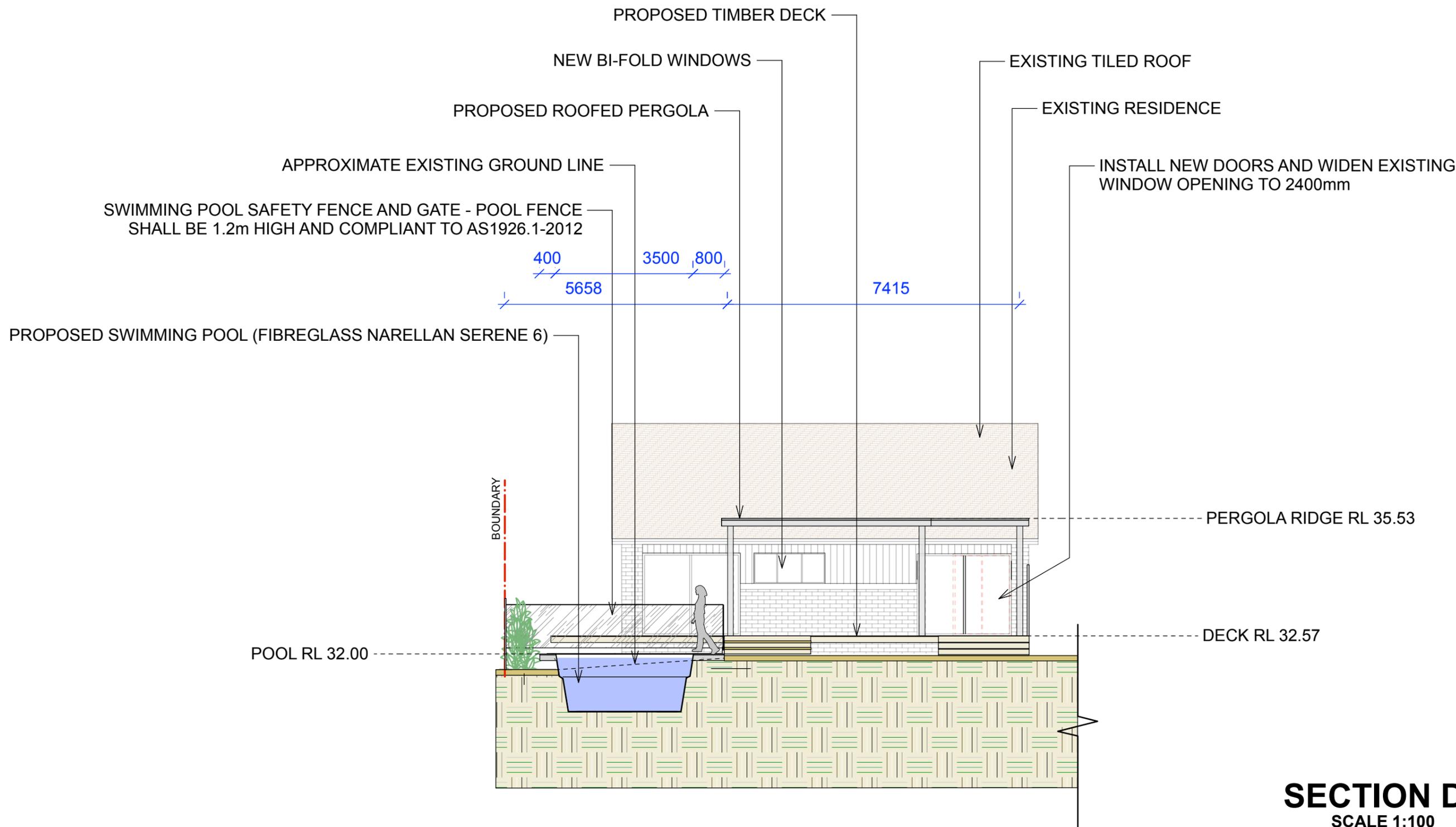
SECTION CC
 SCALE 1:100
 (DIAGRAMMATIC ONLY)





ELEVATION A
 SCALE 1:100
 (DIAGRAMMATIC ONLY)

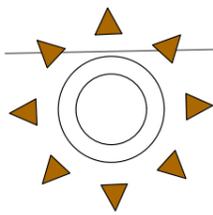




SECTION DD
SCALE 1:100
 (DIAGRAMMATIC ONLY)



Sun Angles



LOT 5
SEC 123
DP 237491

LOT 15
DP 236365

LOT 14
DP 236365

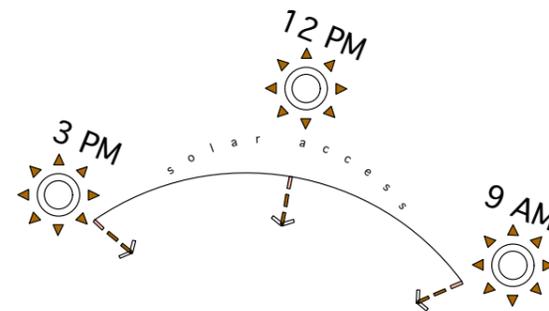
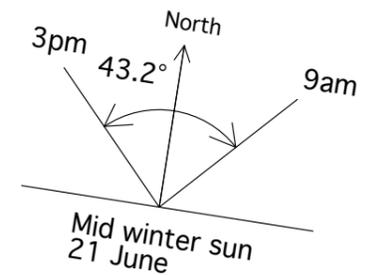
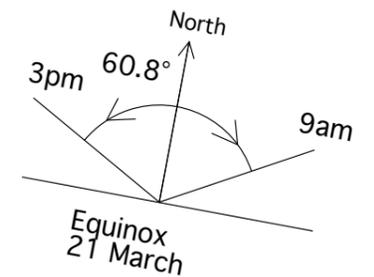
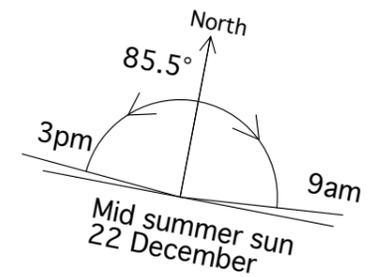
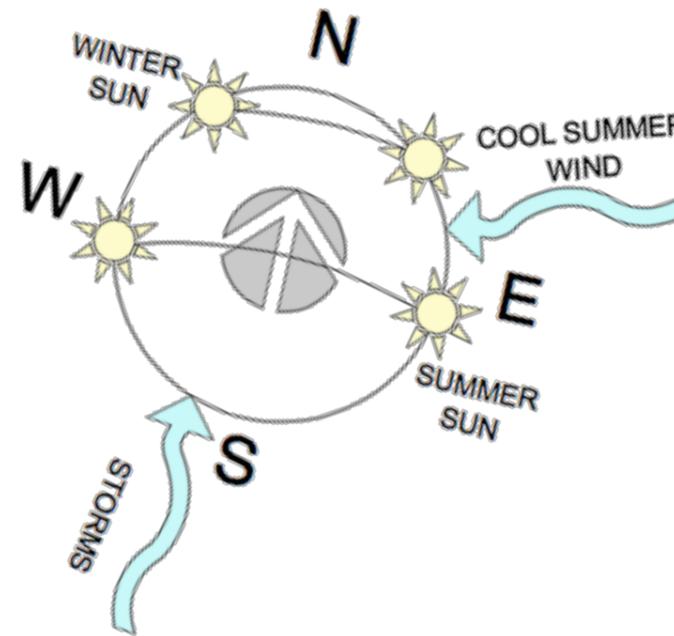
LOT 10
SEC 123
DP 237491

LOT 17
DP 236365

BRICK HOUSE
TILE ROOF
No 14

BRICK GARAGE
METAL ROOF

BLIGHS
ROAD



summer winds
predominant

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DATE 25/09/19
REV. A

DATE: 01/08/19

SCALE: 1:100 @ A3

DRAWN: SW

DRAWING
SITE ANALYSIS PLAN

DRAWING NO:
C7_N1

REV:
A



CONTOUR
LANDSCAPE ARCHITECTURE

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PROJECT
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Cromer, NSW 2099

LOT 5
SEC 123
DP 237491

LOT 15
DP 236365

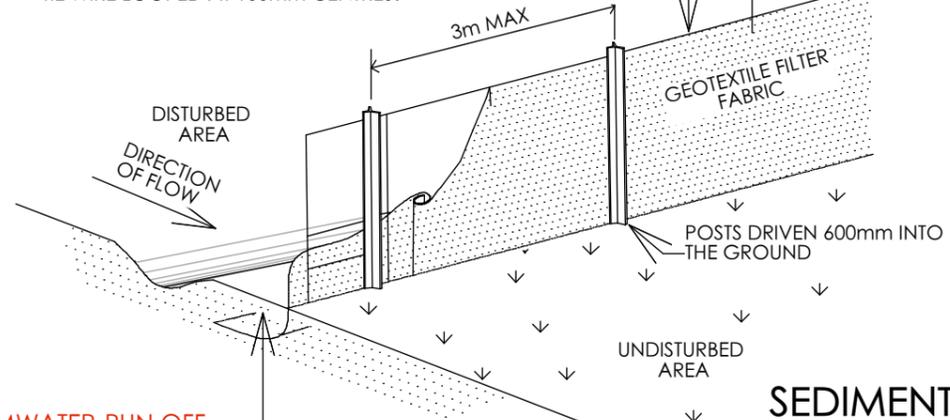
LOT 14
DP 236365

LOT 10
SEC 123
DP 237491

LOT 17
DP 236365

STIRRING IS GAUGE WIRE TAUTLY BETWEEN STAKES & FIX BY STAPLE FIX MEMBRANE TO STAKES WITH 3x GAL CLOUTS. TURN DOWN 50mm OVER TOP STRAND AND FIX WITH COUNTINUOUS TIE WIRE LOOPED AT 100mm CENTRES.

MEMBRANE TO BE 'BIDIM' W2W OR APPROVED EQUIVALENT



SEDIMENT CONTROL FENCE

ALL STORMWATER RUN OFF FROM THE POOL SURROUNDS WILL RUN INTO EXISTING LAWN AREA OR GARDENS

BURY APPROX. 300mm OF MEMBRANE AND TAMP BACKFILL TO RESTORE PRIOR NATURAL SURFACE LEVEL.

APPROXIMATE EXTENT OF SEDIMENT CONTROL FENCE

EXISTING STORMWATER SYSTEM FOR THE RESIDENCE SHALL NOT BE EFFECTED AS PART OF THIS PROPOSAL - ALL NEEW ROOFED PERGOLAS SHALL BE CONNECTED TO THE EXISTING STORMWATER SYSTEM

GENERAL NOTES:

1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPARTMENT OF HOUSING MANUAL
2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L

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DATE	REV.	ISSUE
25/09/19	A	

DATE:	01/08/19
SCALE:	1:100 @ A3
DRAWN:	SW

DRAWING
SEDIMENT CONTROL PLAN
DRAWING NO: C9_N1
REV: A

