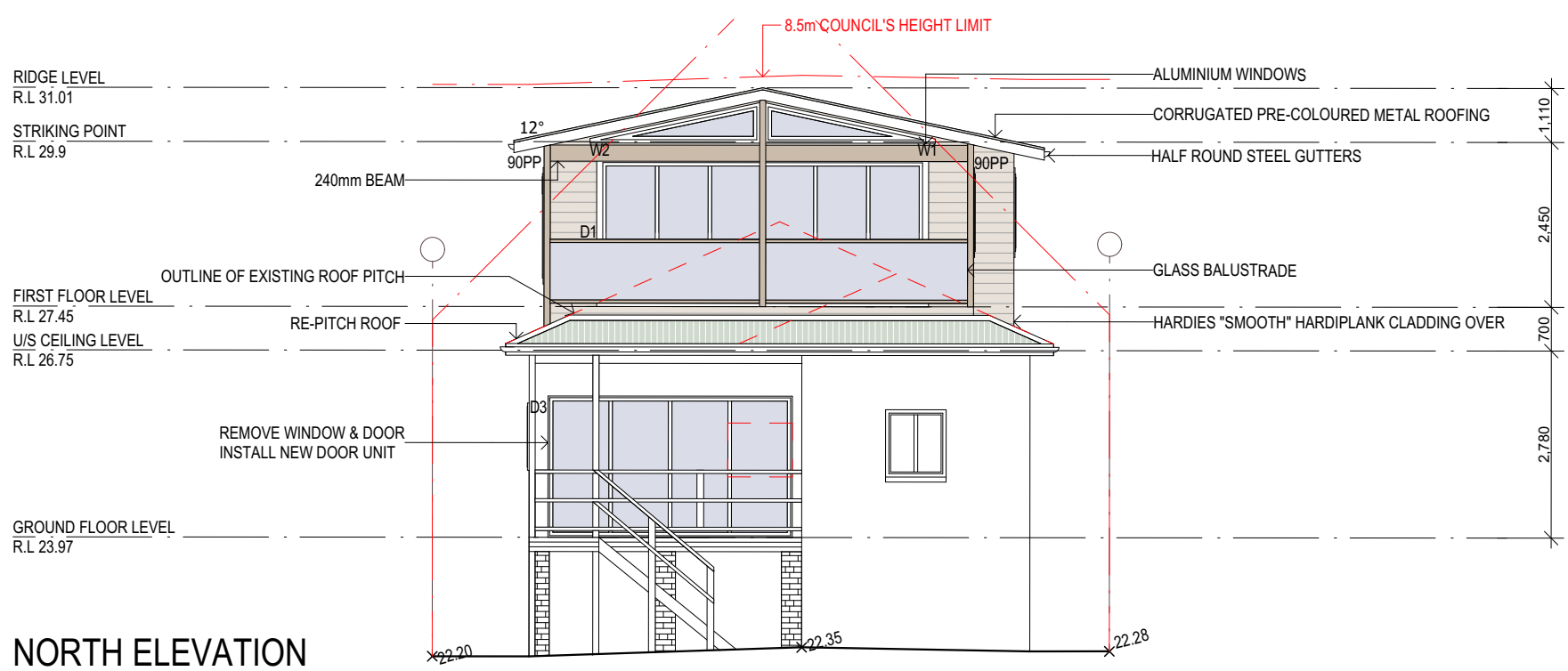
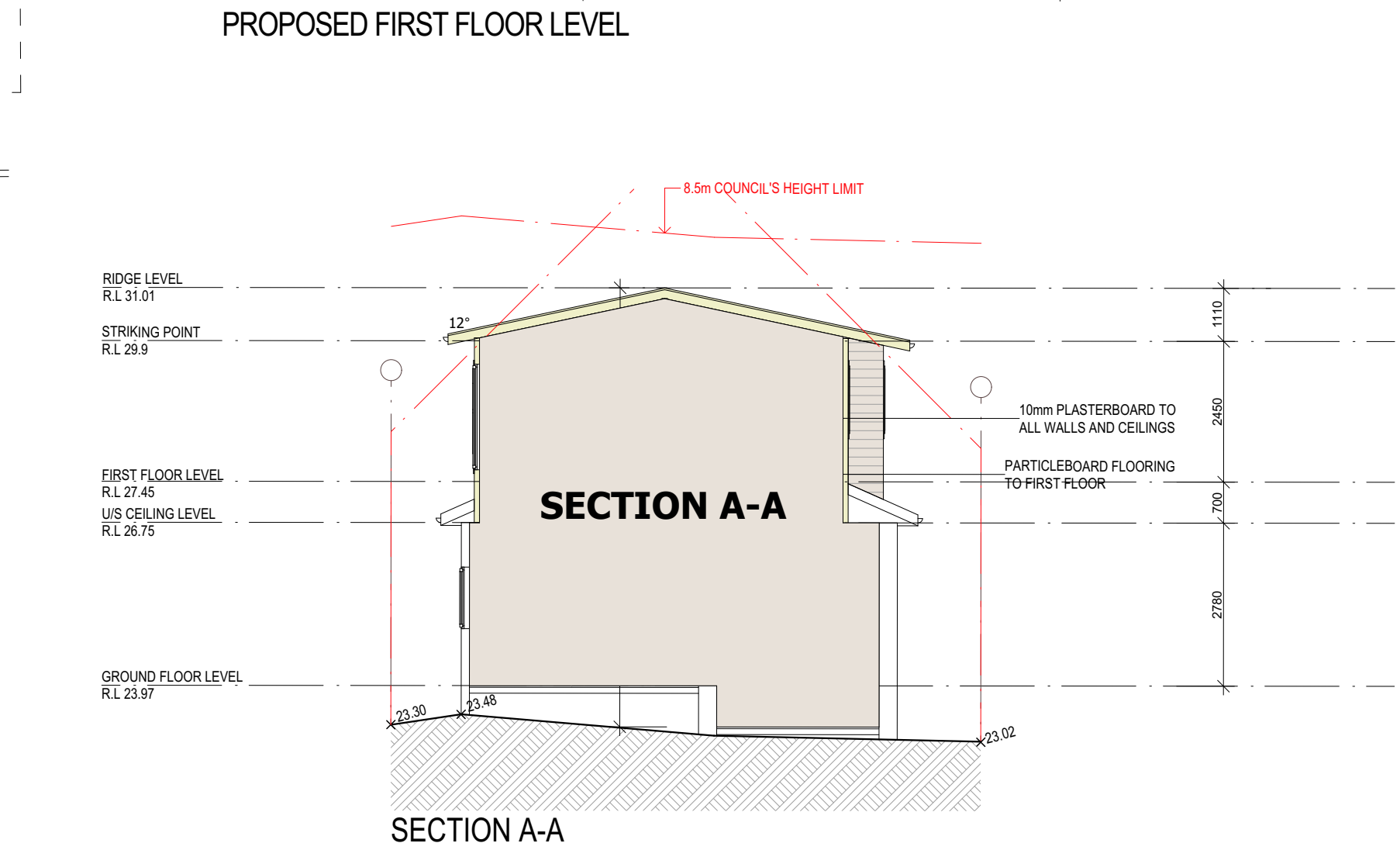
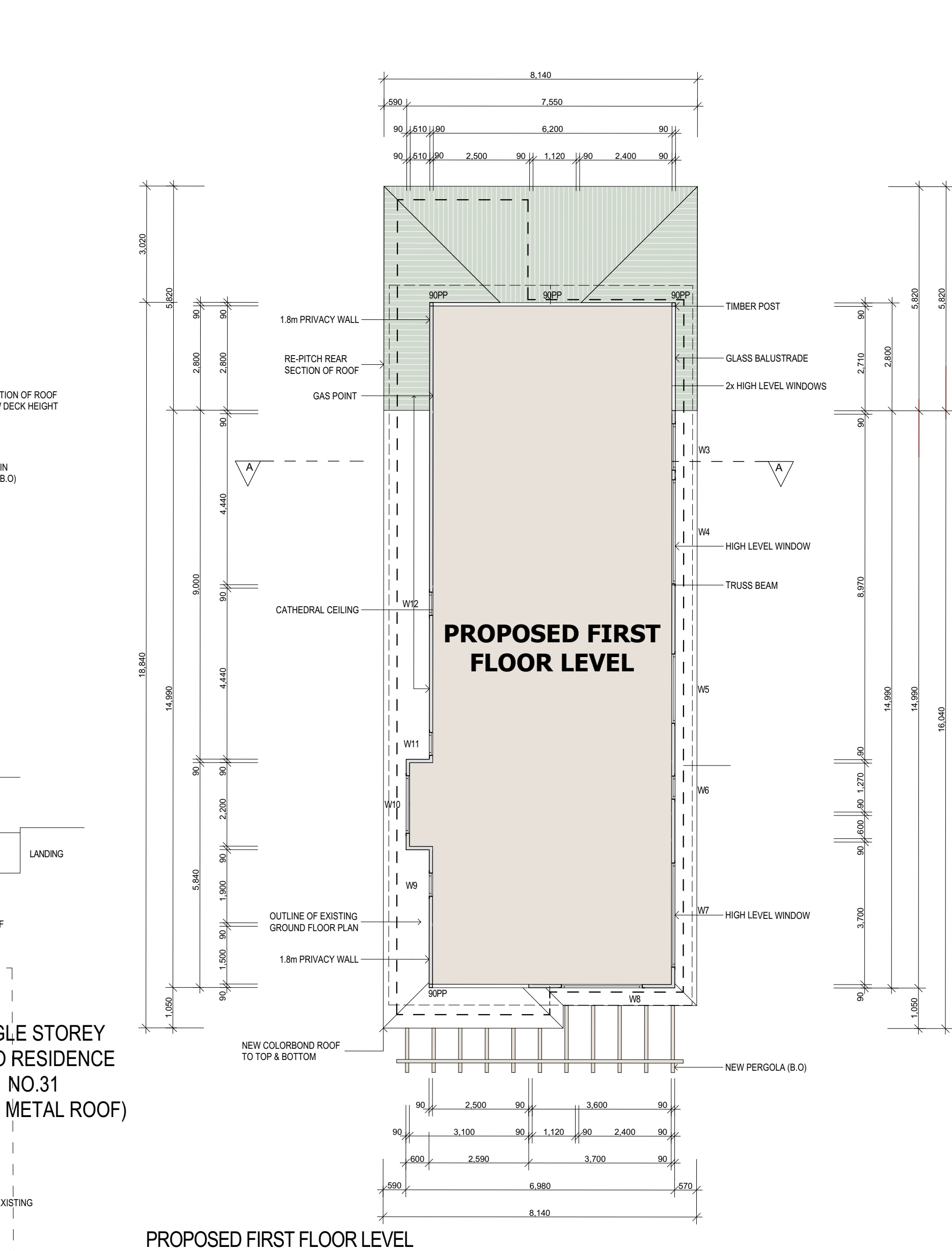
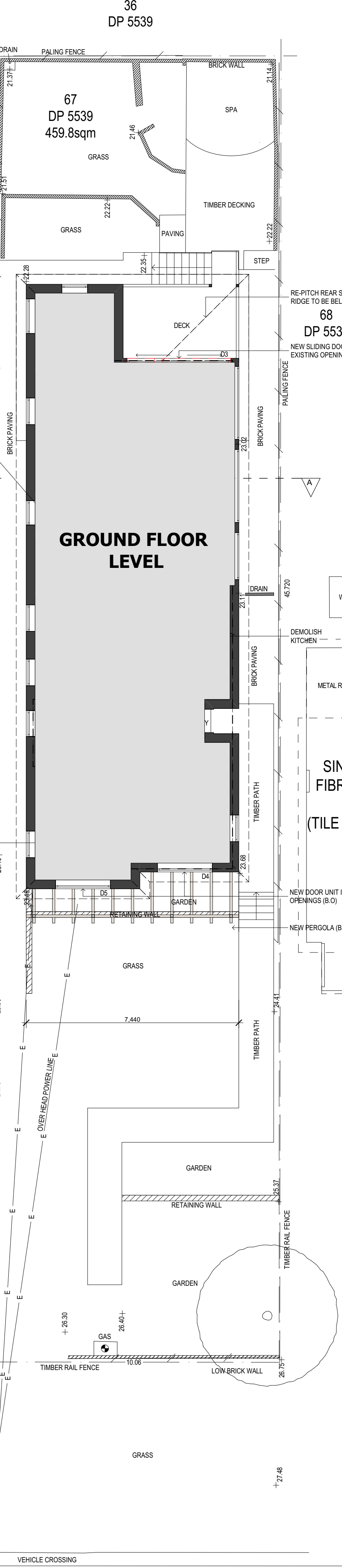
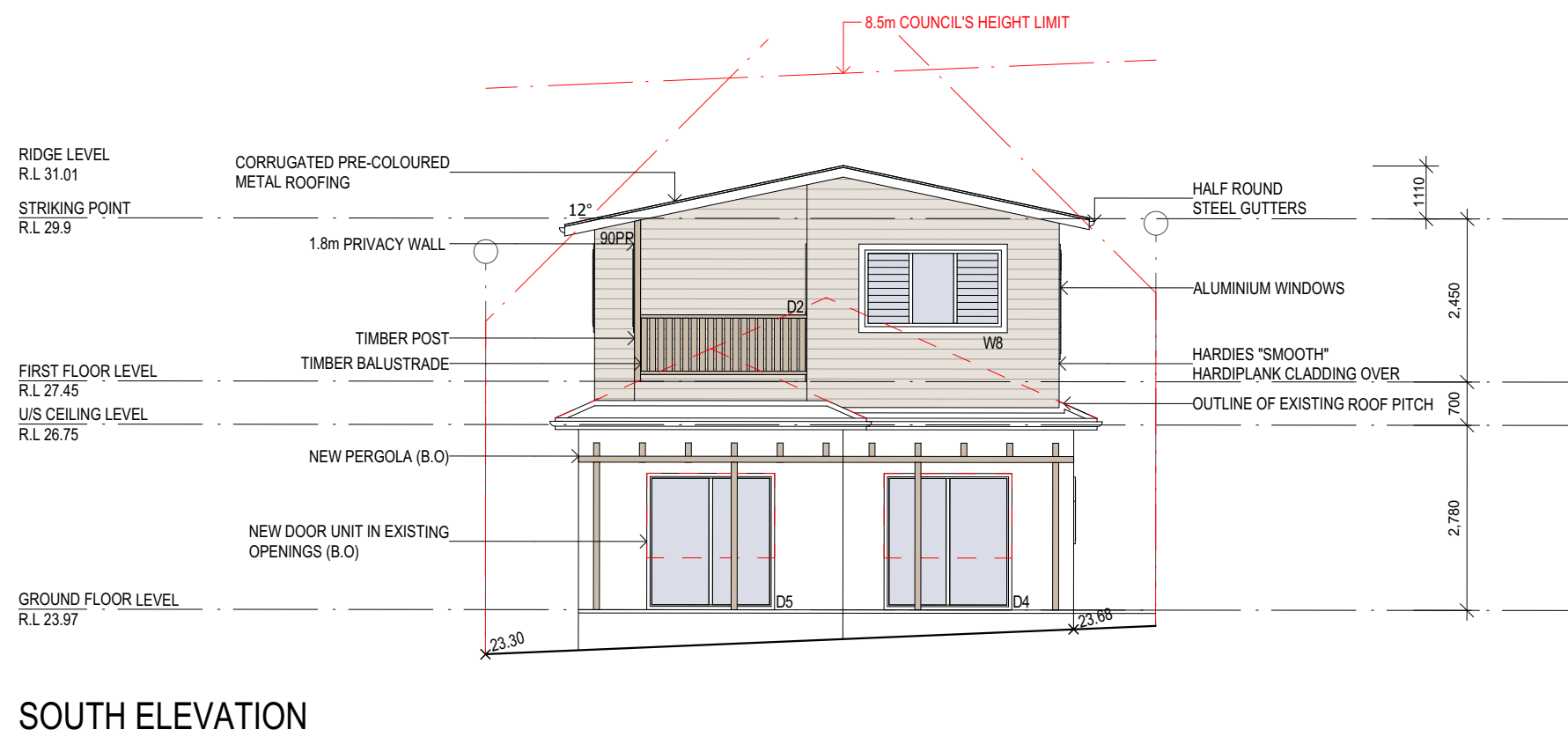


SINGLE STOREY LEVEL
BRICK RESIDENCE NO.35
(TILE ROOF)

GROUND FLOOR LEVEL



LEGEND & GENERAL NOTES	
VAR.	VARIATION
O.T.A.	OWNER TO ADVISE BUILDER
SOP	90 x 90 TIMBER POST
S.L.	SKY LIGHT
SHW	SHOWER ENCLOSURE
V	VANITY UNIT
WC	TOILET SUITE (WATER CLOSET)
BIC	BUILT IN CUPBOARD
ST	STORE
COS	TO BE CHECKED ON SITE
OPT.	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DRS	DOWNPIPE AND SPREADER
NOTE 1	
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.	
CONSTRUCTION LEVELS	
SUBCONTRACTOR TO CONFIRM DA LEVELS COMPLIANCE WITH TIM HOOKINS BEFORE FINALISING FLOOR STRUCTURE	
ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLIED WITH	
FRAMING NOTES.	
ROOF PITCH	TOP ROOF: 12° G.O.B.
FRAME HEIGHT	2450mm
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT	2130mm
INTERNAL DOOR	2110mm
B.L.C DOOR	2130mm TO LINE UP
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED
BLUJHEAD	200mm
BASIX REQUIREMENTS	
- 40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED	
- BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.	
- EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION	
- FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm)	
- IMPROVED ALUMINIUM WINDOWS	
- W3, W4, W5, W7, W9, W10, W11, W12 WINDOWS TO HAVE PYRO LOW-E GLASS	
OPEN SPACE CALCULATIONS	
SITE AREA	459.8 sqm
GROSS FLOOR AREA	232.18 sqm
EXIST. IMPERVIOUS AREA	268.01 sqm 58%
PROPOSED IMPERVIOUS AREA	268.01 sqm 58%
EXIST. LANDSCAPED AREA	191.79 sqm 42%
PROPOSED LANDSCAPED AREA	191.79 sqm 42%
NO CHANGE TO EXISTING FOOTPRINT OR LANDSCAPE	
EXIST FLOOR SPACE	128.36 sqm
PROPOSED FLOOR SPACE	232.18 sqm



B FOR COUNCIL		18/09/20 TH
A FOR PLAN MEETING		8/09/20 TH
NO. REVISION	DATE	BY
SCALE: 1:100	DATE: 18/09/20	
DRAWN BY: TH	CHECKED: MB	
PROJECT TITLE: FIRST FLOOR ADDITION AT 33 CURL CURL PDE, CURL CURL NSW 2096		
TITLE: PLANS, ELEVATIONS AND SECTIONS		
DRAWING NO. 8201 DA 1 ISSUE B		
 ADD-STYLE HOME ADDITIONS Upstairs & On Ground Specialists		
ADD-STYLE HOME ADDITIONS 5/319 CONDOMINE STREET MANLY VALE 2093 PHONE: (02) 9907 9055 EMAIL: info@addstyle.com.au		