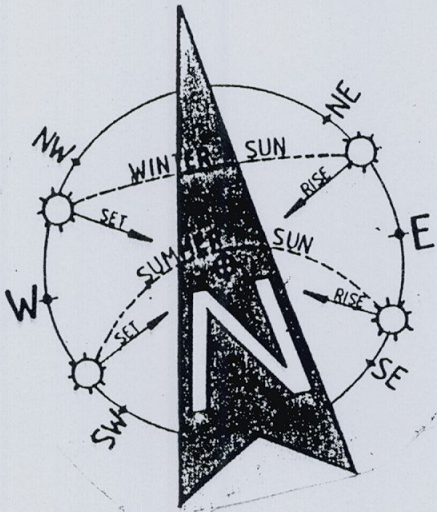
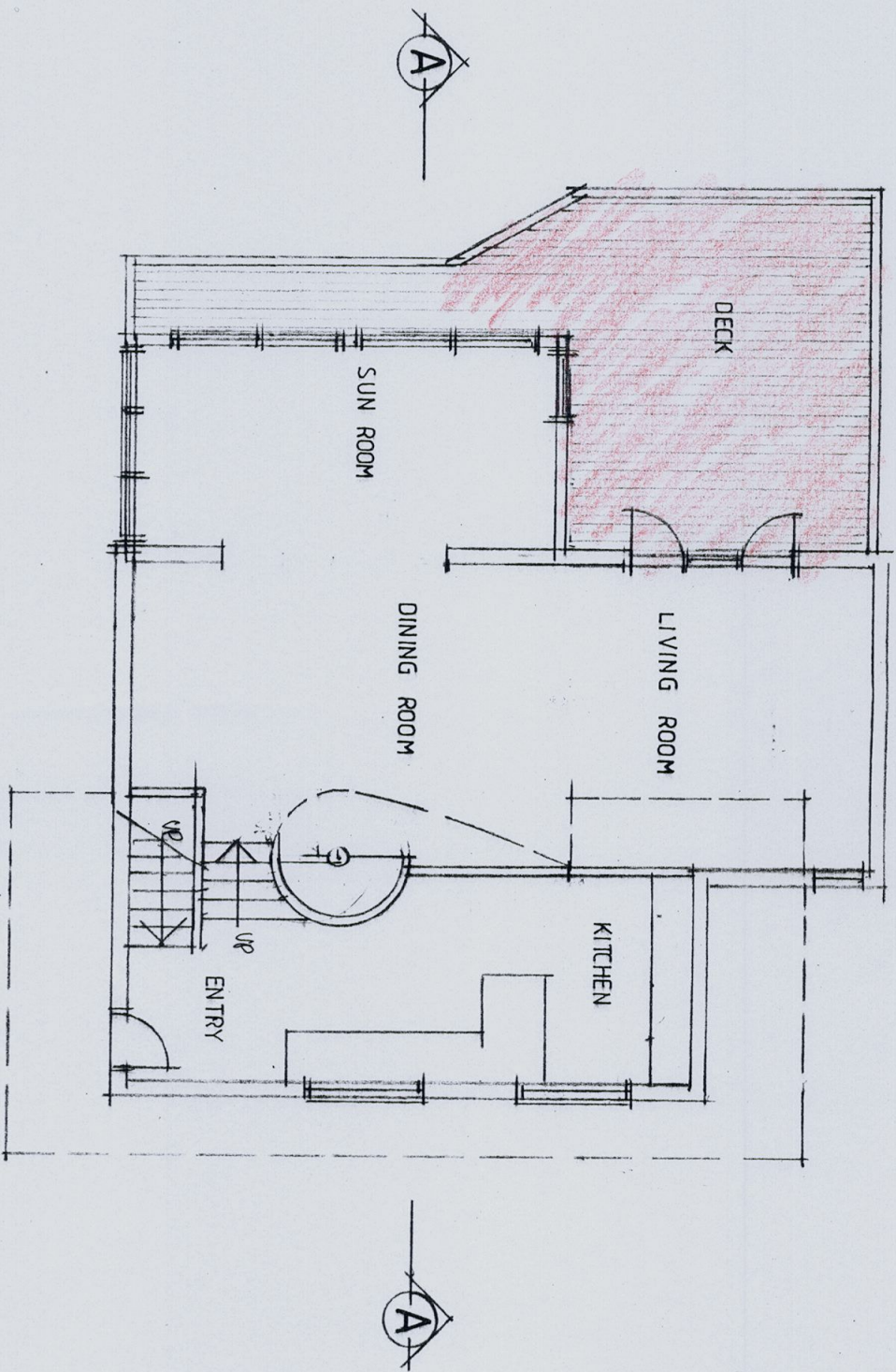




UPPER GROUND FLOOR PLAN

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TASER FRAMER" code.
5. All construction to be in accordance with the "TASER FRAMER" code.
6. Roof water & sub-soil drainage to be determined by a structural engineer.
7. All electrical power & light outlets to be determined by a registered electrician or as decided by local council inspectors.
8. Make good and repair all existing features damaged by new work. Remove existing materials where possible.

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J.D. EVANS and COMPANY PTY. LTD.  
14 RIVERA AVE. AVALON BEACH, NSW  
TEL: 075 976 536 FAX: 075 976 536

| NO. | REVISION | DATE |
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Mobile: 090 976 536

PROJECT  
**AS BUILT DRAWING OF EXISTING AT**  
**No. 62 HERBERT AVENUE**  
**NEWPORT N.S.W. 2106**  
CLIENT  
**JEREMY & ARIELLA RICHMAN**

|                                 |             |
|---------------------------------|-------------|
| DATE 15/1/2008                  | SCALE 1:100 |
| DRAWN JDE                       | CHECKED     |
| DRAWING No. <b>1107-3</b> ISSUE |             |