Drawing register

	Issue Date
day	10
month	10
year	21

Drawing Number	Drawing Title	Revision
A 00	Drawing Register & Gen. Specification	o
A 01	Site Analysis 1:200	o
A 02	Demolition / Excavation & Fill / E&SCP	o
A 03	Site Plan 1:200, Area Calculations	o
A 04	Ground Floor Plan - Existing 1:100	o
A 05	Ground Floor Plan - Proposed 1:100	o
A 06	First Floor Plan 1:100	o
A 07	Roof Plan & Concept Stormwater Plan	o
A 08	Existing Elevations	o
A 09	North & East Elevations	o
A 10	South & West Elevations	o
A 11	Section A-A & B-B	o
A 12	Section C-C & Front Fence Elevation	o
A 13	Driveway Sections	o
A 14	Site Shadows - 9am JUNE 21 1:200	o
A 15	Site Shadows - Noon JUNE 21 1:200	o
A 16	Site Shadows - 3pm JUNE 21 1:200	o
A 17	Window / Door Schedule & External Finishes	o
A 18	BASIX Requirements (sheet 1)	o
A 19	BASIX Requirements (sheet 2)	o
A 20	3D Perspective Views	o

Document Distribution:	DA1
Client	o
Structural Engineer	
Approval Authority	o

22A Connemara Ave, KILLARNEY HTS

LOCATION PLAN - not to scale

(Source SIXmaps)

GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Design before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION DATE REVISION NOTE

FOR DA SUBMISSION

TN

PROJECT: Alterations & Additions

DRAWING: Drawing Register

SHEET NO.: **A00**

CLIENT: Mike & Tina Bocock

ISSUE DATE: 10/10/21

ORIGINAL SHEET SIZE: A3

DRAWN: DV

SCALE @ A3:

ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

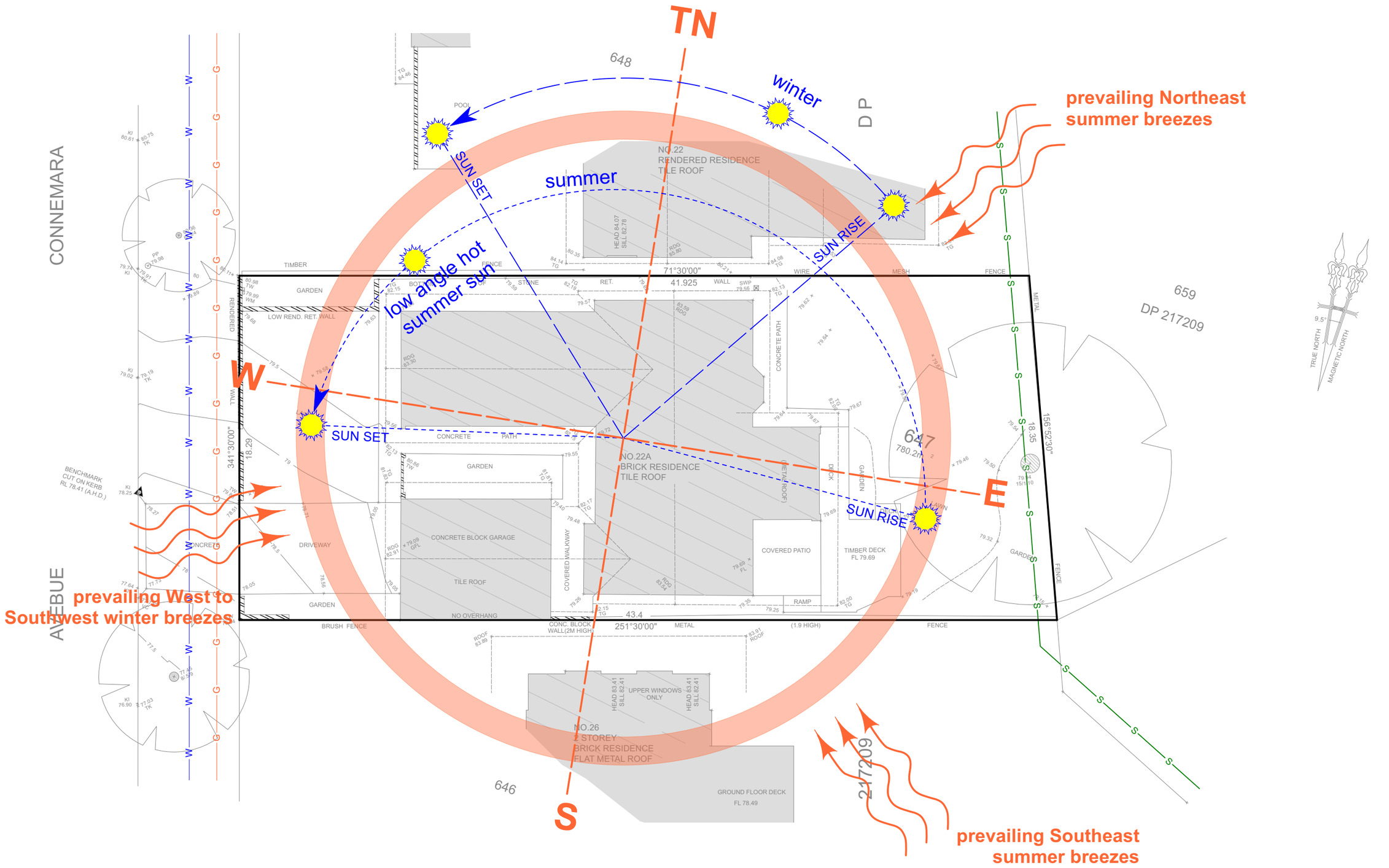
PROJECT NO.: 0917

PROJECT TYPE: DA1

CHKD:

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 / A01 Site Analysis Plan
Scale: 1:200

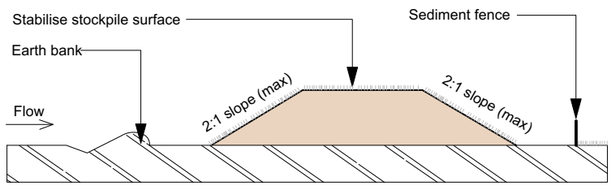
ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION	DATE	REVISION NOTE

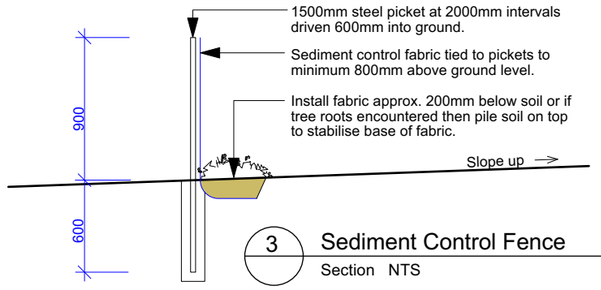
FOR DA SUBMISSION

PROJECT: Alterations & Additions	DRAWING: Site Analysis Plan			SHEET NO.: A01
CLIENT: Mike & Tina Bocock	ISSUE DATE: 10/10/21	ORIGINAL SHEET SIZE: A3	DRAWN: DV	SCALE @ A3: 1:200
ADDRESS: 22A Connemara Ave, KILLARNEY HTS Being LOT 647 in D.P. 217209	PROJECT NO.: 0917	PROJECT TYPE: DA1	CHKD:	REVISION:

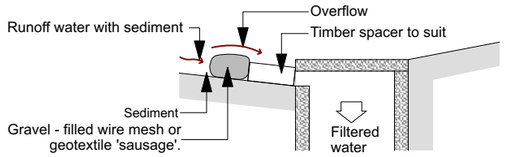
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



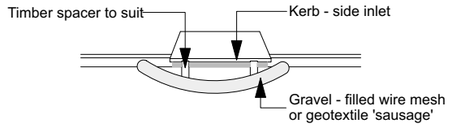
2 Soil Stockpile detail
Section NTS



3 Sediment Control Fence
Section NTS



4 Mesh & gravel inlet filter
Section NTS



5 Mesh & gravel inlet filter
Plan NTS

GENERAL NOTES:
-Install temporary sediment control fence as shown.
-Provide temporary haybales where sediment control fence requires dismantling for site access.
-Install mesh and drainage inlet protection on stormwater inlets down slope of site

Temporary topsoil stockpile from site to be reused in landscape works where possible otherwise disposed of as per waste management plan

Temporary area for storage of demolished materials for recycling purposes and prior to removal form site. Any residual waste unable to be reused or recycled will be removed from site via building waste containers(skips) in accordance with council conditions.

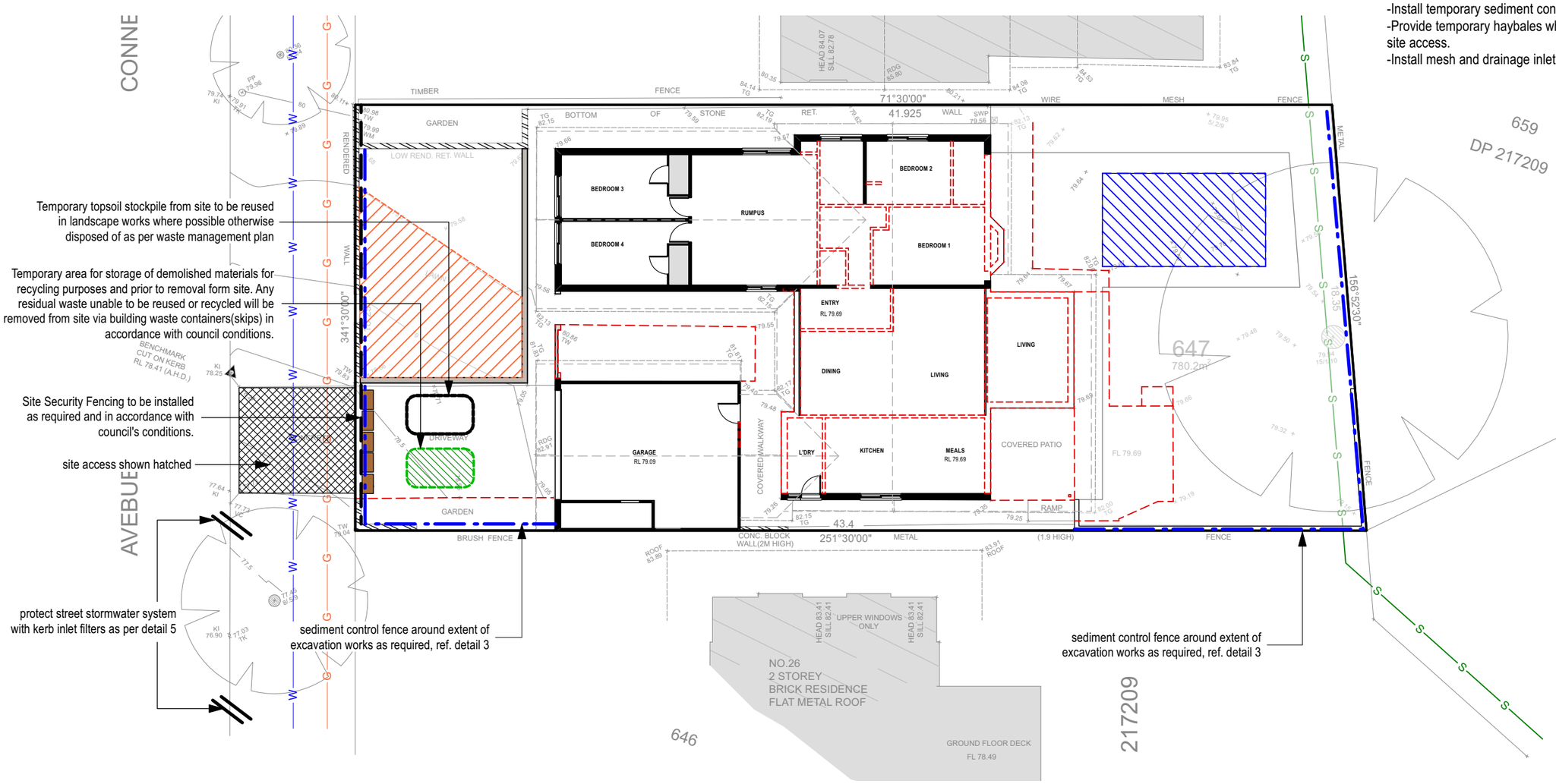
Site Security Fencing to be installed as required and in accordance with council's conditions.

site access shown hatched

protect street stormwater system with kerb inlet filters as per detail 5

sediment control fence around extent of excavation works as required, ref. detail 3

sediment control fence around extent of excavation works as required, ref. detail 3



1/A02 Demolition / Excavation & Fill / E&SCP
Scale: 1:200

PROPOSED AREA OF SITE FILL

PROPOSED EXCAVATION AREA

EXISTING STRUCTURE TO BE DEMOLISHED

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION DATE REVISION NOTE

FOR DA SUBMISSION

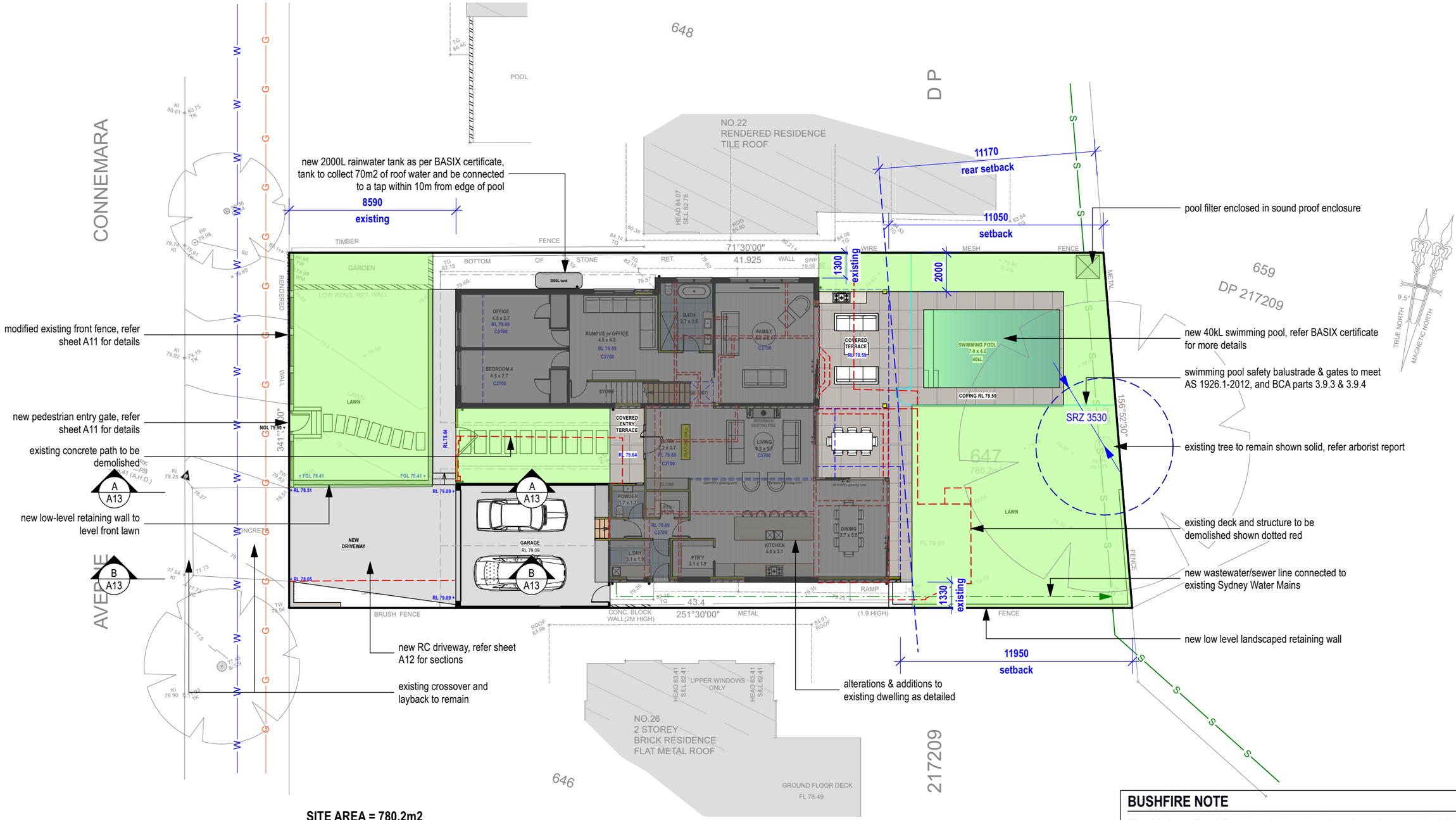
TN

PROJECT: Alterations & Additions
CLIENT: Mike & Tina Bocock
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

DRAWING: Demolition / Excavation & Fill / E&SCP
SHEET NO.: A02

ISSUE DATE:	ORIGINAL SHEET SIZE:	DRAWN:	SCALE @ A3:
10/10/21	A3	DV	1:200
PROJECT NO.:	PROJECT TYPE:	CHKD:	REVISION:
0917	DA1		

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



SITE AREA = 780.2m2

LANDSCAPE OPEN SPACE CONTROL = 40% minimum (or 312.08m2)

LANDSCAPE OPEN SPACE = 305.6m2

1 / A03 Site Plan
Scale: 1:200

BUSHFIRE NOTE

The highest Bushfire Attack Level to the alterations and additions was determined from Table 2.4.2 of AS 3959 – 2009 to be 'BAL 29'. The new works are therefore required to comply with BAL 29 under section 3 and section 7 of AS 3959 – 2009 and Appendix 3 under PBP 2006. Due to shielding provided by the building itself the northern facade has been downgraded to BAL 19.

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION | DATE | REVISION NOTE

FOR DA SUBMISSION

PROJECT: Alterations & Additions
DRAWING: Site Plan
SHEET NO.: A03
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:200
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

1 / A04 Ground Floor Plan - Existing
Scale: 1:100

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

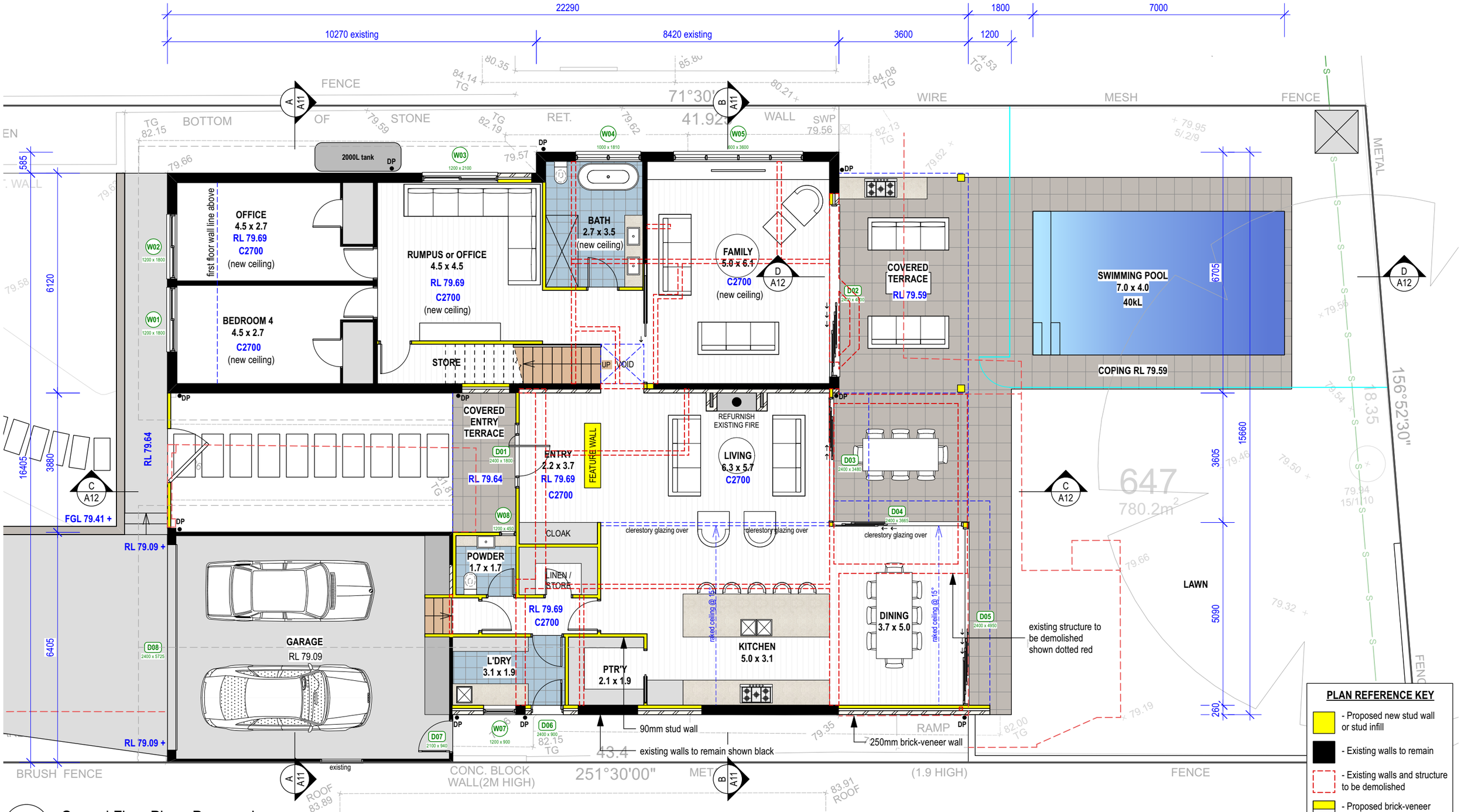
REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

TN

PROJECT: Alterations & Additions				DRAWING: Ground Floor Plan - Existing	SHEET NO.: A04
CLIENT: Mike & Tina Bocock	ISSUE DATE: 10/10/21	ORIGINAL SHEET SIZE: A3	DRAWN: DV	SCALE @ A3: 1:100	
ADDRESS: 22A Connemara Ave, KILLARNEY HTS Being LOT 647 in D.P. 217209	PROJECT NO.: 0917	PROJECT TYPE: DA1	CHKD:	REVISION:	

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 / A05 Ground Floor Plan - Proposed
Scale: 1:100

PLAN REFERENCE KEY

- Proposed new stud wall or stud infill
- Existing walls to remain
- Existing walls and structure to be demolished
- Proposed brick-veneer wall or brick-veneer infill
- new or refurbished internal wet area
- new external paving

NOTE: ALL NEW OR ALTERED WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND AS SCHEDULED

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION | DATE | REVISION NOTE

FOR DA SUBMISSION

TN

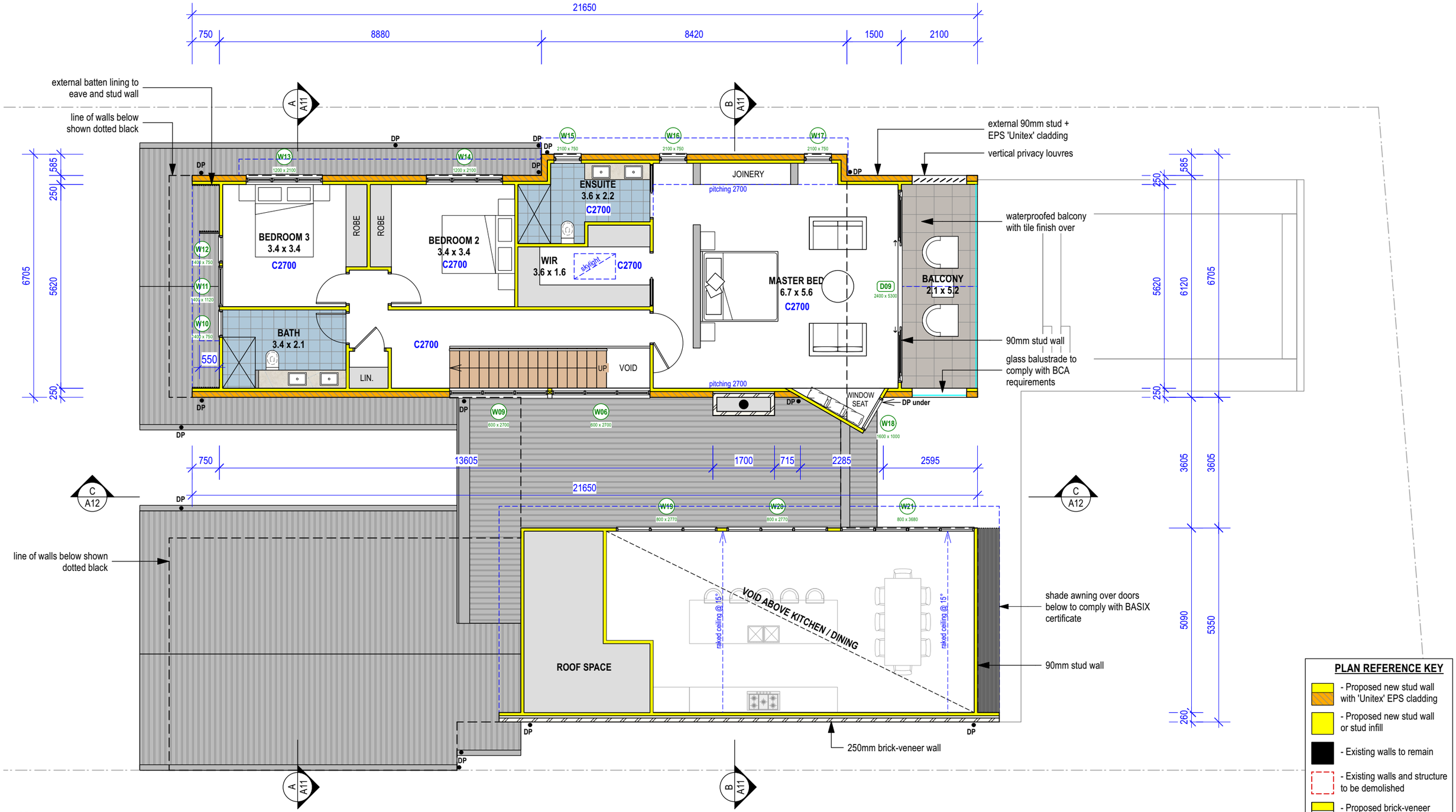
PROJECT: Alterations & Additions
CLIENT: Mike & Tina Bocock
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

DRAWING: Ground Floor Plan - Proposed
SHEET NO.: A05

ISSUE DATE:	ORIGINAL SHEET SIZE:	DRAWN:	SCALE @ A3:
10/10/21	A3	DV	1:100

PROJECT NO.:	PROJECT TYPE:	CHKD:	REVISION:
0917	DA1		

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 / A06 Ground Floor Plan - Proposed
Scale: 1:100

PLAN REFERENCE KEY

- Proposed new stud wall with 'Unitex' EPS cladding
- Proposed new stud wall or stud infill
- Existing walls to remain
- Existing walls and structure to be demolished
- Proposed brick-veneer wall or brick-veneer infill
- new or refurbished internal wet area
- new external paving

NOTE: ALL NEW OR ALTERED WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND AS SCHEDULED

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION | DATE | REVISION NOTE

FOR DA SUBMISSION

TN

PROJECT: Alterations & Additions
DRAWING: First Floor Plan
SHEET NO.: A06
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:100
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

2000L above-ground rainwater tank as selected on RC slab base, tank overflow to street kerb

new 150mm half-round Colorbond gutters throughout

line of walls below shown dotted

new Colorbond roof sheeting throughout

SWIMMING POOL
7.0 x 4.0
40kL

COPING RL 79.59

Colorbond 'Kliplok' roof sheeting at 1° minimum fall fixed to manufacturer's details

existing stormwater line to street kerb to remain, plumber to clean as required to a satisfactory working condition

all existing roof tiles to be replaced with new Colorbond roof sheeting

KEY:
DP - Downpipe
DP/SP - Downpipe With Spreader Onto Roof Below
DP/RWH - Downpipe Rainwater Head
SPT - Spitter Overflow

GENERAL ROOF PLAN NOTES:
- All guttering, flashing and waterproofing relating to all roofing systems to comply with the BCA and relevant Australian standards including as/nzs 3500: 2003 "plumbing and drainage".
- All downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2003 "plumbing and drainage".
- Dwelling gutters to 'Half Round' with Colorbond finish as selected.
- Provide proprietary leaf guard as selected to all gutters.

STORMWATER MANAGEMENT NOTES
- 2000L above-ground rainwater tank provided.
- Tank connected to a tap within 10m from edge of pool
- All pipes to be 100mm - dia m sewer grade uPVC
- All pipes to be laid at 1% minimum grade unless noted otherwise
- All works to be in accordance with local Council standards and specification
- All levels shown to AHD
- All ground water to bypass rain water tanks
- Tank overflow to be connected to existing kerb outlet
- All pipes shown are indicative only

AREA CALCULATIONS FOR STORMWATER REQUIREMENTS IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL SPECIFICATIONS

TOTAL SITE AREA	= 780.2 m2
ROOFED AREA = 321.4 m2	
EXISTING IMPERVIOUS AREA	= 465.1 m2
PROPOSED IMPERVIOUS AREA	= 480.1 m2
NET INCREASE IMPERVIOUS AREA	= 15 m2
RAINWATER TANK	= 2000L
ROOF AREA CONNECTED TO RAINWATER TANK	= 70 m2 (as per BASIX certificate)

1 / A07 Ground Floor Plan - Proposed
Scale: 1:100

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

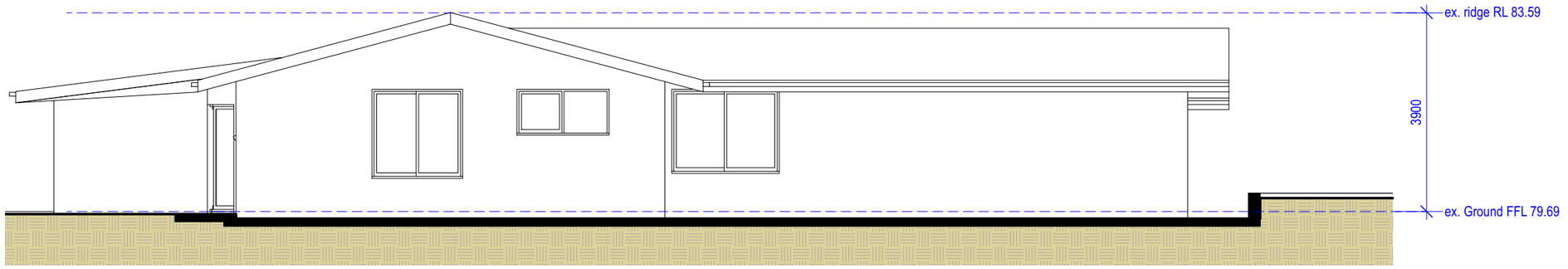
PROJECT: Alterations & Additions
CLIENT: Mike & Tina Bocock
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

DRAWING: Roof Plan / Concept Stormwater Plan
SHEET NO.: A07

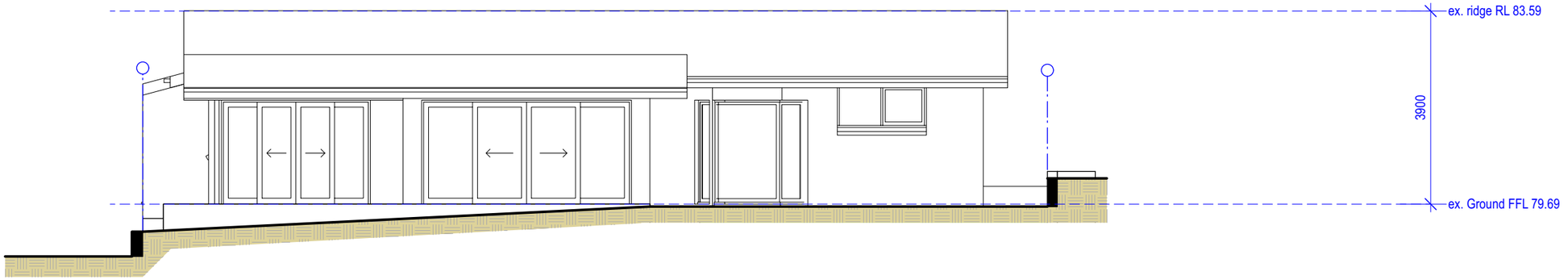
ISSUE DATE:	ORIGINAL SHEET SIZE:	DRAWN:	SCALE @ A3:
10/10/21	A3	DV	1:100

PROJECT NO.:	PROJECT TYPE:	CHKD:	REVISION:
0917	DA1		

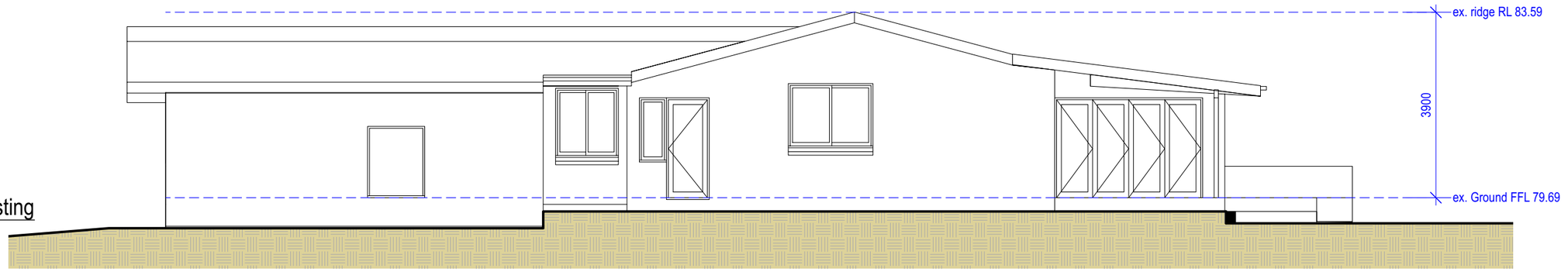
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



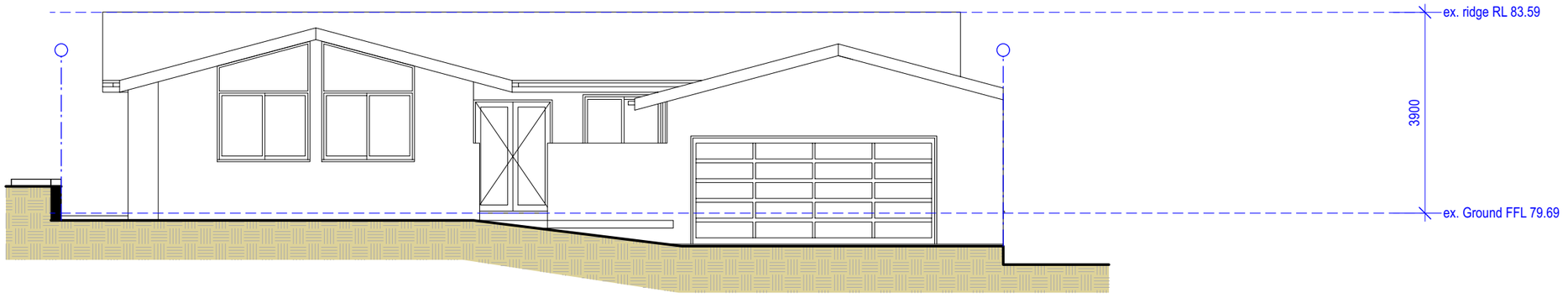
1 North Elevation - Existing
Scale: 1:100



2 East Elevation - Existing
Scale: 1:100



3 South Elevation - Existing
Scale: 1:100



4 West Elevation - Existing
Scale: 1:100

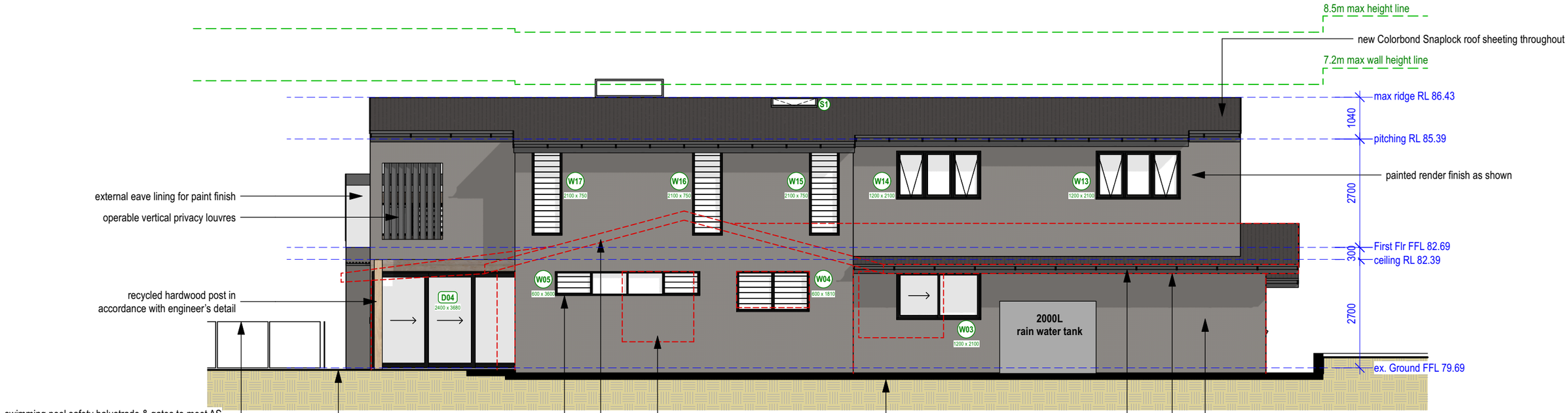
ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION	DATE	REVISION NOTE

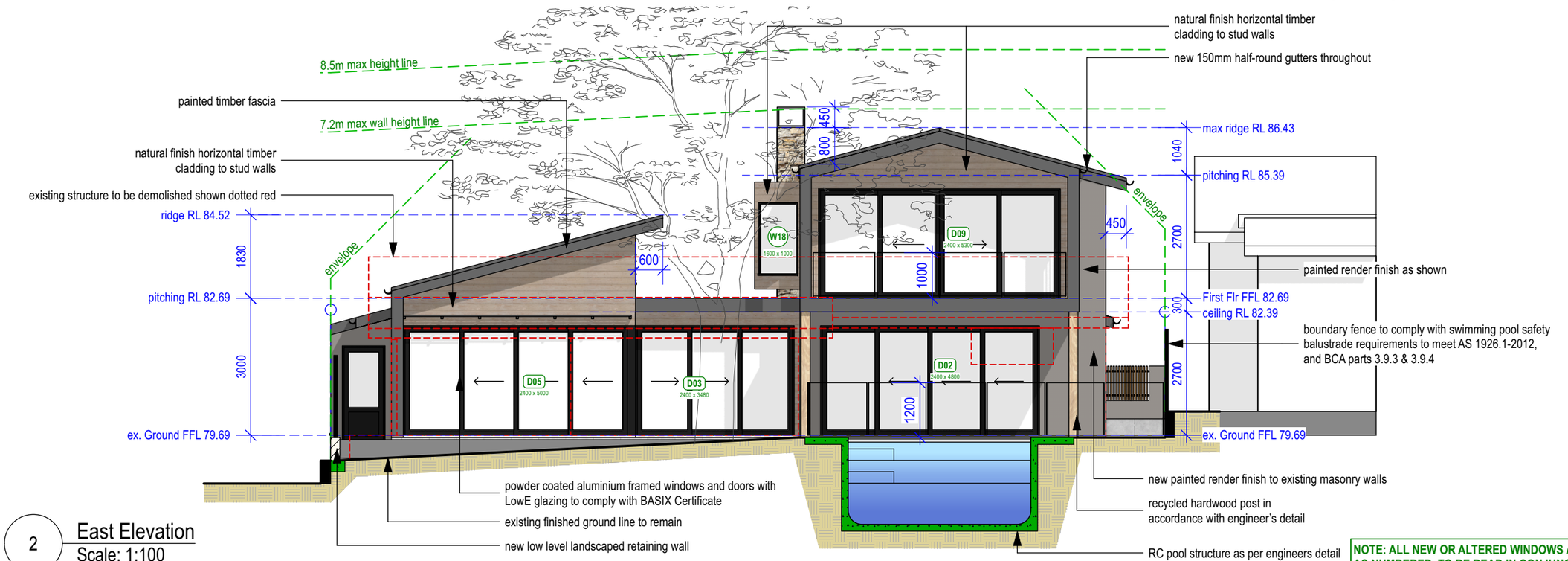
FOR DA SUBMISSION

PROJECT: Alterations & Additions
DRAWING: Existing Elevations
SHEET NO.: **A08**
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:100
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 North Elevation
Scale: 1:100



2 East Elevation
Scale: 1:100

NOTE: ALL NEW OR ALTERED WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND AS SCHEDULED

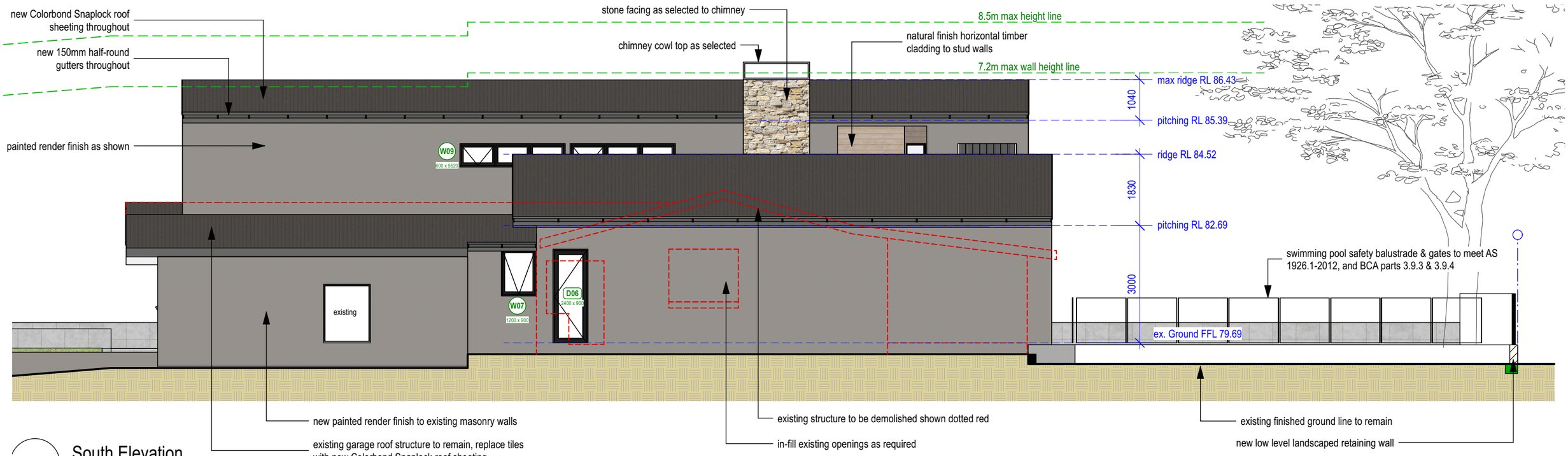
ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION | DATE | REVISION NOTE

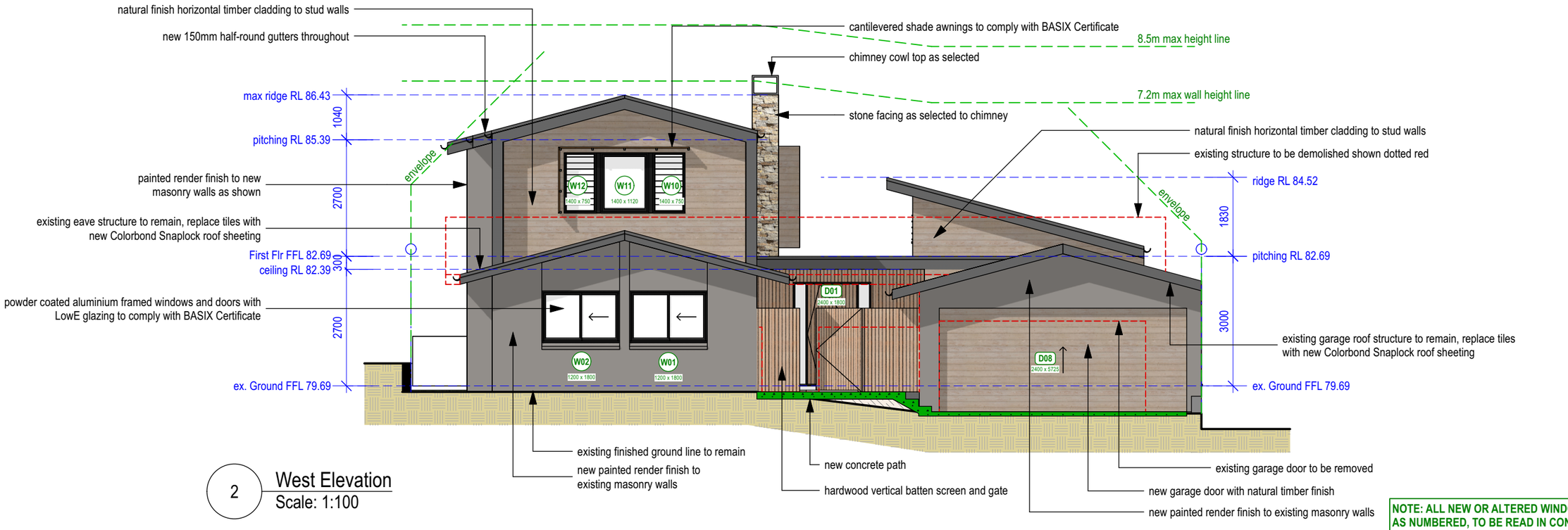
FOR DA SUBMISSION

PROJECT: Alterations & Additions
DRAWING: North & East Elevations
SHEET NO.: A09
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:100
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 South Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

NOTE: ALL NEW OR ALTERED WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND AS SCHEDULED

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION | DATE | REVISION NOTE

FOR DA SUBMISSION

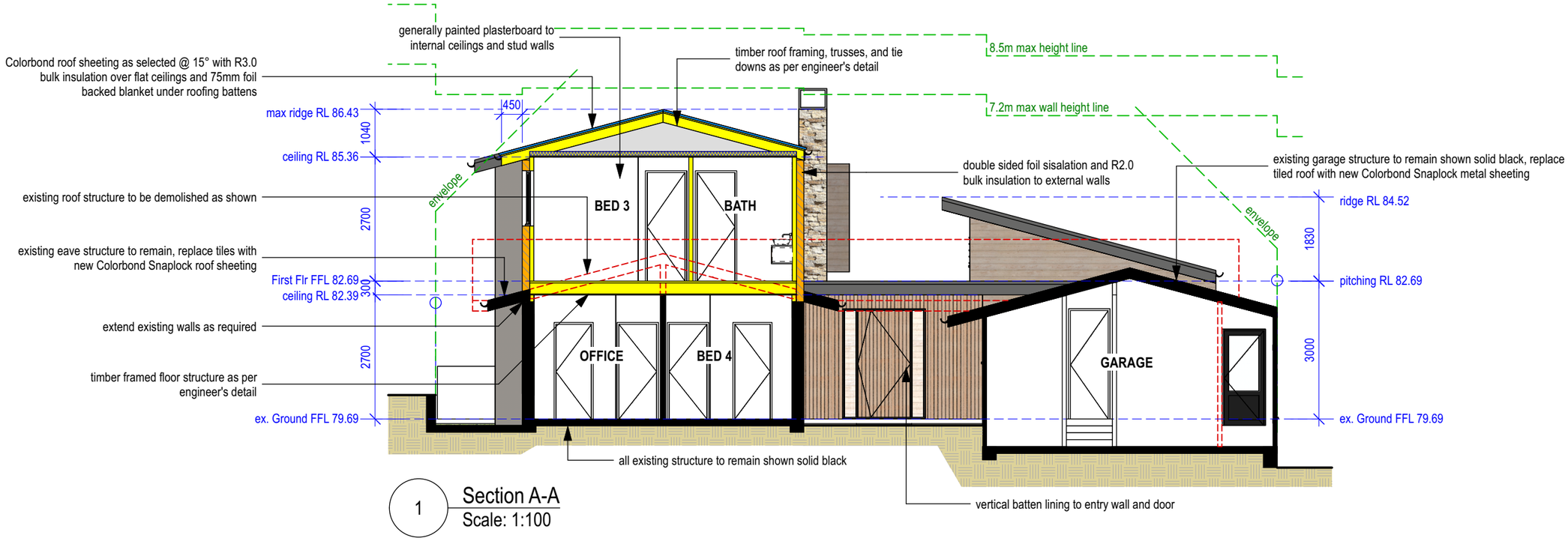
PROJECT: Alterations & Additions
CLIENT: Mike & Tina Bocock
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

DRAWING: South & West Elevations
SHEET NO.: A10

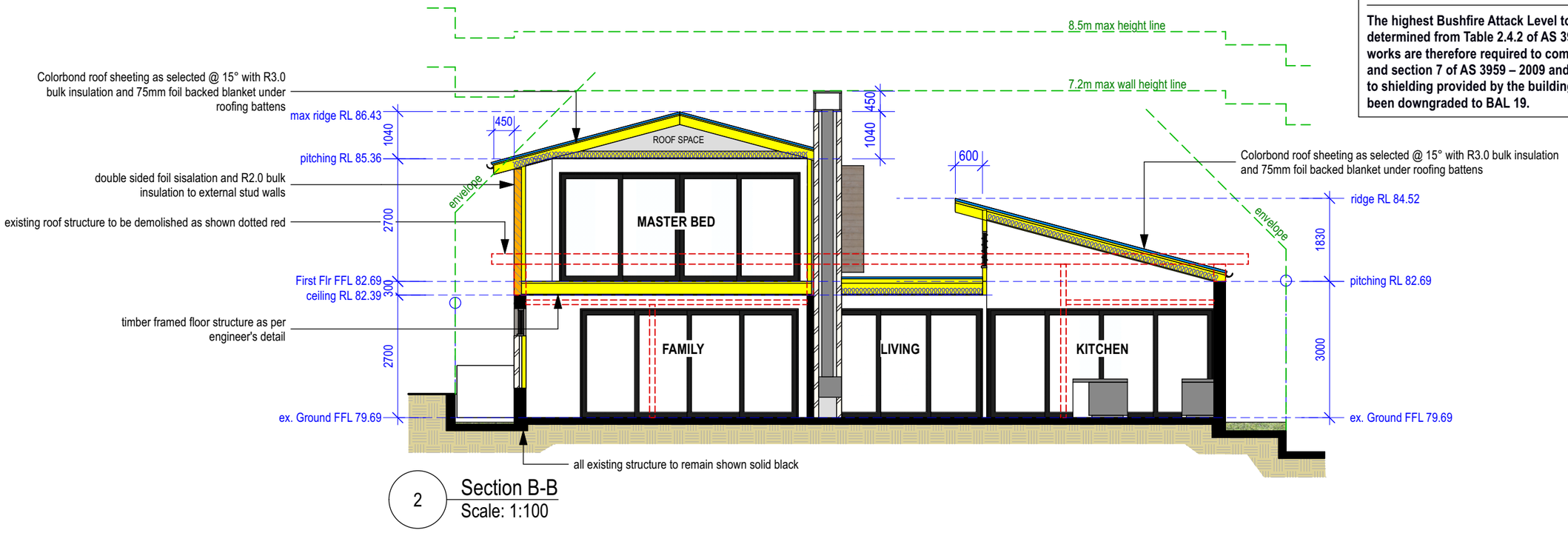
ISSUE DATE:	ORIGINAL SHEET SIZE:	DRAWN:	SCALE @ A3:
10/10/21	A3	DV	1:100

PROJECT NO.:	PROJECT TYPE:	CHKD:	REVISION:
0917	DA1		

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 Section A-A
Scale: 1:100



2 Section B-B
Scale: 1:100

BUSHFIRE NOTE

The highest Bushfire Attack Level to the alterations and additions was determined from Table 2.4.2 of AS 3959 – 2009 to be 'BAL 29'. The new works are therefore required to comply with BAL 29 under section 3 and section 7 of AS 3959 – 2009 and Appendix 3 under PBP 2006. Due to shielding provided by the building itself the northern facade has been downgraded to BAL 19.

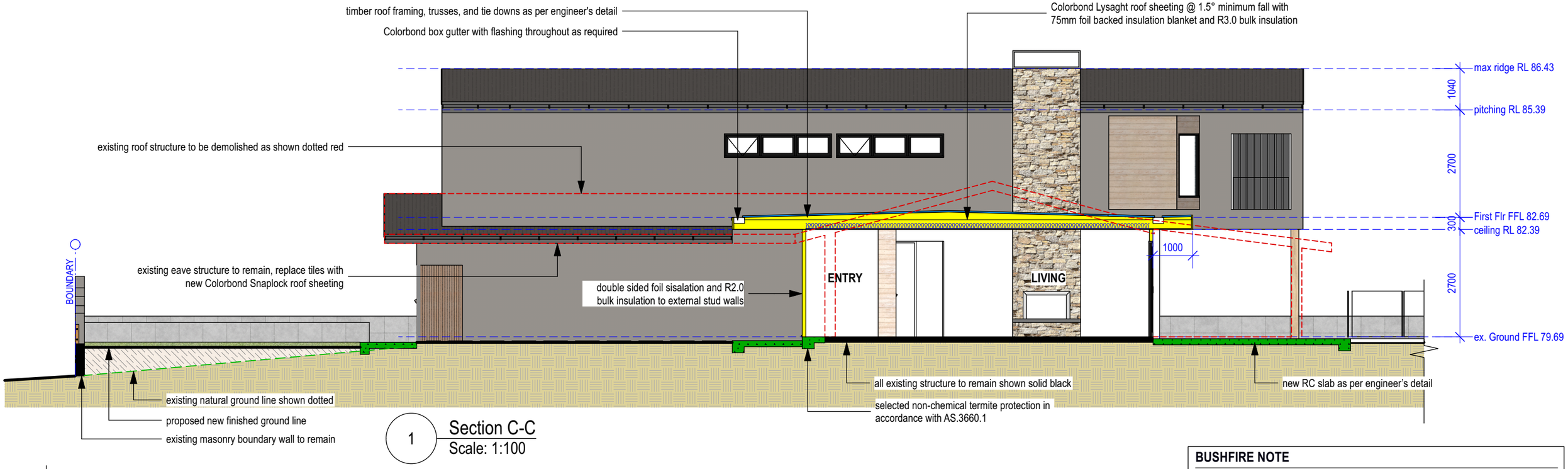
ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION | DATE | REVISION NOTE

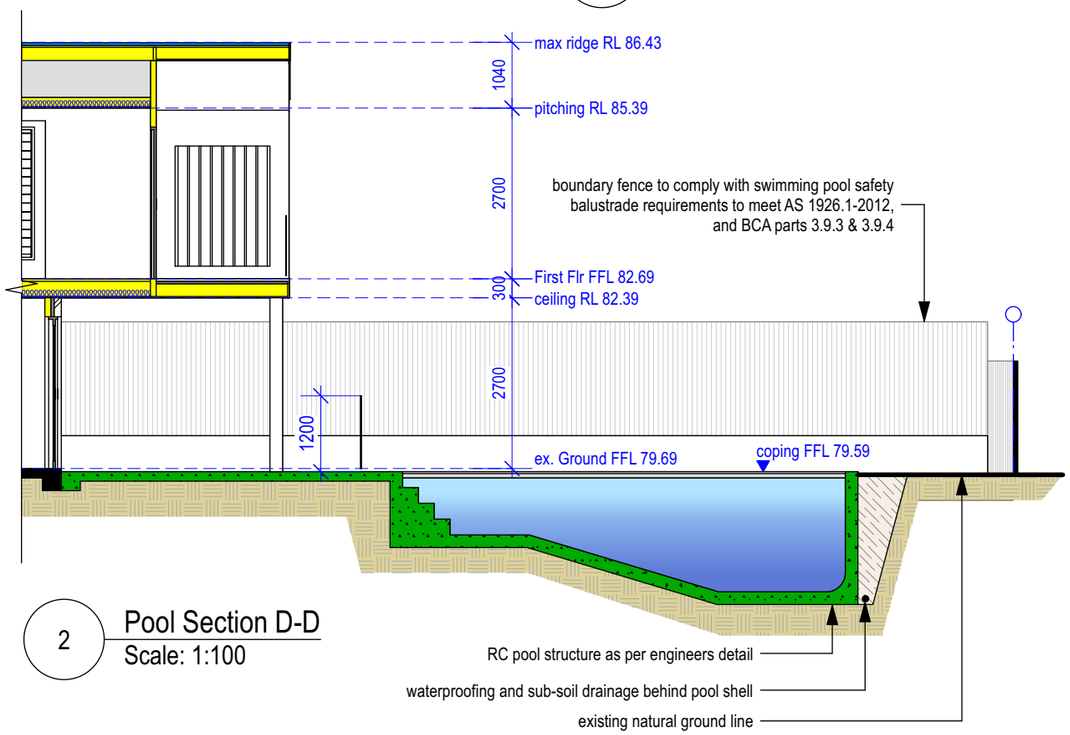
FOR DA SUBMISSION

PROJECT: Alterations & Additions
DRAWING: Section A-A & B-B
SHEET NO.: A11
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:100
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



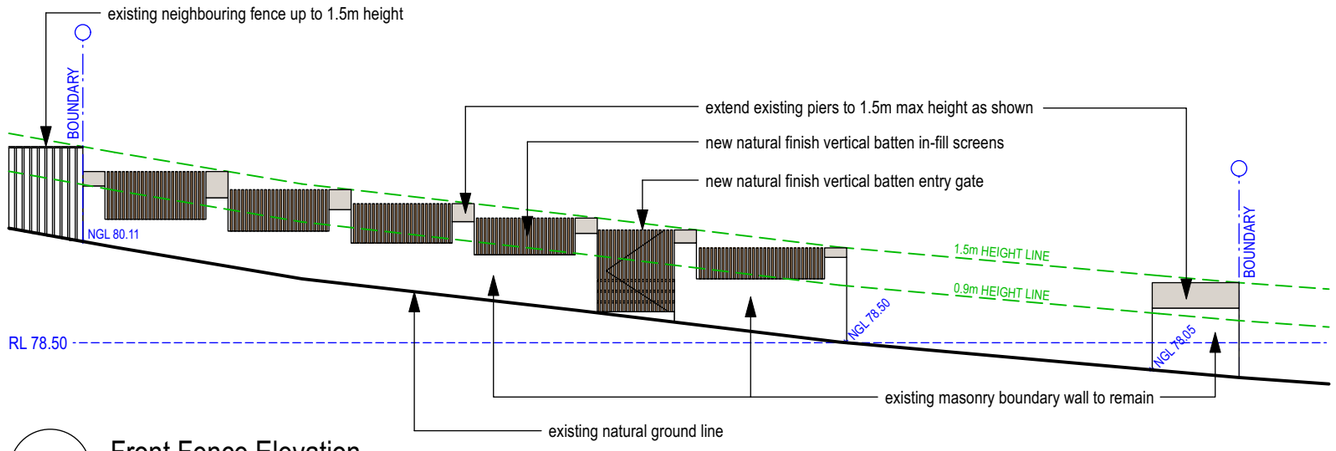
1 Section C-C
Scale: 1:100



2 Pool Section D-D
Scale: 1:100

BUSHFIRE NOTE

The highest Bushfire Attack Level to the alterations and additions was determined from Table 2.4.2 of AS 3959 – 2009 to be 'BAL 29'. The new works are therefore required to comply with BAL 29 under section 3 and section 7 of AS 3959 – 2009 and Appendix 3 under PBP 2006. Due to shielding provided by the building itself the northern facade has been downgraded to BAL 19.



3 Front Fence Elevation
Scale: 1:100

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

PROJECT: Alterations & Additions

DRAWING: Section C-C & Front Fence Elevation

SHEET NO.: A12

CLIENT: Mike & Tina Bocock

ISSUE DATE: 10/10/21

ORIGINAL SHEET SIZE: A3

DRAWN: DV

SCALE @ A3: 1:100

ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

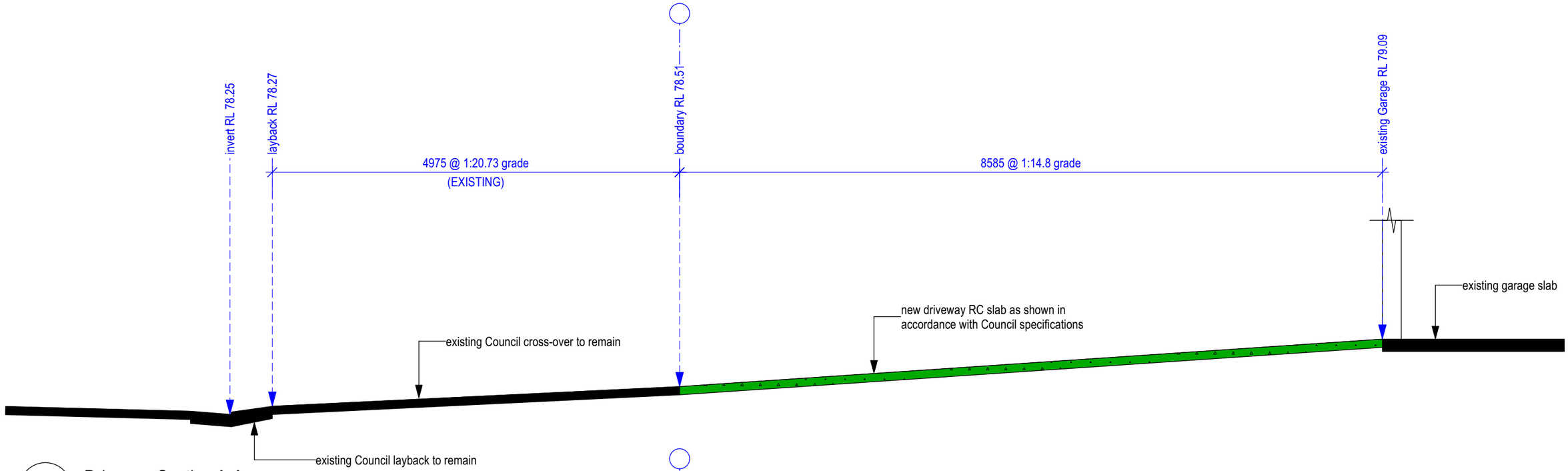
PROJECT NO.: 0917

PROJECT TYPE: DA1

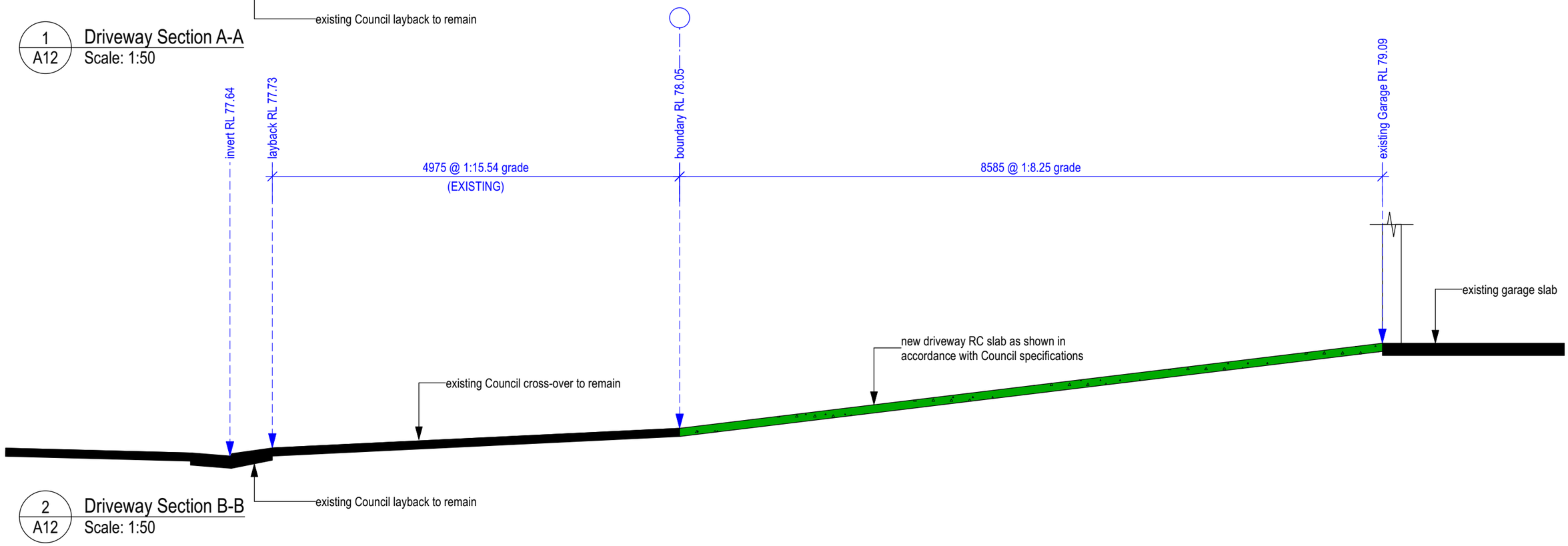
CHKD:

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS. BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL. BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 / A12 Driveway Section A-A
Scale: 1:50



2 / A12 Driveway Section B-B
Scale: 1:50

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

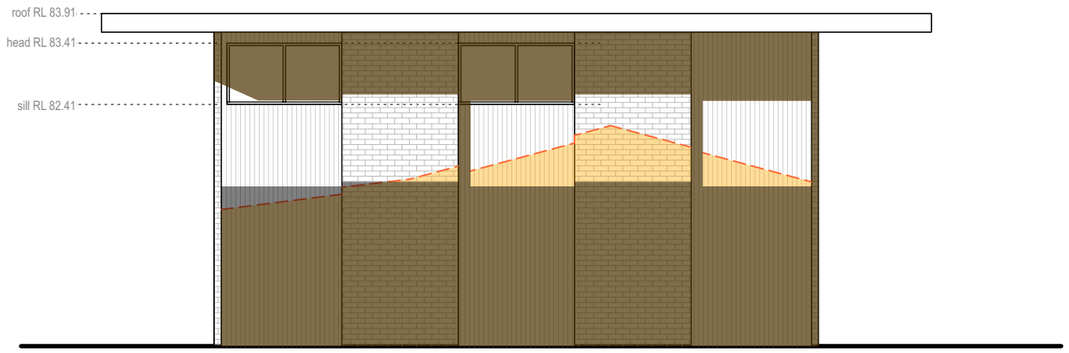
REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

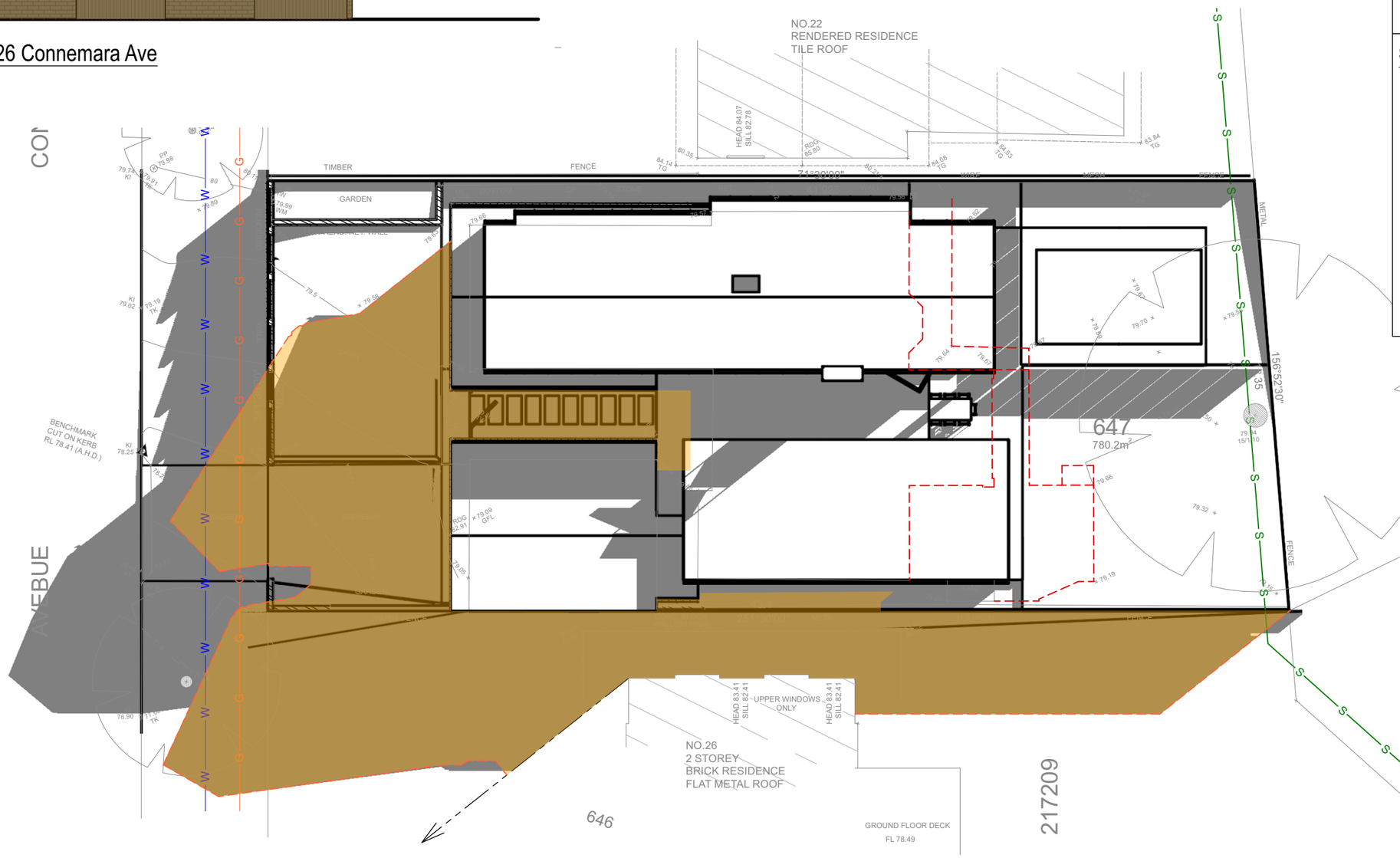
TN

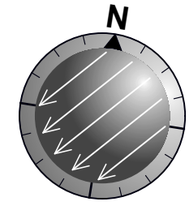
PROJECT: Alterations & Additions	DRAWING: Driveway Sections			SHEET NO.: A13
CLIENT: Mike & Tina Bocock	ISSUE DATE: 10/10/21	ORIGINAL SHEET SIZE: A3	DRAWN: DV	SCALE @ A3: 1:50
ADDRESS: 22A Connemara Ave, KILLARNEY HTS Being LOT 647 in D.P. 217209	PROJECT NO.: 0917	PROJECT TYPE: DA1	CHKD:	REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 Elevation Shadows - 26 Connemara Ave
Scale: 1:100





9:00 AM
Sydney
June 21
Azimuth: 42° 32' [42° 0' east]
Altitude: 18° 56'
Solar Time: 9:03 AM

SHADOW KEY

- PROPOSED SITE SHADOWS
- EXISTING SITE SHADOWS
- OVERLAP OF EXISTING & PROPOSED SHADOWS

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

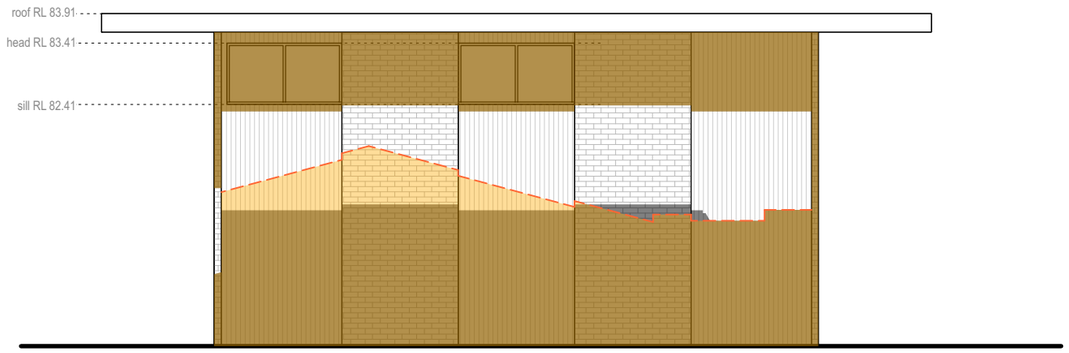
REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

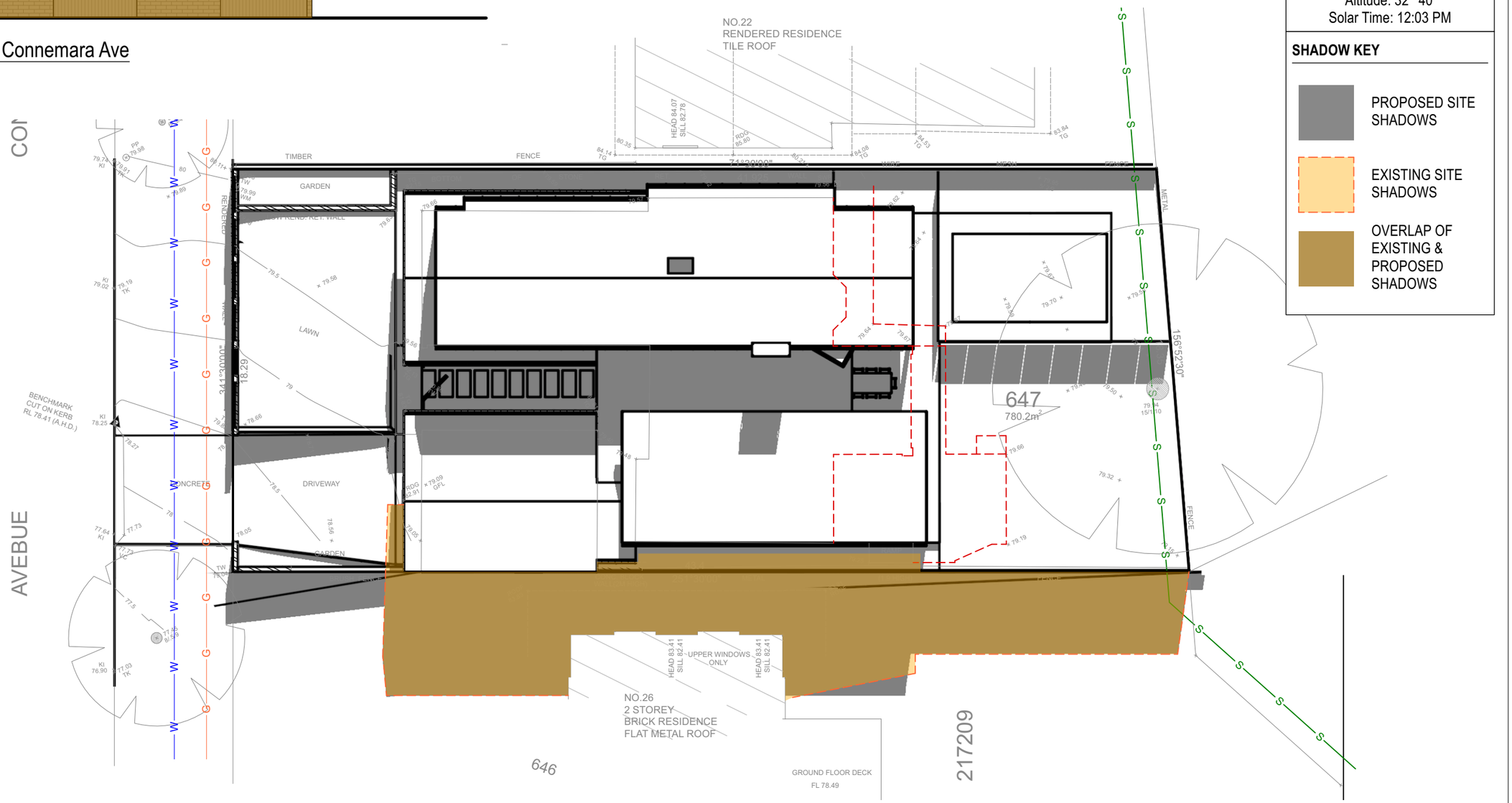
TN

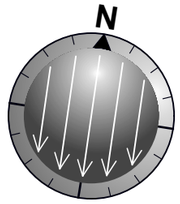
PROJECT: Alterations & Additions
DRAWING: Site Shadows - June 21 @ 9am
SHEET NO.: A14
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:200
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 Elevation Shadows - 26 Connemara Ave
Scale: 1:100





12:00 PM
Sydney
June 21
Azimuth: 359° 7' [0° 0' west]
Altitude: 32° 40'
Solar Time: 12:03 PM

SHADOW KEY

- PROPOSED SITE SHADOWS
- EXISTING SITE SHADOWS
- OVERLAP OF EXISTING & PROPOSED SHADOWS

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

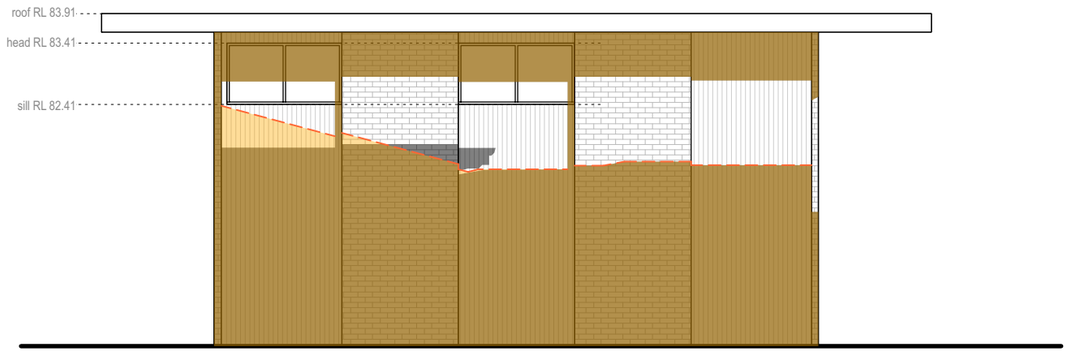
REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

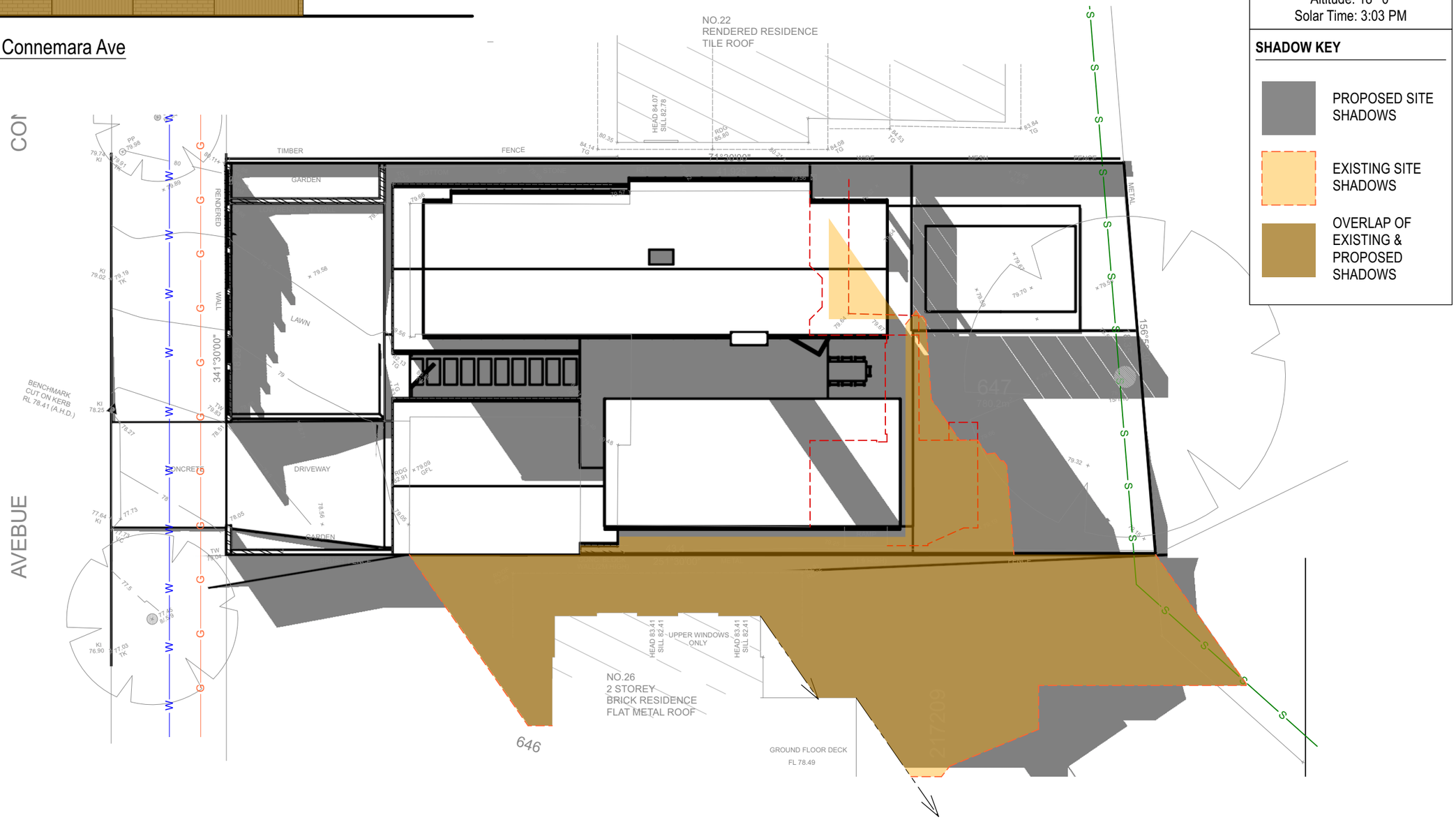
TN

PROJECT: Alterations & Additions
DRAWING: Site Shadows - June 21 @ 12Noon
SHEET NO.: A15
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:200
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 Elevation Shadows - 26 Connemara Ave
Scale: 1:100



N

3:00 PM
Sydney
June 21
Azimuth: 316° 14' [43° 0' west]
Altitude: 18° 0'
Solar Time: 3:03 PM

SHADOW KEY

- PROPOSED SITE SHADOWS
- EXISTING SITE SHADOWS
- OVERLAP OF EXISTING & PROPOSED SHADOWS

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

TN

PROJECT: Alterations & Additions
DRAWING: Site Shadows - June 21 @ 3pm
SHEET NO.: A16
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3: 1:200
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

WINDOWS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	Comments
W01	SLIDING	1200 mm	1800 mm	2.16 m2	LOW-E	2200	SLIDING / FIXED
W02	SLIDING	1200 mm	1800 mm	2.16 m2	LOW-E	2200	SLIDING / FIXED
W03	SLIDING	1200 mm	2100 mm	2.52 m2	LOW-E	2400	SLIDING / FIXED
W04	LOUVRE	1000 mm	1810 mm	1.81 m2	TRANSLUCENT	2400	
W05	LOUVRE	600 mm	3600 mm	2.16 m2	LOW-E	2400	
W06	AWNING	600 mm	2700 mm	1.62 m2	LOW-E	2100	FIXED / FIXED / AWNING
W07	AWNING	1200 mm	900 mm	1.08 m2	LOW-E	2400	
W08	LOUVRE	1200 mm	450 mm	0.54 m2	TRANSLUCENT	2400	
W09	AWNING	600 mm	2700 mm	1.62 m2	LOW-E	2100	AWNING / FIXED / FIXED
W10	LOUVRE	1400 mm	750 mm	1.05 m2	LOW-E	2400	
W11	FIXED	1400 mm	1120 mm	1.57 m2	LOW-E	2400	
W12	LOUVRE	1400 mm	750 mm	1.05 m2	LOW-E	2400	
W13	AWNING	1200 mm	2100 mm	2.52 m2	LOW-E	2400	AWNING / FIXED / AWNING
W14	AWNING	1200 mm	2100 mm	2.52 m2	LOW-E	2400	AWNING / FIXED / AWNING
W15	LOUVRE	2100 mm	750 mm	1.58 m2	TRANSLUCENT	2400	
W16	LOUVRE	2100 mm	750 mm	1.58 m2	LOW-E	2400	
W17	LOUVRE	2100 mm	750 mm	1.58 m2	LOW-E	2400	
W18	FIXED	1600 mm	1000 mm	1.60 m2	LOW-E	2100	
W19	LOUVRE	800 mm	2770 mm	2.22 m2	LOW-E	1100	FIXED / LOUVRE / FIXED - Sill set at 3300mm above floor level
W20	LOUVRE	800 mm	2770 mm	2.22 m2	LOW-E	1100	FIXED / LOUVRE / FIXED - Sill set at 3300mm above floor level
W21	LOUVRE	800 mm	3680 mm	2.94 m2	LOW-E	1100	FIXED / LOUVRE / LOUVRE / FIXED - Sill set at 3300mm above floor level
		VARIES					

DOORS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	No. Doors	Comments
D01	HINGED	2400 mm	1800 mm	4.32 m2	SOLID	2400	1	1200 Pivot solid entry door with fixed side-lights
D02	BI-FOLD	2400 mm	4800 mm	11.52 m2	LOW-E	2400	6	
D03	BI-FOLD	2400 mm	3480 mm	8.35 m2	LOW-E	2400	4	
D04	BI-FOLD	2400 mm	3665 mm	8.80 m2	LOW-E	2400	4	
D05	BI-FOLD	2400 mm	4950 mm	11.88 m2	LOW-E	2400	6	
D06	HINGED	2400 mm	900 mm	2.16 m2	LOW-E	2400	1	
D07	HINGED	2100 mm	940 mm	1.97 m2	1/2 GALZED	2100	1	Garage hinged door - BASIX N/A
D08	HINGED	2400 mm	5725 mm	13.74 m2	SOLID	2400	1	Garage door as selected - BASIX N/A
D09	BI-FOLD	2400 mm	5300 mm	12.72 m2	LOW-E	2400	6	

NOTES

1. All external glazing units to have powder coated aluminium frames as selected. Owner to give final approval to external glazing units before ordering.
2. Generally Viridian **'ComfortPlus Clear'** glazing throughout, **'EnergyTech Clear'** 6mm toughened to louvre windows, (translucent to bathrooms / WC's). All glazing to comply with Part 3.6 of the current BCA, and BASIX requirements.
3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Elevate Design if dimensions conflict.
4. Refer to Elevations for fixed/openable sashes.
5. Provide approved matching insect screens to opening window and door sashes.
6. Internal door sizes generally as noted on plan, to be painted flush solid core doors unless noted otherwise.
7. Provide Brio (or similar) retractable screens to all glazed external sliding doors. Owner to confirm.
8. The highest Bushfire Attack Level to the alterations and additions was determined from Table 2.4.2 of AS 3959 – 2009 to be 'BAL 29'. The new works are therefore required to comply with BAL 29 under section 3 and section 7 of AS 3959 – 2009 and Appendix 3 under PBP 2006. Due to shielding provided by the building itself the northern facade has been downgraded to BAL 19.

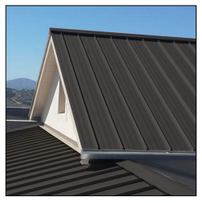
EXTERNAL FINISHES SCHEDULE FOR DA

NOTE:
- All colour selections shall be sampled and swatch tested on subject surface prior to final application.
- Colours represented on this schedule do NOT necessarily reflect true colours.

WEATHERBOARD CLADDING
NATURAL TIMBER

ENTRY WALL & FEATURE SCREENS
VERTICAL TIMBER BATTENS

FRONT WINDOW SHADE AWNING
TIMBER BATTENS



STANDING SEAM ROOFING
DARK - eg. MONUMENT

PAINTED RENDER
WARM GREY TONE

FRONT FENCE IN-FILL SCREENS
VERTICAL TIMBER BATTENS

DOOR / WINDOW FRAMES
DARK - eg. MONUMENT

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION DATE REVISION NOTE

FOR DA SUBMISSION

PROJECT: Alterations & Additions
DRAWING: Window / Door Schedule & External Finishes
SHEET NO.: A17
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3:
ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A323303_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 11, October 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.

Planning, Industry & Environment

Description of project

Project address	
Project name	Bocock Residence_02
Street address	22A Connemara Avenue Killarney Heights 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 217209
Lot number	647
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at $50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Elevate Design & Drafting

ABN (if applicable): 96155208131

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1925 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 70 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 40 kilolitres.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar only.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: external insulated façade system (EIFS)(façade panel: 75 mm)	nil	
internal wall shared with garage: single skin masonry (R0.18)	nil	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION DATE REVISION NOTE

FOR DA SUBMISSION

PROJECT: Alterations & Additions
DRAWING: BASIX Requirements - Sheet 1
SHEET NO.: A18
CLIENT: Mike & Tina Bocock
ISSUE DATE: 10/10/21
ORIGINAL SHEET SIZE: A3
DRAWN: DV
SCALE @ A3:
ADDRESS: 22A Connemara Ave, KILLARNEY HTS Being LOT 647 in D.P. 217209
PROJECT NO.: 0917
PROJECT TYPE: DA1
CHKD:
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓
Windows and glazed doors glazing requirements			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W01	W	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W02	W	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W03	N	3.47	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W04	N	1.81	3.63	2.26	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W05	N	2.16	3.63	2.26	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W06	S	1.62	0	0	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W07	S	1.08	0	0	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W08	N	0.54	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W09	S	1.62	0	0	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W10	W	0.75	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W11	W	1.12	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W12	W	0.75	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W13	N	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W14	N	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W15	N	1.58	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W16	N	1.58	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W17	N	1.58	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W18	SE	1.6	0	0	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W19	N	2.22	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W20	N	2.22	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W21	N	2.94	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D02	E	11.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D03	E	8.35	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D04	N	8.83	5.9	3.6	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D05	E	12	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D09	E	11.13	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.72	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

ELEVATE
DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION DATE REVISION NOTE

FOR DA SUBMISSION

PROJECT: Alterations & Additions

CLIENT: Mike & Tina Bocock

ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

DRAWING: BASIX Requirements - Sheet 2

SHEET NO.: **A19**

ISSUE DATE: 10/10/21

ORIGINAL SHEET SIZE: A3

DRAWN: DV

SCALE @ A3:

PROJECT NO.: 0917

PROJECT TYPE: DA1

CHKD:

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

SOUTHEAST PERSPECTIVE VIEW

NORTHWEST PERSPECTIVE VIEW

NORTHEAST PERSPECTIVE VIEW

SOUTHWEST PERSPECTIVE VIEW

ELEVATE DESIGN & DRAFTING
E: danny@elevatedd.com.au
T: 0422 961 738
W: www.elevatedd.com.au
ABN: 96 155 208 131

REVISION	DATE	REVISION NOTE

FOR DA SUBMISSION

PROJECT: Alterations & Additions

DRAWING: Perspective Views

SHEET NO.: **A20**

CLIENT: Mike & Tina Bocock

ISSUE DATE: 10/10/21

ORIGINAL SHEET SIZE: A3

DRAWN: DV

SCALE @ A3:

ADDRESS: 22A Connemara Ave, KILLARNEY HTS
Being LOT 647 in D.P. 217209

PROJECT NO.: 0917

PROJECT TYPE: DA1

CHKD:

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.