

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

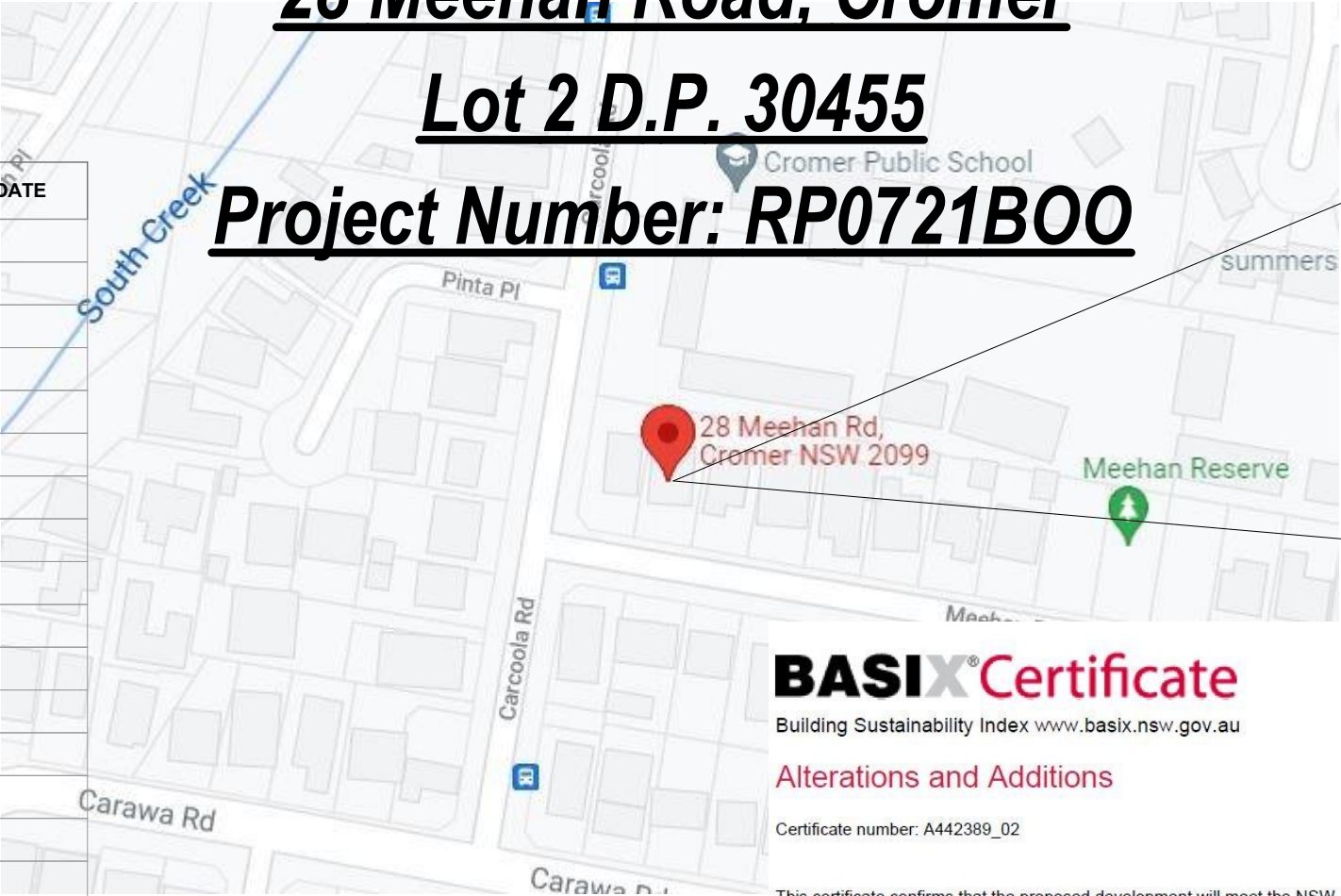
For Nathan Booker and Bree Hulme

28 Meehan Road, Cromer

Lot 2 D.P. 30455

Project Number: RP0721B00

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	1/12/21
DA1001	A4 NOTIFICATION PLAN	-	1/12/21
DA1002	SITE SURVEY	-	1/12/21
DA1003	SITE PLAN	-	1/12/21
DA1004	Existing Ground Floor Plan	-	1/12/21
DA1005	Existing Roof Plan	-	1/12/21
DA1006	Demolition Ground Floor Plan	-	1/12/21
DA1007	Excavation & Fill Plan	-	1/12/21
DA1008	Landscape Open Space Plan Existing	-	1/12/21
DA1009	Landscape Open Space Plan Proposed	-	1/12/21
DA1010	Landscape Plan	-	1/12/21
DA1011	Sediment & Erosion Plan	-	1/12/21
DA1012	Waste Management Plan	-	1/12/21
DA1013	Stormwater Plan	-	1/12/21
DA2001	GROUND FLOOR	-	1/12/21
DA2002	ROOF	-	1/12/21
DA3000	SECTION 1	-	1/12/21
DA3001	SECTION CABANA	-	1/12/21
DA4000	ELEVATIONS 1	-	1/12/21
DA4001	ELEVATIONS 2	-	1/12/21
DA5000	PERSPECTIVE	-	1/12/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	1/12/21
DA5002	SHADOW PLAN 21st June 9am	-	1/12/21
DA5003	SHADOW PLAN 21st June 12pm	-	1/12/21
DA5004	SHADOW PLAN 21st June 3pm	-	1/12/21
DA5005	WALL ELEVATION SHADOWS	-	1/12/21



BASIX Certificate

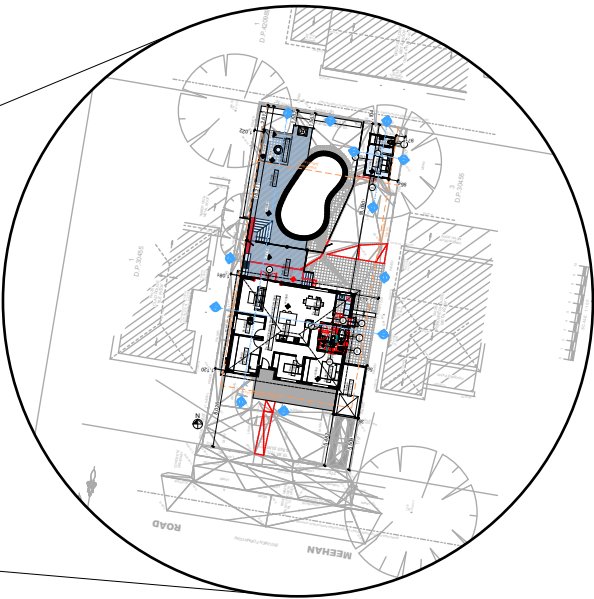
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A442389_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 06, April 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



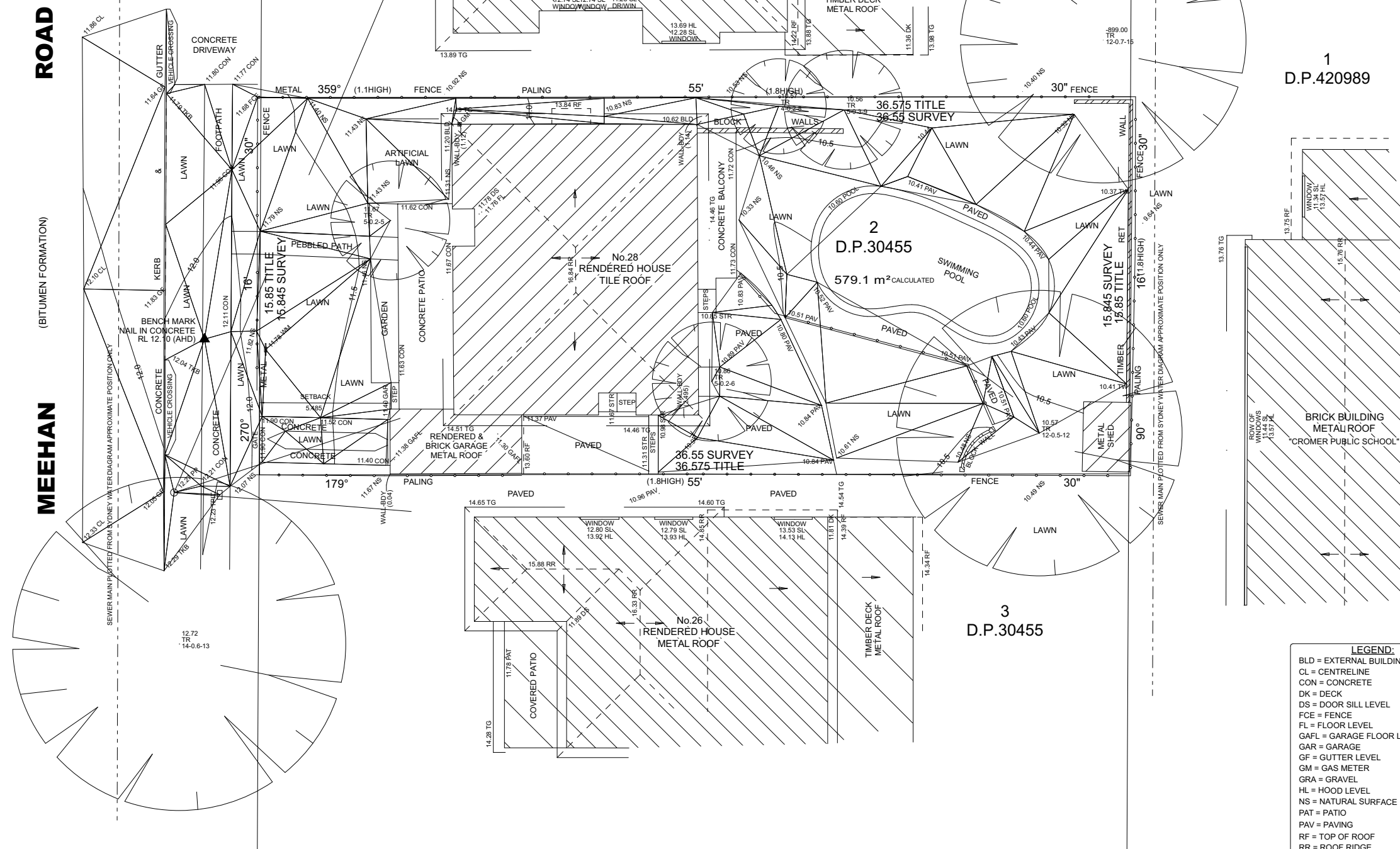
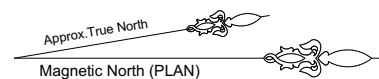
Description of project

Project address	
Project name	Booker-Hulme_02
Street address	28 Meehan Road Cromer 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 30455
Lot number	2
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

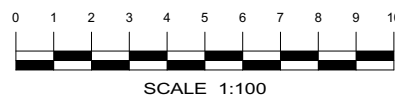
ABN (if applicable): 43150064592



TITLE INDICATES THAT LOT 2 IN D.P.30455 IS SUBJECT TO:

- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- H607370 COVENANT (NOT INVESTIGATED)


SURVEY PLAN
1:200



LEGEND:

BLD = EXTERNAL BUILDING
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
FCE = FENCE
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GAR = GARAGE
GF = GUTTER LEVEL
GM = GAS METER
GRA = GRAVEL
HL = HOOD LEVEL
NS = NATURAL SURFACE
PAT = PATIO
PAV = PAVING
RF = TOP OF ROOF
RR = ROOF RIDGE
SL = SILL LEVEL
STR = STAIRS
TG = TOP OF GUTTER
TKB = TOP OF KERB
TPIT = TELSTRA PIT
TW = TOP OF WALL
WM = WATER METER

— = ELECTRICITY OVERHEAD
- - - - - = SEWER UNDERGROUND

 TREE
SPREAD-DIAMETER-HEIGHT

TR = TREE

NOTES

- A BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MOTIVATION, PURPOSE OR CONSERVATION OR RESUMES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF NATHAN BOOKER & BREE HULME.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIALABLE AND NON-DIALABLE SERVICES (sh 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. · SPOT LEVELS SHOULD BE ADOPED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE READINGS.
- COPYRIGHT © CMS SURVEYORS 2021.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

STEPHEN EMERY
REGISTERED SURVEYOR BOSSI NUMBER .1605


HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: SSM 2013
R.L. 11.878 (CLASS LB)
SOURCE: S.C.I.M.S. (11/05/2021)

1	FIRST ISSUE	25/05/2021

CLIENT:
NATHAN BOOKER & BREE HULME
No.28 MEEHAN ROAD
CROMER, NSW, 2099

SURVEY PLAN
SHOWING DETAIL & LEVEL
OVER LOT 2 IN DP30455
No.28 MEEHAN ROAD
CROMER, NSW, 2099

 C.M.S. Surveyors
Pty Limited

ACN: 096 240 201

PO Box 463 Dee Why
NSW 2099
2/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4800
Facsimile: (02) 9971 4822
E-mail: info@cmssunews.com.au

LGA: NORTHERN BEACHES

SURVEYED HH	DRAWN GP	CHECKED HH	APPROVED BS
SURVEY INSTRUCTION 20324		SCALE 1:100 @ A1 1:200 @ A3	DATE OF SURVEY 14/05/2021
DRAWING NAME 20324detail			ISSUE 1
CAD FILE 20324detail 1-scaled.dwg			

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.



Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

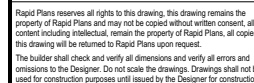
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

 Denotes New Timber Framed Wall
 Denotes New Masonry Wall
 Denotes Existing Wall
 Denotes Demolished Item



NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
28 Meehan Road, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Certificate and BCA
Termite Treatments to BCA and AS 1594
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2018:2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamp
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certification
The DA Application Only plans are for DA Application purposes only. The applicant must provide for the construction application by providing a Certified True and Correct statement signed by the applicant or the Certifying Authority without the written permission of Rapid Plans or the applicant's authorized Construction Certificate drawings by Rapid Plans Basic.

Base Construction
All Plans to be read in conjunction with **02**
The applicant must construct the new or additional insulation (if applicable) in accordance with the specifications and the specifications listed in the table below, except that all additional insulation is to be installed in accordance with the specifications and the specifications listed in the table below. The insulation specified is not required for parts of altered construction where insulation already exists.

Insulation
The insulation specified in the table below, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each case.

Shading Devices
For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 2400 mm above the ground level. The leading edge of each eave, parapet, verandah, balcony or awning must be no more than 2400 mm above the sill.

Shading Devices
The eaves, parapets, verandahs, balconies or awnings must be the height and distance from the corner and the base of the window and glazed door.

Site Information	Prop.	Comments
Site Area	579.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	45m x 4mDeg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m2)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepanci
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO. RP0721BOO
Project Status DA

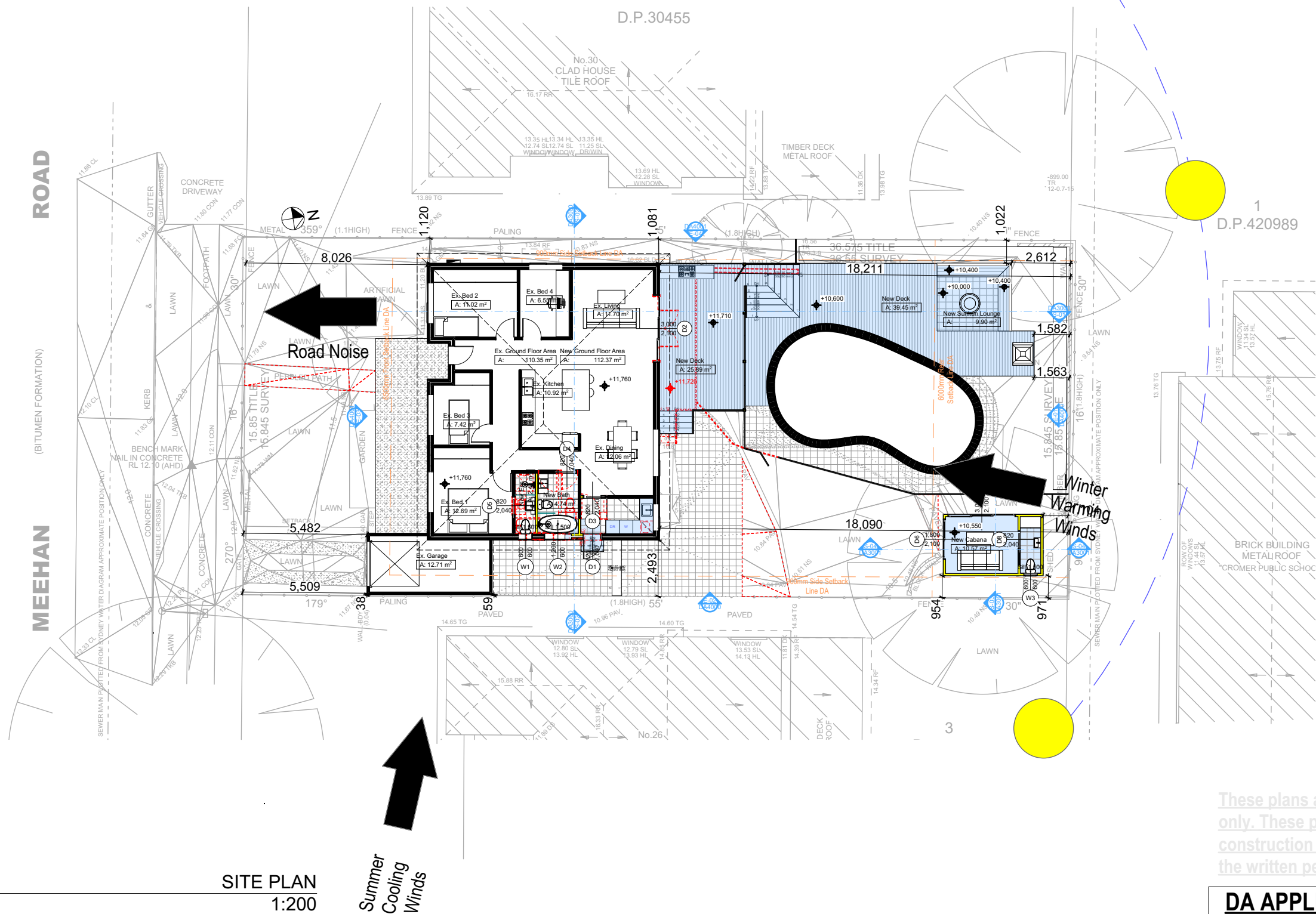
Client	Nathan Booker and Bree Hulme
Site	28 Meehan Road, Cromer

DRAWING TITLE :
SITE AND LOCATION
SITE PLAN

PROJECT NAME : **Alterations & Additions**

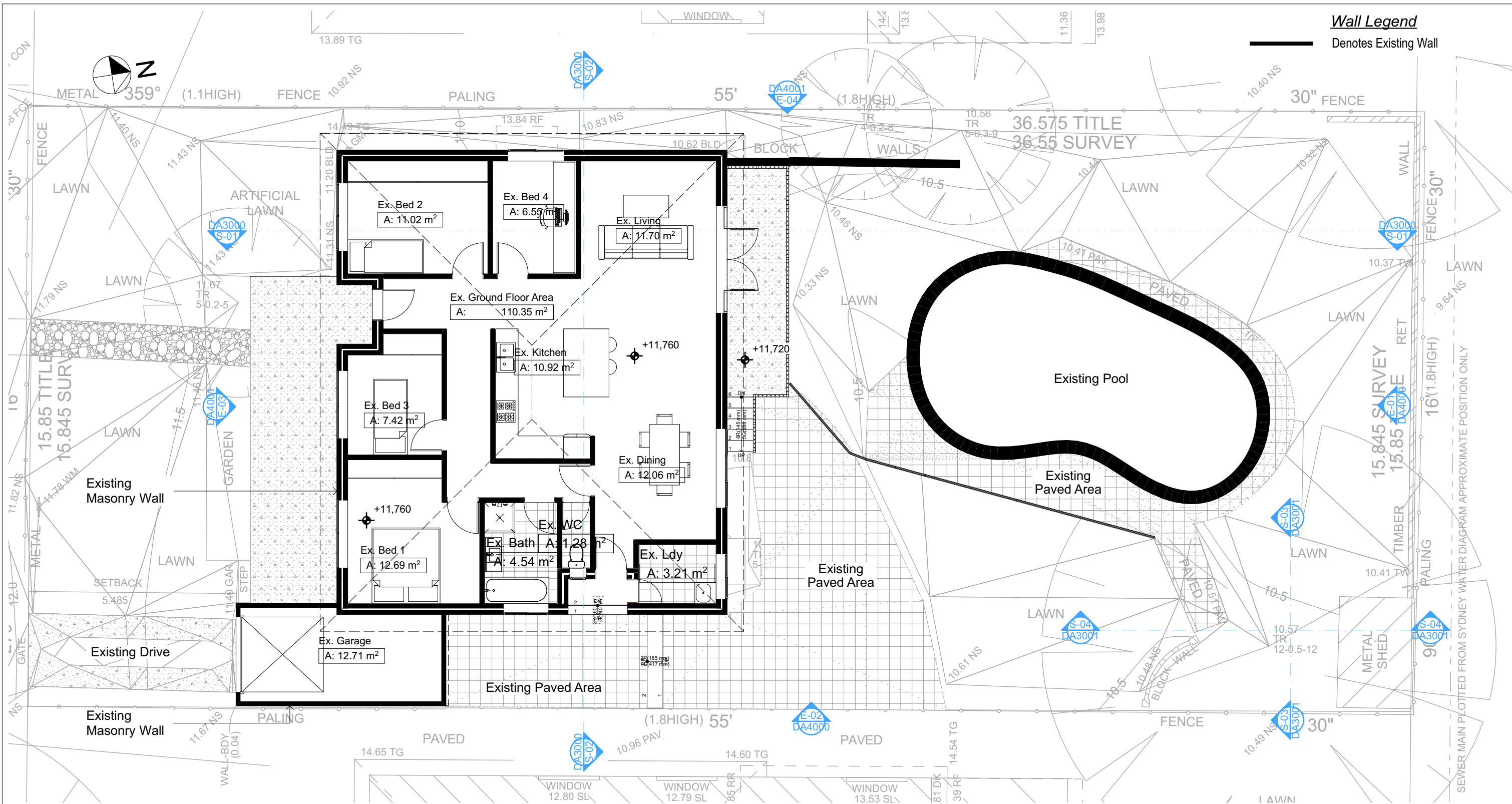
REVISION NO. DATE
- 1/12/21
DRAWING NO. DA1003

Plot Date: 6/04/2022
Sheet Size: A3
R:\Current Jobs\BOOKER Nathan &
HULME Greenfield\CHD Dwg\Booker
Hulme-22-0A Final.apn



DRAWING TITLE :	
SITE AND LOCATION	
SITE PLAN	
PROJECT NAME :	
Alterations	

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Builder To Check & Confirm Existing Measurements Prior to Commencement

2

EXISTING GROUND FLOOR
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Meehan Road, Cromer is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North
Checked
Plot Date: 6/04/2022
Project NO: RP0721BOO
Project Status: DA
Client Site: Nathan Booker and Bree Hulme
28 Meehan Road, Cromer
Sheet Size: A3

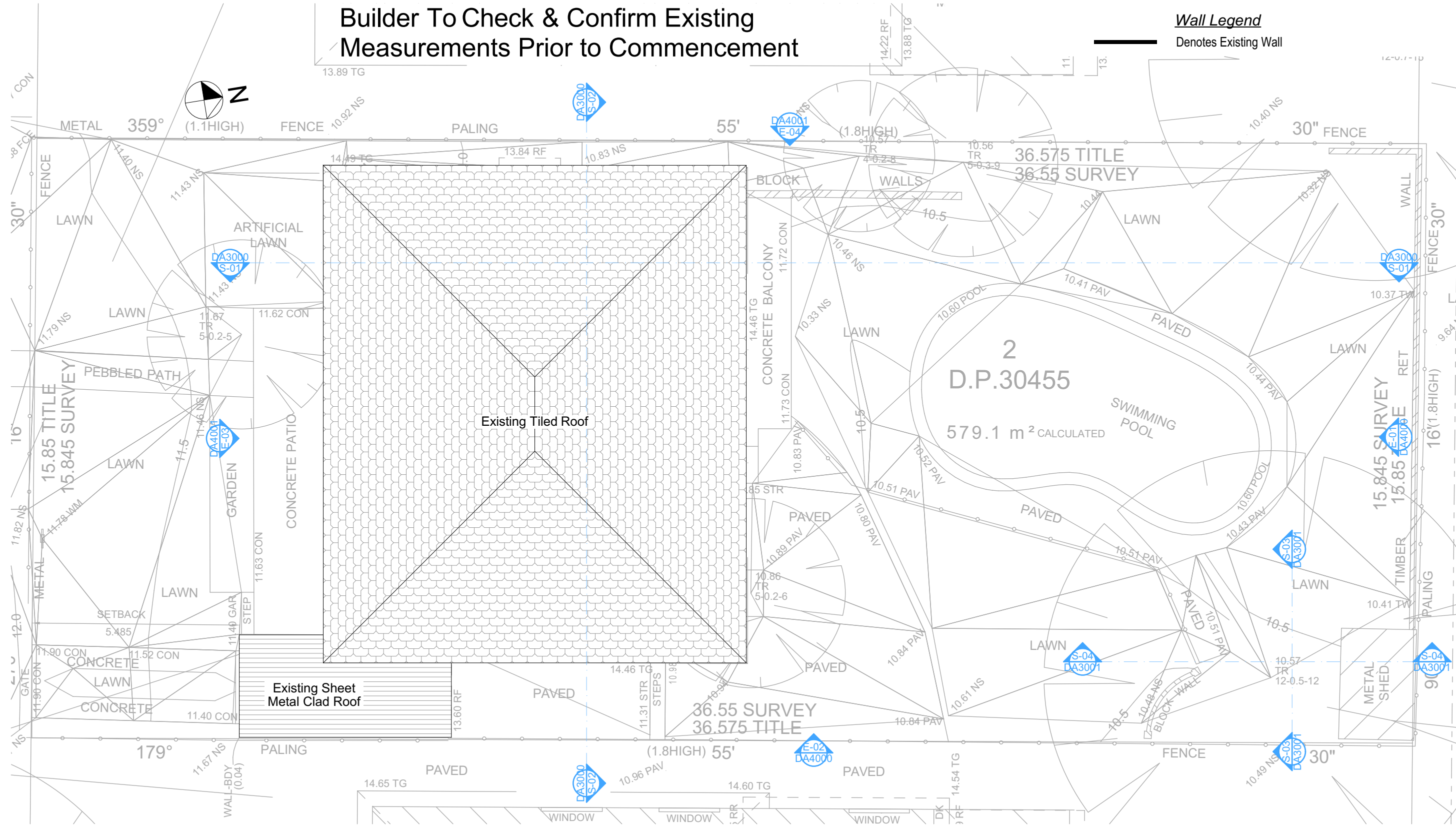
DRAWING TITLE :
SITE AND LOCATION
Existing Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 1/12/21
DRAWING NO.
DA1004

Builder To Check & Confirm Existing
Measurements Prior to Commencement

Wall Legend

Denotes Existing Wall



EXISTING ROOF
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
28 Meehan Road, Cromer is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

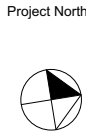


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

DRAWING TITLE :

SITE AND LOCATION
Existing Roof Plan

PROJECT NAME :

Alterations & Additions

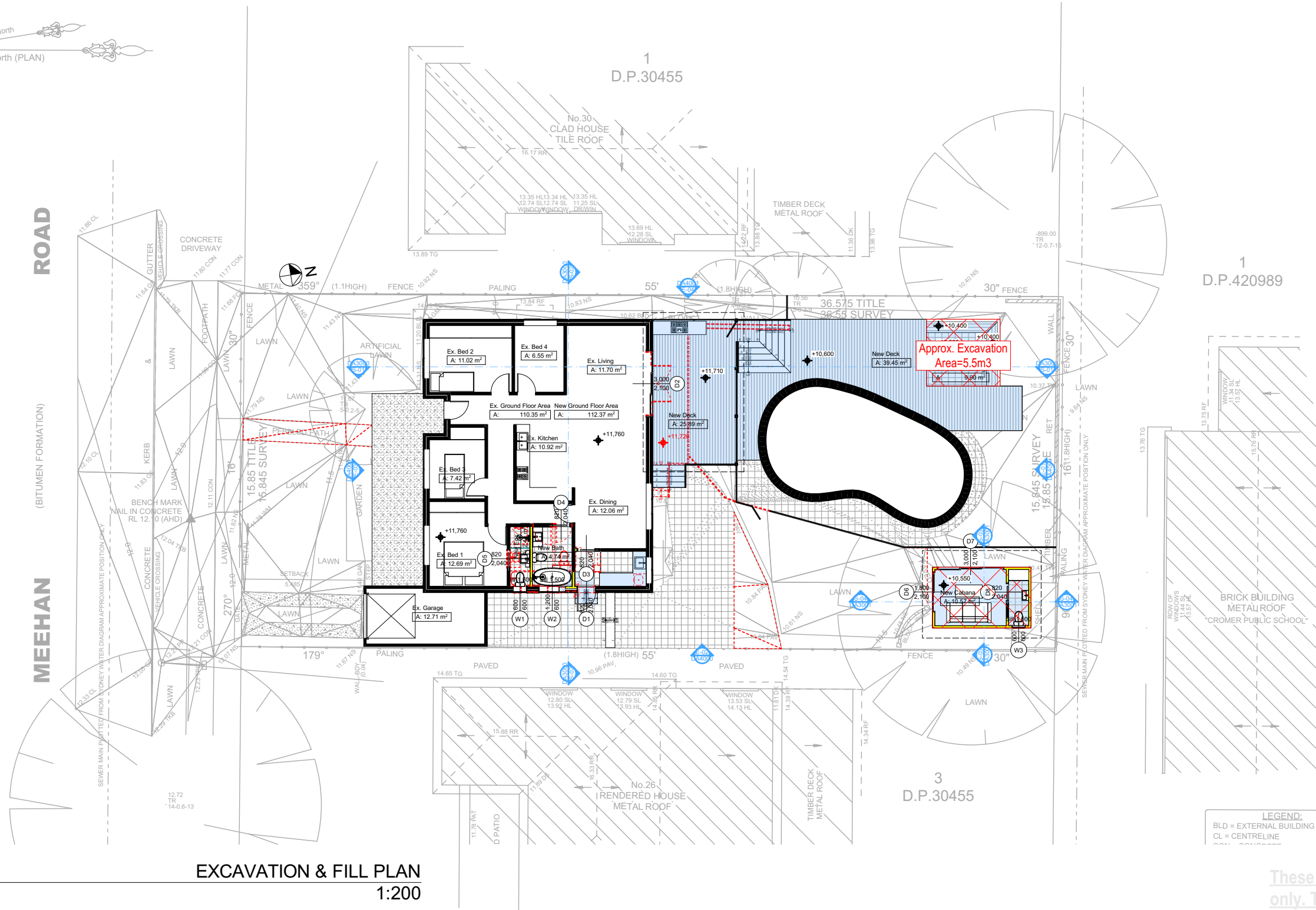
REVISION NO.
DATE:
1/12/21
DRAWING NO.
DA1005



ROAD

(BITUMEN FORMATION)

MEEHAN



Denotes Excavation/Fill Area

1
D.P.420989

3
D.P.30455

LEGEND:
BLD = EXTERNAL BUILDING
CL = CENTRELINE

EXCAVATION & FILL PLAN
1:200

2

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Wendy P. Jones
PO Box 6239 Pyralis Forest DC NSW 2086
Ph: (02) 9505-8845 Mob: 0414-946-024
Email: wendy@rapidplans.com.au

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**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

**ACCREDITED
BUILDING DESIGNER**

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NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
28 Meehan Road, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Sills and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A442389 02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m2)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

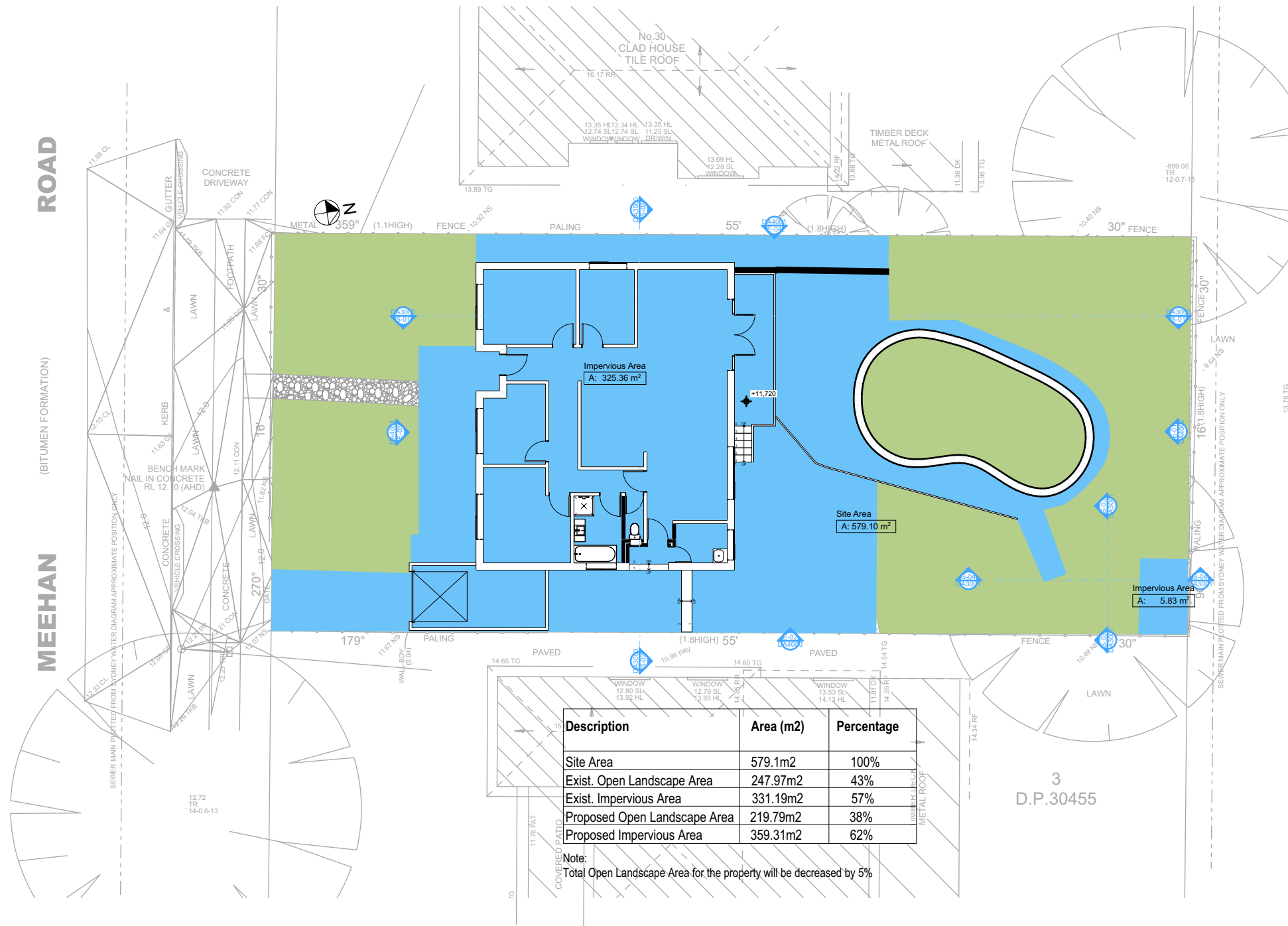
DRAWING TITLE:
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	1/12/21

DRAWING NO.
DA1007

Plot Date: 6/04/2022
Sheet Size: A3



Denotes Impervious Area

Denotes Pervious Area

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Ph: (02) 9505-8845, Mobile: 0414-946-024
Email: info@rapidplans.com.au

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NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
28 Meehan Road, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Site and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A442389, 02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m2)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

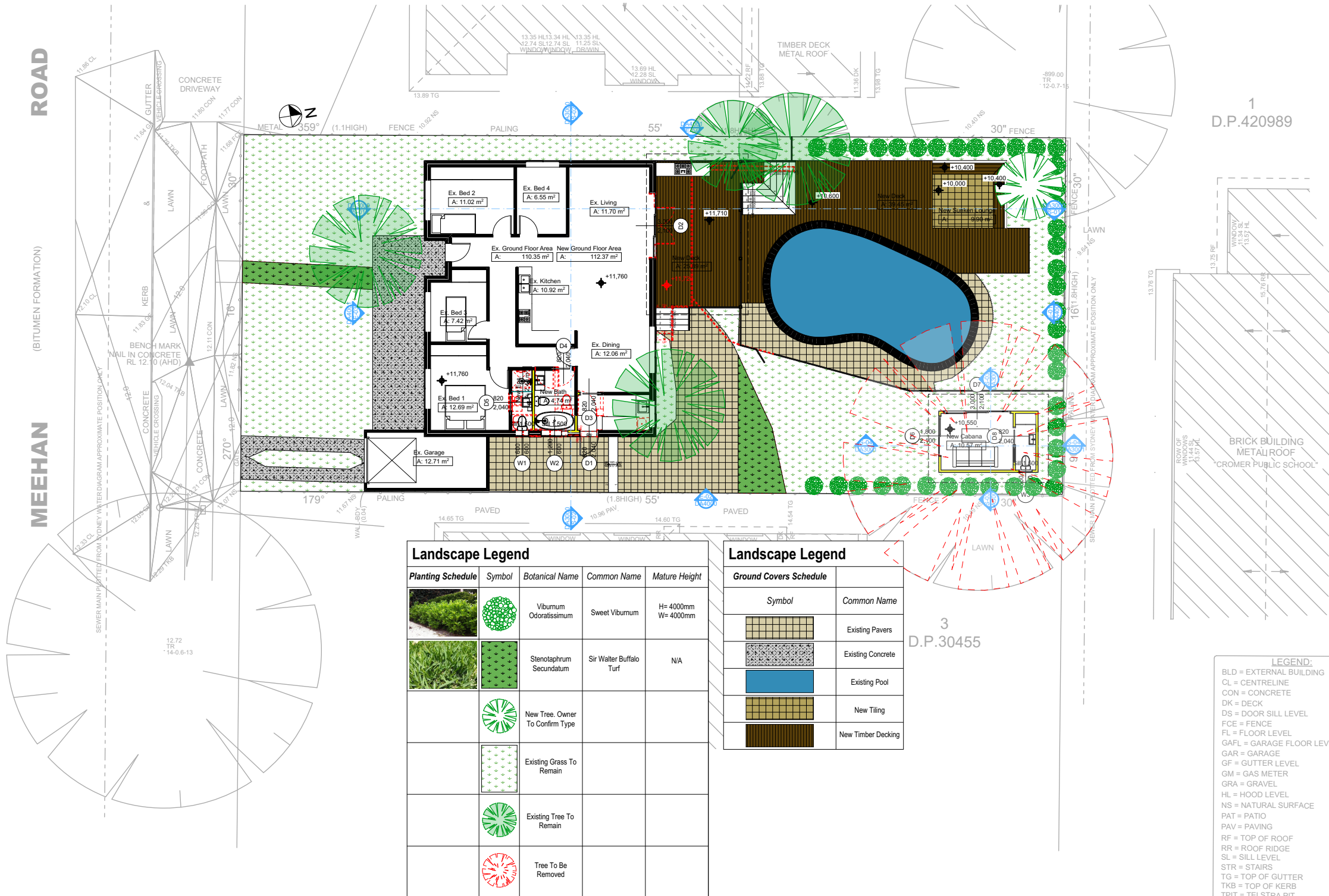
DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	1/12/21

DRAWING NO.
DA1008

Plot Date: 6/04/2022
Sheet Size: A3



Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Viburnum Odoratissimum	Sweet Viburnum	H= 4000mm W= 4000mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Existing Pavers
	Existing Concrete
	Existing Pool
	New Tiling
	New Timber Decking

LEGEND:
BLD = EXTERNAL BUILDING
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
FCE = FENCE
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GAR = GARAGE
GF = GUTTER LEVEL
GM = GAS METER
GRA = GRAVEL
HL = HOOD LEVEL
NS = NATURAL SURFACE
PAT = PATIO
PAV = PAVING
RF = TOP OF ROOF
RR = ROOF RIDGE
SL = SILL LEVEL
STR = STAIRS
TG = TOP OF GUTTER
TKB = TOP OF KERB
TPIT = TELSTRA PIT
TW = TOP OF WALL
WM = WATER METER
ELECTRICITY OVERHEAD

3 THAT LOT 2 IN D.P.30455 IS SUBJECT TO:

2

LANDSCAPE PLAN
1:200

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Website: rapidplans.com.au
PO Box 6239 Pirrama NSW 1512
Ph: (02) 9550-8845 Mob: 0414-946-024
Email: info@rapidplans.com.au

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NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
28 Meehan Road, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Site and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10198-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A442389 (02)
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m ²)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

DRAWING TITLE:
SITE AND LOCATION
Landscape Plan

PROJECT NAME:
Alterations & Additions

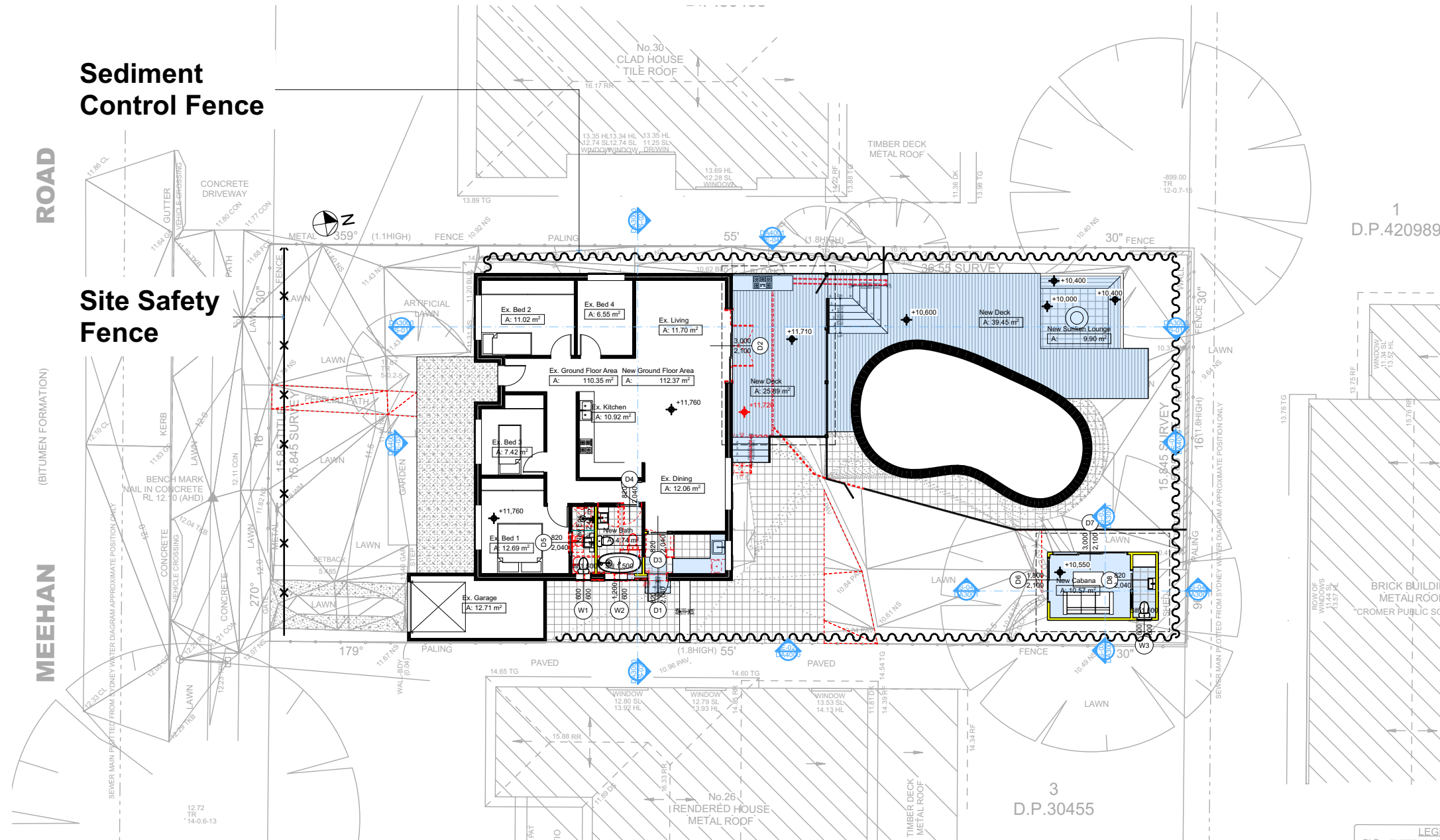
REVISION NO.	DATE
-	1/12/21

DRAWING NO.
DA1010

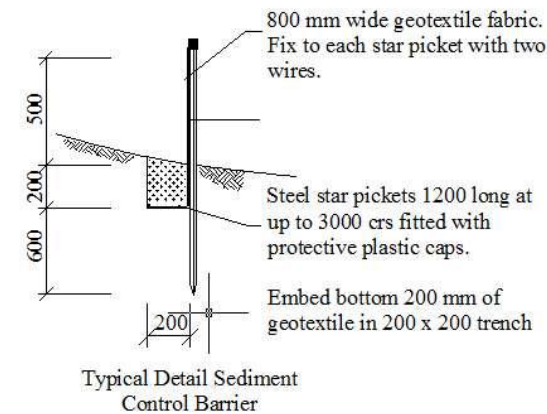
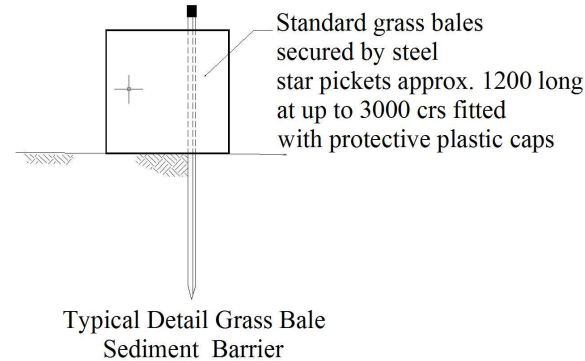
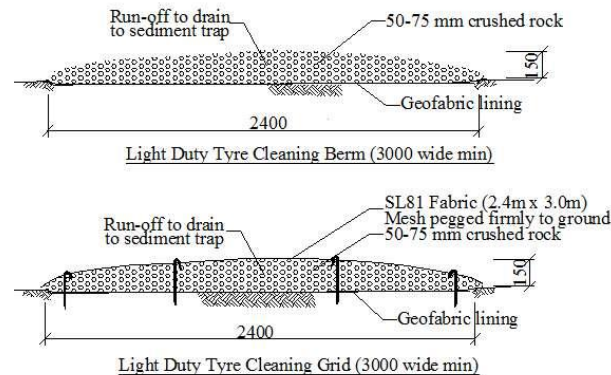
Plot Date: 6/04/2022
Sheet Size: A3

Sediment Control Fence

Site Safety Fence



SEDIMENT & EROSION CONTROL PLAN
1:200



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

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PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9350-8845 Mobile: 0414-946-024
Email: info@rapidplans.com.au

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NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate New Works to be controlled shown in Shaded Blue Construction
Site and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
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Basic
Basic Certificate Number A442389_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m ²)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

DRAWING TITLE: SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 1/12/21
DRAWING NO. DA1011

Plot Date: 6/04/2022
Sheet Size: A3

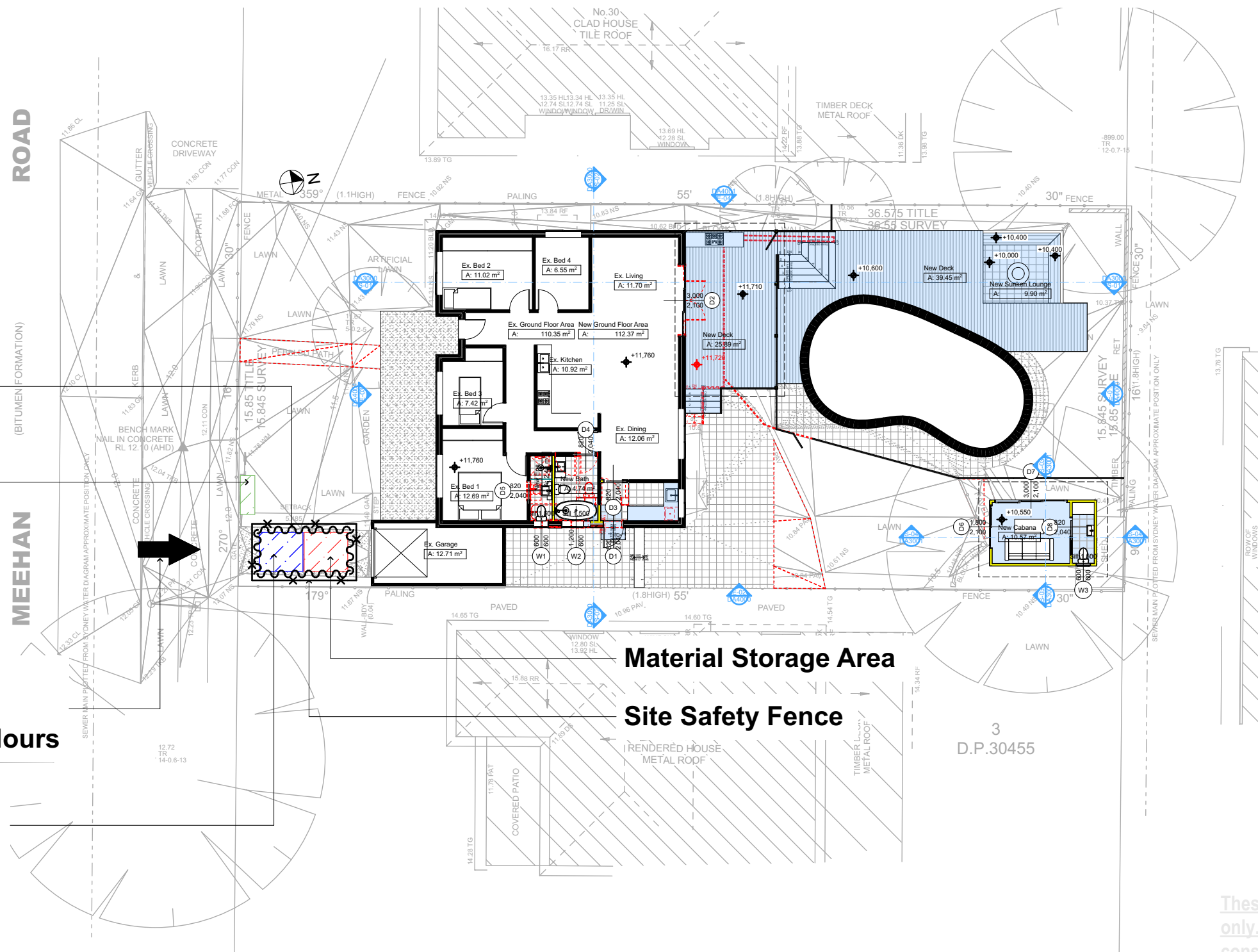
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Sediment
Control Fence

Residential Garbage
Bin Storage

Vehicle Access For
Removal Of Waste By
Builder During Work Hours

Approximate Location
Of Building Waste &
Recycling Area



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes Existing Wall
Denotes Demolished Item

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NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Site and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
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Basic
Basic Certificate Number A442389 (2)
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@45D	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m ²)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: R20721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

DRAWING TITLE: SITE AND LOCATION
Waste Management Plan

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
-	1/12/21

DRAWING NO.
DA1012

Plot Date: 6/04/2022
Sheet Size: A3

Denotes New Works



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NOTES
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28 Meehan Road, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Site and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2047
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m ²)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

DRAWING TITLE:
SITE AND LOCATION
Stormwater Plan

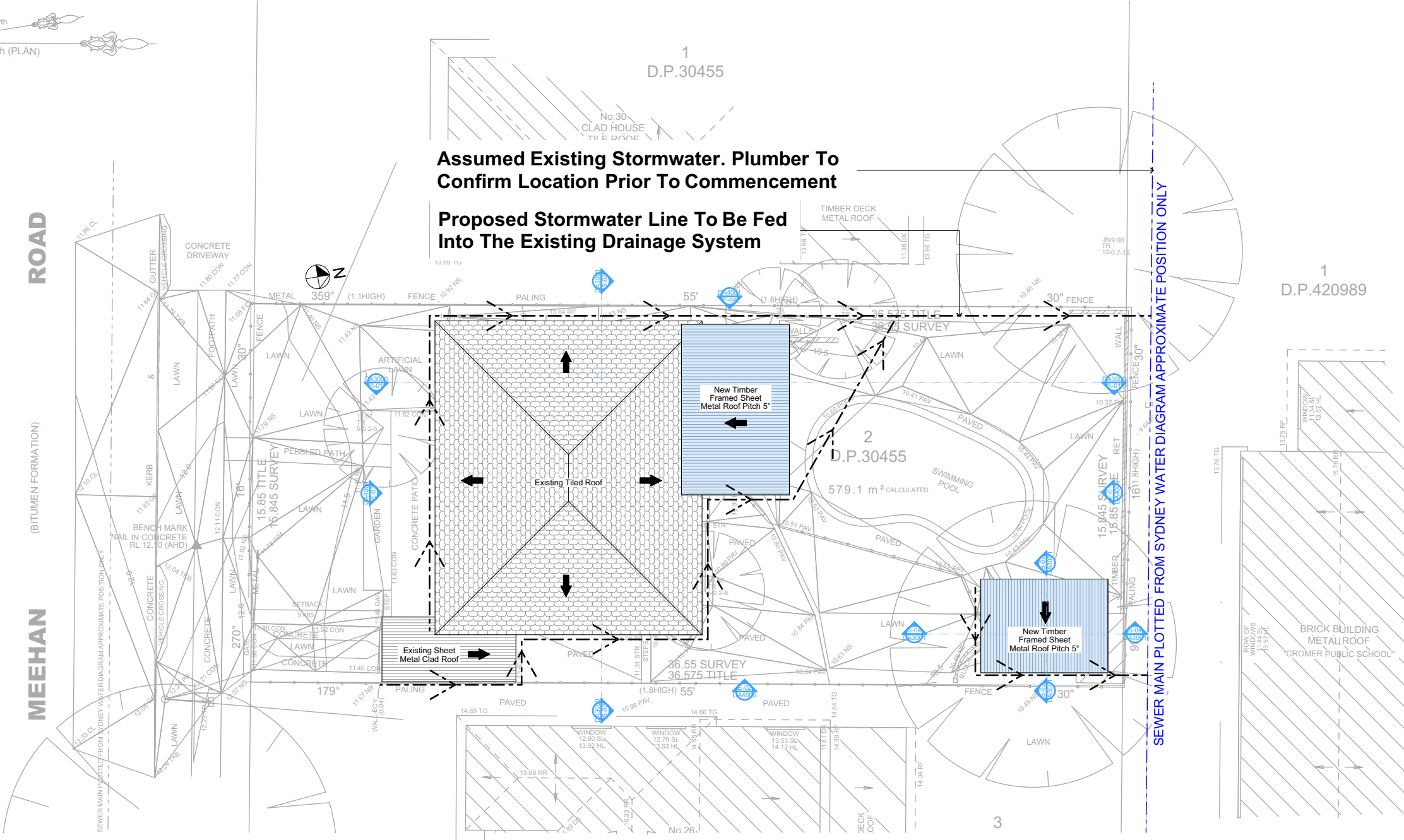
PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 1/12/21
DRAWING NO.
DA1013

Plot Date: 6/04/2022
Sheet Size: A3



ROAD
MEEHAN
(BITUMEN FORMATION)



Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement

Proposed Stormwater Line To Be Fed Into The Existing Drainage System

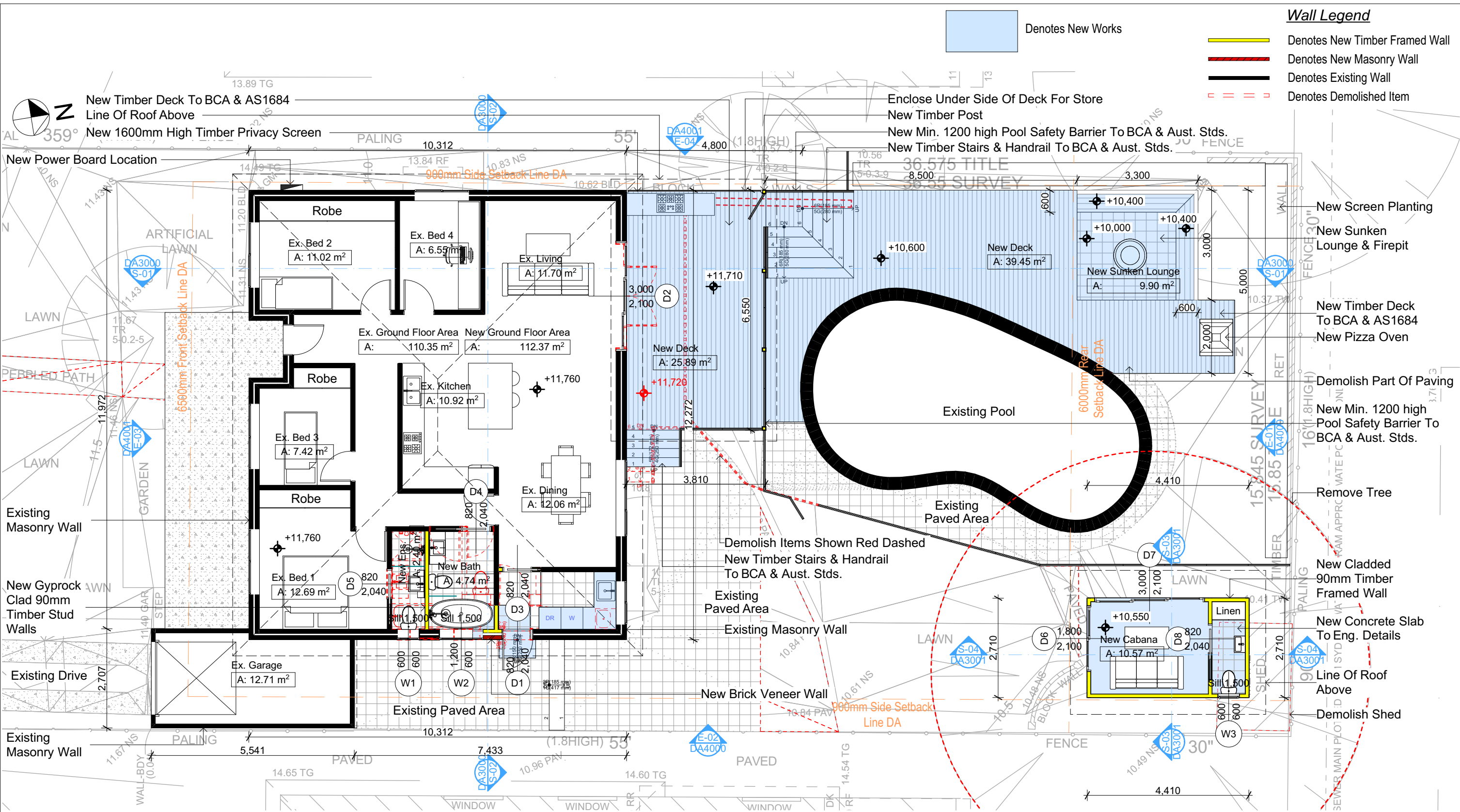
SEWER MAIN PLOTTED FROM SYDNEY WATER DIAGRAM APPROXIMATE POSITION ONLY

4 STORMWATER PLAN 1:200

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

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2

GROUND FLOOR
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Meehan Road, Cromer is not considered a heritage item

Construction
Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

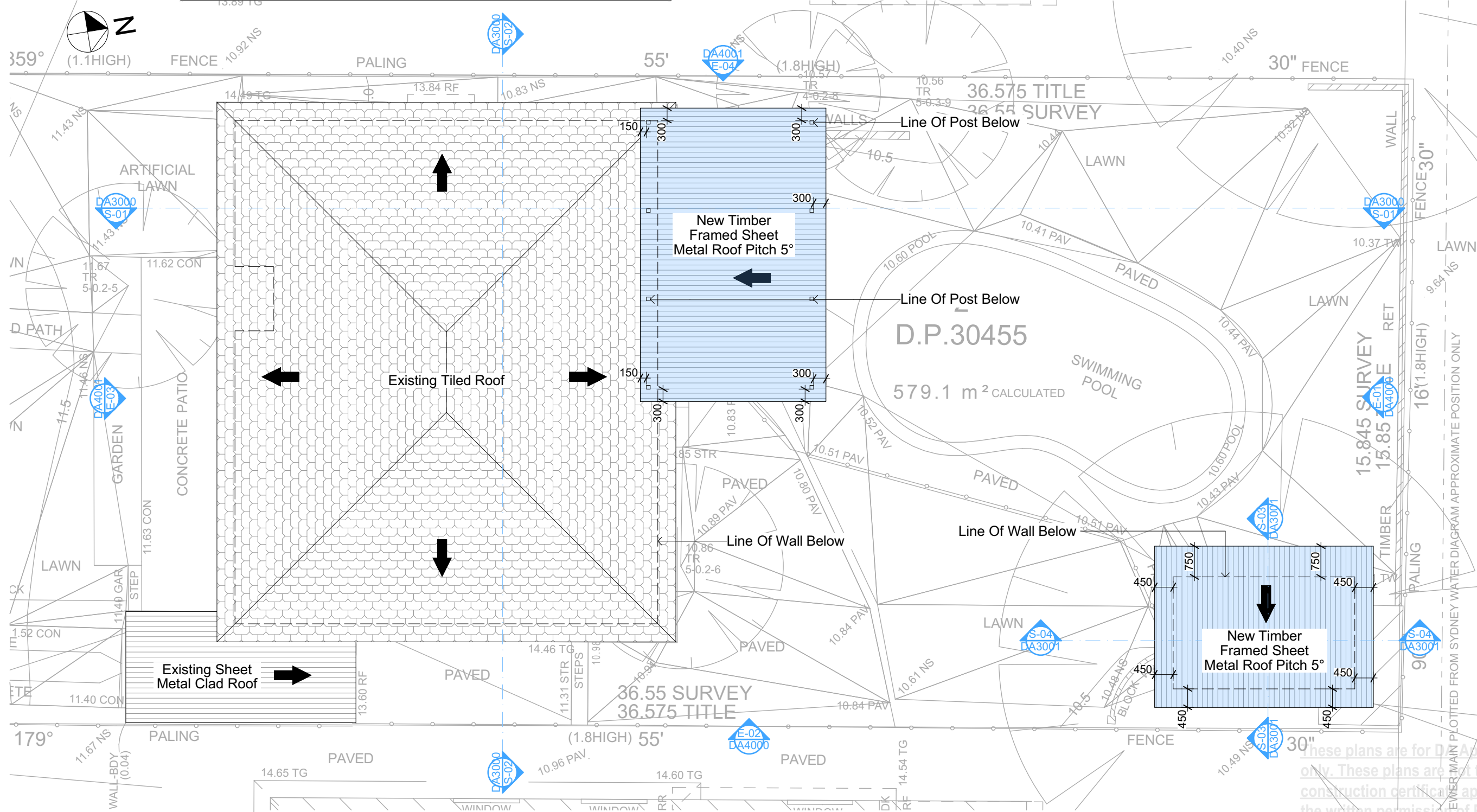
Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m ² Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1 Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m Yes	Impervious area (m ²)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m Existing			

REVISION NO.
DATE
1/12/21
DRAWING NO.
DA2001

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works



3
ROOF
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

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www.rapidplans.com.au
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Ph: (02) 9350-8845 Mob: 0414-945-024
Email: info@rapidplans.com.au

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
28 Meehan Road, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Site and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A442389 (02)
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each window, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m2)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: R90721800
Project Status DA

Client Nathan Booker and Bree Hulme

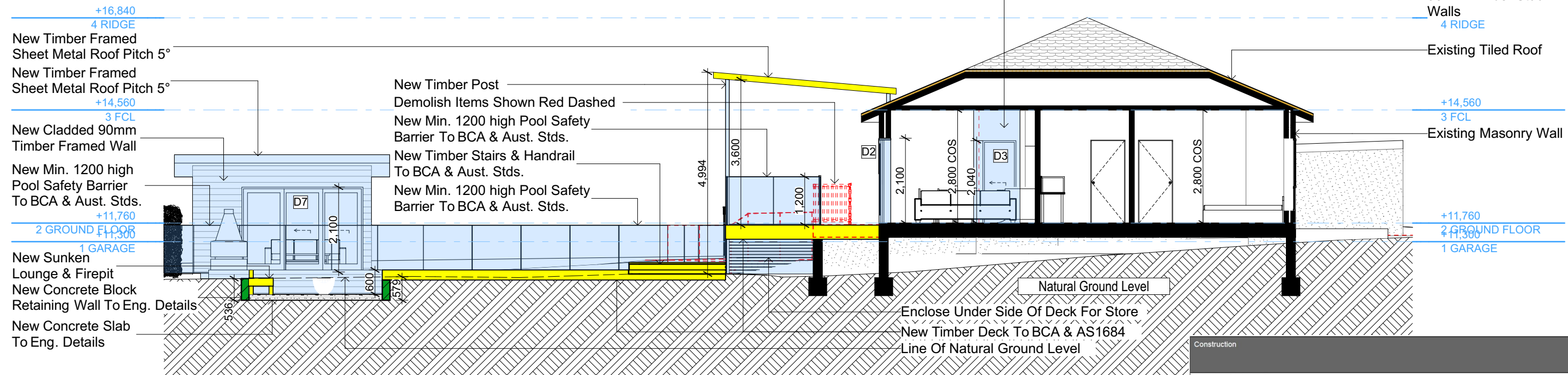
Site: 28 Meehan Road, Cromer

DRAWING TITLE: PLANS
ROOF

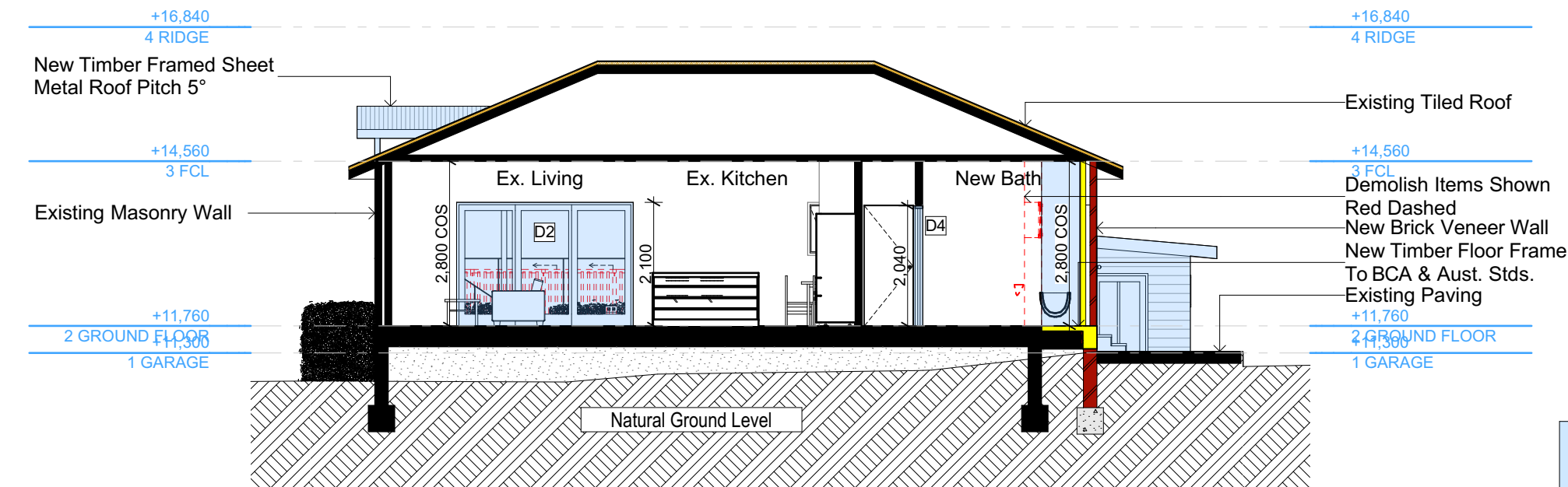
PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 1/12/21
DRAWING NO. DA2002

Plot Date: 6/04/2022
Sheet Size: A3



S-01 SECTION 1
1:100



S-02 SECTION 2
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

NOTES

28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Meehan Road, Cromer is not considered a heritage item

Certifying

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Construction

Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

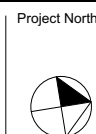


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 6/04/2022
Project NO: RP0721BOO
Project Status: DA
Client Site: Nathan Booker and Bree Hulme
28 Meehan Road, Cromer
Sheet Size: A3

DRAWING TITLE :

SECTIONS
SECTION 1

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:

1/12/21

DRAWING NO.

DA3000

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	E	0.36	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	NE	0.36	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D2	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D6	S	3.78	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D7	W	6.3	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

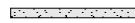
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Concrete



Denotes Demolished Item

Wall Legend

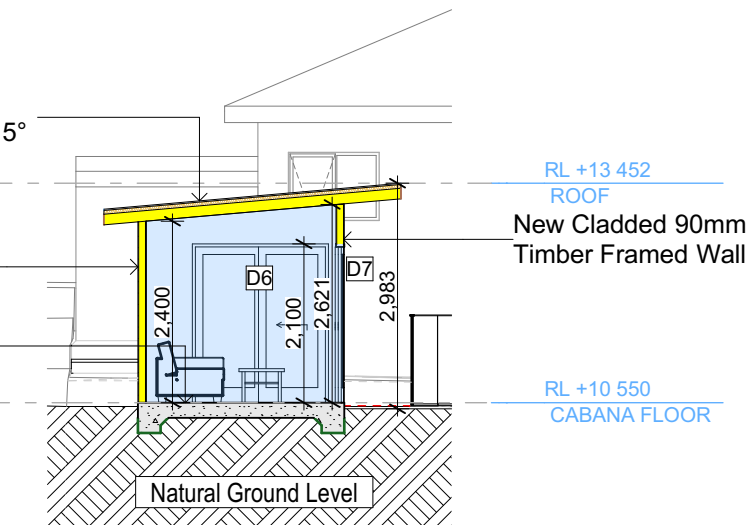
New Timber Framed Sheet Metal Roof Pitch 5°

RL +13 452
ROOF

New Cladded 90mm Timber Framed Wall

New Concrete Slab To Eng. Details

RL +10 550
CABANA FLOOR



S-03

SECTION CABANA 1

1:100

RL +13 452
ROOF

Demolish Items Shown Red Dashed

RL +10 550
CABANA FLOOR

New Concrete Slab To Eng. Details

New Timber Framed Sheet Metal Roof Pitch 5°

RL +13 452
ROOF

New Gyprock Clad 90mm Timber Stud Walls

New Cladded 90mm Timber Framed Wall

RL +10 550
CABANA FLOOR



S-04

SECTION CABANA 2

1:100

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Email: info@rapidplans.com.au

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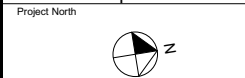
NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue
Construction
Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
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Basic
Basic Certificate Number A442389_02
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m2)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

DRAWING TITLE : SECTIONS
SECTION CABANA

PROJECT NAME : Alterations & Additions

REVISION NO. DATE
- 1/12/21

DRAWING NO.
DA3001

Plot Date: 6/04/2022
Sheet Size: A3

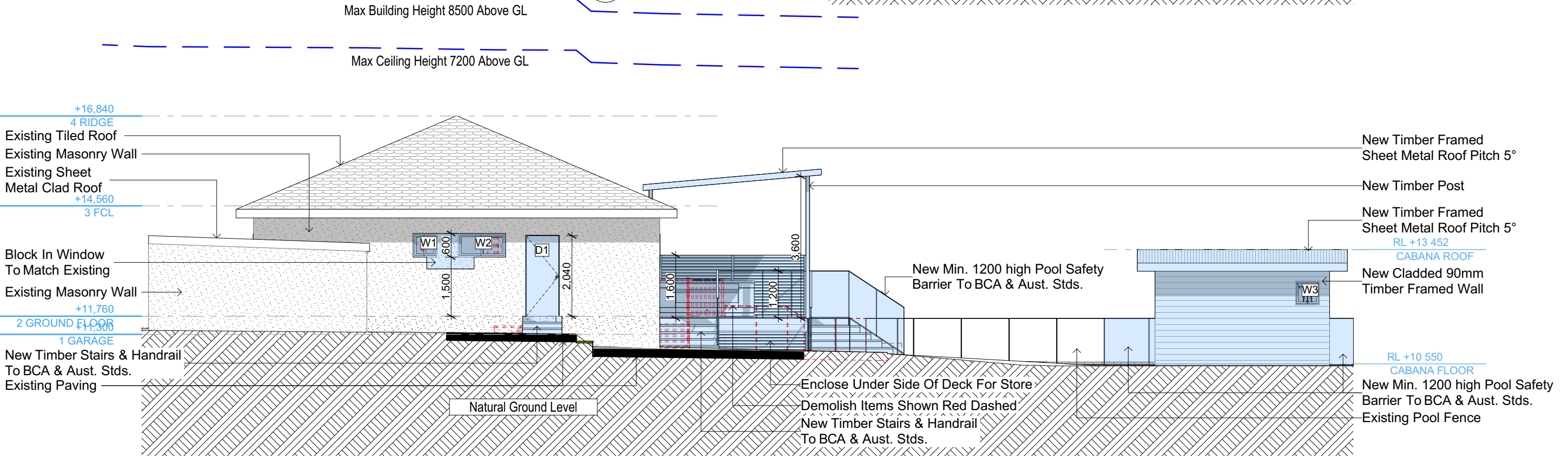
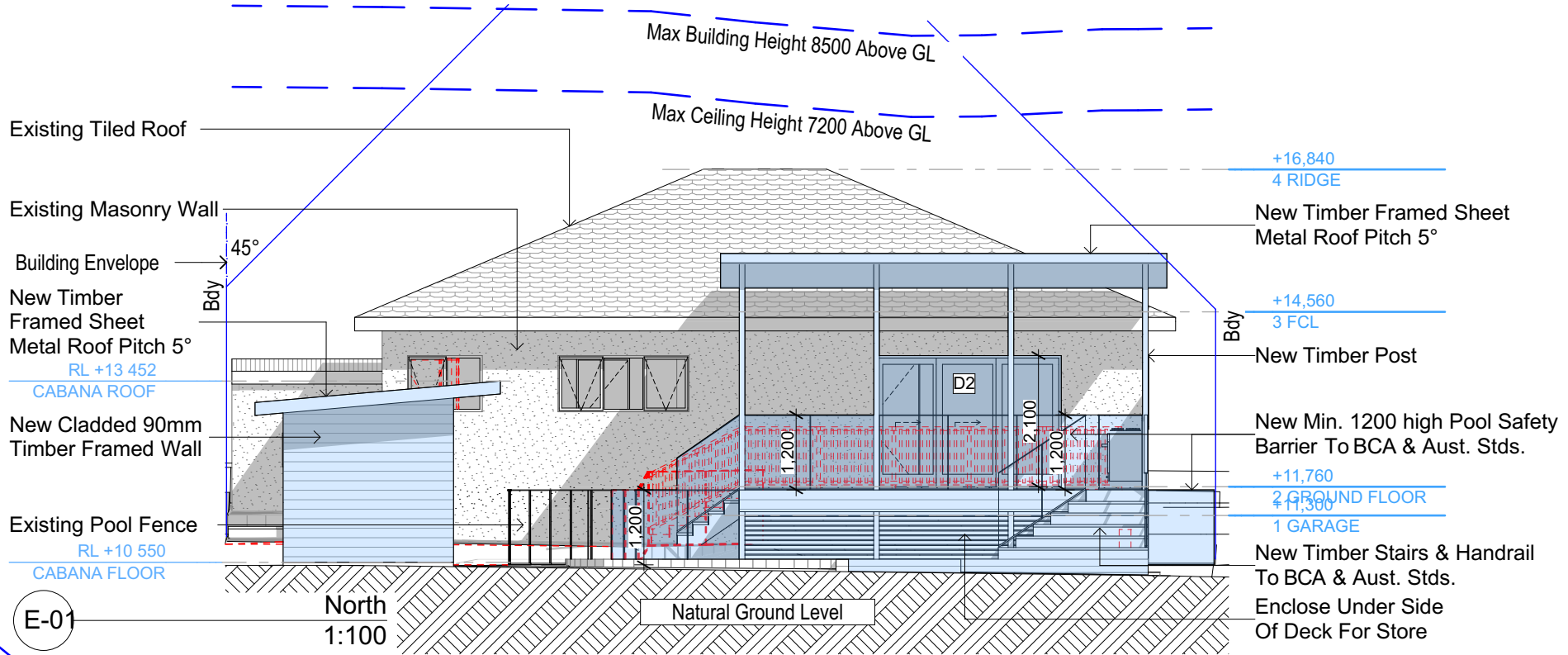
Glazing requirements					
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.					
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.					
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Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device
W1	E	0.36	0	0	eave/verandah/pergola/balcony >=450 mm
W2	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm
W3	NE	0.36	0	0	eave/verandah/pergola/balcony >=450 mm
Frame and glass type					
timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)					
timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)					
improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)					
Glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device
D2	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm
D6	S	3.78	0	0	eave/verandah/pergola/balcony >=450 mm
D7	W	6.3	0	0	eave/verandah/pergola/balcony >=750 mm
Frame and glass type					
timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)					
improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)					
improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)					

Denotes New Works

Wall Legend

Denotes Existing Item

Denotes Demolished Item



E-02

East

1:100

NOTES

28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Meehan Road, Cromer is not considered a heritage item

Certifying

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Construction

Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 1585
Fax: (02) 9505-8665
Mobile: 0414-945-024
Email: info@rapidplans.com.au

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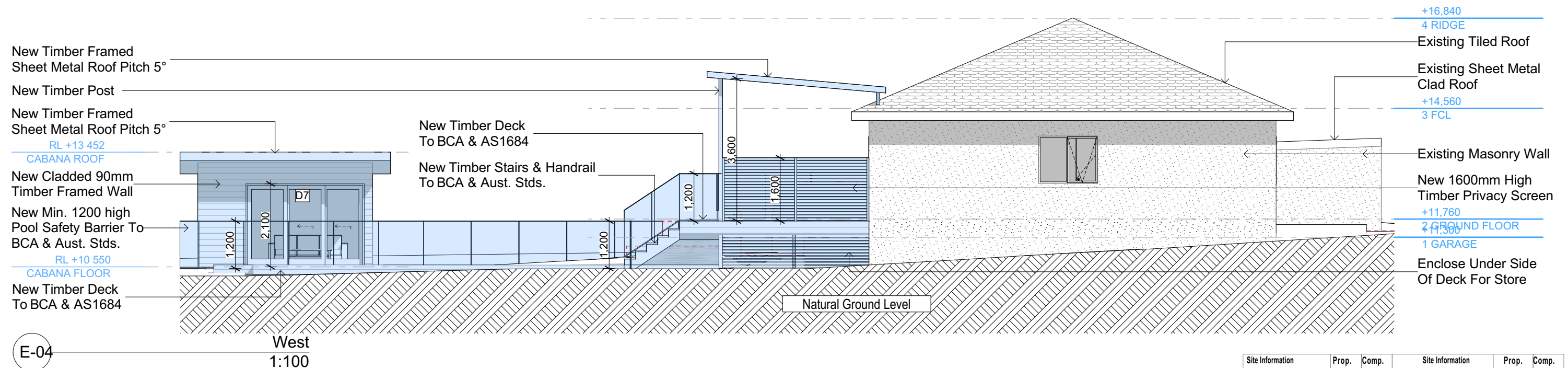
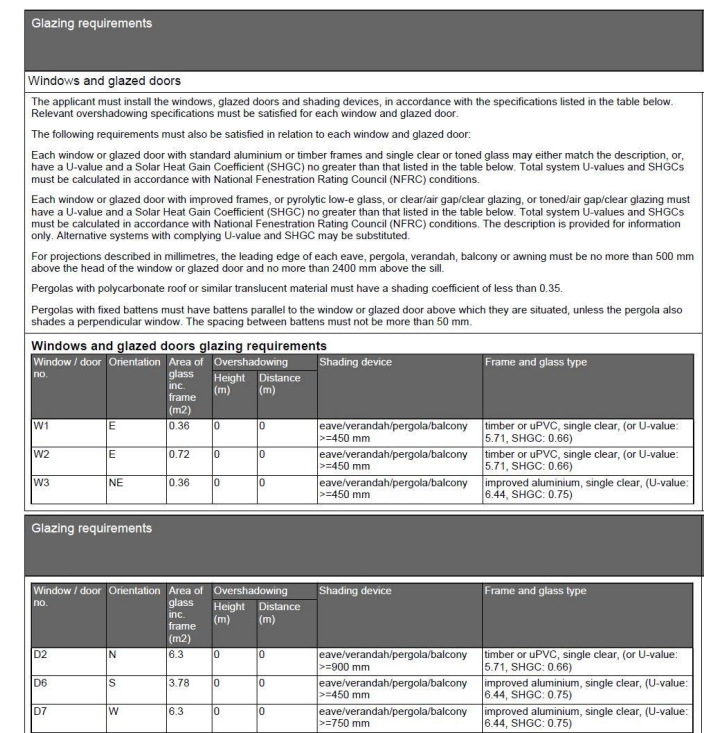
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 6/04/2022
Project NO: RP0721800
Project Status: DA
Client
Site: Nathan Booker and Bree Hulme
28 Meehan Road, Cromer
Sheet Size: A3

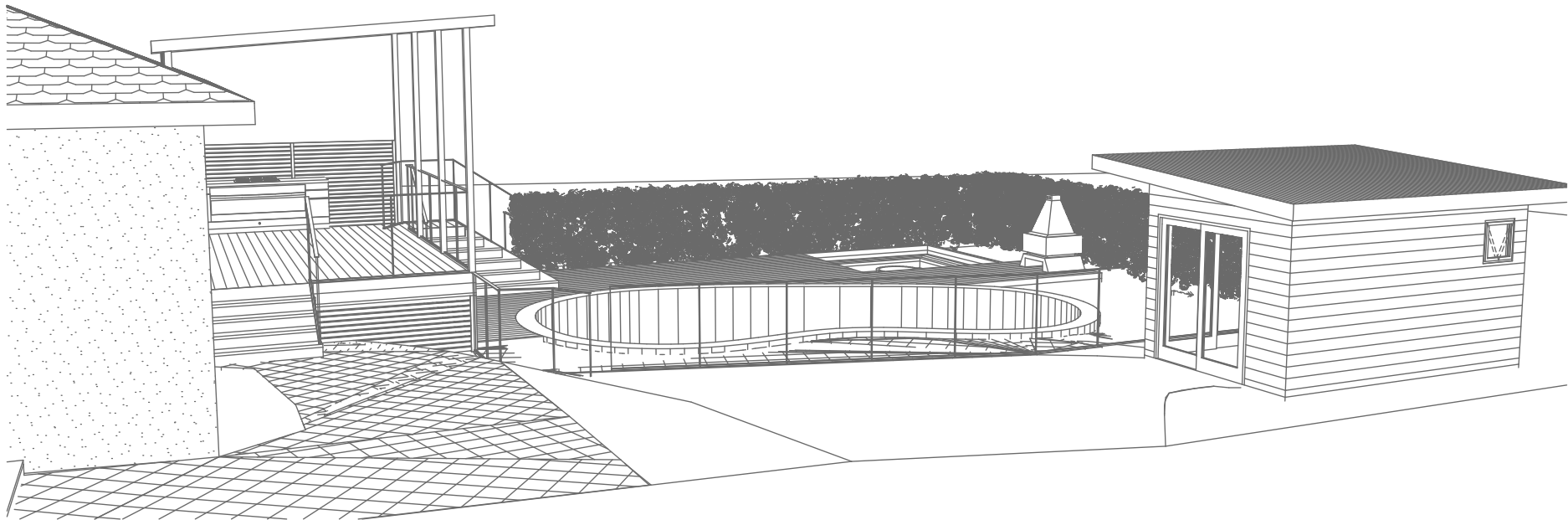
DRAWING TITLE :
**ELEVATIONS
ELEVATIONS 1**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
1/12/21
DRAWING NO.
DA4000



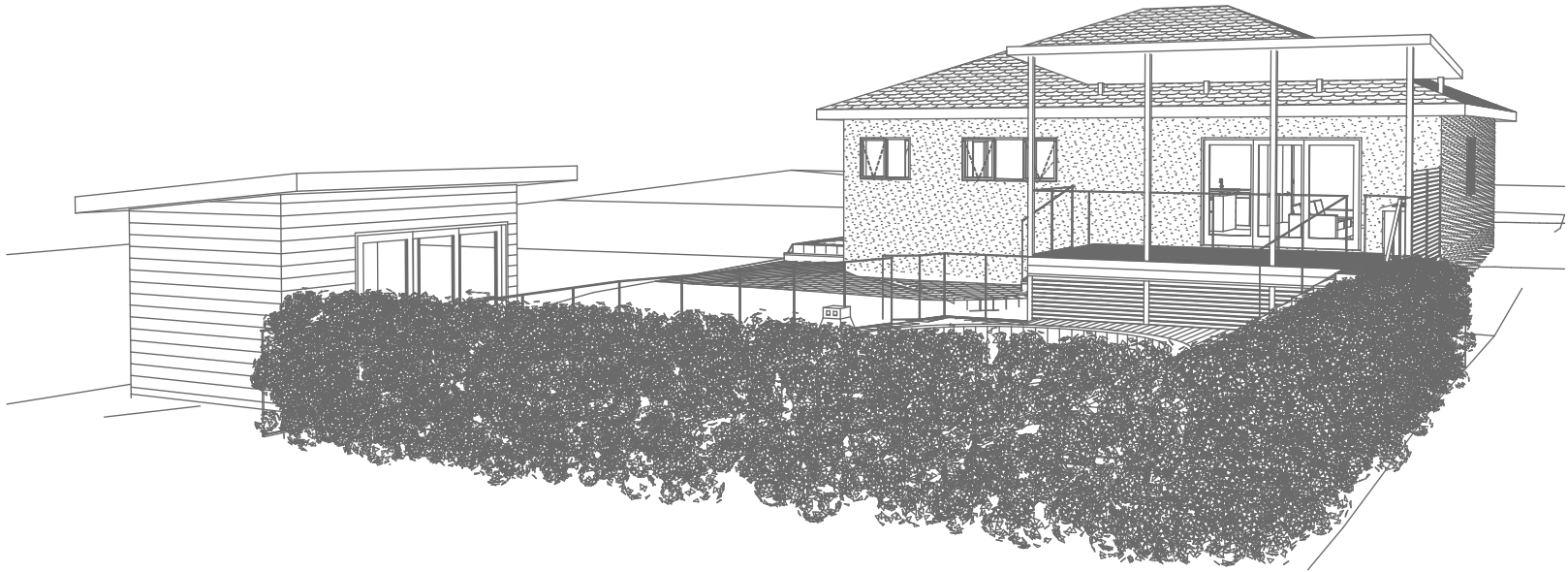
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

REVISION NO.
-
DATE.
1/12/21
DRAWING NO.
DA4001



1
-

Perspective 1
1:200



2
-

Perspective 2
1:200



3
-

Perspective 3
1:200

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Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Creek QLD 4072
Tel: (07) 5501-8845 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Site and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A442389 (2)
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m ²)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

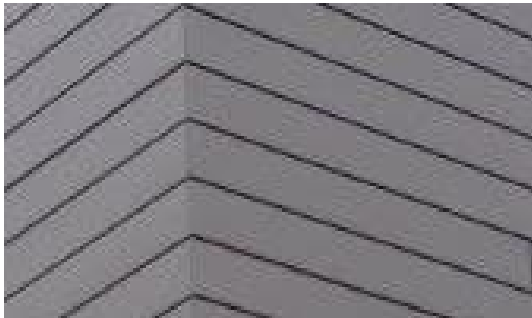
Site: 28 Meehan Road, Cromer

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 1/12/21
DRAWING NO.
DA5000

Plot Date: 6/04/2022
Sheet Size: A3



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type
W1	E	0.36	0	0	eave/verandah/pergola/balcony ≥450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	E	0.72	0	0	eave/verandah/pergola/balcony ≥450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	NE	0.36	0	0	eave/verandah/pergola/balcony ≥450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
D2	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D6	S	3.78	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D7	W	6.3	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapier.</p>	<p>DRAWING TITLE: <small>SHADOW PLANS</small> MATERIAL & COLOUR SAMPLE BOARD</p>
	<p>PROJECT NAME: Alterations &</p>

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Rapid Plans
Building Design and Architectural Drafting

Nathan Plans
www.rapidplans.com.au
PO Box 4638 Fremantle Forest Rd NSW 2020
Ph: (02) 9439 7444 Fax: (02) 9439 7444
Email: nplan@rapidplans.com.au

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NOTES

- 23 Meehan Road, Cromer is zoned R2 Low Density Residential
- 28 Meehan Road, Cromer is not considered a Heritage Item All Plans to be read in conjunction with Basic Facade Construction
- New Works to be constructed shown in ShadedBlue
- Construction**
Sinks & Framed Floors, Brick Vinner and Framed Walls Roof Framing, Insulation
Insulation To External Brick Vinner and Framed Walls R1.70 Refer to Engineering Specification for structural details
All work to Engineers Specification and BSA Timber framing to BCA and AS 1984
Glazing to BSA and BCA and AS 3660.1
Tinning to BCA and AS3129-2947
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps all landscaping and materials shall be in accordance with the requirements of Building Codes of Australia.
- Certification**
This DA Application Only plans are for DA Application purposes only. These plans are not to be used for construction application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
- Basix**
Basix Certification Number A42389_02
This DA Application is drawn in accordance with Basix Certification No. 604/2022
All walls, and ceiling/roofs in conjunction with the specifications listed in the table below, except that if additional insulation is not required where the area of new construction is less than 2m², b. Overhauling buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

Site Information	Prop.	Comp
Site Area	579.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscaped open space (40% min)	38%	Variation
Impervious area (m ²)	62%	Variation
Maximum cut into ground (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works.

Immediately Report any Discrepancies to Rapid Plans

Project North	 N
Drawn / Checked GBJ Not Date: 6/04/2022 Project NO.: RP721BOO Project Status DA	
Client Nathan Booker and Bree Hulme	
Site: 28 Meehan Road, Cromer	

DRAWING TITLE SHADOW PLANS

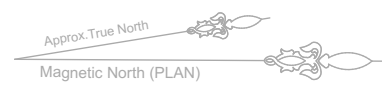
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	11/2/21

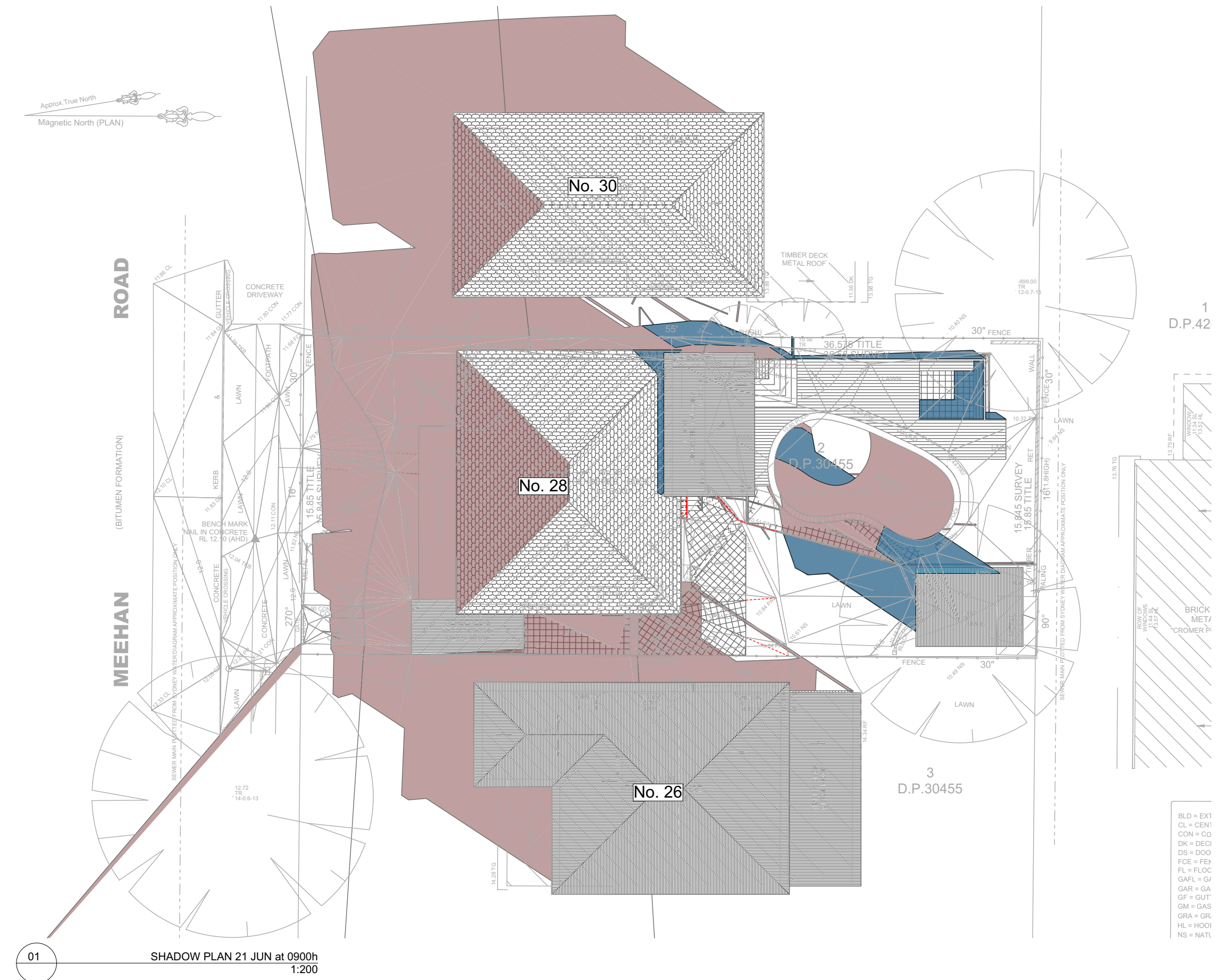
DRAWING NO. **DA5001**

Plot Date:	6/04/2022
Sheet Size: A3	SCALE: 1:100 (AS PER PLAN)



Denotes Proposed Shadow

Denotes Existing Shadow



01 SHADOW PLAN 21 JUN at 0900h
1:200

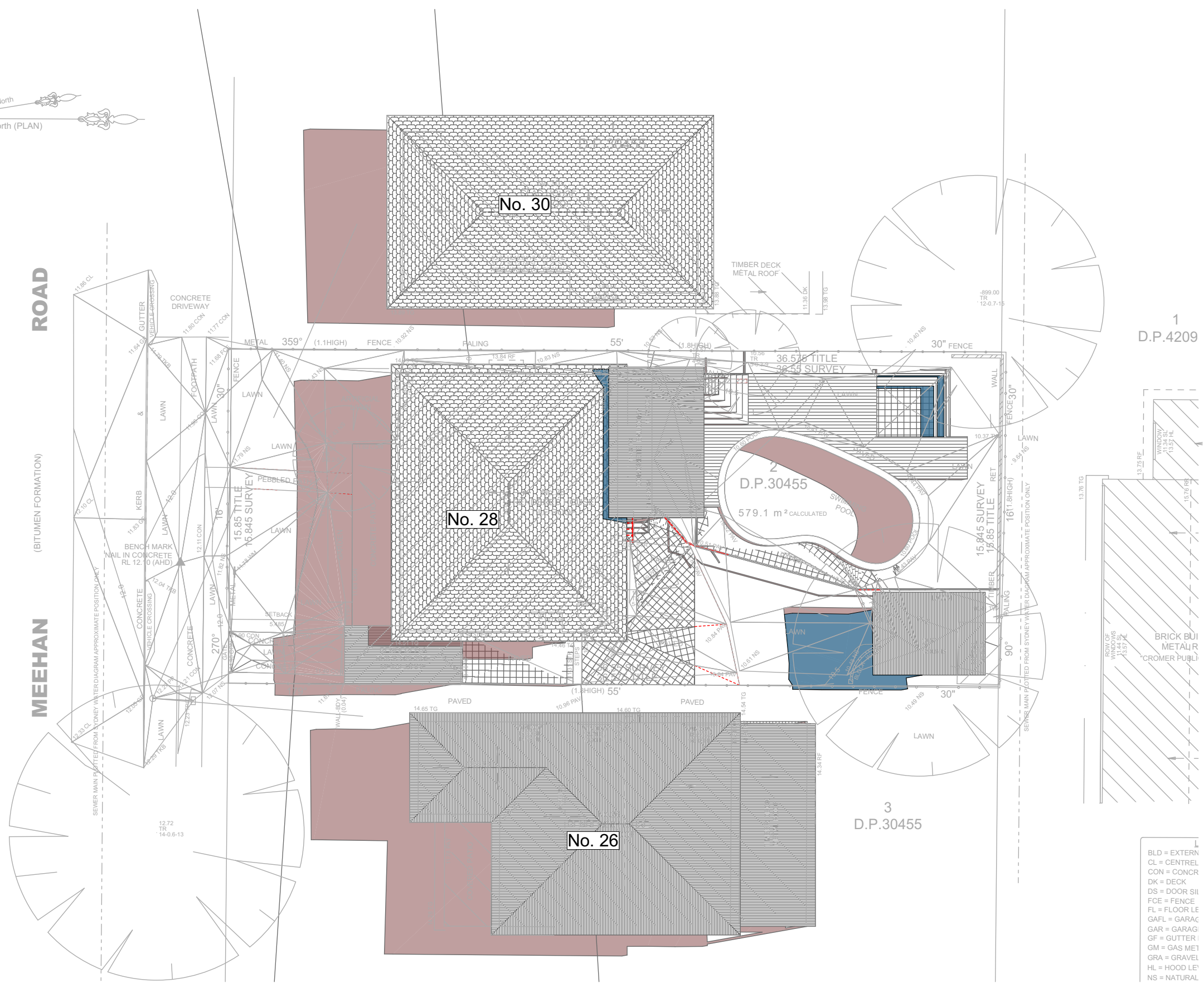
BLD = EXT
CL = CENT
CON = CO
DK = DECI
DS = DOO
FCE = FEN
FL = FLOC
GAFL = G/
GAR = GA
GF = GUT
GM = GAS
GRA = GR.
HL = HOOI
NS = NATL

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Denotes Proposed Shadow

Denotes Existing Shadow



BLD = EXTERN
CL = CENTREL
CON = CONCR
DK = DECK
DS = DOOR SII
FCE = FENCE
FL = FLOOR LE
GAFL = GARAC
GAR = GARAG
GF = GUTTER
GM = GAS MET
GRA = GRAVEL
HL = HOOD LE
NS = NATURAL

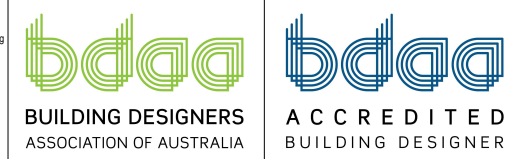
02 SHADOW PLAN 21 JUN at 1200h 1:200

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Checked Plot Date: 6/04/2022
Project NO: RP0721B00
Project Status: DA
Client Site: Nathan Booker and Bree Hulme 28 Meehan Road, Cromer
Sheet Size: A3

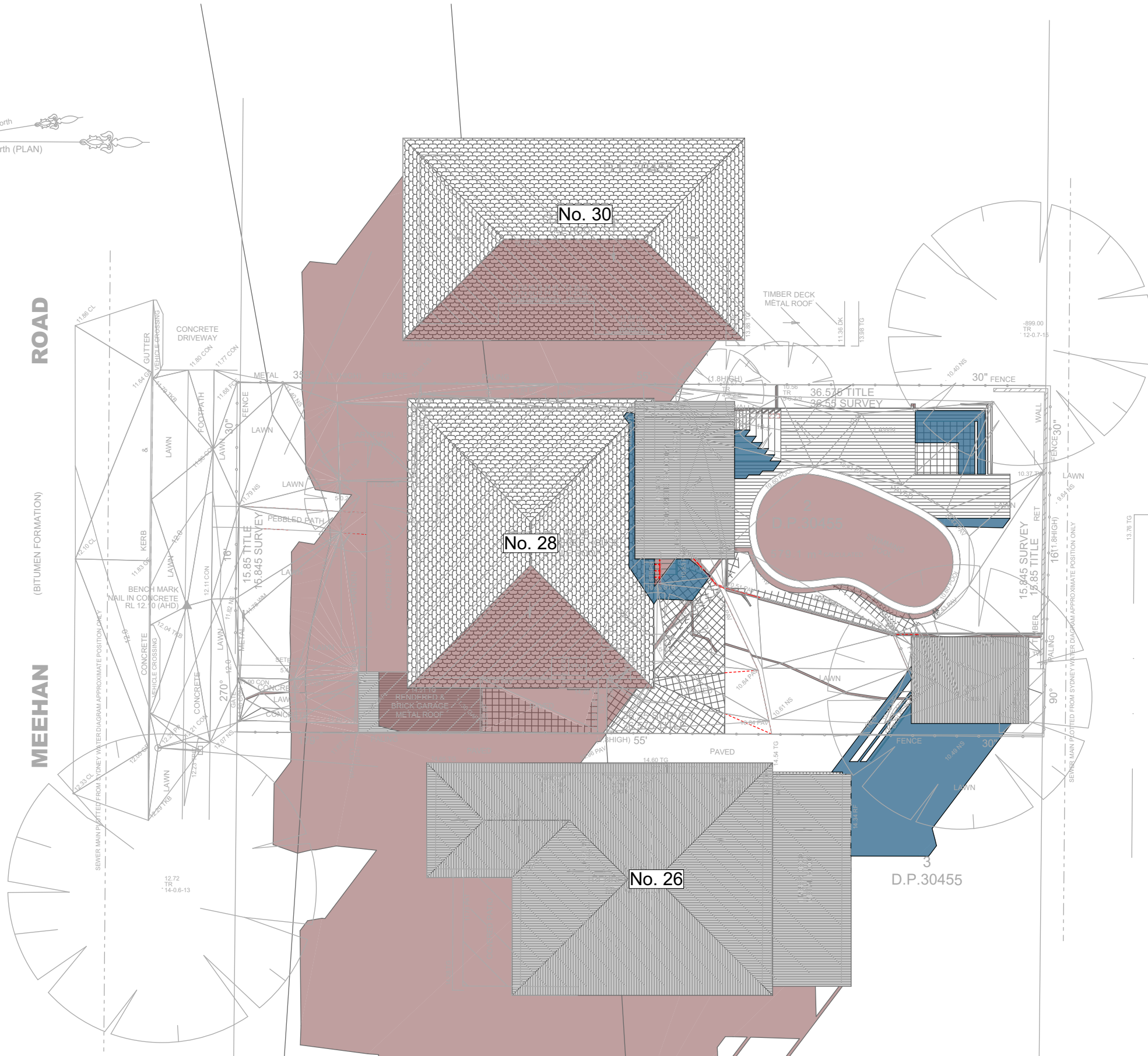
DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 12pm
PROJECT NAME : **Alterations & Additions**

REVISION NO. -
DATE: 1/12/21
DRAWING NO. **DA5003**

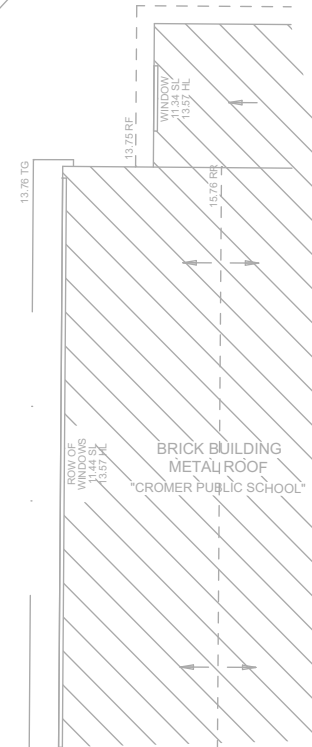
Approx. True North
Magnetic North (PLAN)

Denotes Proposed Shadow
Denotes Existing Shadow

ROAD
MEEHAN
(BITUMEN FORMATION)



1
D.P.420989



LEGEND:
BLD = EXTERNAL BUILDING
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
FCE = FENCE
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GAR = GARAGE
GF = GUTTER LEVEL
GM = GAS METER
GRA = GRAVEL
HL = HOOD LEVEL
NS = NATURAL SURFACE
PAT = PATIO

03 SHADOW PLAN 21 JUN at 1500h
1:200

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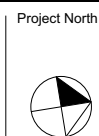


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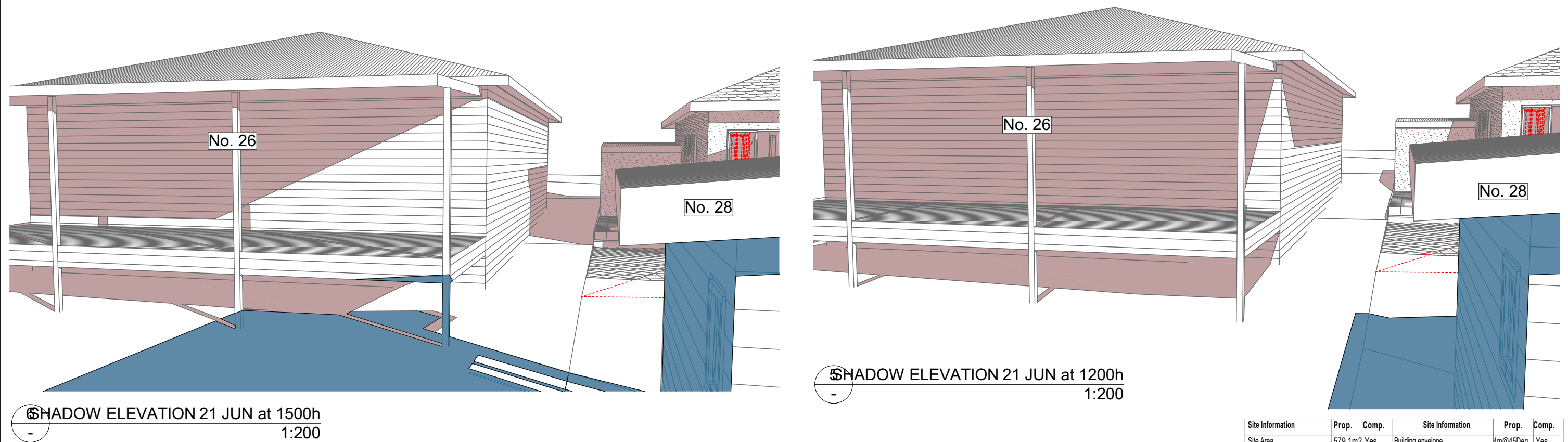
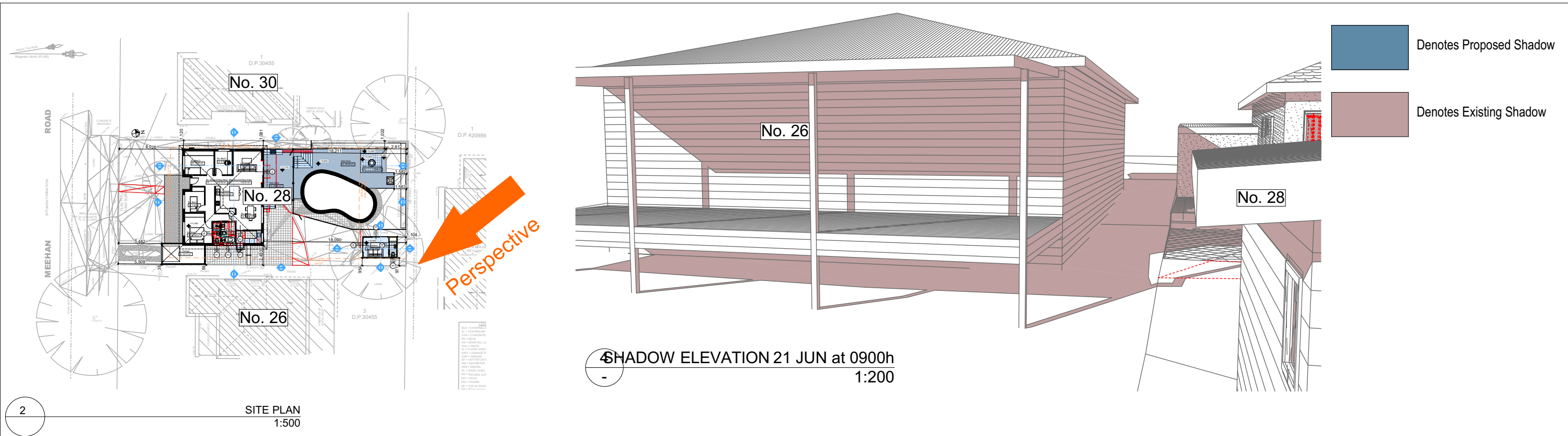
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 6/04/2022
Project NO. RP0721B00
Project Status DA
Client
Site: Nathan Booker and Bree Hulme
28 Meehan Road, Cromer
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
3pm
PROJECT NAME : Alterations & Additions

REVISION NO.
-
DATE:
1/12/21
DRAWING NO.
DA5004



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NOTES

28 Meehan Road, Cromer is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

28 Meehan Road, Cromer is not considered a heritage item

Certifying

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Construction

Slab and Framed Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.74 Insulation

Insulation to External Brick Veneer and Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A442389_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Existing	Variation No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 1585
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
6/04/2022
RP0721BOO
DA

Client
Site:

Nathan Booker and Bree Hulme
28 Meehan Road, Cromer

Sheet Size: A3

DRAWING TITLE :

SHADOW PLANS
WALL ELEVATION
SHADOWS

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
1/12/21

DRAWING NO.
DA5005