

Peter J Boyce & Associates

Level 2/41 Rawson Street Epping 2121

Ph 0412 928 500

Ph 9868 2855

Building Surveyor Acc. No 6395

Fax 9868 2655

8th November 2006

The General Manager

Dear Sir,

Re: Submission of Partial Construction Certificate
190 Barrenjoey Road Newport

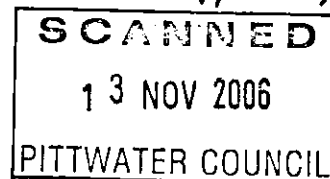
Please find enclosed:

1. Letter & cheque for registration of CC
2. Completed Application Form
3. Partial Construction Certificate
4. Council receipts etc as required by D/A conditions.
5. Statement from Applicant that the CC plans are generally in accordance with the DA.
6. Home Warranty Insurance
7. Memo re Footpath crossing
8. Landscape details condition E35
9. Architectural plans
10. Structural Engineers plans
11. Hydraulic Engineer Plans and Erosion Control Plan

Should any of the above documents not be received please advise me immediately.

Many thanks.

Peter Boyce



R. 204602 09/11/06. \$30~

Peter J Boyce & Associates

Ph 0412 928 500

P.O. Box 375, Strathfield 2135
Level 2, 41 Rawson Street, Epping 2121
Building Surveyor Acc. No **6395**

Ph 9868 2855

Fax 9868 2655

Your ref D/A NO398/03

6th November 2006

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Re: Copy of Partial Construction Certificate
190 Barrenjoey Road Newport

Please find enclosed copy of Partial Construction Certificate issued for the above property under D/A NO398/03.

Please find cheque enclosed for \$30.00 for registration of Partial Construction Certificate.

Yours faithfully



Peter Boyce

Application for Construction Certificate

Issued under the Environmental Planning and Assessment Act 1997 Part 3 - Schedule 1

Local Council Area

City, Council or Shire

PITWATER COUNCIL

Applicant

Name

GORDON + VALICH ARCHITECTS

Address

105 RESERVOIR STREET, SURRY HILLS, NSW, 2010

Phone

9212 1599

Owner

Name

I.W. HOGG

Address

8 Shenton way

Phone

Temasall Tower 30-01 SINGAPORE 068871

Consent of all owner(s)

I/we consent to this application

Signature



Subject Land with lot & deposited plan number

Address

190 BARRENJOEY RD, NEWPORT. LOT 1, DP 940521

Brief description of development

Type of Development

PARTIAL

i.e. Dwelling Addition

ALTERATIONS & ADDITIONS TO DWELLING - CARPORT ONLY

Building code of Australia

Building Classification

Class

10a

Development Consent

Development consent number:

U0398/03

Date of Determination:

22. 12. 2003

Builder/Owner Builder

FATHERS CONSTRUCTIONS

Name or Permit number

ABN: 6600 4015516

Address

LICENCE NO: 6587C

35A BEACONSFIELD ST, NEWPORT, NSW, 2106

Required attachments — Copy of D/A approval with Conditions
Three copies of the plans & Specification.
Plan Nos.
List of supporting documents

Schedule --- The building schedule must be completed as part of this application for the Australian Bureau of Statistics

Applicants Signature

Australian Bureau of Statistics

Particulars of Proposal —What is the area of land (m²)2449 m²

Gross Floor area of existing building (m²).....

What are the current use of all or part of the building(s)/land

(If vacant state vacant)SINGLE DWELLING

LocationSINGLE DWELLINGUse

— RESIDENTIAL —

Does the site contain a dual occupancy?.....NO

What is the gross floor area of the proposal (m²).....

What are the proposed uses of the building?

LocationSINGLE DWELLINGUse

— RESIDENTIAL —

How many stories will the building consist of ? ..2..

Materials to be used

Place a tick in the box which best describes the material

Walls	code		Roof	code	
Brick veneer	12	<input type="checkbox"/>	Aluminium	70	<input type="checkbox"/>
full brick	11	<input type="checkbox"/>	concrete	20	<input type="checkbox"/>
single brick	11	<input type="checkbox"/>	concrete tiles	10	<input type="checkbox"/>
concrete block	11	<input checked="" type="checkbox"/>	fibrous cement	30	<input type="checkbox"/>
			fibreglass	80	<input type="checkbox"/>
concrete/masonry	20	<input type="checkbox"/>	masonry/terracotta shingle		
concrete	20	<input type="checkbox"/>	tiles	10	<input type="checkbox"/>
steel	60	<input type="checkbox"/>	slate	20	<input type="checkbox"/>
fibrous cement	30	<input type="checkbox"/>	steel	60	<input checked="" type="checkbox"/>
hardiplank	30	<input type="checkbox"/>	terracotta tile	10	<input type="checkbox"/>
timber/weatherboard	40	<input checked="" type="checkbox"/>	other	80	<input type="checkbox"/>
cladding aluminium	70	<input type="checkbox"/>	unknown	90	<input type="checkbox"/>
curtain glass	50	<input type="checkbox"/>			
other	80	<input type="checkbox"/>			
unknown	90	<input type="checkbox"/>			
Floor			Frame		
concrete	20	<input checked="" type="checkbox"/>	timber	40	<input checked="" type="checkbox"/>
timber	10	<input type="checkbox"/>	steel	60	<input type="checkbox"/>
other	80	<input type="checkbox"/>	other	80	<input type="checkbox"/>
unknown	90	<input type="checkbox"/>	unknown	90	<input type="checkbox"/>

Sydney All Services PTY LTD

P.O. Box 108, Lindfield New South Wales 2070

Tel: (02) 9962 9658 Fax: (02) 9487 4621 Mobile: 0413 740 757

ABN 082 733 980

Lic No. 95467C

Email: sasmail@bigpond.com

Sydney All Services Design Certificate
Stormwater Systems

Address: 190 Barrenjoey Road, NEWPORT

Date: 31/01/2004

Type of building work: Residential Class: 1A

Development Application no: NO398/03

Drawing(s) the subject of this Certificate are:

DCH drawing(s) numbered HSK1 & HSK2 amendment N/A (if applicable)

The system comprises (summarize by inserting a tick for each or n/a if not applicable):

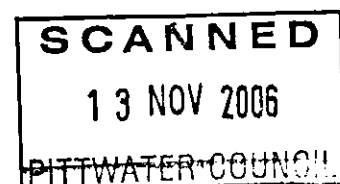
- | | |
|---|---|
| <input checked="" type="checkbox"/> Downpipes (exposed/concealed) | <input type="checkbox"/> Retention Basin |
| <input type="checkbox"/> Box Gutters | <input type="checkbox"/> Silt Arrestor |
| <input checked="" type="checkbox"/> Surface Inlet Pits | <input type="checkbox"/> Gross Pollutant Trap |
| <input checked="" type="checkbox"/> Sub Soil Drainage | |

I certify this design complies with the Building Code of Australia, AS3500 and Australian Code of Practice (tick if appropriate):

- ☒ AS3500.3 1990 Stormwater Drainage
- ☒ Australian Code of Practice 1992 Plumbing and Drainage
- ☒ Building Code Of Australia

I am a licensed plumber, Lic. No. L6378, a member of the Association of Hydraulic Services Consultants Inc, and have experience and competence in the relevant field.

Name: Nick Drayton
Company: Sydney All Services Pty Ltd
Address: P.O. Box 108, Lindfield, NSW, 2070
Telephone number: (02) 9962 9658 Fax: (02) 9487 4621

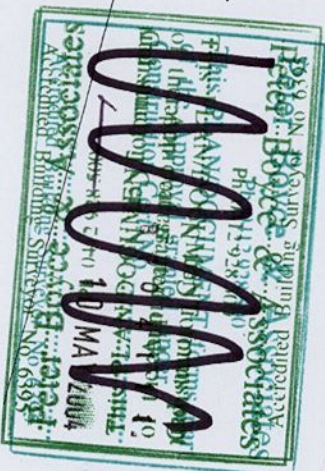
Signature:  Date: 31/01/04

LEGEND

- STORMWATER DRAINAGE
- SUBSOIL DRAINAGE
- EXISTING STORMWATER DRAINAGE

- SWP 4.50x4.50 STORMWATER PIT
- DP 100 DOWNPIPE
- V VERTICAL PIPE
- DETAIL REFERENCE

- GI GRATED TRENCH
- S/S SUBSOIL DRAINAGE WITH GEOTEXTILE SOCK
- SP SEWER INSPECTION PIT
- EX e EXISTING
- SW STORMWATER DRAINAGE



Peter Boyce & Associates
Ph (0412) 928 500
This PLAN/DRAWING forms part of the Approval granted under Construction Cert. No. 6304
Accredited Building Surveyor No. 6395

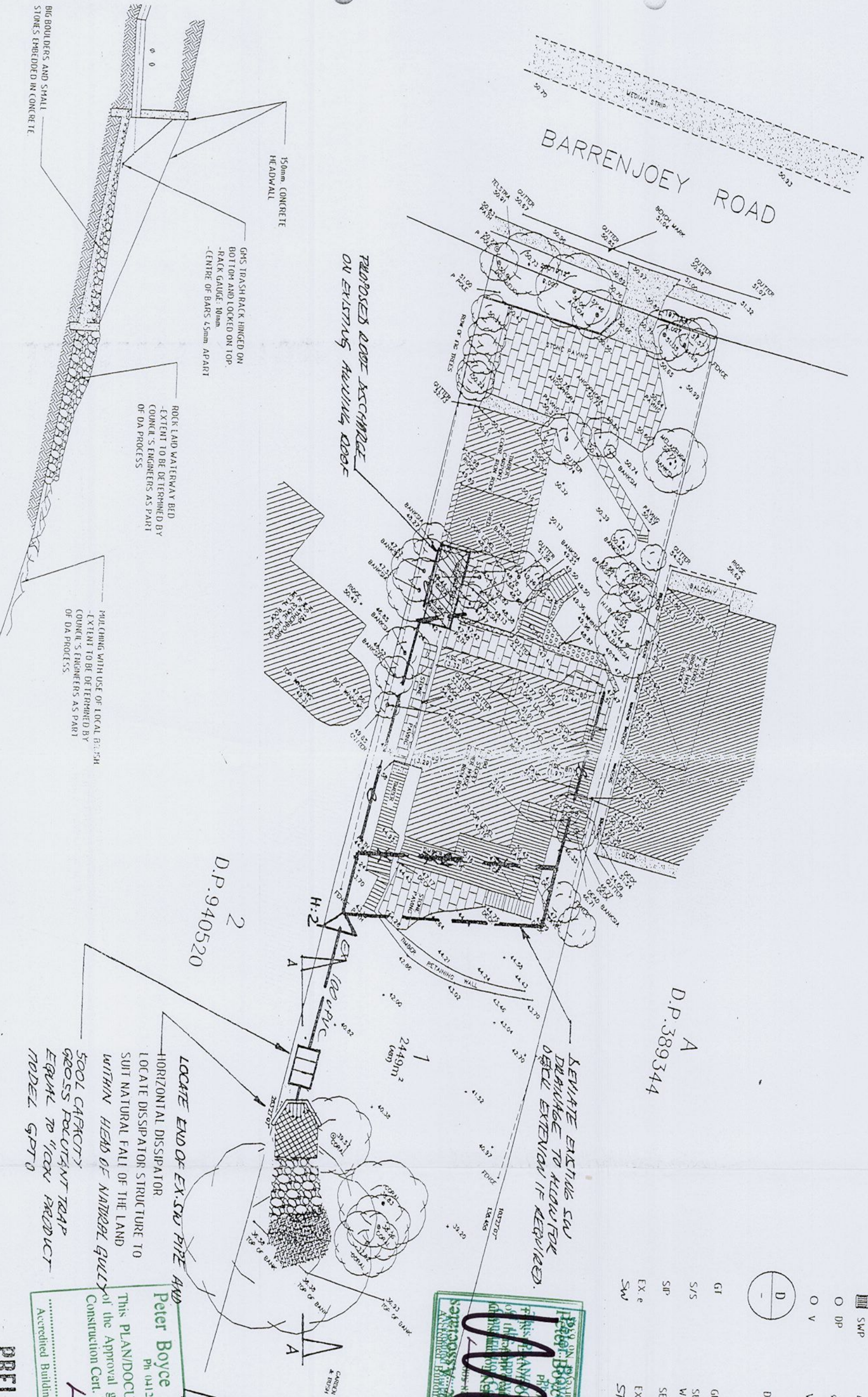
PRELIMINARY

d.e. hydraulics

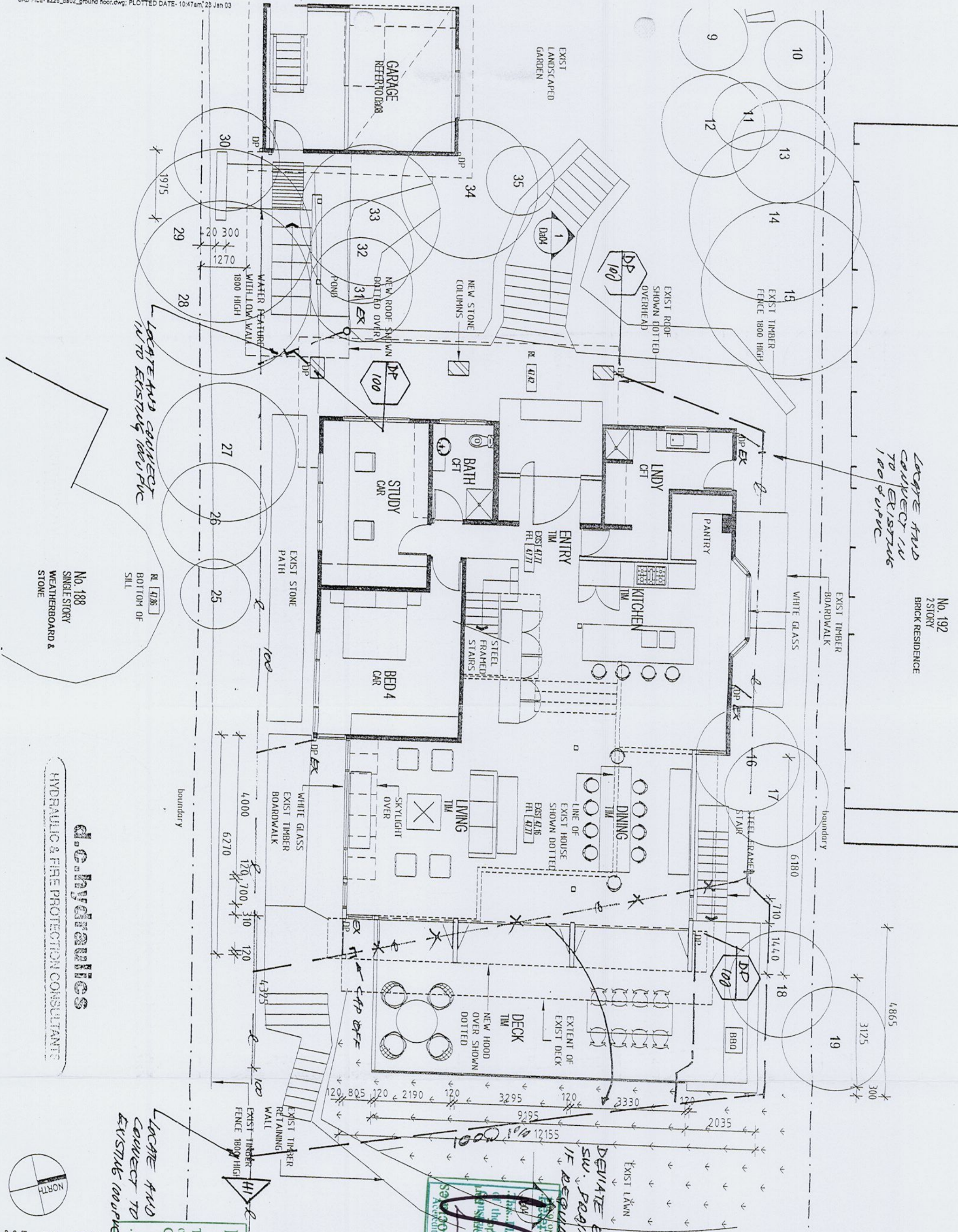
HYDRAULIC & FIRE PROTECTION CONSULTANTS

SITE PLAN
STORMWATER DRAINAGE
HSK-1
7557 A

HORIZONTAL DISSIPATOR
SECTION A-A
MIS



LOCATE END OF EX-SITU PIPE AND HORIZONTAL DISSIPATOR
LOCATE DISSIPATOR STRUCTURE TO SUIT NATURAL FALL OF THE LAND WITHIN HEAD OF NATURAL GULLY
500L CAPACITY GEOSOL POLYANT TRAP EQUAL TO 1/4" GPM PRODUCT MODEL GPT0



LOCATE AND
CONNECT IN
TO EXISTING
100' UPVC

No. 192
2 STORY
BRICK RESIDENCE

LOCATE AND
CONNECT
IN TO EXISTING
100' UPVC

No. 188
SINGLE STORY
WEATHERBOARD &
STONE

d.o hydraulics

HYDRAULIC & FIRE PROTECTION CONSULTANTS



DO NOT SCALE OFF THIS DRAWING. Use hard dimensions only. Verify all dimensions on site. Any discrepancies shall be brought to the attention of the Architect. This drawing is copyright and may not be used without written consent.
ACN 002 928 625

GORDON VALICH
ARCHITECTS
105 RESERVOIR STREET
Peterborough & Associates
PH 9 212 PH 6 42 28 PH 12 3 053
G.V. PETERBOROUGH FORMS PART
OF THE ADDRESS STRATEGY 5 5 2
CATERING AND DRINKS NO. 6395
190 BARRACKS RD
NEWPORT
DRAWING NO. 1
DATE 11/01/03
SCALE 1:100
DRAWING NO. HSK 2

PRELIMINARY

Accredited Building Surveyor
Peterborough & Associates
Ph 0423 238 500
Fax 0423 238 500
Email: info@pba.com.au
Website: www.pba.com.au
Accredited Building Surveyor
Peterborough & Associates
Ph 0423 238 500
Fax 0423 238 500
Email: info@pba.com.au
Website: www.pba.com.au

DEVIATE EX.
SW. DRAINAGE
IF REQUIRED

LOCATE AND
CONNECT TO
EXISTING 100' UPVC

Partial Construction Certificate

Cert No.BP6352

Peter J. Boyce & Associates

Planning NSW Bldg Surveyor No **6395**

P.O. Box 375, Strathfield 2135

Mob.Ph 0412 928 500

Ph 9868 2855/ Fax 9868 2655

Issued:

- 8 NOV 2006

To **I.W. Hogg**
c/- Gordon & Valich Architects
105 Reservoir Street
SURRY HILLS NSW 2010

Subject land

Lot 1 DP 940521 H/N 190 Barrenjoey Road Newport

Description of Development

Alterations and additions to the existing dwelling.

Partial – Carport only.

Development Consent

Development consent number: D/A NO398/03

Date of Determination: 23rd December 2003

Building Code of Australia

Building classification

Class 10a

Determination

Pursuant to Section 109C (1) (b), 81A (2) and 81A (4) Of the Environmental Planning & Assessment Act, 1979 the construction certificate has been determined by approval in accordance with the stamped plans and specifications.

Peter Boyce BSAP Acc No 6395 ----- Ph 0412 928 500

Plans and supporting documents

List Plans :

Arch Plans: Gordon & Valich Architects

Date of determination:

- 8 NOV 2006

Note:

Prior to commencement of work, Section 81A (2) (b) and/or 81A (4) (b) and (c) Of the Environmental Planning & Assessment Act, 1979 must be satisfied (see form 7 of the Regulation) i.e. name of the Principal Certifying Authority.

Certifying Authority

Peter Boyce

Planning NSW Acc Blding Surveyor No **6395**

P.O. Box 375. Strathfield 2135

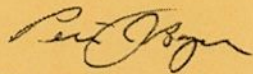
Mob. Ph 0412 928 500

Ph 9868 2855

Certificate

I certify that the work if completed in accordance with the documents, plans and specifications accompanying the application will comply with the requirements of this regulation as are referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979

Accredited Certifier



Peter Boyce

Planning NSW Accreditation No 6395



National Australia Bank Limited

North Sydney NSW
Cnr Miller & Mount Sts

Pay Pittwater Council
the sum of Four hundred and sixteen
dollars + 70 cents

Date 16 / 2 / 04

\$ 416.70

IDENT FORM

0736

TAILS USING CAPITALS

IAN W HOGG

200575 082 401 03985 3406

Town / Suburb

SURRY HILLS

State

NSW

Postcode

2010

Business Hours Phone No.

Part B - ADDRESS OF BUILDING / CONSTRUCTION WORK

No. and Street

190 BARKENJURY ROAD

Town / Suburb

NEWPORT

State

NSW

Postcode

2204

Estimated Start Date

1 / 1 / 04

Estimated Finish Date

1 / 1 / 04

Part C - DETAILS OF WORK - To be completed by consenting authority with whom plans lodged for approval

Local Council Area

PITTWATER

B.A./D.A./C.C./C.D.C. No.
(circle which)

398 / 03

Estimated value of work

\$ 208,377.00

Levy Payable

\$ 416.00

Signature of Officer

[Signature]

Name of Officer

Allen Bayle

Date

1 / 1

Name of Private Certifier

Allen Bayle AL-6395

Business Hours Phone No.

0412928500

Part D - DETAILS - To be completed by Dept. / authority when plans not lodged with consenting authority

Dept. / Authority

[Blank]

Contract No.

[Blank]

Contract Amount

\$ [Blank]

Levy Payable

\$ [Blank]

Contact Person (Print)

[Blank]

Contact Phone Number

[Blank]

Signature

[Blank]

Date

1 / 1

Part E - DECLARATION - (To be signed by person liable to pay levy - or authorised officer if Company)

I declare that the information provided on this form
is true and correct to the best of my knowledge

Signature

Jordan Valish

Date

17 / 5 / 04

Note: Any false or misleading information provided on this
form may result in prosecution under Section 58A

Print name

Architects

Part F - TO BE COMPLETED BY LONG SERVICE PAYMENTS CORPORATION

Cheque forwarded to LSC Corporation
by Allen Bayle P.C.A. 18/5/04



0180736

GORDON — VALICH
ARCHITECTS

03 May 2004

Principal Certifying Authority
Peter J Boyce and Associates
PO Box 375
STRATHFIELD NSW 2135

Attention: Mr. Peter Boyce

Dear Sir:

RE: Construction Certificate 190 Barrenjoey Rd NEWPORT
Subject: PITTWATER COUNCIL – N0398/03

Pursuant to the provisions of Clause A2.2 of the Building Code of Australia, I hereby certify that the above design is in accordance with normal building practice and meets the requirements of the Building Code of Australia, the Environmental Planning and Assessment Regulation, relevant Australian Standards and the Development Application as modified by the relevant conditions of Development Consent.

I am an appropriately qualified and competent person in this area being listed in the Board of Architects of New South Wales and as such can certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings. These drawings are substantially in accordance with the approved DA application endorsed on 23rd December 2003.

C04 Residence - Ground Floor Plan

C12 Residence – North Elevation

Gordon + Valich possess Indemnity Insurance to the satisfaction of the building owner or my principal.

Full Name of Designer:	Furio Valich
Qualifications:	Registered Architect No. 3317
Address of Designer:	105 Reservoir Street SURRY HILLS NSW
Contact Details:	Tel: 9212 1599 Fax: 9212 3053
Name of Employer:	Gordon + Valich
Signature:	

Sincerely,



Furio Valich
Principal

encls.

cc. Mr Ian Hogg



Insurance services

YOUR INSURANCE PARTNER



Certificate of Insurance

Ian Hogg C/- Gordon & Valrich Architects
105 Reservoir Street
SURRY HILLS NEW SOUTH WALES 2010

**Form 1
Section 92
Home Building Act 1989**

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: October 13, 2006

Declared Building Contract Value: \$40,000.00

(Refer policy for indemnity limit)

Carried Out By: Fathers Constructions Pty Ltd
ABN: 66004015561
Licence No: 6587C

For: Ian Hogg C/- Gordon & Valrich Architects

In Respect Of: Alterations and Additions

At: House No. 190
Barrenjoey Road
NEWPORT NEW SOUTH WALES 2106

Permit Authority: Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording, if you have not received a copy of the policy wording please contact the Insurer Vero Warranty a division of Vero Insurance Limited.

Owner's Copy

Issue Date: 20/10/2006
Certificate No: RCW72512534

CLAIMS ENQUIRY LINE

1800 554 255

Locked Bag 9000
Chatswood NSW 2067

N HY991JTJTA58

Printed 20/10/2006

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

Vero Warranty is a division of Vero Insurance Limited ABN 48 005 297 807
V6480 07/06

GORDON — VALICH
ARCHITECTS

3rd May 2004

Attention Peter Boyce
Peter J Boyce & Associates
PO Box 375
STRATHFIELD
NSW 2135

Dear Peter,

Re: Construction Certificate for
190 Barrenjoey Rd. NEWPORT
CC

Councils policy DCP E3 'driveways and internal Roadways' does not apply to 190 Barrenjoey Road due to the fact that the footway crossing exists and no changes will be made, hence no details are required to be submitted

We enclose digital photographs to confirm existence of crossing and conditions of crossing.

Full Name of Designer:	Furio Valich
Qualifications:	Registered Architect No. 3317
Address of Designer:	105 Reservoir Street SURRY HILLS NSW
Contact Details:	Tel: 9212 1599 Fax: 9212 3053
Name of Employer:	Gordon + Valich
Signature:	

Yours sincerely



Peter Bottero

Reference: cc0225-CC statement streetlevels.doc

105-111 Reservoir Street Surry Hills NSW 2010
Telephone: (61-2) 9212 1599 Facsimile: (61-2) 9212 3053
E-mail: info@gordonvalich.com.au Website: www.gordonvalich.com.au
Gordon and Valich Pty Ltd. ACN 002 958 625 ABN 71 002 958 625

GORDON — VALICH
ARCHITECTS

The accompanying photographs of the road reserve and footpath in front of the property 190 Barrenjoey Rd Newport are a true and accurate representation as they stand on Thursday 22nd of April 2004.

Peter Bottero



Reference: State of footpath.doc

105-111 Reservoir Street Surry Hills NSW 2010
Telephone: (61-2) 9212 1599 Facsimile: (61-2) 9212 3053
E-mail: info@gordonvalich.com.au Website: www.gordonvalich.com.au
Gordon and Valich Pty Ltd. ACN 002 958 625 ABN 71 002 958 625



GORDON — VALICH
ARCHITECTS

31st May 2004

Attention Peter Boyce
Peter J. Boyce & Associates
PO Box 375
STRATHFIELD
NSW 2135

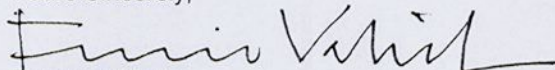
Dear Peter,

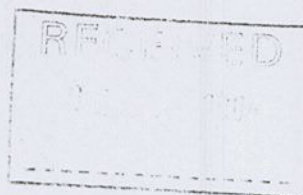
**Re: Amendments to Construction Certificate
DA Condition E35
Alterations and additions to
190 Barrenjoey Rd. Newport**

The attached site plans show the location and species of the new trees according to DA Condition E35.

If there are any problems please contact Furio or myself.

Yours Sincerely,

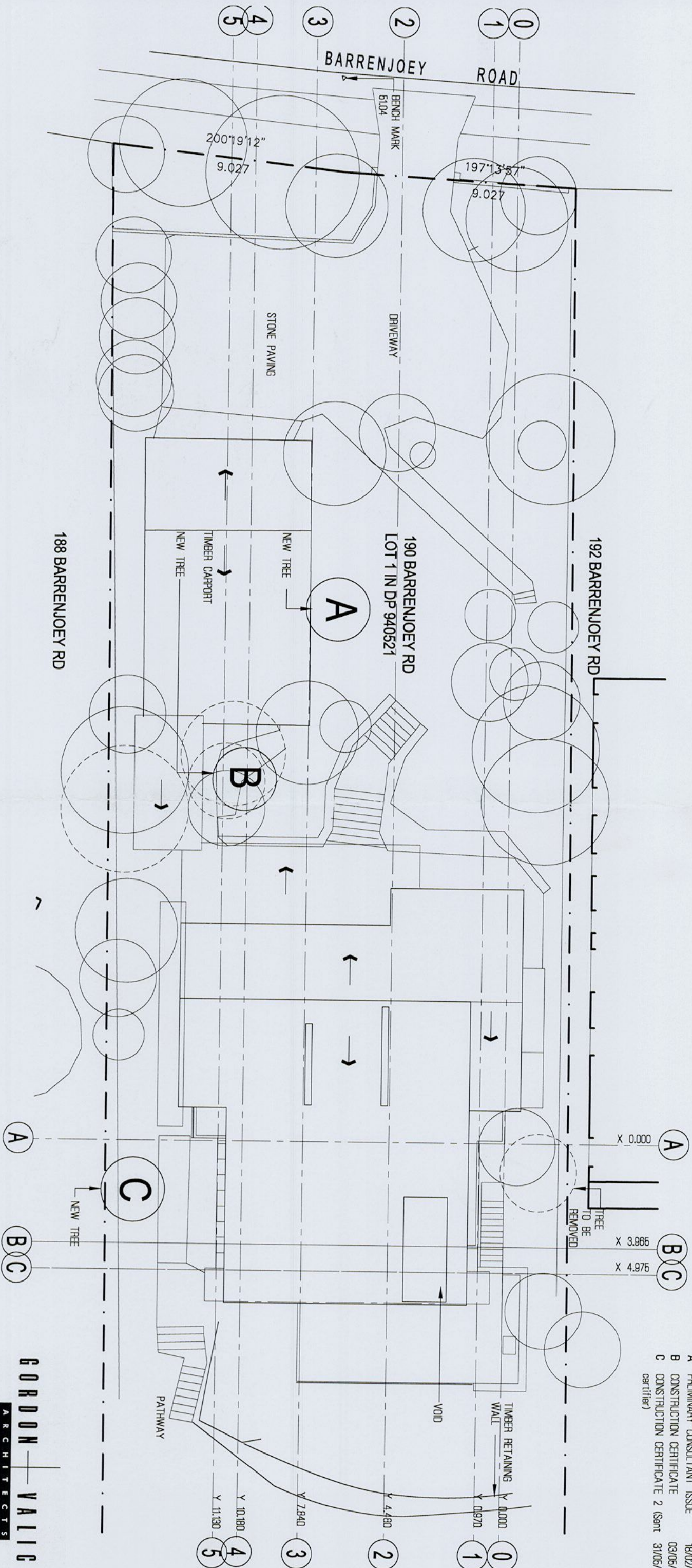

Rebecca Martin
Gordon + Valich Architects



Reference: Professional Letter.doc

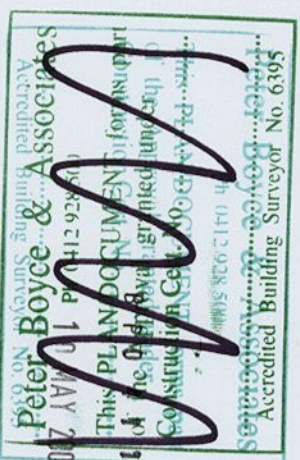
105-111 Reservoir Street Surry Hills NSW 2010
Telephone: (61-2) 9212 1599 Facsimile: (61-2) 9212 3053
E-mail: info@gordonvalich.com.au Website: www.gordonvalich.com.au
Gordon and Valich Pty Ltd. ACN 002 958 625 ABN 71 002 958 625

AMENDMENT NOTES		DATE
A	PRELIMINARY CONSULTANT ISSUE	18/02/04
B	CONSTRUCTION CERTIFICATE	03/05/04
C	CONSTRUCTION CERTIFICATE 2 (Sent certifier)	31/05/04



SITE PLAN

NOTE:
Trees A,B,C to be
new trees
Species: BANKSIA



GORDON VALICH
ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9212 1699 FX 9212 3063

JOB NAME AND ADDRESS

ALTERATIONS AND ADDITIONS TO

190 BARRENJOEY RD.

NEWPORT Boyce & Associates

Ph (0)12 928 5100

This PLAN/DOCUMENT forms part

DRAWING TR approval granted under

Construction Cert. 8106...63552

SITE PLAN

Accredited Building Surveyor No. 6395

DRAWN	DATE	SCALE	REVISION NO.
RM	JAN 04	1:100	C
APPROVED	DATE	JOB NO.	DRAWING NO.
FV	31/05/04	0225CC02	

DO NOT SCALE OFF THIS DRAWING. Use figured dimensions only. Verify all dimensions on site. Any discrepancies should be brought to the attention of the Architect. This drawing is copyright and may not be used without written consent. AS/NZS 17:002 529 625

No. 192
2 STORY
BROCK RESIDENCE

- AMENDMENT NOTES
- A PRELIMINARY CONSULTANT ISSUE 18/02/04
 - B STRUCTURAL DRAWINGS 23/03/04
 - C CONSTRUCTION CERTIFICATE ISSUE 03/05/04
 - D FOR TENDER CARRYOUT 06/08/08
 - E LAYOUT AMENDED - FOR REVIEW 06/10/08

Peter Boyce & Associates
Ph (0412) 928 5100

This PLAN/DOCUMENT forms part
of the Approval granted under
Construction Cert. No. **8...3...5...2**

Associated Building Surveyor No. 6395

NOTE:
RS B&D ROLES/ALTER - PANEL 1
THREE/FACE: INCLUDING AUTOMATIC
OTHER

GORDON + VALICH
ARCHITECTS

106 RESERVOIR STREET
SURREY HILLS NSW 2010
PH 9212 1688 FX 9212 3083

JOB NAME AND ADDRESS
ALTERATIONS AND ADDITIONS TO
180 BARRAGUER RD.
NEWPORT

DRAWING TITLE

GROUND FLOOR PLAN

DRAWN	DATE	SCALE	REVISION NO.
MD	OCT/08	1:500	E
APPROVED	DATE	JOB NO.	DRAWING NO.
HY	OCT/08	0225	CC04

DO NOT SCALE OFF THIS DRAWING. THE SPACING OF DIMENSIONS IS TO THE
LINES OF THE DRAWING. THE DIMENSIONS ARE TO THE CENTRE OF THE
DIMENSION LINES UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE IN METRES.

GROUND FLOOR PLAN

No. 188
SINGLE STORY
WEATHERBOARD &
STONE



AMENDMENT NOTES	
A PRELIMINARY CONSULTANT ISSUE	18/02/04
B ROOF AMENDED	05/04/04
C CONSTRUCTION CERTIFICATE ISSUE	03/06/04
D FOR TENDER CAPPOT	08/09/08
E LAYOUT AMENDED	06/10/08

Peter Boyce & Associates
Ph. (412) 928-5000
This PLANDOCUMENT forms part
of the Approval granted under
Construction Cert. No. P-6-1-5-2.

NOTE:
RS
BAD ROLLERS/JITTER - PANEL FT
"TIMER/PANEL" INCLUDING AUTOMATIC
OPENER

GORDON—VALLICH
ARCHITECTS

106 RESERVOIR STREET
SUNRAY HILLS NSW 2010
PH 9212 1608 FX 9212 3063

**ALTERATIONS AND ADDITIONS TO
190 BARRENDYDE RD.
NEMPORT**

JB NAME AND ADDRESS

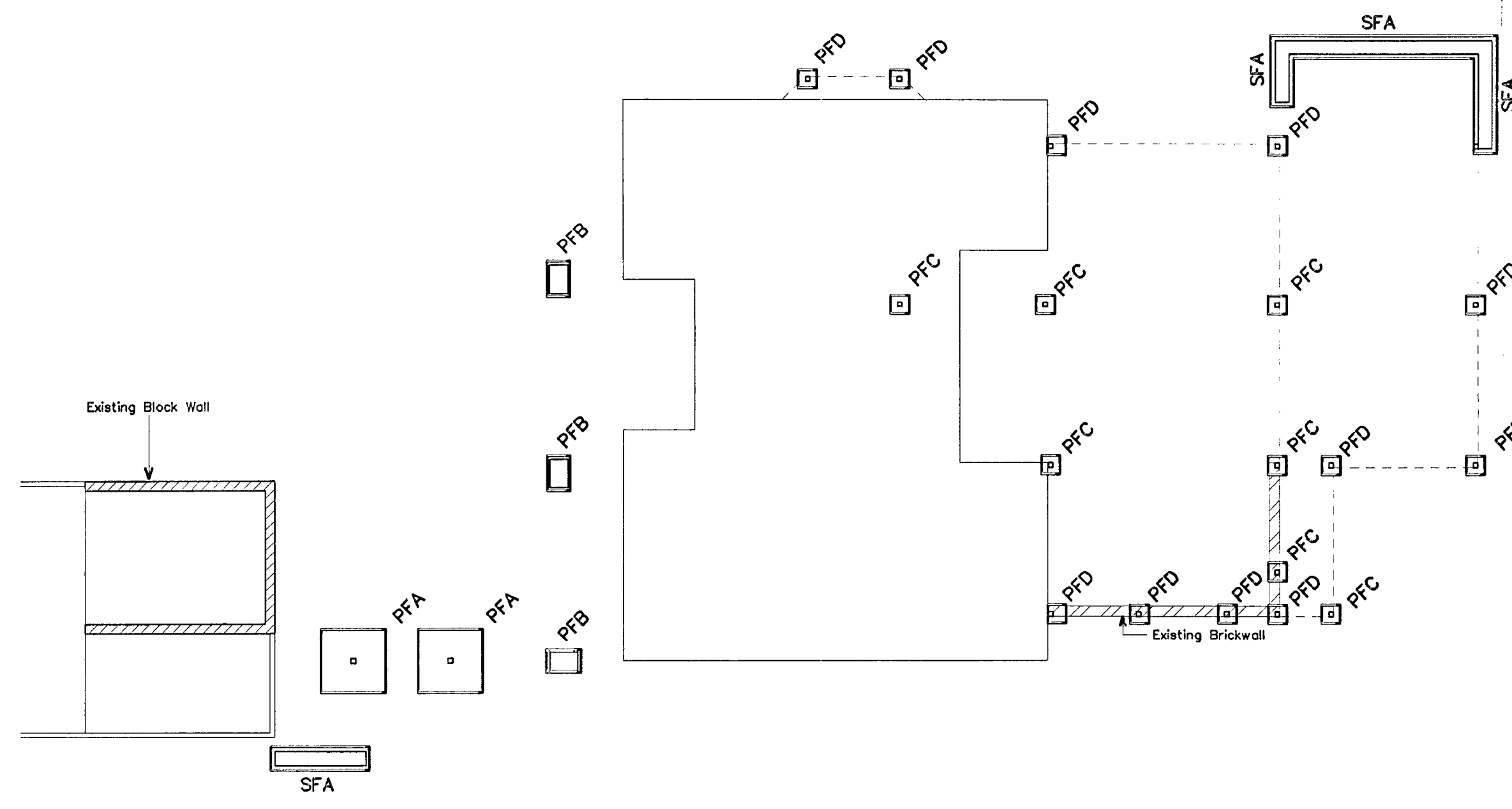
DRAWING TITLE

SECTION 2

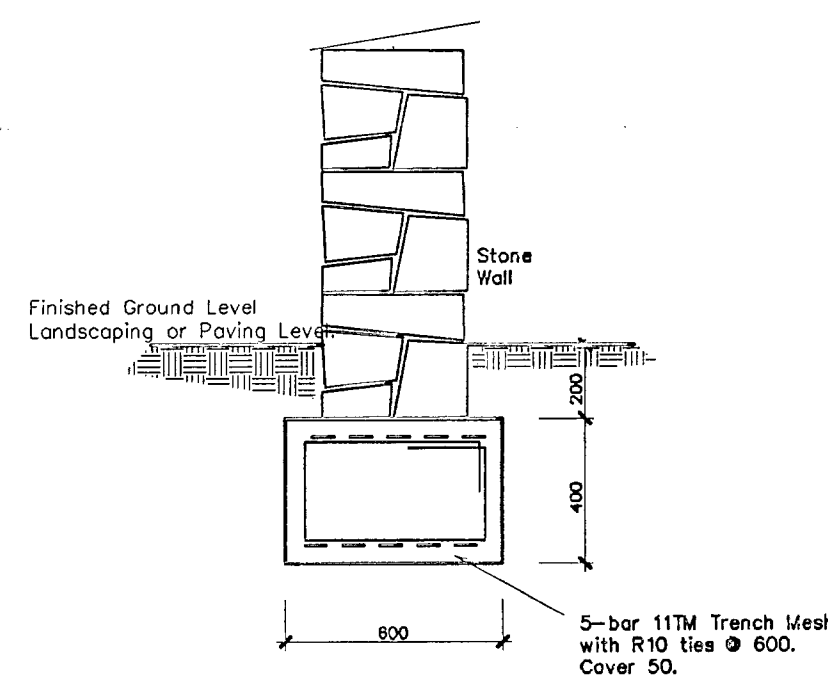
SECTION 2

HEIGHT UNIT

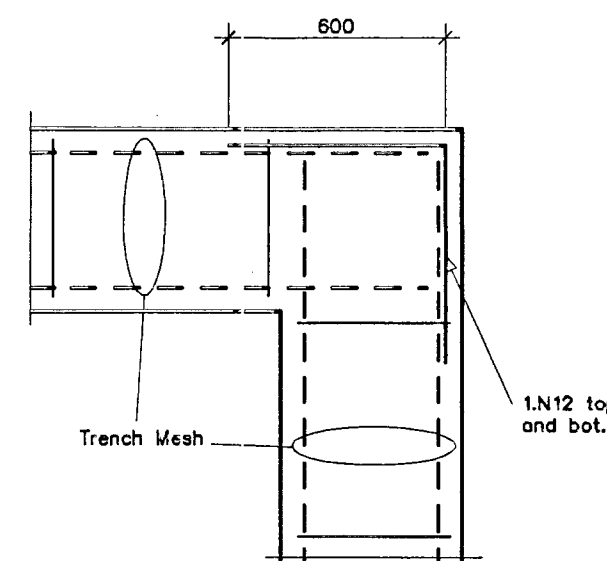
* PARTIAL CC (TRAPAGE ONLY) *



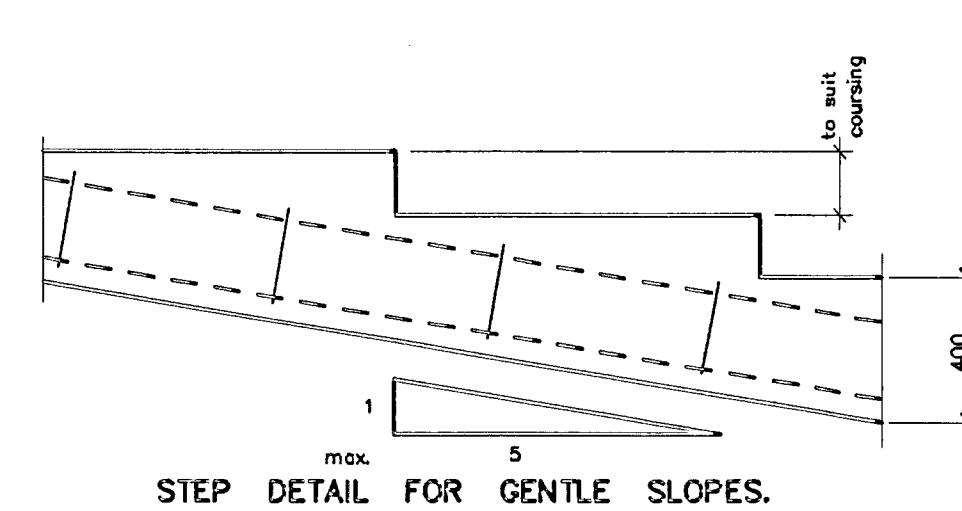
FOOTING PLAN



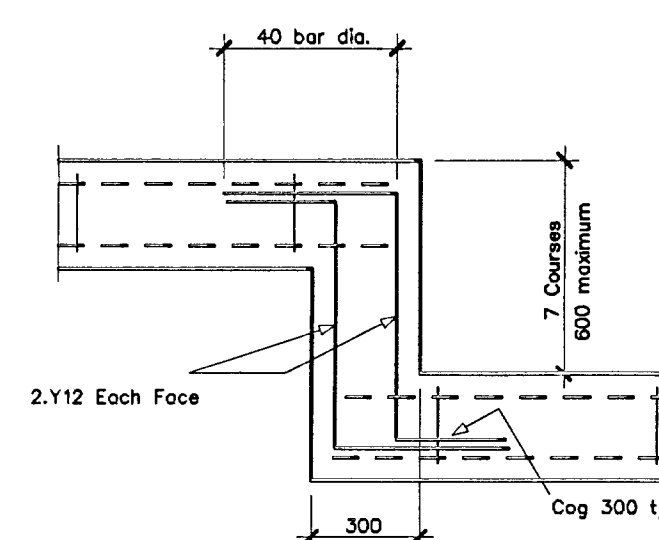
600 x 400 Deep STRIP FOOTING DETAIL-SFA
Scale 1:20



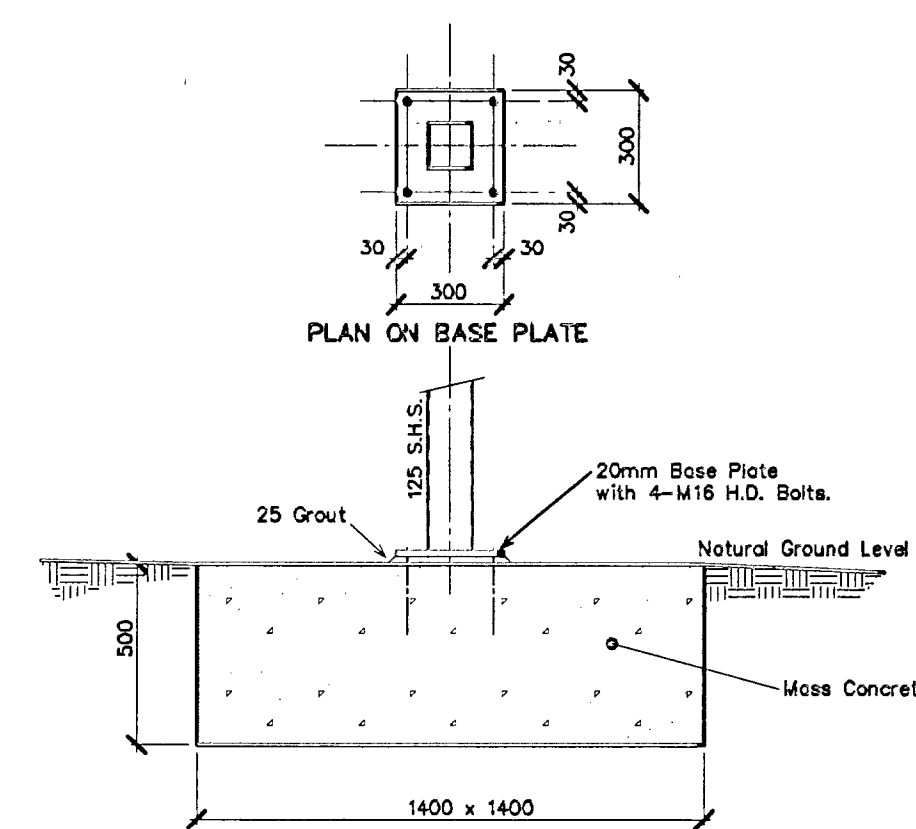
CORNER DETAIL



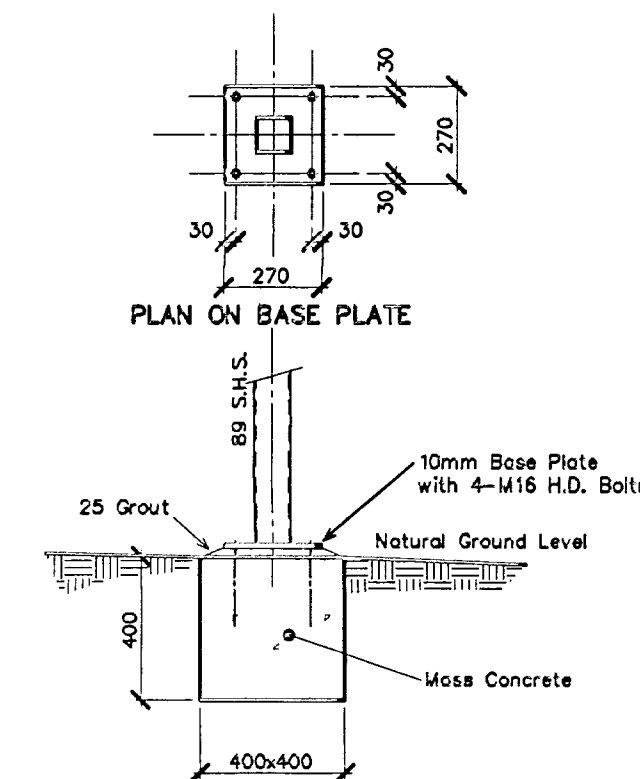
STEP DETAIL FOR GENTLE SLOPES.



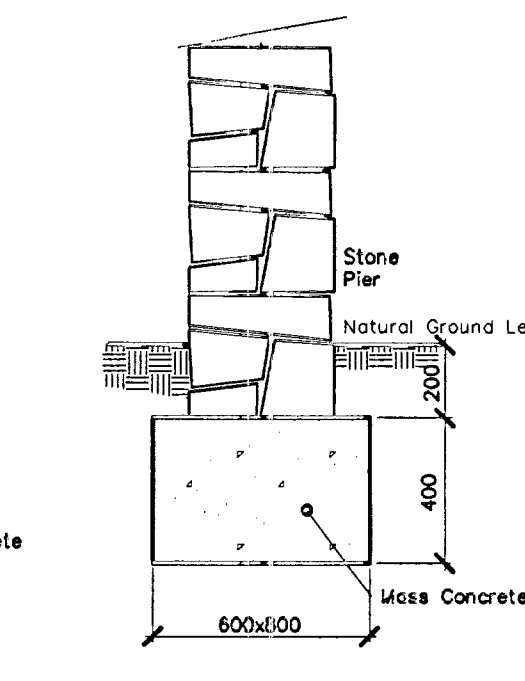
STEP DETAIL



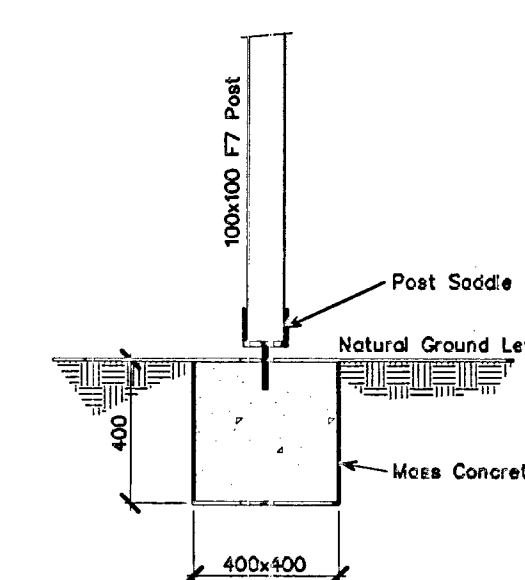
PAD FOOTING DETAIL - PFA



PAD FOOTING DETAIL - PFC



PAD FOOTING DETAIL - PFB



PAD FOOTING DETAIL - PFD

- CONCRETE NOTES.
- All concrete work to be in accordance with AS 3600.
 - F'c refer to table.
 - Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 800mm c/c to c/c spacing.
 - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class).
 - Reinforcement to be tied at every other intersection minimum.
 - Metal roofing being used as formwork (not Bondeck or similar). Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roof Rib.
 - Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996.

Element	Cover (mm)		F'c at 28 Days	
	Internal	External	Internal	External
Piers				
Footings	50		32	
Block Filling				
Slab on Ground				
- Top				
- Bottom				
Beams				
Columns				
Slabs	30	45	40	40
Walls				

The minimum clear cover is to reinforcement ties and stirrups.

- STEELWORK NOTES
- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Chip all welds free of slag.
 - All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
 - Unless otherwise noted use
 - 6mm continuous fillet weld
 - 10mm thick gusset, fin and end plates, weld all round.
 - 16mm dia. 4.6/s bolts
 - Minimum end bearing 150mm.

- TIMBER NOTES :
- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 1684.2, AS 1720.1 & the specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of gum veins, pockets, knots holes or splits within 255mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.
 - All F7 timber shown are nominal sizes only.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100

Jack D. Hodgson

Name Date Signature

No. Amendment Draw Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

FOOTING PLAN AND DETAILS Peter Boyce & Associates

PROPOSED ALTERATIONS AND ADDITIONS LAND/DOCUMENT forms part

190 BARRENJOE ROAD in the Approval grant No. 190/04

NEWPORT Construction Cert. No. 190/04

IAN HOGG Accredited Building Surveyor No. 6395

Our drawings are based on the information provided by: (Architects name or similar, Owners sketches etc.)

Drawing No: Date: Amendment: Date:

The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.

Consulting Civil, Geotechnical, and Structural Engineers.

11 Rungun Street, JONAS VALE, P.O. Box 388, Post Code 2103.

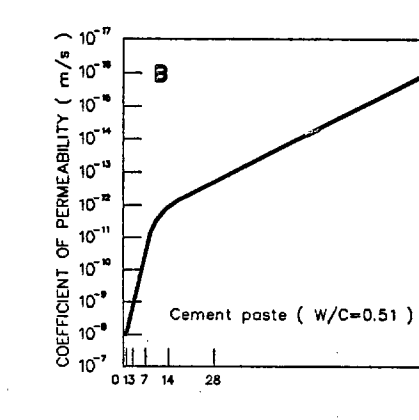
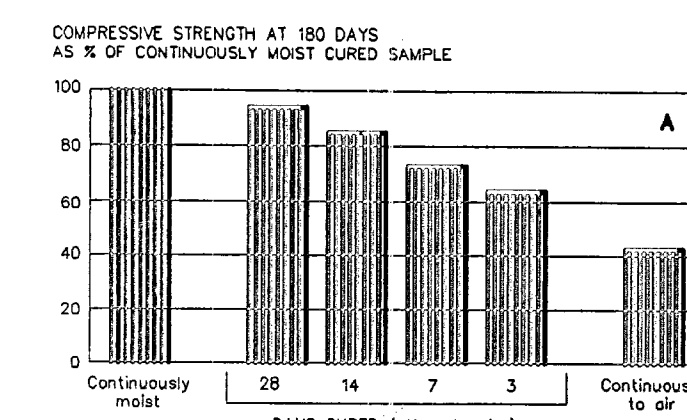
Telephone (02) 9979 6733, Facsimile (02) 9979 6226, A.C.N. 053 405 011.

Designed JDH Drawn SG Job No. Drawing No.

Checked JDH Scale 1:100,20, una.

Date 23 MARCH 2004 20628-1

IMPORTANCE OF CURING CONCRETE

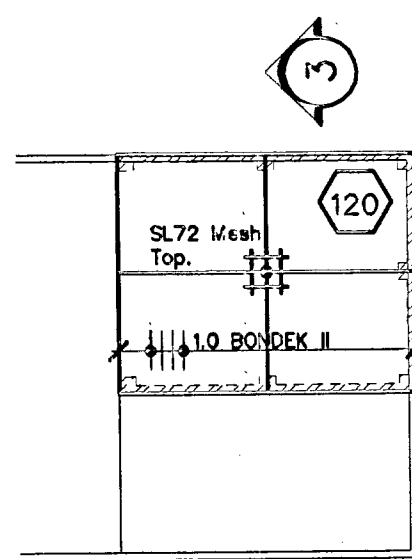
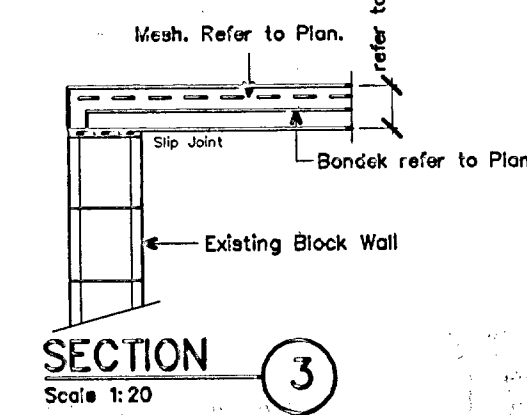


Effect of curing duration on: (A) compressive strength and (B) concrete permeability

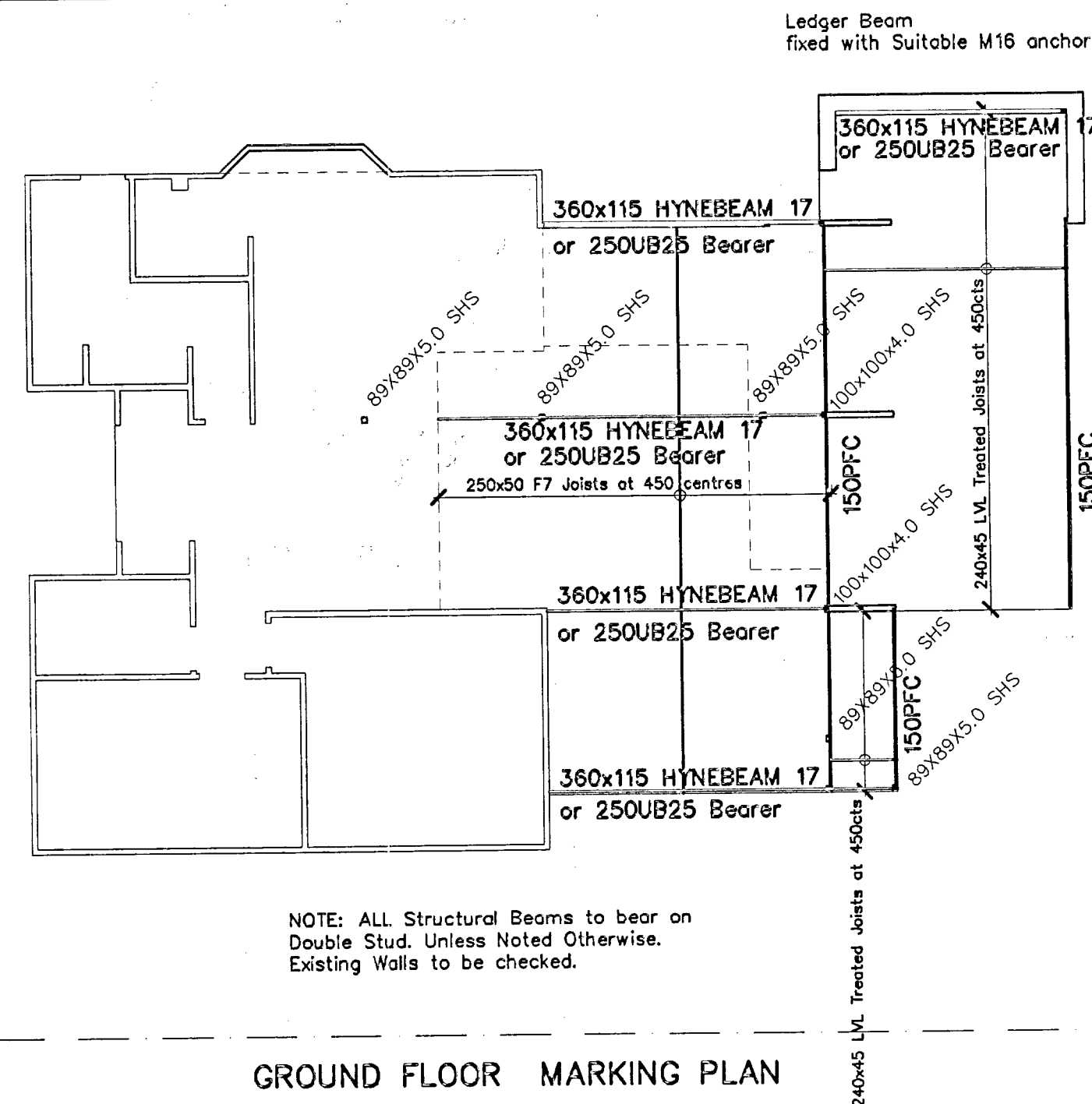
Acknowledgement: Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1996)

SCANNED
13 NOV 2006
PITTSWATER

* PARTIAL CC GARAGE ONLY *

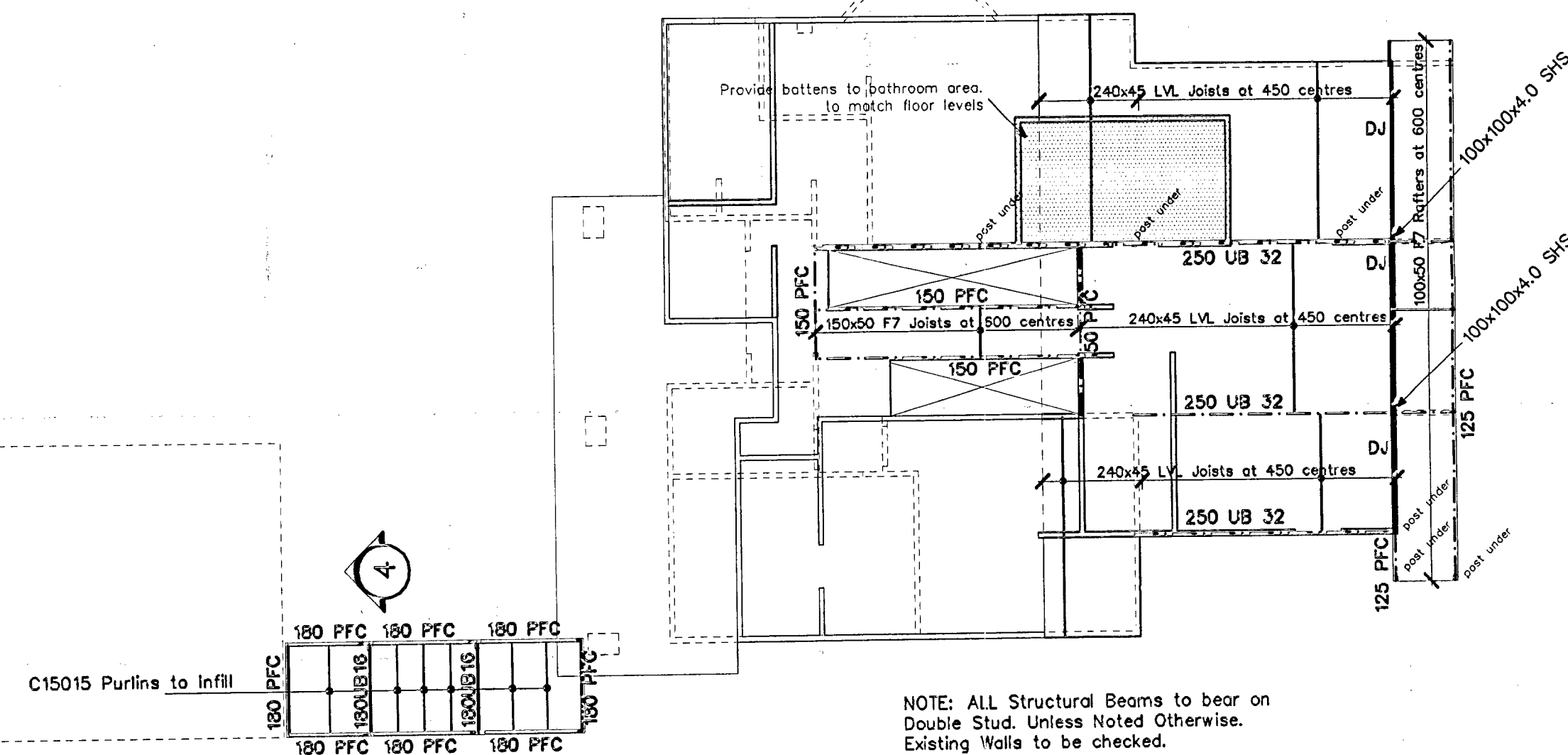


260 Indicates Slab Thickness
GARAGE SLAB PLAN



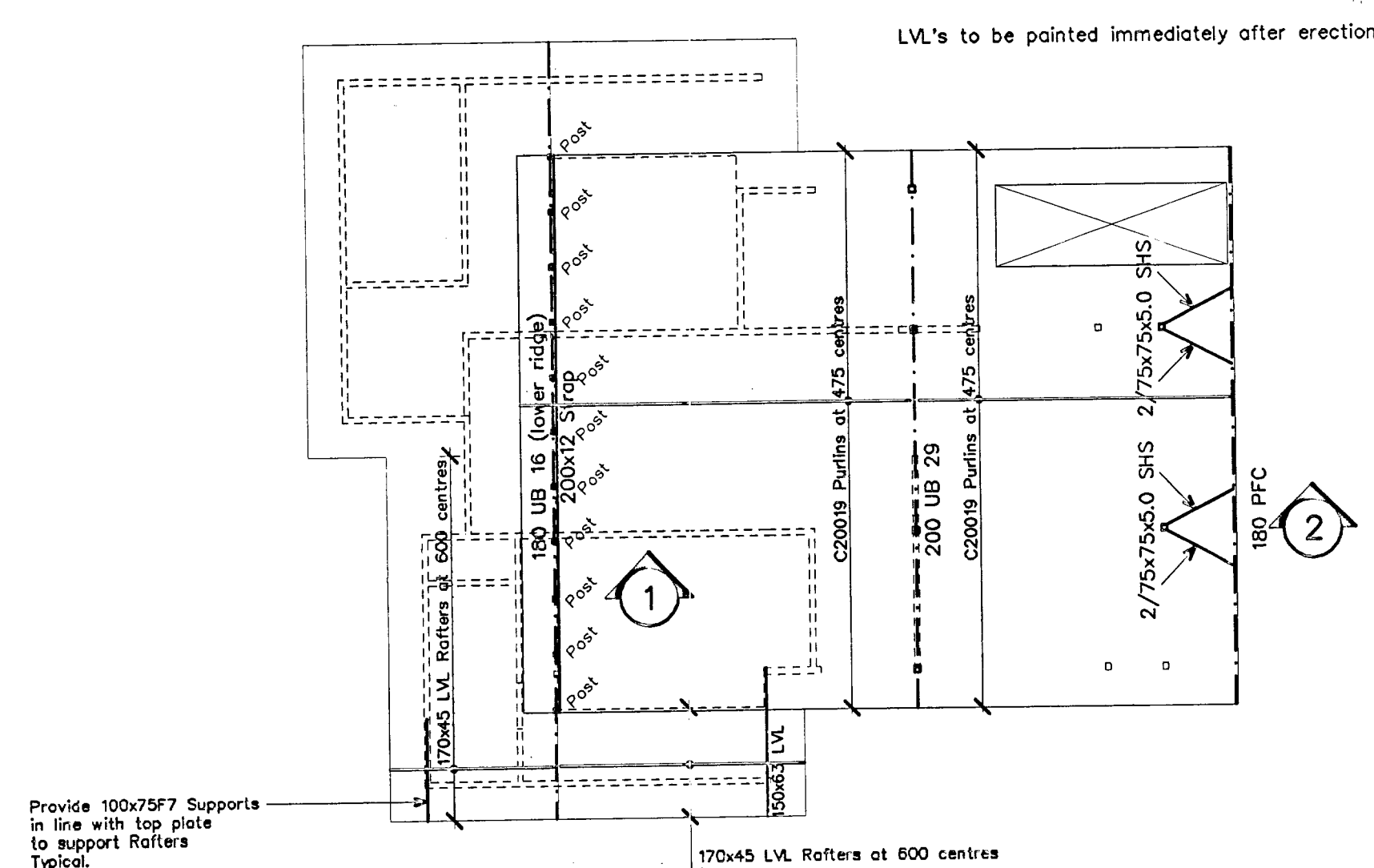
NOTE: ALL Structural Beams to bear on Double Stud. Unless Noted Otherwise. Existing Walls to be checked.

GROUND FLOOR MARKING PLAN



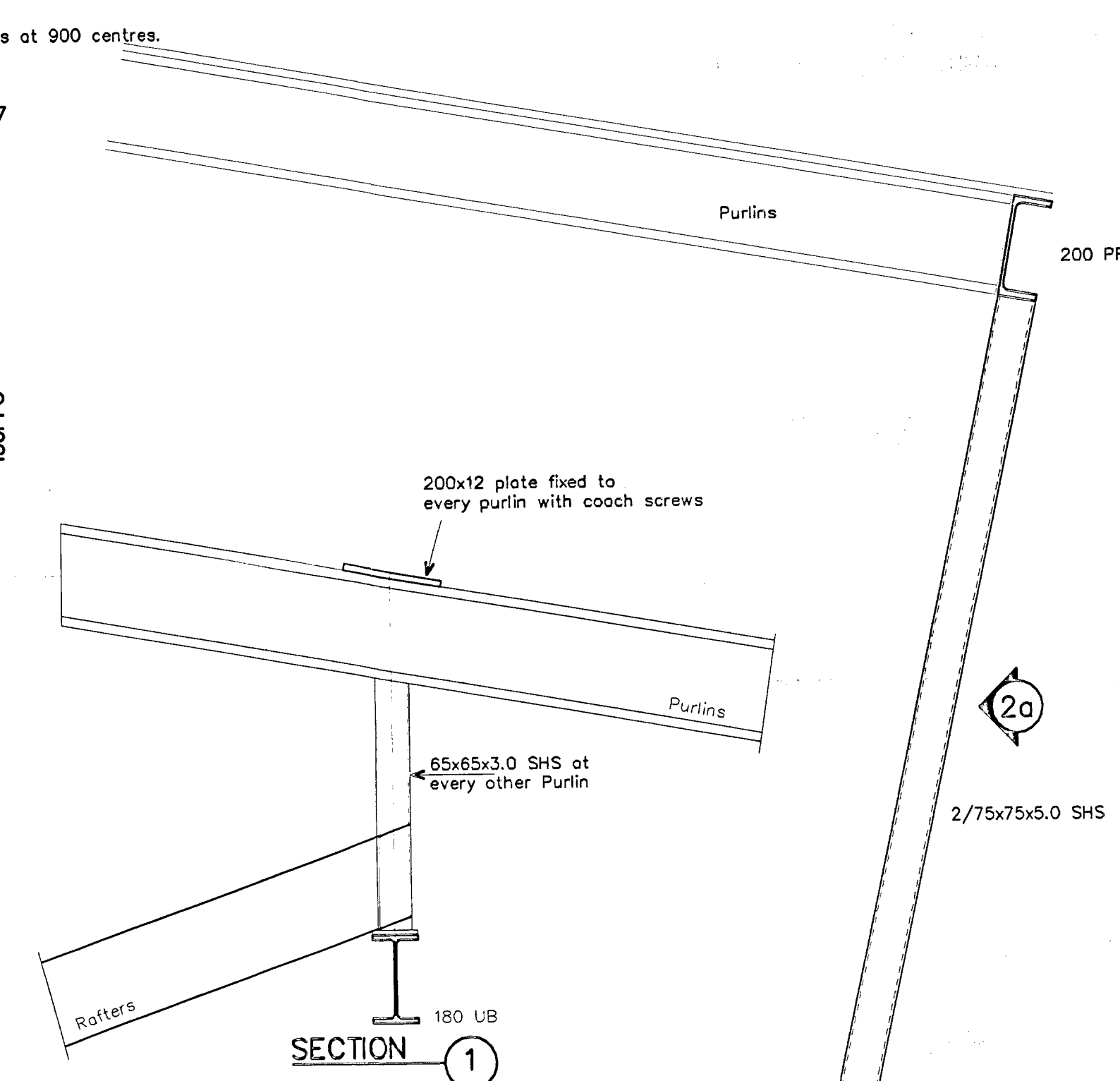
NOTE: ALL Structural Beams to bear on Double Stud. Unless Noted Otherwise. Existing Walls to be checked.

FIRST FLOOR MARKING PLAN

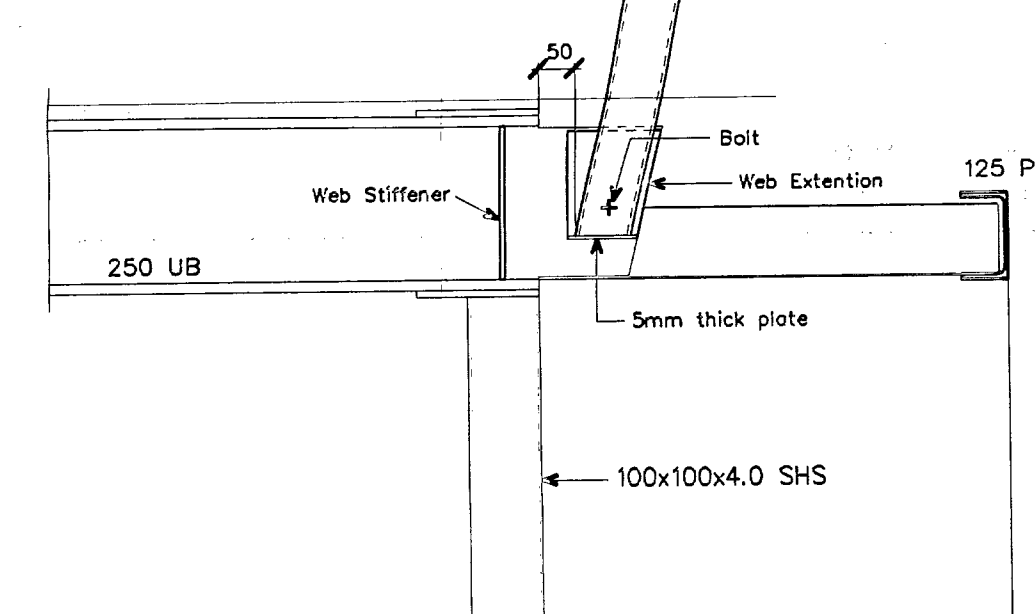


Provide 100x75x7 Supports in line with top plate to support Rafter Typical.

ROOF MARKING PLAN

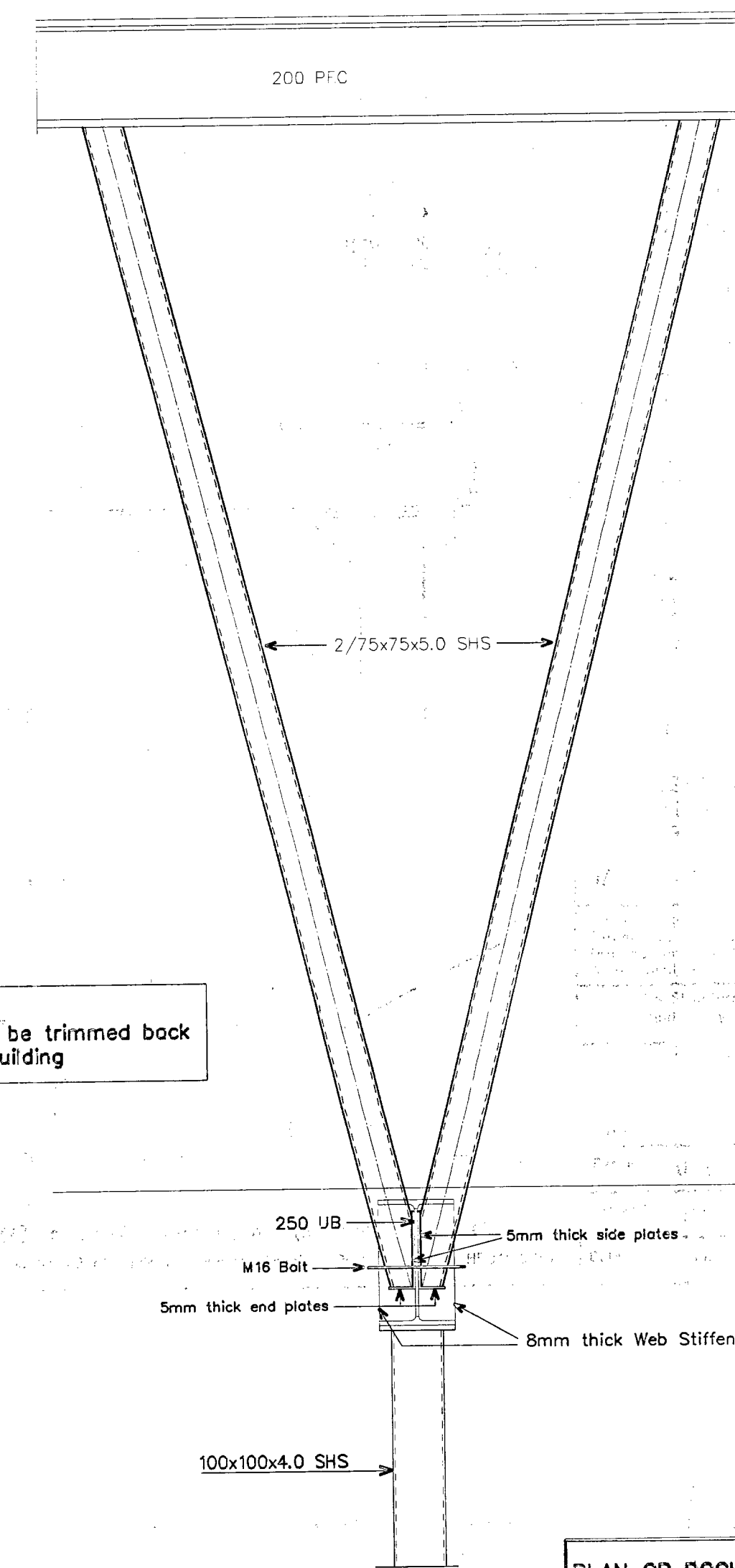


SECTION 1

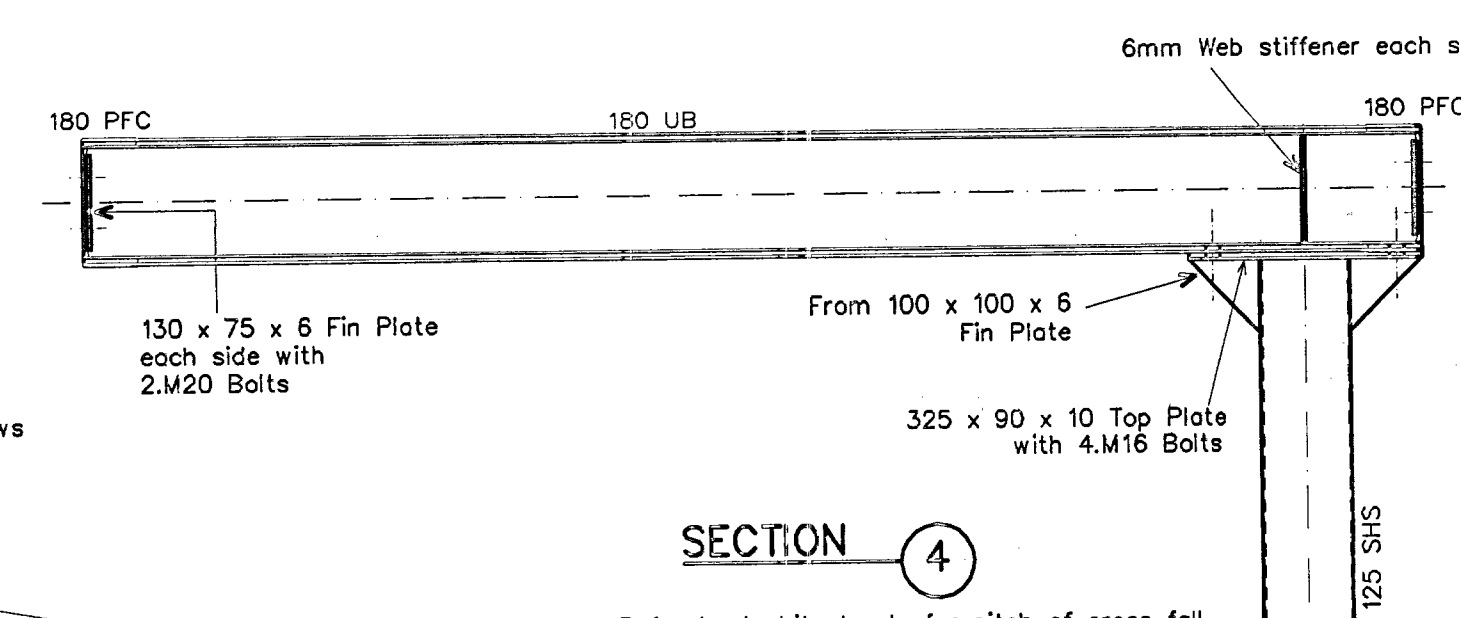


SECTION 2

Note: Flanges of 250UB to be trimmed back to the face of the building



VIEW ON 20

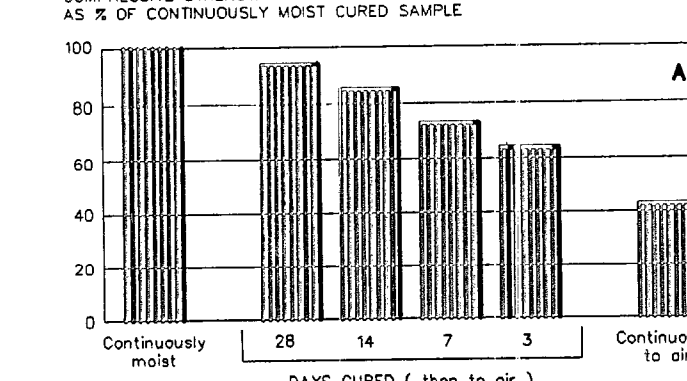


SECTION 4

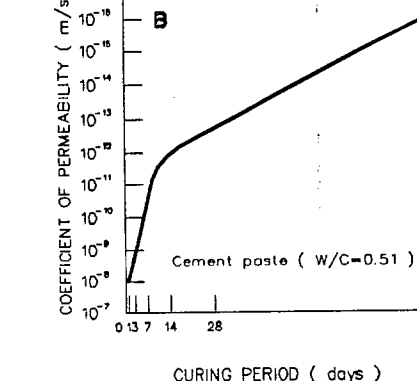
Refer to Architectural for pitch of cross fall

IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 180 DAYS AS % OF CONTINUOUSLY CURED SAMPLE



COEFFICIENT OF PERMEABILITY (m/s) AS % OF CONTINUOUSLY CURED SAMPLE



Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/NBS4:1998)

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.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....

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Jack D. Hodgson
Name Date Signature

No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

GROUND, FIRST & ROOF MARKING PLANS & DETAILS

PROPOSED ALTERATIONS AND ADDITIONS

180 BARRENJOEY ROAD

NEWPORT

IAN HOGG

Our drawings are based on the information provided by:-
(Architects name or similar, Owners sketches etc.)
Drawing No:- Date:-
Amendment:- Date:-

The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED

Consulting Civil, Geotechnical, and Structural Engineers.

11 Bungan Street, MONA VALE, P.O. Box 389, Post Code 2103.

Telephone (02) 9979 6733. Facsimile (02) 9979 6928. A.C.N. 063 465 000

Registered Professional Engineer No. 10 MAY 2004

Designed JDH Drawn SG Job No. Drawing No.

Checked JDH Scale 1:100, 20. una.

Date 23 MARCH 2004

20628-2

Pittwater Council

OFFICIAL RECEIPT

9/11/2006 Receipt No 204602

To IAN W HOGG

PETER J BOYCE & ASSOC
PO BOX 375
STRATHFIELD 2135

Applic Reference	Amount
GL Re PRVC-Priv	\$30.00
1 X 190 BARRENJOEY ROAD,	

Total:	\$30.00
--------	---------

Amounts Tendered	
Cash	\$0.00
Cheque	\$30.00
Db/Cr Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 9/11/2006 11:21:30

Cashier KWay