

**SITE PLAN**  
SCALE: 1:1500

ISSUE	DATE	DESCRIPTION
A	17.08.2023	DA Issue for Council Approval

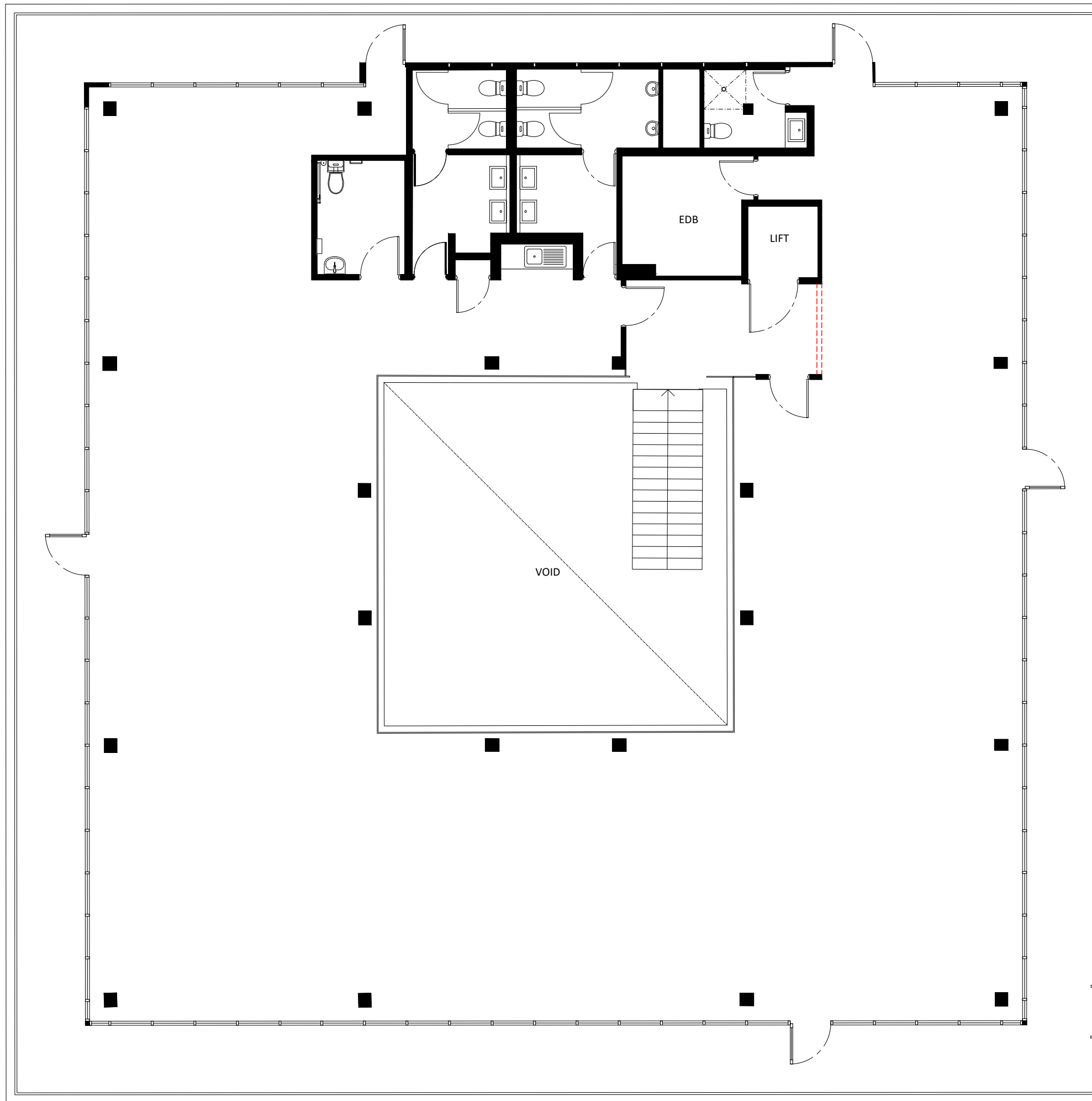
**ARCHISPECTRUM**  
 Nominated Architect: Martin Bednarczyk | NSW ARB #8912  
 Suite C5, 8 Allen St, Waterloo NSW 2017 | A.B.N. 40 966 067 144  
 m: 0419 670 108 | ph: (02) 8399 2807 | e: office@archispectrum.com.au

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PROJECT:  
**Rumble Cromer**  
 Office 4, 4-10 Inman Road, Cromer

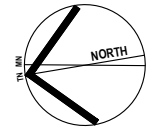
CLIENT:  
**Dan Collins**

SHEET TITLE:  
**Site Plan**



LEGEND:

- existing wall to remain
- - - existing wall to be demolished



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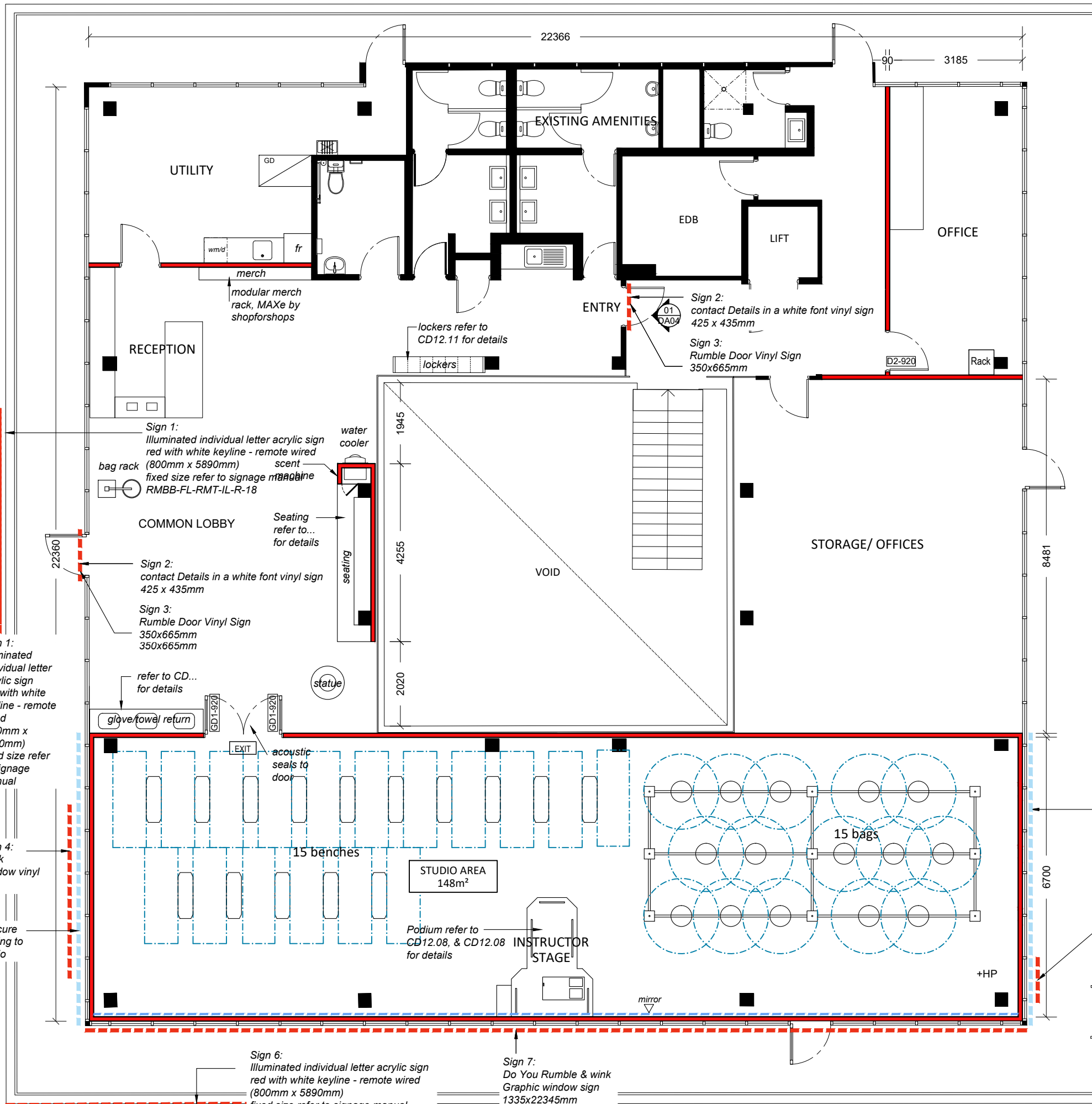
SHEET TITLE:  
**Existing Tenancy Plan**

SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:  
 DRAWN: Furqon S

**A3 DA02.01 a**

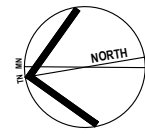
**EXISTING TENANCY PLAN**

SCALE: 1:100



**LEGEND:**

- existing wall to remain
- New Wall
- fire hose reel



**PROPOSED TENANCY PLAN**

SCALE: 1:100

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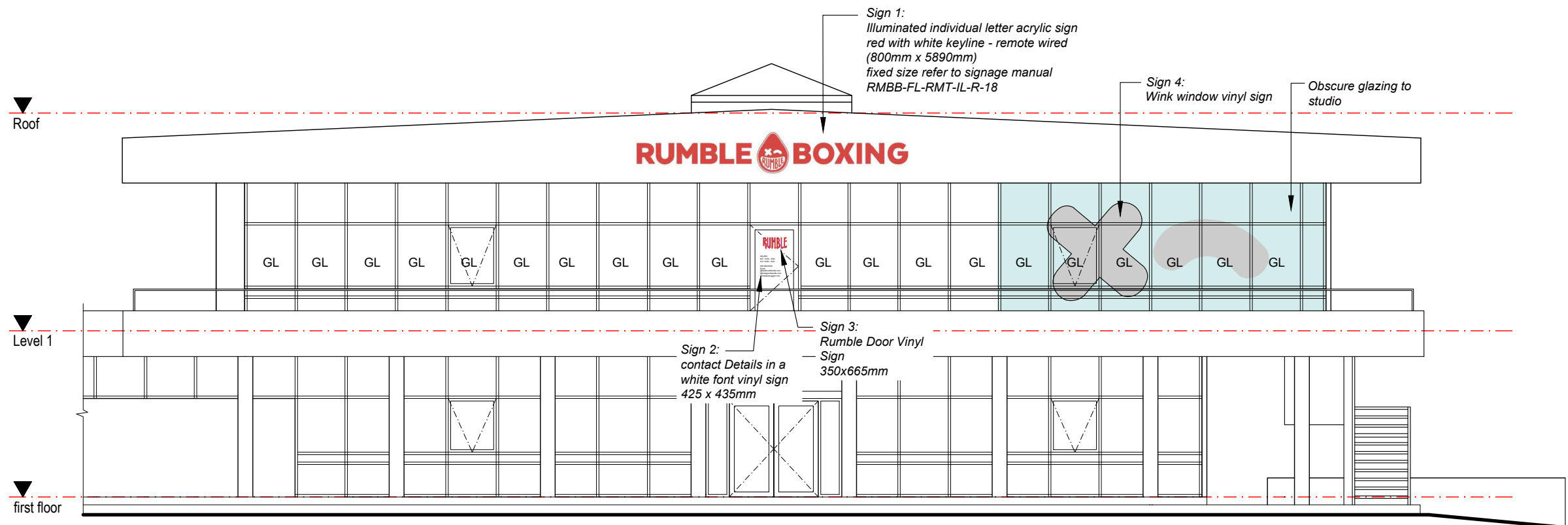
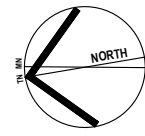
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CLIENT:  
**Dan Collins**

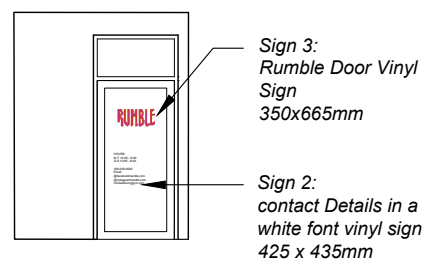
SHEET TITLE:  
**Proposed Tenancy Plan**

SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:  
 DRAWN: Furqon S

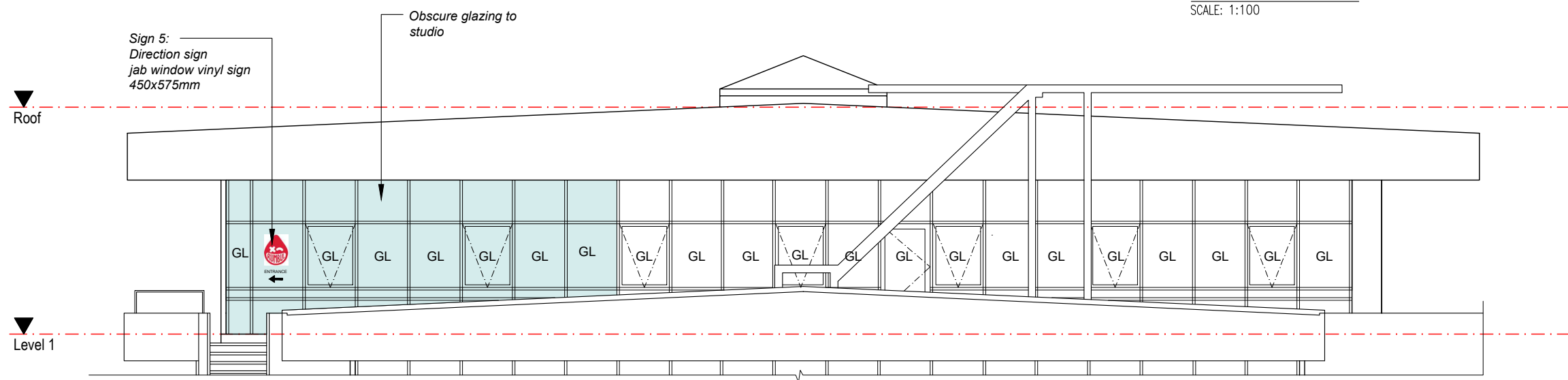
**A3 DA03.01 a**



**PROPOSED NORTH ELEVATION**  
SCALE: 1:100



**ELEVATION 01**  
SCALE: 1:100



**PROPOSED SOUTH ELEVATION**  
SCALE: 1:100

Signages Calculation:  
 1. Percentage of North Elevation Glazing (Level 1) that is occupied by Window signs =  $20m^2$  (divided by)  $65.4m^2 \times 100 = 30.1\%$   
 2. Percentage of South Elevation Glazing (Level 1) that is occupied by Window signs =  $22.7m^2$  (divided by)  $65.4m^2 \times 100 = 34.7\%$

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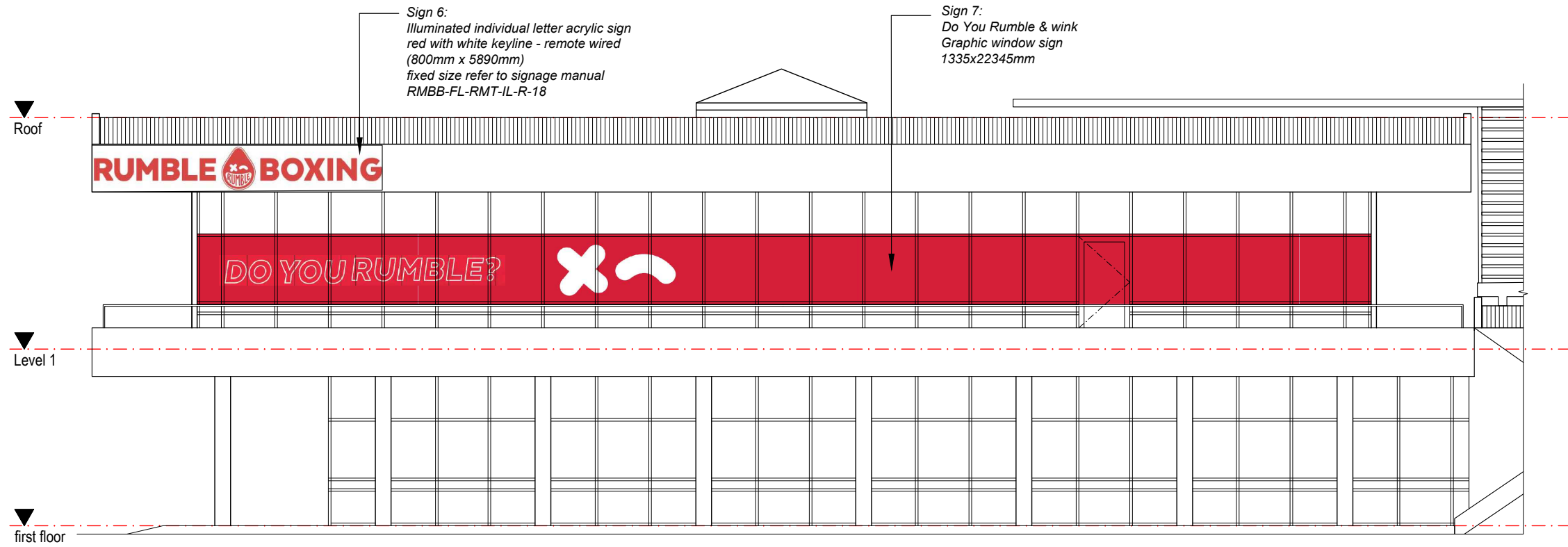
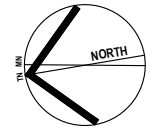
PROJECT:  
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CLIENT:  
**Dan Collins**

SHEET TITLE:  
**External Elevation & Signage Details**

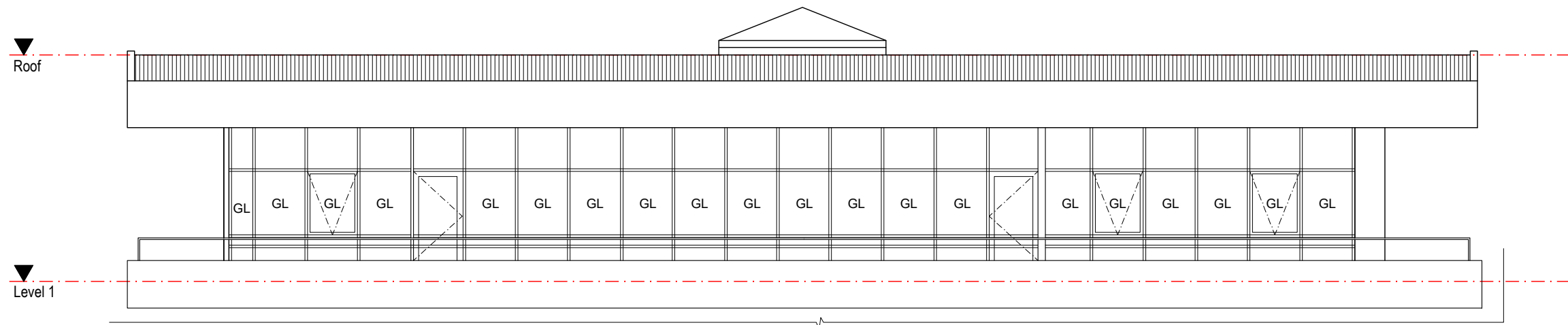
SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:  
 DRAWN: Furqon S

**A3 DA04.01 a**



**PROPOSED WEST ELEVATION**

SCALE: 1:100



**PROPOSED EAST ELEVATION**

SCALE: 1:100

Signages Calculation:  
 1. Percentage of West Elevation Glazing (Level 1) that is occupied by Window signs = 30m2 (divided by) 66.8m2 X 100 = 45%

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SHEET TITLE:  
**External Elevation & Signage Details**

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 DRAWN: Furqon S

**A3 DA04.02 a**