

STANDARD CONSTRUCTION NOTES

WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH:
AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER’S STRUCTURAL COMPUTATIONS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER’S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH **N.C.C. 3.8.3.3**
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL **S–TYP–DOOR–01**

ROOF FRAMING

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER’S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

EXTERNAL WALLS

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER’S DETAILS.
- SUB–FLOOR VENTILATION IN ACCORDANCE WITH **N.C.C. 3.4.1.** TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH **THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 – PLUMBING AND DRAINAGE.**

TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER; **AS 3660.1:2014 – TERMITE MANAGEMENT**

GLAZING

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM **SLIDING** (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH;
AS 1288:2006 GLASS IN BUILDINGS
AS 4055:2012 WIND LOADS FOR HOUSING
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH **N.C.C. 3.9.2.5**

STEPS, STAIRS & BALUSTRADES

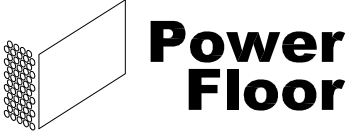
- ALL STEPS & STAIRS TO HAVE;
240mm MIN. & 355nm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH **N.C.C. 3.9.1.**
- BALUSTRADE IN ACCORDANCE WITH **N.C.C. 3.9.2.** TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH **N.C.C. 3.9.1.4** AND **AS 4586:2013 SLIP RESISTANCE.**

WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH;
AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1

INTERNAL ELEVATIONS

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.



FLOOR PANELS

STEEL FLOOR JOISTS

- 360MM DEEP FLOOR JOIST
- 300MM DEEP FLOOR JOIST TO WET AREA
- 22MM RED TONGUE PARTICLE BOARD FLOORING

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE 2340MM (H) INTERNAL DOORS THROUGHOUT UNLESS OTHERWISE NOTED (EXCLUDES SLIDING ROBE DOORS)

NOTE: REFER TO COLOUR SCHEDULE FOR LOCATION OF ANY NON-STANDARD FLYSCREENS TO WINDOWS AND / OR EXTERNAL DOORS.

PROVIDE AIR-CONDITIONING DUCTS AND OUTLETS FOR AIR-CONDITIONING BY METRICON

BUSHFIRE ATTACK LEVEL (BAL) CONSTRUCTION REQUIREMENTS

CONSTRUCTION TO BAL 12.5

REFER TO CONTRACT FOR DETAILED VARIATIONS

PROVIDE SQUARE SET CEILING CORNERS THROUGHOUT IN LIEU OF STANDARD CORNICE

SLIM PROFILE CORNER TRIM TO EXTERNAL CORNERS OF LIGHTWEIGHT CLADDING

BASIX COMMITMENTS

Certificate No.: **1058086S_02**
Date of Issue: **20.03.2020**

WATER COMMITMENTS

FIXTURES

- 3 STAR RATED SHOWERHEADS >6 BUT <7.5L/MIN.
- 4 STAR RATED TOILET FLUSHING SYSTEMS
- 3 STAR RATED KITCHEN TAPS
- 3 STAR RATED BASIN TAPS

ALTERNATIVE WATER

- PROVIDE A RAINWATER TANK OF AT LEAST 3000L
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM THE **ENTIRE ROOF AREA.**
- TANK MUST BE CONNECTED TO;
 - ALL TOILETS
 - WASHING MACHINE COLD WATER TAP
 - AT LEAST ONE OUTDOOR TAP

ENERGY COMMITMENTS

HOT WATER

- 6 STAR RATED GAS INSTANTANEOUS

COOLING SYSTEM

- 3–PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 3.0–3.5**
- 3–PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 3.0–3.5**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

HEATING SYSTEM

- 3–PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 3.5–4.0**
- 3–PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 3.5–4.0**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

VENTILATION

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
 - AT LEAST 1 BATHROOM
 - THE KITCHEN

ALTERNATIVE ENERGY

- INSTALL A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE AT LEAST 5.0 PEAK KILOWATTS OF ELECTRICITY.

NATURAL LIGHTING

- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST 4 BATHROOMS/TOILET, KITCHEN FOR NATURAL LIGHTING

OTHER COMMITMENTS

- INSTALL A **GAS** COOKTOP & **ELECTRIC** OVEN
- PROVIDE A FIXED OUTDOOR CLOTHESLINE

TABLE OF REVISIONS

REV.	DATE	REVISION DESCRIPTION	BY
A	13.09.19	PRELIMINARY CONTRACT PLANS	JUI
B	11.10.19	CONTRACT PLANS	JUI
C	04.03.20	CONTRACT VARIATION 1	BZ
D	31.03.20	FLOOR LEVEL RAISED	JUI
E	17.04.20	LODGEEMENT PLANS	BD
F	DD.MM.YY	DESCRIPTION	XX
G	DD.MM.YY	DESCRIPTION	XX
H	DD.MM.YY	DESCRIPTION	XX
I	DD.MM.YY	DESCRIPTION	XX
J	DD.MM.YY	DESCRIPTION	XX



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0411

DESIGN: BAYVILLE 48	SIGNATURE 	OWNER: MR & MRS MILLARD	
FACADE: BAYVILLE CEILING: 27, R		LOT 71, 3 MILDRED AVENUE	
GARAGE: DOUBLE LOCATION: F			
COVER SHEET	BY METRICON	JOB No: 704303	DATE: 04.03.2020
	Build: E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes	FC DATE: DD.MM.YYYY	MST VER: 12.04.2018
METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.		SCALE:	REVISION: E
		DRAWN: JUI	CHECK: -- SHEET: COVER

NORTHERN BEACHES
BASED ON
WARRINGAH DCP 2011

SITE AREA: 714.5 SQM

PROPOSED ROOF COVERAGE

ROOF COVERAGE AREA: 312.4 SQM

LANDSCAPED AREA

TOTAL LANDSCAPED AREA: 335.71 SQM
EXCL. ALL HARD SURFACES
MINIMUM DIMENSION OF 0.5M 46.9%

MIN. REQUIRED BY COUNCIL: 40%

STORMWATER CALCULATION

HARD LANDSCAPE AREAS: 378.7 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)

SITE COVERAGE RATIO: 53 %

MAX. ALLOWABLE SITE COVERAGE
PRIOR TO O.S.D. REQUIRED: 40 %

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE: 220 SQM

MIN. REQUIRED BY COUNCIL: 60 SQM
MINIMUM DIMENSION OF 5M

BUILDING ENVELOPE

PROVIDE 45 DEGREE PLANE
PROJECTED AT 5.0M HIGH ABOVE SIDE
BOUNDARY NATURAL GROUND LEVEL.

BUILDING HEIGHT RESTRICTION

MAXIMUM 8.5M RIDGE HEIGHT
MAXIMUM 7.2M CEILING HEIGHT
(F.F.L. MUST BE ACCURATE TO COMPLY)

MAXIMUM 1000 MM CUT
MAXIMUM 1000 MM FILL
DEEP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED

EXISTING TREES TO BE
LOPPED/REMOVED BY OWNER

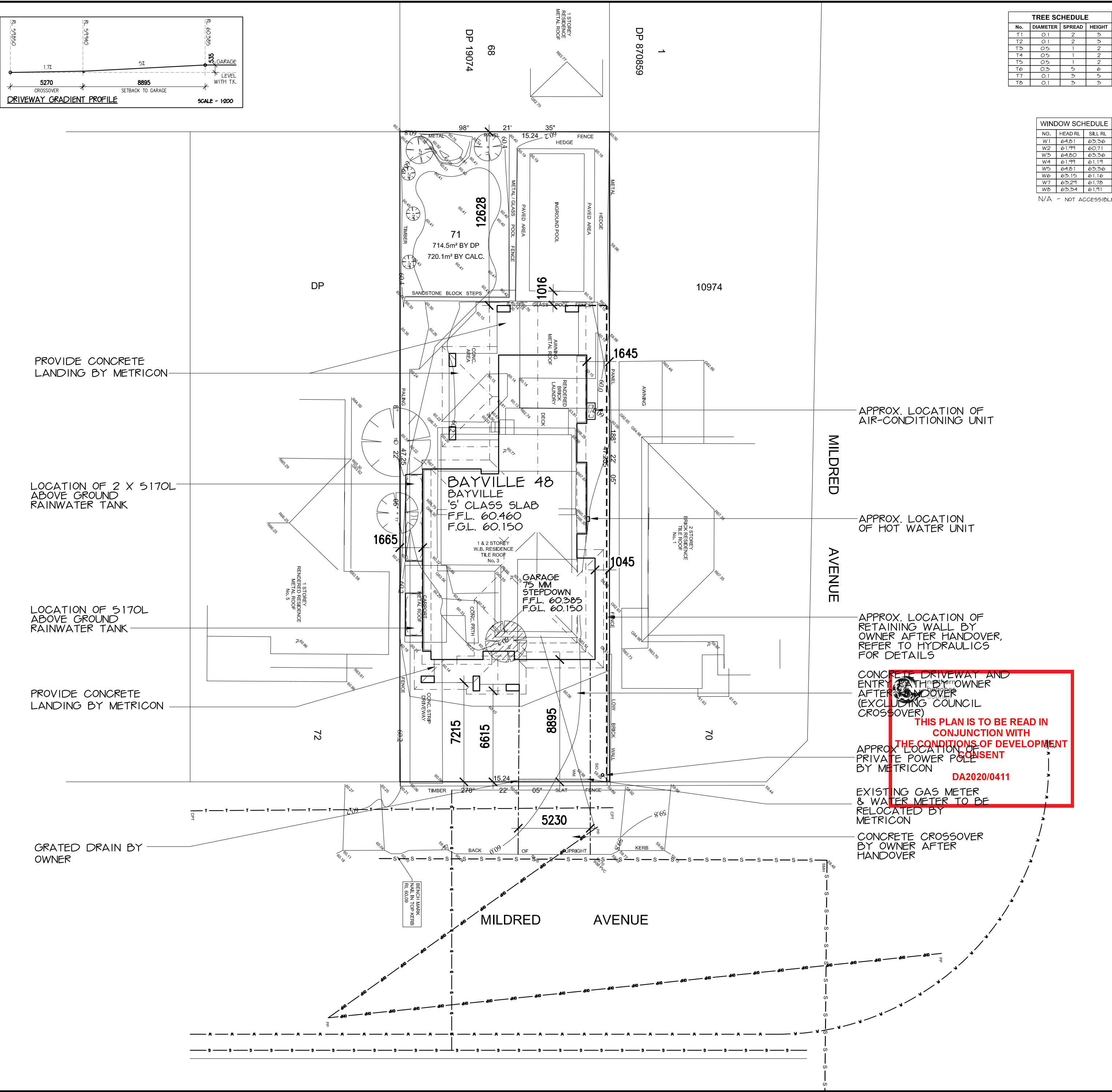
TREE REMOVAL REQUIREMENTS:

SITE TO BE CLEARED BY OWNER OF ANY EXISTING
TREES AND/OR PRUNE TREES WHICH WILL EFFECT
THE BUILDING AREA PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE OWNER TO
OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED

DEMOLITION REQUIREMENTS:

SITE TO BE CLEARED OF ALL EXISTING
STRUCTURES, LEVELLED AND ALL SERVICES
RELOCATED BY THE OWNER TO THE SATISFACTION
OF METRICON HOMES P/L.



TREE SCHEDULE			
No.	DIAMETER	SPREAD	HEIGHT
T1	0.1	2	3
T2	0.1	2	3
T3	0.5	1	2
T4	0.5	1	2
T5	0.5	1	2
T6	0.3	5	6
T7	0.1	3	5
T8	0.1	3	3

WINDOW SCHEDULE		
NO.	HEAD RL	SILL RL
W1	64.81	62.36
W2	61.99	60.71
W3	64.80	62.36
W4	61.79	61.14
W5	64.81	62.36
W6	62.15	61.16
W7	62.29	61.78
W8	62.34	61.91

N/A - NOT ACCESSIBLE

DRAWINGS AMENDMENTS

TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION
IN ACCORDANCE WITH A.S.3660.1

SURVEYORS NOTES

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

NORTH

LOT NO:
71

DEPOSITED PLAN:
10974

COUNCIL / LGA:
WARRINGAH

SLAB CLASS:
S

WIND SPEED:
N2

MGA

EXCAVATION NOTES:

50MM (+/-) TOLERANCE TO NOMINATED RL'S

SCRAPE BUILDING PLATFORM
TO RL 60.150

EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT

IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:

SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD.

STORMWATER TO DRAIN TO STREET VIA ON-SITE DETENTION AND RAINWATER TANK(S)

REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:

METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

ALL WEATHER ACCESS:

METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

GULLY PIT

HYD HYDRANT

SIP SURFACE INLET PIT

SEC SEWER INSPECTION COVER

SMH SEWER MANHOLE

W/M WATER METER

E/L ELECTRICITY BOX

SMH STORMWATER MANHOLE

TP TELSTRA PIT

SEWER LINE

VEHICLE CROSSING

STOP VALVE

DEEP EDGE BEAM

GAS METER

L.P. LIGHT POLE

INV INVERT

TK TOP OF KERB

KO KERB OUTLET

INTRAX SURVEY DATE: 21/07/2019

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

SITE PLAN

m

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MR & MRS MILLARD

LOT 71, 3 MILDRED AVE,
MANLY VALE

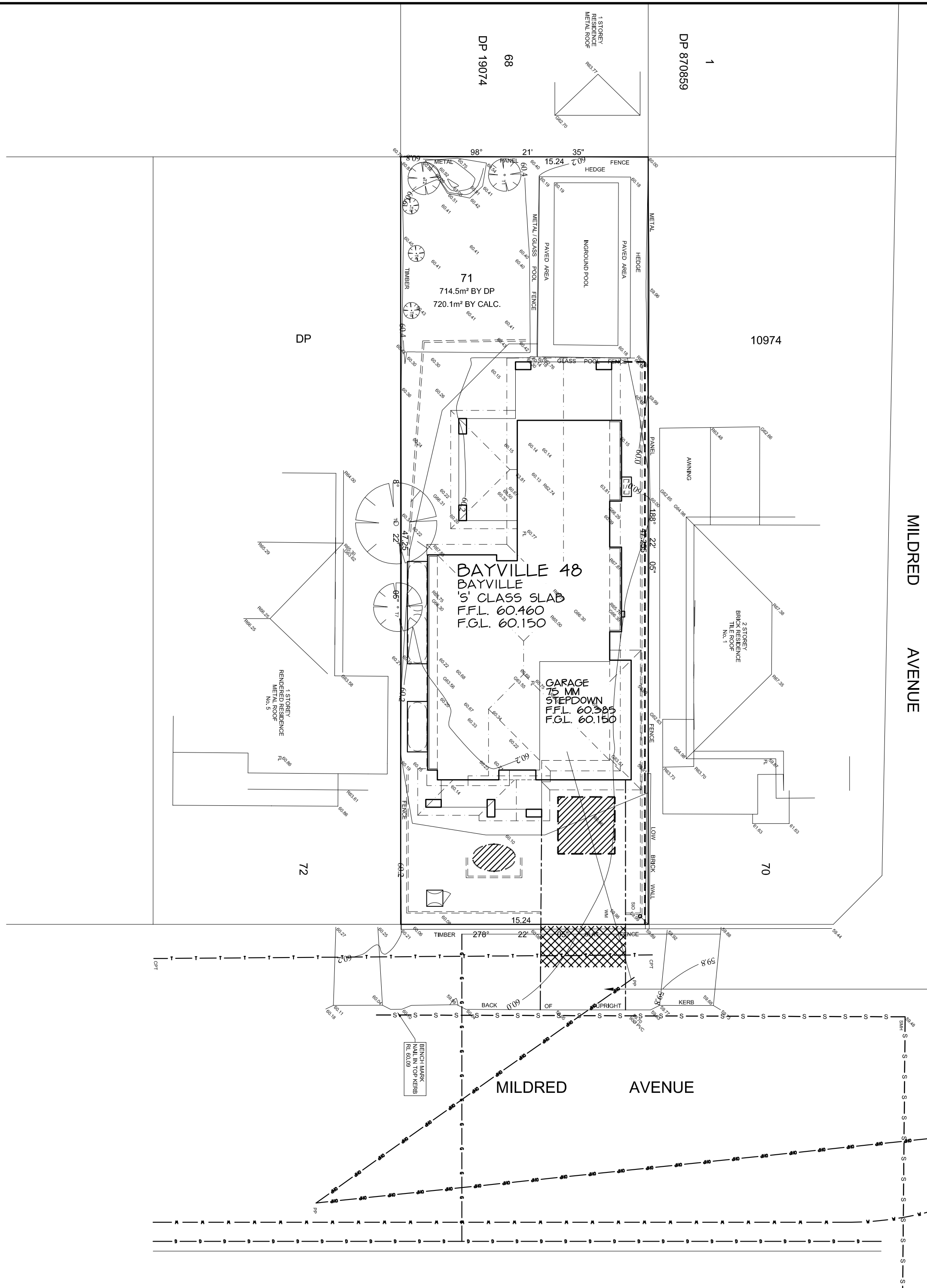
JOB No. 704303

DATE: 16/07/18

DRAWN: BZ

SCALE: 1:200 ON A2

SHEET: 1 OF 11

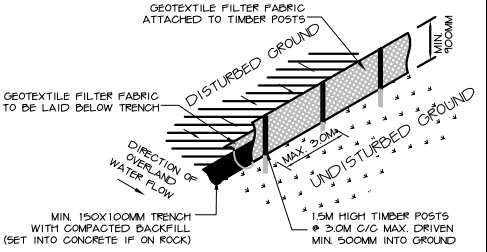


TREE SCHEDULE			
No.	DIAMETER	SPREAD	HEIGHT
T1	0.1	2	3
T2	0.1	2	3
T3	0.5	1	2
T4	0.5	1	2
T5	0.5	1	2
T6	0.3	5	6
T7	0.1	3	5
T8	0.1	3	3

WINDOW SCHEDULE		
NO.	HEAD RL	SILL RL
W1	64.01	62.36
W2	61.99	60.71
W3	64.50	62.36
W4	61.79	61.17
W5	64.01	62.36
W6	63.15	61.16
W7	63.29	61.78
W8	63.34	61.91

N/A - NOT ACCESSIBLE

- ### SEDIMENT CONTROL NOTES
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEPT DAILY.
 6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC PROPER OR APPROVED EQUIVALENT BETWEEN POST AT 30M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
 7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE

	LOT NO:	71
	DEPOSITED PLAN:	10974
	COUNCIL / LGA:	WARRINGAH
	SLAB CLASS:	S
MGA	WIND SPEED:	N2

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

TEMPORARY SECURITY FENCING:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

INTRAX SURVEY DATE: 21/07/2019
CONTOUR INTERVALS: 200MM
LEVELS TO: AHD

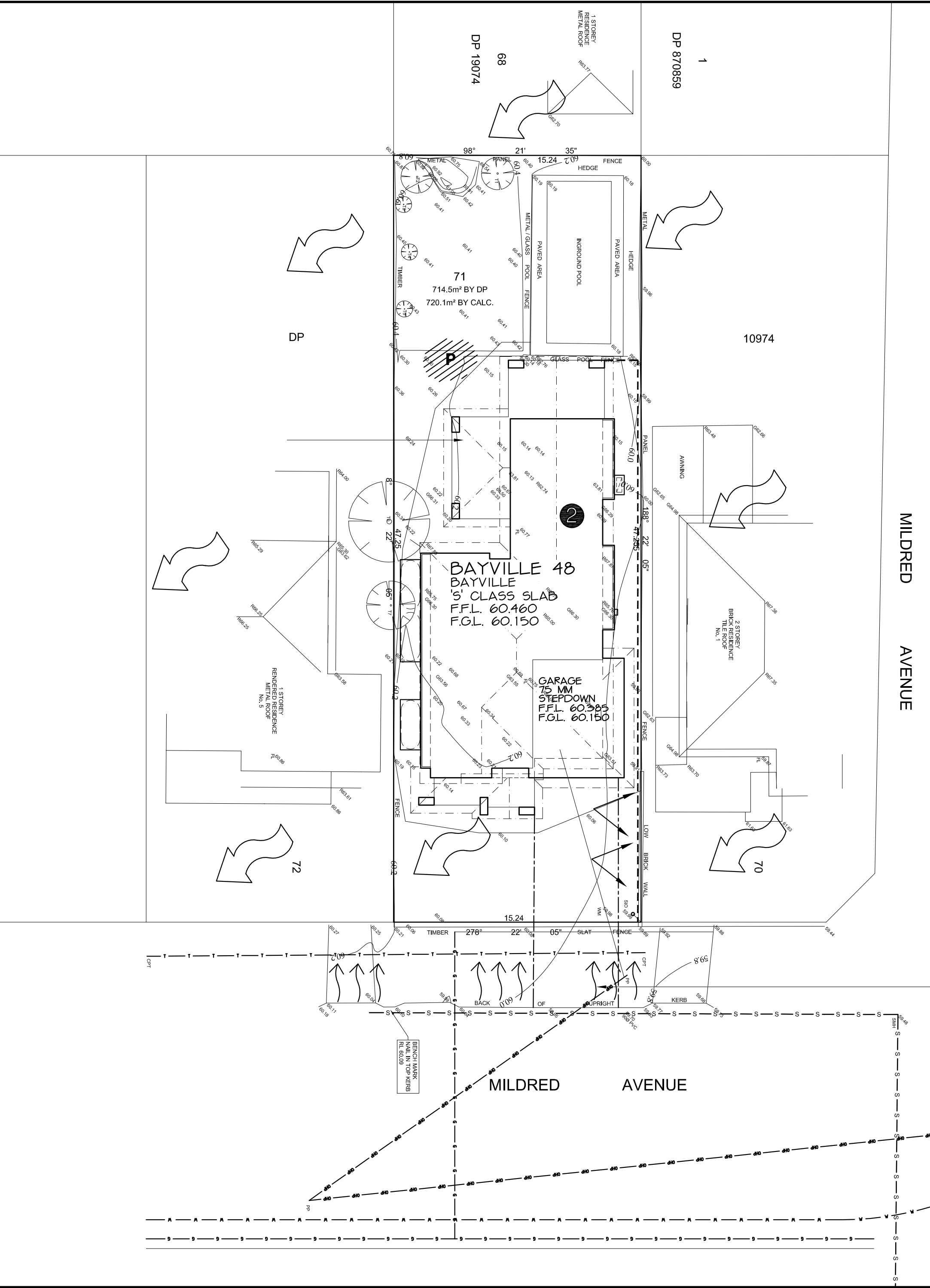
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MR & MRS MILLARD
LOT 71, 3 MILDRED AVE,
MANLY VALE

JOB No: 704303
DATE: 17/04/2020 DRAWN: BD/DBZ
SCALE: 1:200 ON A2 SHEET: 1A OF 11

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0411



TREE SCHEDULE			
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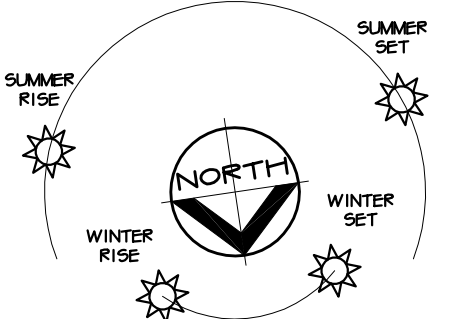
LEGEND

- MAIN VIEWS
- PRIVATE OPEN SPACE
- NUMBER OF STOREYS
- NOISE SOURCE
- PREVAILING WINDS FROM SOUTH-WEST



LOT NO:	71
DEPOSITED PLAN:	10974
COUNCIL / LGA:	WARRINGAH
SLAB CLASS:	S
WIND SPEED:	N2

MGA



SITE ANALYSIS PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BY-LAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 21/07/2019
CONTOUR INTERVALS: 200MM
LEVELS TO: AHD

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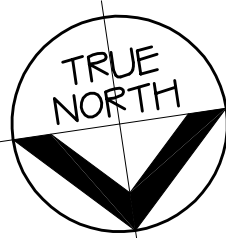
JOB No: 704303
DATE: 17/04/2020 DRAWN: BD/DBZ
SCALE: 1:200 ON A2 SHEET: 1B OF 11

northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0411

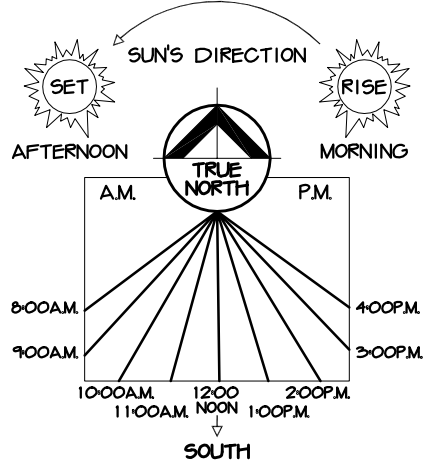
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W7	63.29	61.76
W8	63.34	61.91

N/A - NOT ACCESSIBLE



LOT NO: 71	
DEPOSITED PLAN: 10974	
COUNCIL / LGA: WARRINGAH	
SLAB CLASS:	S
WIND SPEED:	N2



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO BE USED AS TRUE NORTH POINT FOR THIS JOB

SHADOW LOCATION TIME OF DAY

9:00 A.M. JUNE 21
12:00 NOON JUNE 21
3:00 P.M. JUNE 21

TIME	SHADOW LENGTH RATIO (METRES)	ALTITUDE (DEGREES)	AZIMUTH (DEGREES)
8:00 AM	5.82	9.76	53.12
9:00 AM	2.91	18.96	42.59
10:00 AM	2.02	26.33	30.01
11:00 AM	1.66	31.14	15.3
12:00 PM	1.56	32.72	359.19
1:00 PM	1.66	30.8	343.16
2:00 PM	2.06	25.7	328.65
3:00 PM	3.06	18.11	316.28
4:00 PM	6.45	6.77	305.94

INTRAX SURVEY DATE: 21/07/2019

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

SHADOW DIAGRAM @ JUNE 21

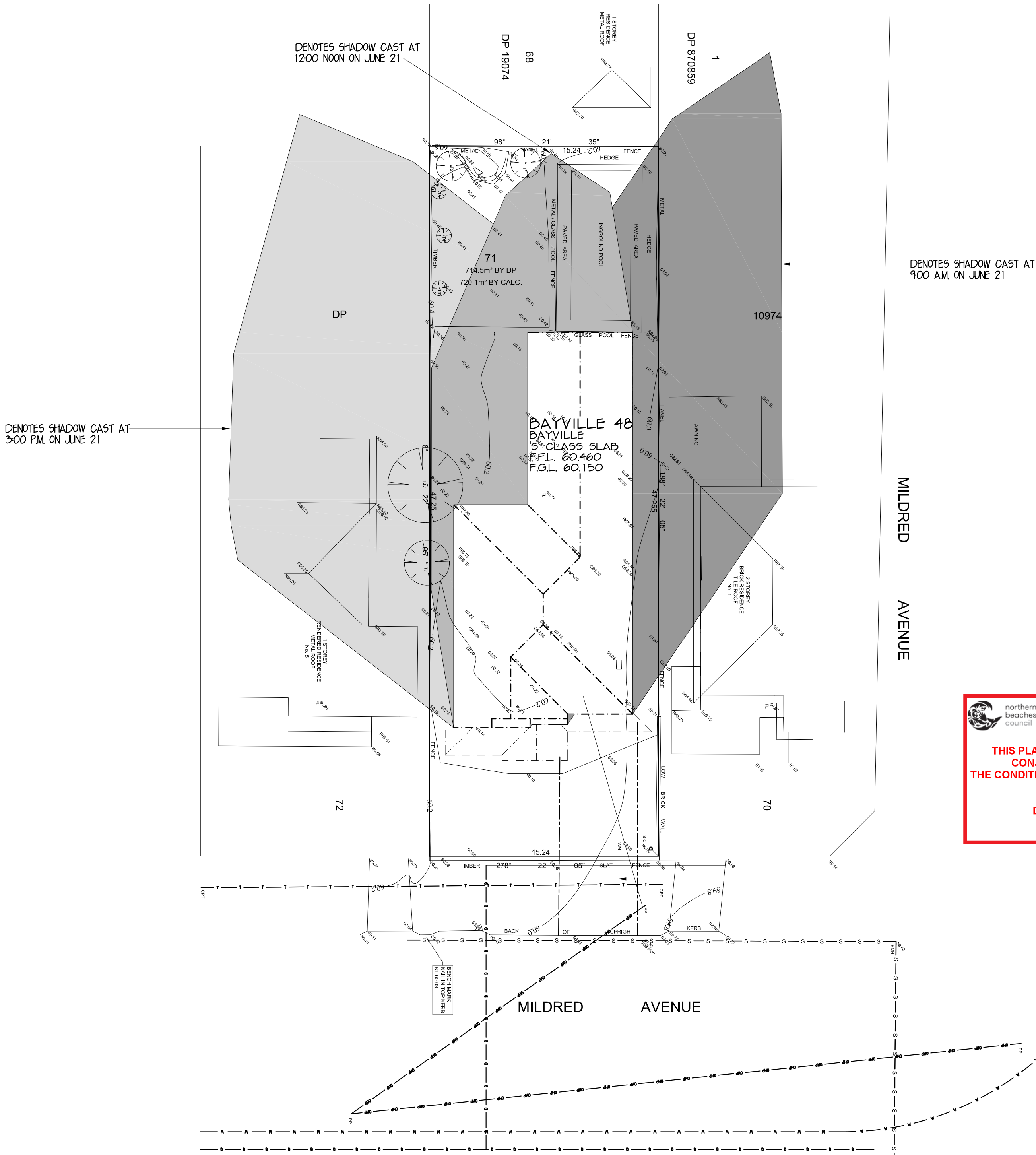
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MR & MRS MILLARD
LOT 71, 3 MILDRED AVE,
MANLY VALE

JOB No: 704303

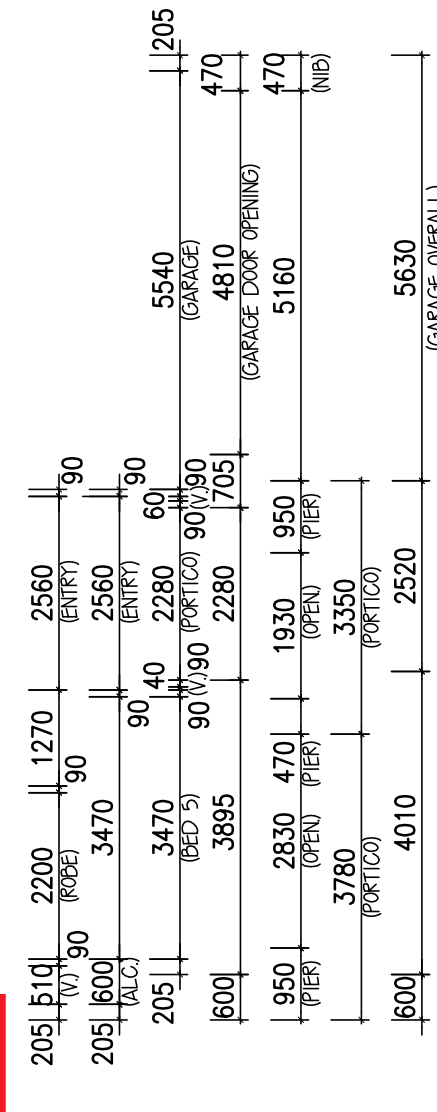
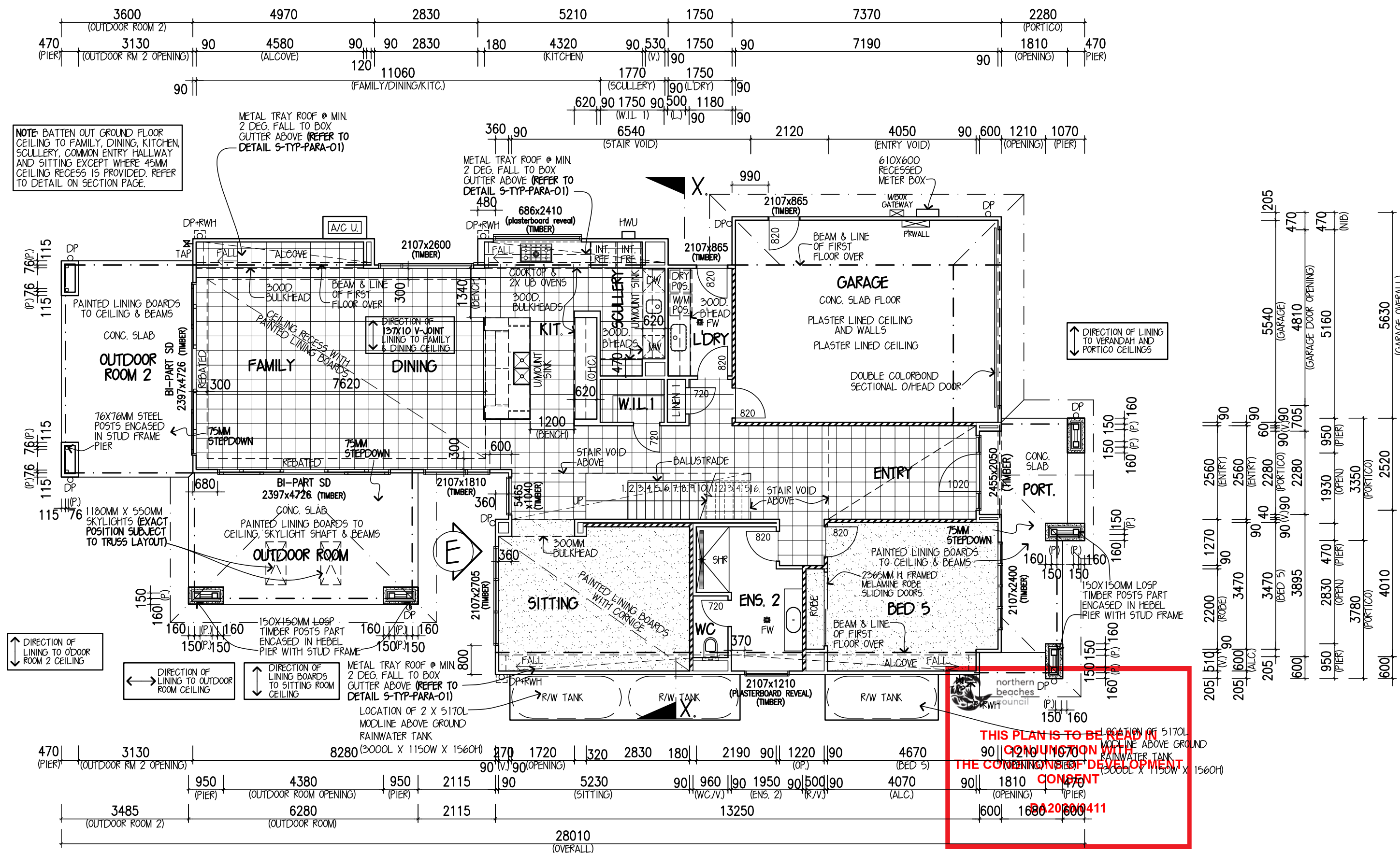
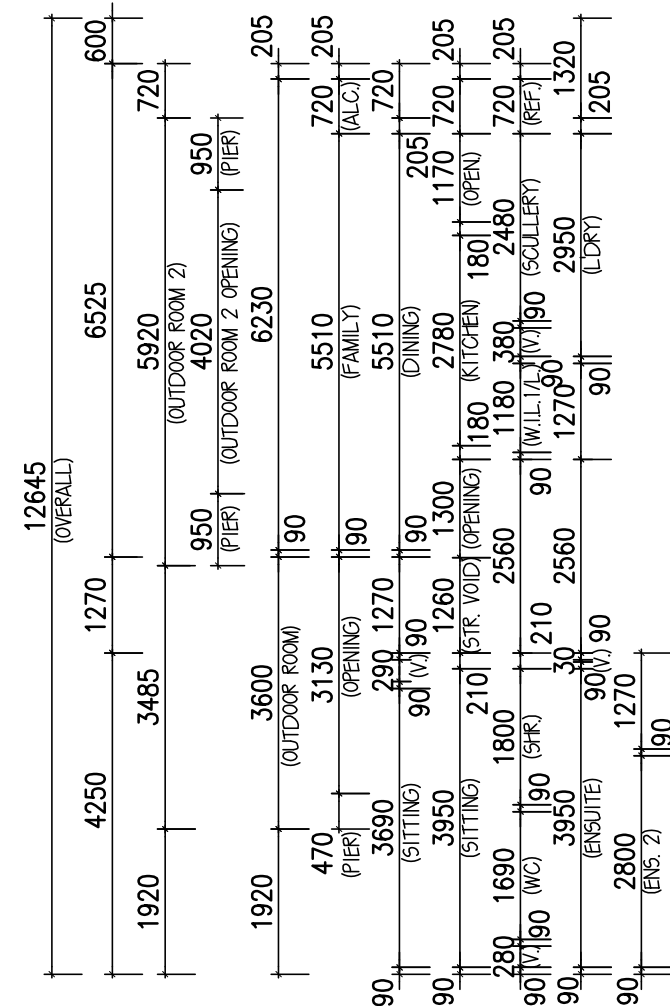
DATE: 17/04/2020	DRAWN: BD/BZ
SCALE: 1200 ON A2	SHEET: 1C OF 11



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0411

C

B



D

A

DENOTES WALLS WITH R2.0 (70MM) NEW GENERATION SOUNDSCREEN ACOUSTI-THERM INSULATION BATTS

SYMBOL LEGEND

- DOWNPIPE 90mm ROUND PVC
- DOWNPIPE 100x50mm RECT. C/BOND
- DOWNPIPE WITH SPREADER
- DOWNPIPE WITH RAINWATER HEAD
- EXHAUST FAN, INSTALLED AS PER B.C.A. 3.8.5 & TO COMPLY WITH AS 1688.2
- GARDEN TAP
- GAS BAYONET
- COLD WATER POINT
- FLOOR WASTE
- ELEC. METERBOX 600x600 RECESSED
- AIR COND. UNIT
- MANHOLE FOR CEILING ACCESS
- SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
- ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
- LOAD BEARING WALL
- 70mm STUD WALL
- 120mm STUD WALL

AREAS:

GRD FLR:	183.06 SQM	GARAGE:	41.10 SQM
FIRST FLR:	186.92 SQM	PORTICO:	14.49 SQM
		O'DOOR 1:	22.60 SQM
		O'DOOR 2:	21.31 SQM
		BALCONY:	20.13 SQM
SUBTOTAL:	369.98 SQM	TOTAL:	489.61 SQM
	398.3 SQM		527.0 SQM

DESIGN: BAYVILLE 48
FACADE: BAYVILLE
CEILING: 27, R
GARAGE: DOUBLE
LOCATION: F

GROUND FLOOR PLAN

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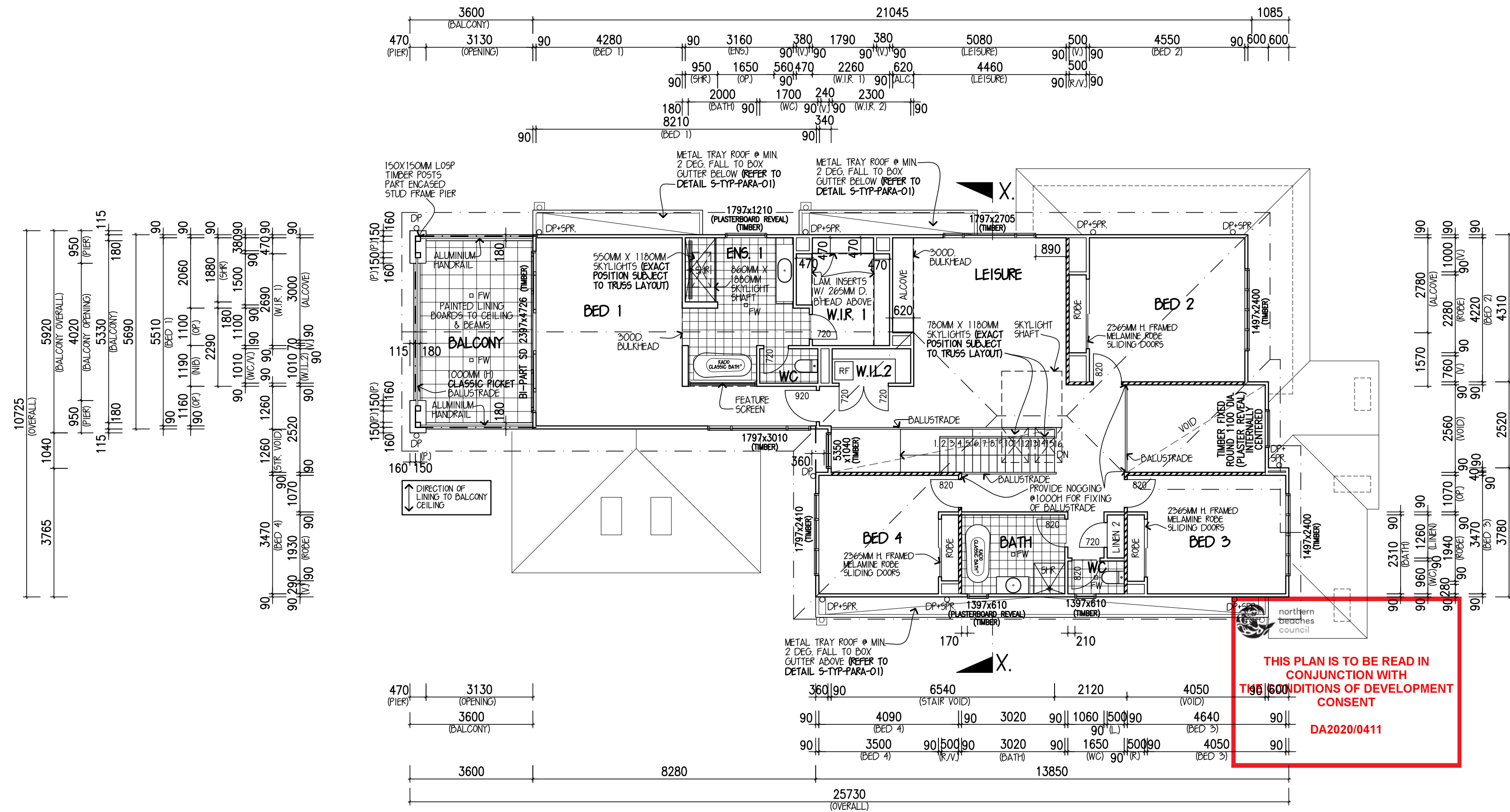
Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
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OWNER: MR & MRS MILLARD
LOT 71, 3 MILDRED AVENUE
MANLY VALE

JOB No:	704303	DATE:	04.03.2020
FC DATE:	DD.MM.YYYY	MST VER:	12.04.2018
SCALE:	1:100 ON A2 SHEET	REVISION:	E
DRAWN:	JUI	CHECK:	--
SHEET:	2 of 11		

C

B



D

A

DENOTES WALLS WITH R2.0 (70MM)
NEW GENERATION SOUNDCREEN
ACOUSTI-THERM INSULATION BATTS

SYMBOL LEGEND

DOWNPIPE 90mm ROUND PVC	GARDEN TAP	SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
DOWNPIPE 100x50mm RECT. C/BOND	GAS BAYONET	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
DOWNPIPE WITH SPREADER	COLD WATER POINT	LOAD BEARING WALL
DOWNPIPE WITH RAINWATER HEAD	FLOOR WASTE	70mm STUD WALL
EXHAUST FAN, INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH AS 1686.2	ELEC. METERBOX 600x600 RECESSED	120mm STUD WALL
	AIR COND. UNIT	
	MANHOLE FOR CEILING ACCESS	

DESIGN: BAYVILLE 48

FACADE: BAYVILLE CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

FIRST FLOOR PLAN

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MANLY VALE

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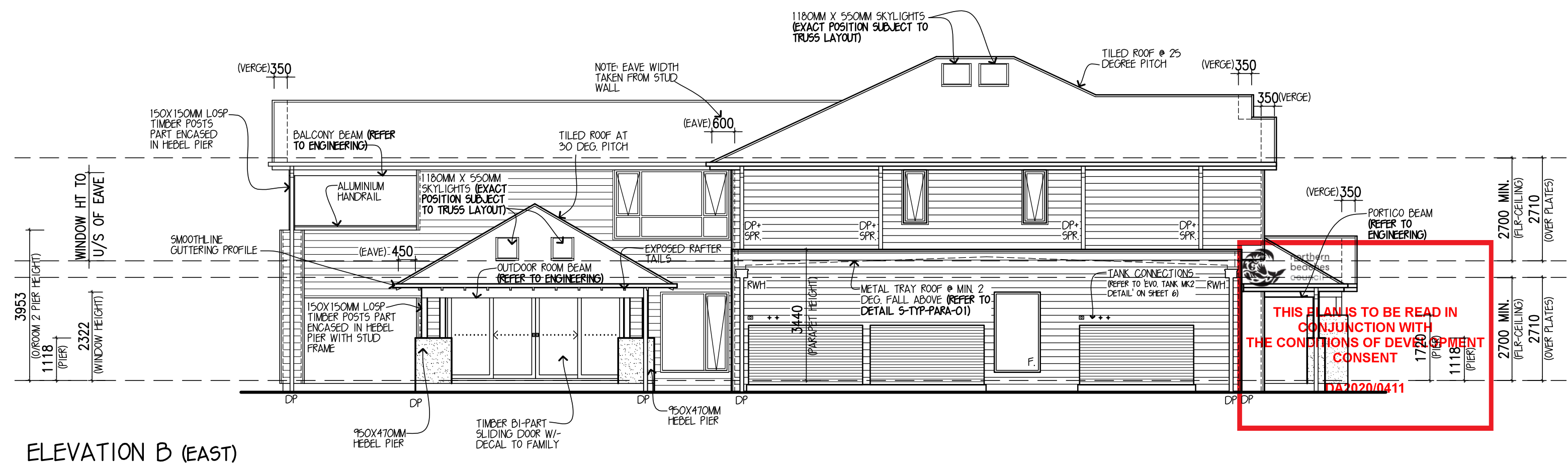
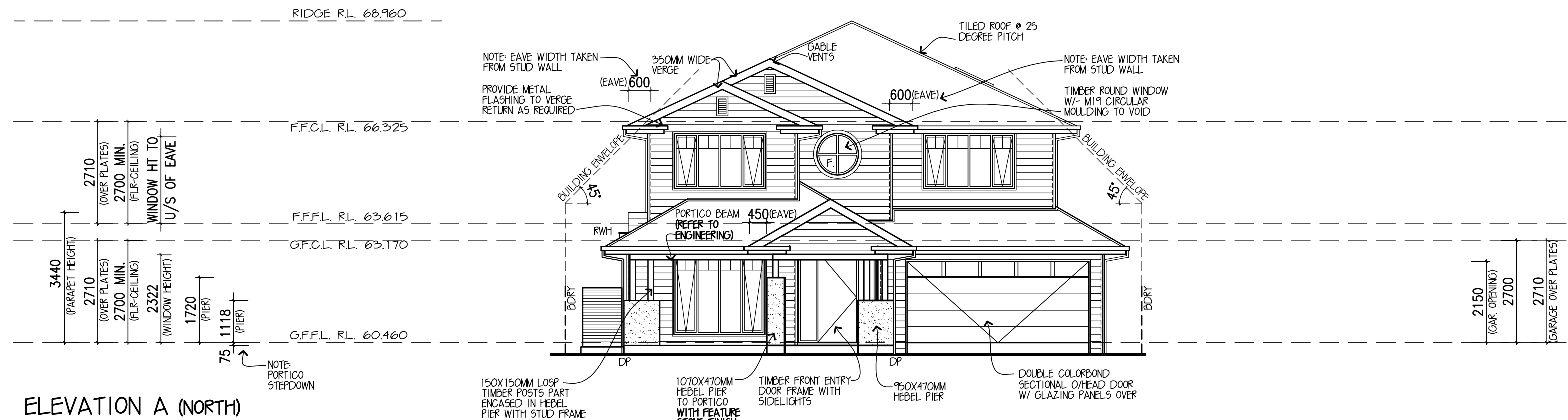
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JOB No: 704303 DATE: 04.03.2020

FC DATE: DD.MM.YYYY MST VER: 12.04.2018

SCALE: 1:100 ON A2 SHEET REVISION: E

DRAWN: JUI CHECK: -- SHEET: 3 of 11



IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. **S-TYP-BAYV-01**

PROVIDE SLIMLINE EXTERNAL
CORNER TRIM TO WEATHERBOARD
CLADDING

PROVIDE JAMES HARDIES SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: S-TYP-CLAD-02

SYMBOL LEGEND



RECESSED ELECTRICITY



DOWNPIPE W/-
RAINWATER HEAD



ROTATING ROOF VENTILATOR



ARTICULATION JOINT
WHERE ARTICULATION
JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL
ENGINEER'S DETAILS

DESIGN: BAYVILLE 48

FACADE: **BAYVILLE** CEILING: **27, R**

GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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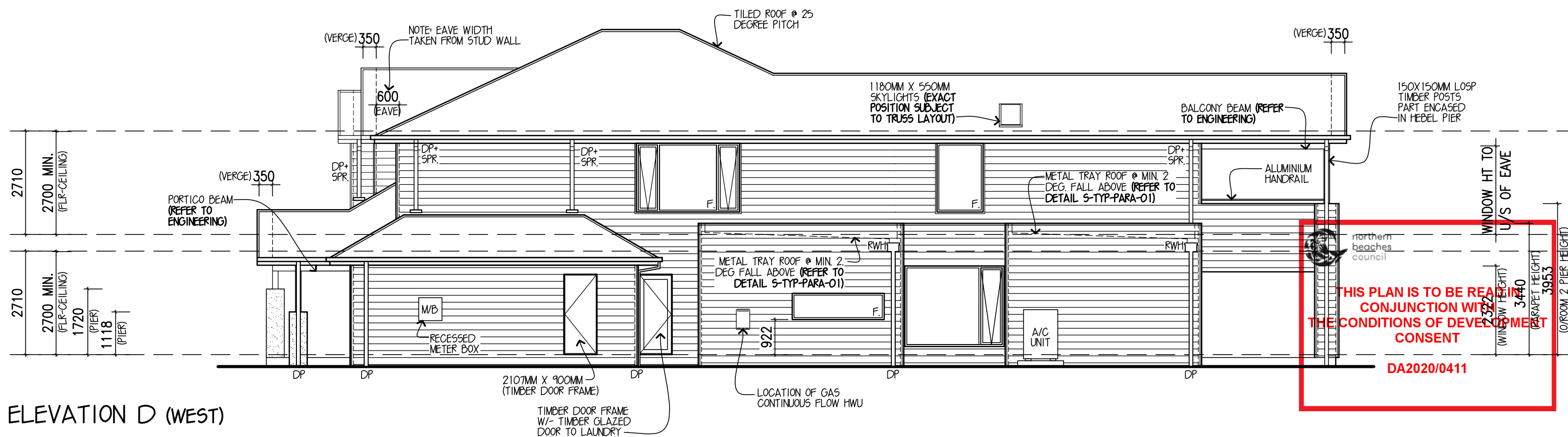
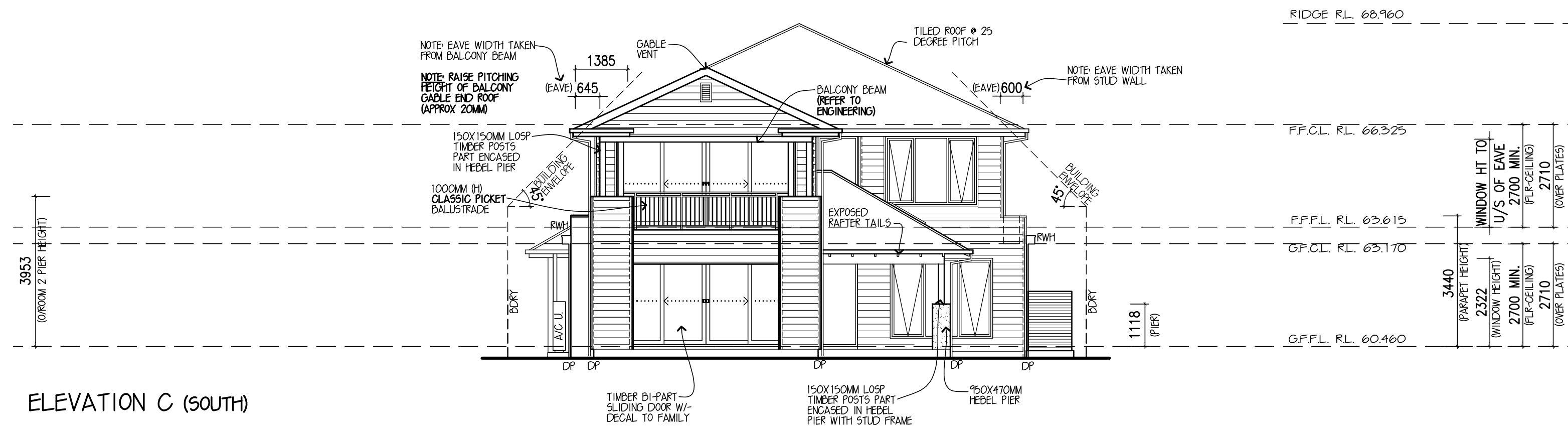
OWNER: MR & MRS MILLARD
LOT 71, 3 MILDRED AVENUE
MANLY VALE

JOB No: 704303	DATE: 04.03.2020
-----------------------	-------------------------

FC DATE: DD.MM.YYYY	MST VER: 12.04.2018
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SCALE: 1:100 ON A2 SHEET	REVISION: F
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DRAWN: JUI	CHECK: --	SHEET: 4 of 11
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DA2020/0411

PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: 5-TYP-CLAD-02

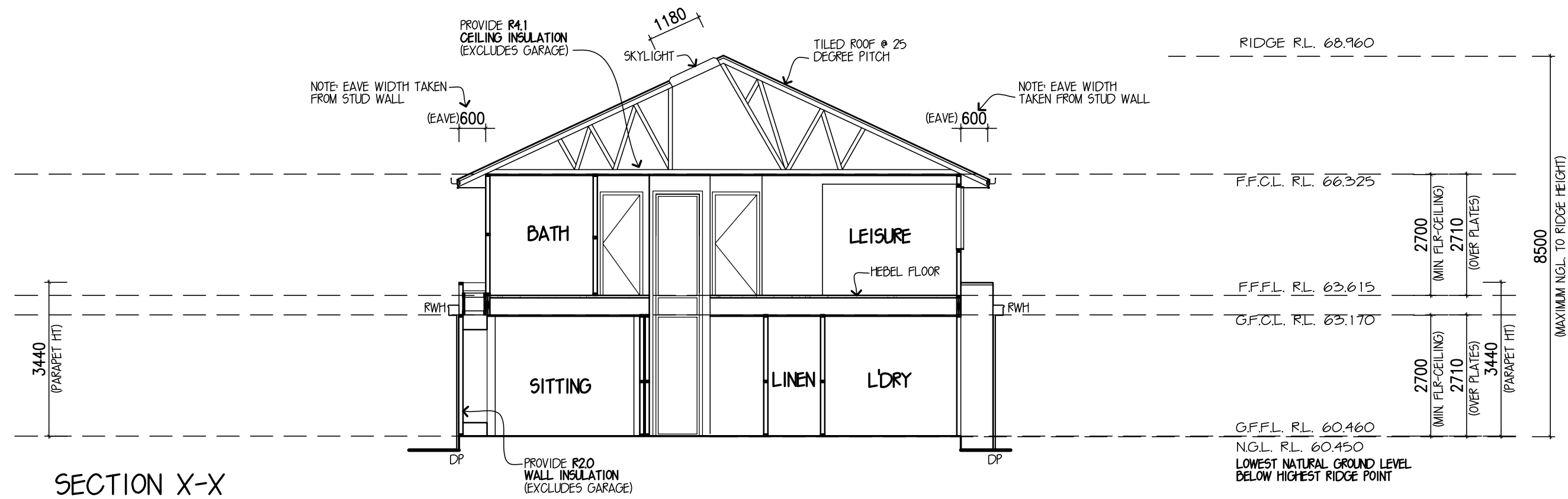
PROVIDE SLIMLINE EXTERNAL CORNER TRIM TO WEATHERBOARD CLADDING

SYMBOL LEGEND

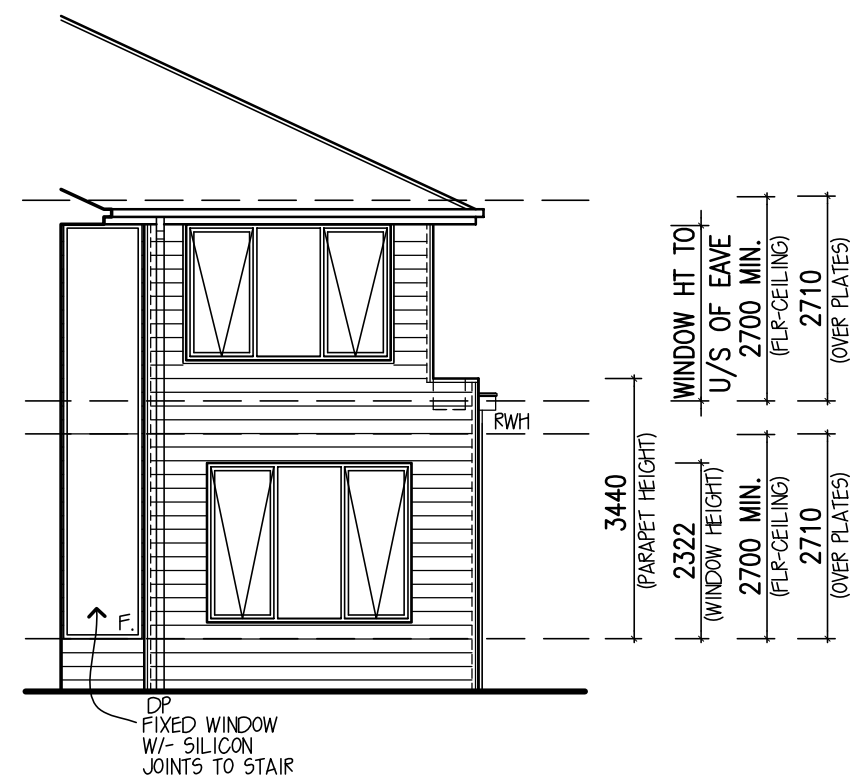
M/B	RECESSED ELECTRICITY METER BOX	AJ	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
RWHT	DOWNPIPE W/- RAINWATER HEAD		
DP	ROTATING ROOF VENTILATOR		

DESIGN: BAYVILLE 48	
FACADE: BAYVILLE	CEILING: 27, R
GARAGE: DOUBLE	LOCATION: F
ELEVATIONS	
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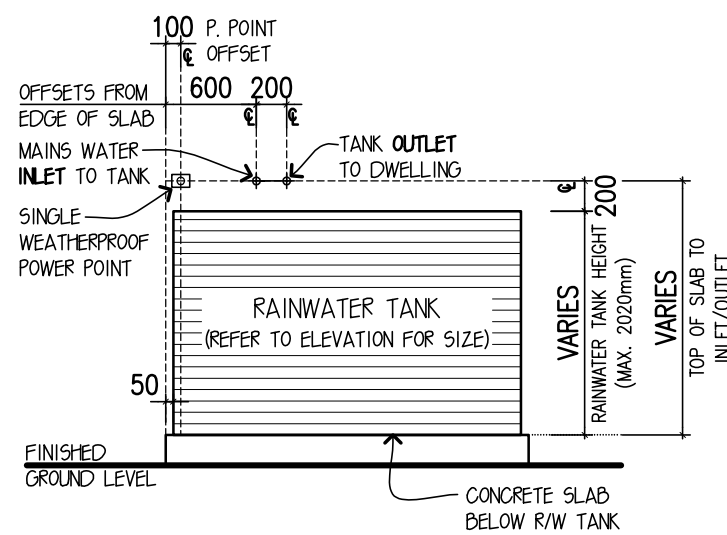
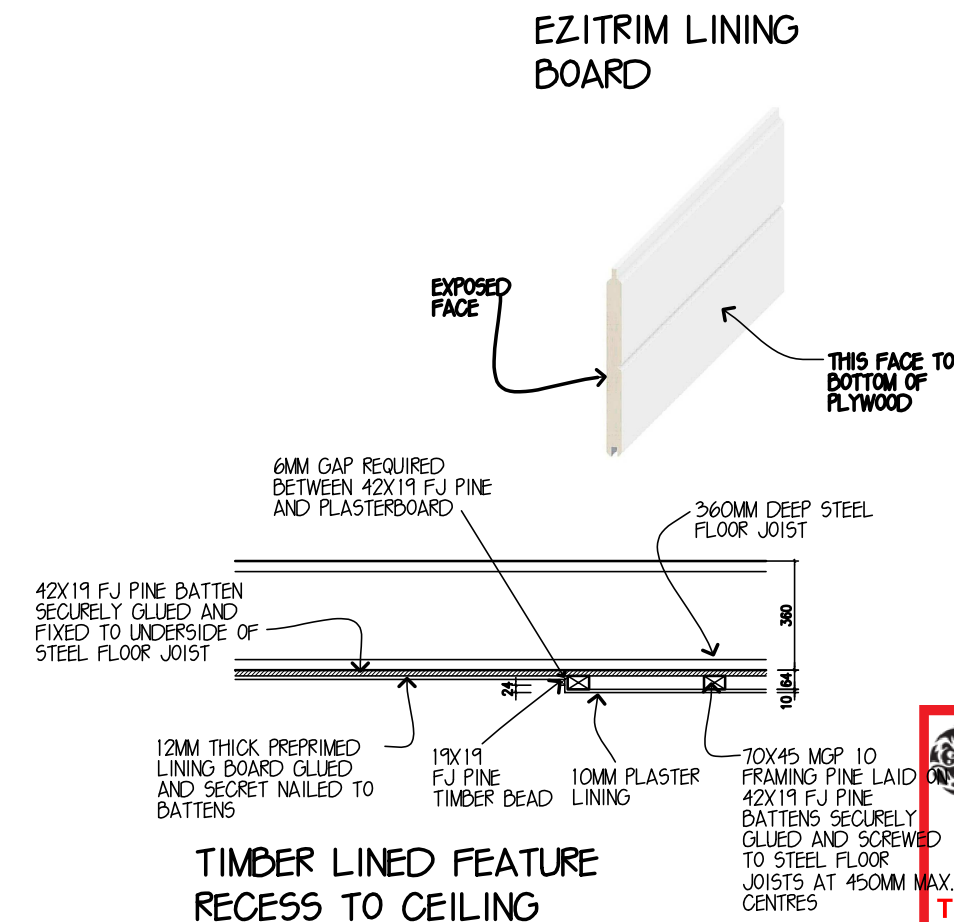
SIGNATURE	BY METRICON	OWNER: MR & MRS MILLARD	
		LOT 71, 3 MILDRED AVENUE	
		MANLY VALE	
		JOB No: 704303	DATE: 04.03.2020
		FC DATE: DD.MM.YYYY	MST VER: 12.04.2018
		SCALE: 1:100 ON A2 SHEET	REVISION: E
		DRAWN: JUI	CHECK: --
		SHEET: 5 of 11	



SECTION X-X



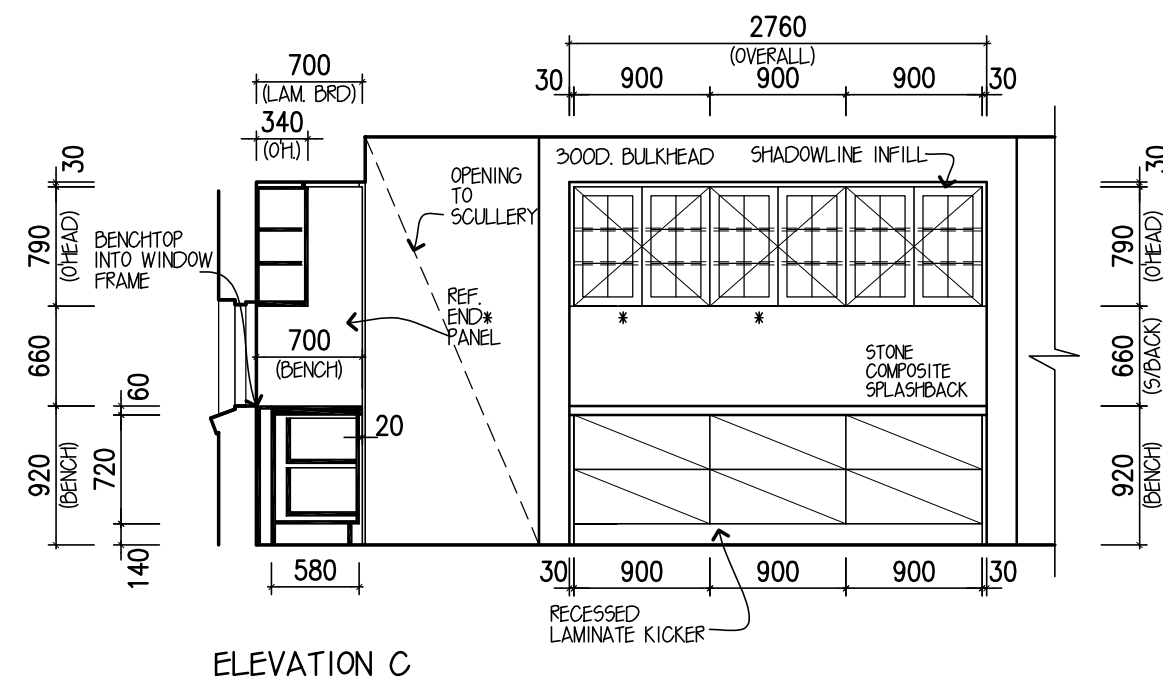
ELEVATION E
SECTION 1:100



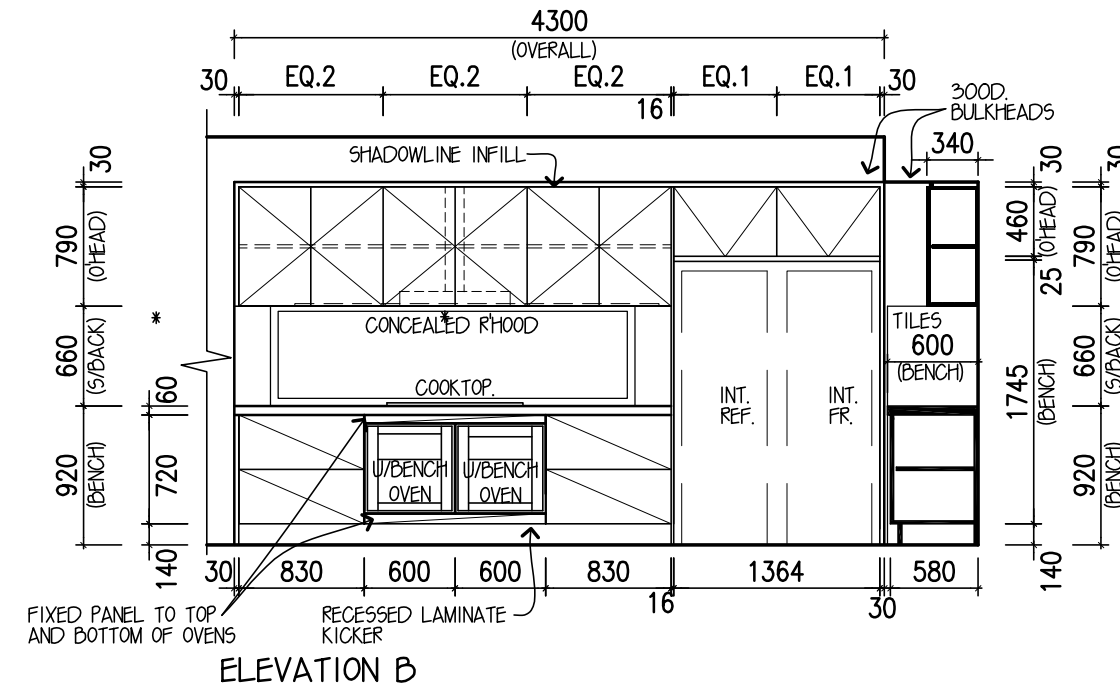
ROUGH-IN POSITIONING
(NOT TO SCALE)
'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

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DA2020/0411

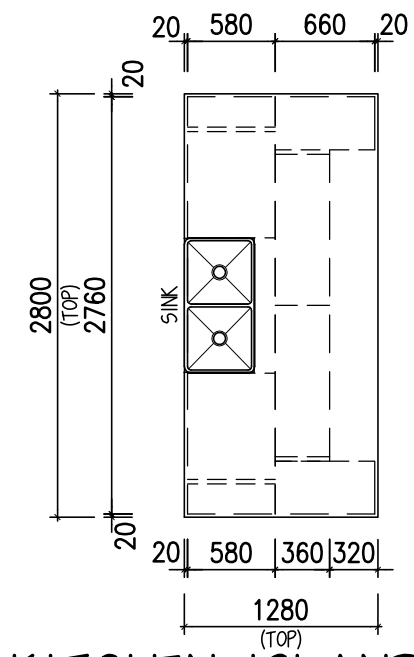
DESIGN: BAYVILLE 48		
FACADE: BAYVILLE	CEILING: 27, R	
GARAGE: DOUBLE	LOCATION: F	
SECTION		
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OWNER: MR & MRS MILLARD LOT 71, 3 MILDRED AVENUE MANLY VALE		
JOB No: 704303	DATE: 04.03.2020	
FC DATE: DD.MM.YYYY	MST VER: 12.04.2018	
SCALE: 1:100 ON A2 SHEET	REVISION: E	
DRAWN: JUI	CHECK: --	SHEET: 6 of 11



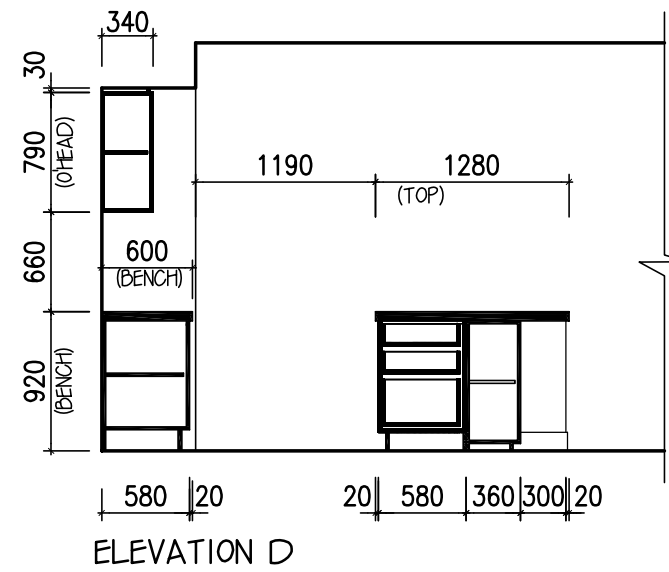
ELEVATION C



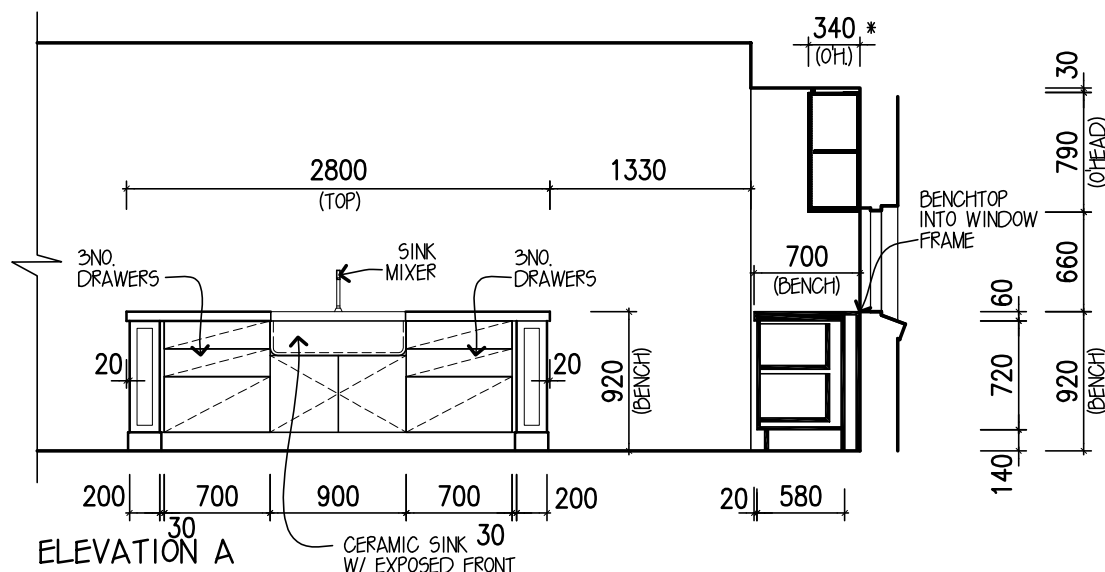
ELEVATION B
KITCHEN/SCULLERY



KITCHEN ISLAND
BENCH DETAIL



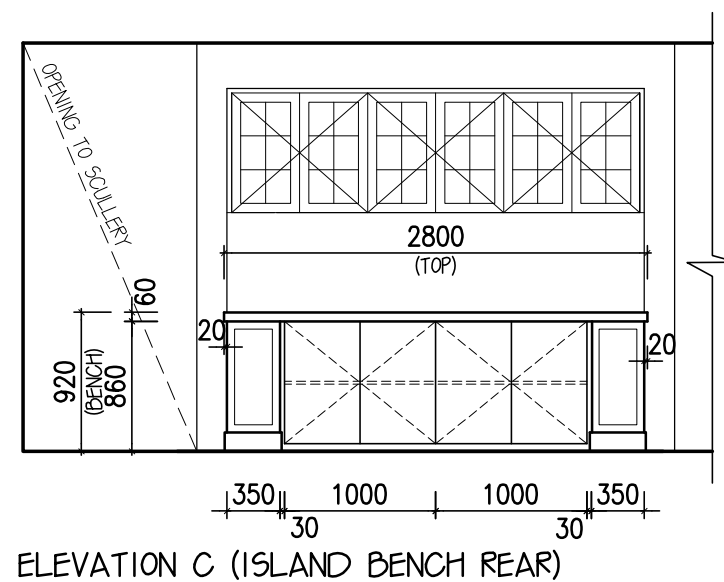
ELEVATION D



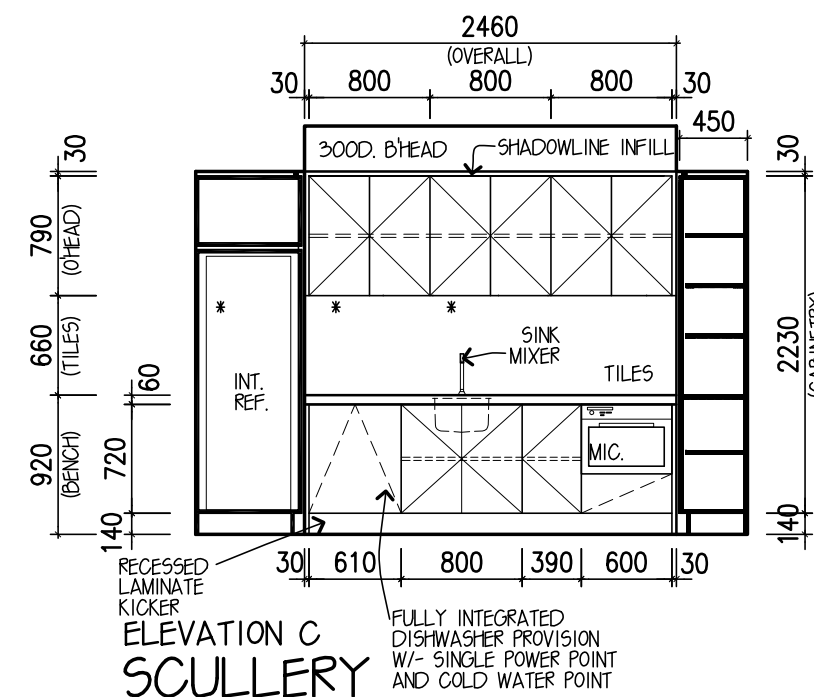
ELEVATION A

DENOTES UNDERMOUNTED
CABINETRY LIGHTING TO
O/HEAD CUPBOARDS.

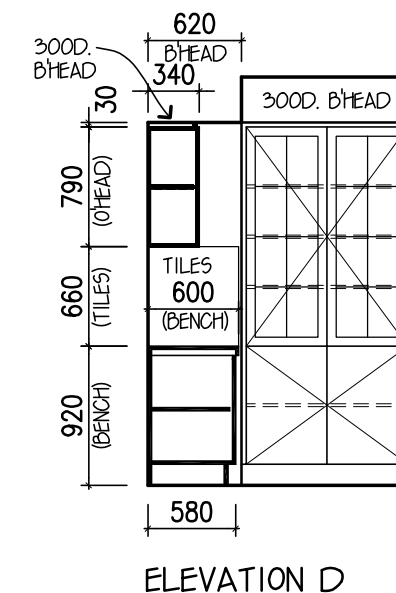
PROVIDE 20MM COMPOSITE STONE
WITH 60MM THICK EDGE PROFILE
TO ALL KITCHEN & SCULLERY
BENCHTOPS (UNO)



ELEVATION C (ISLAND BENCH REAR)



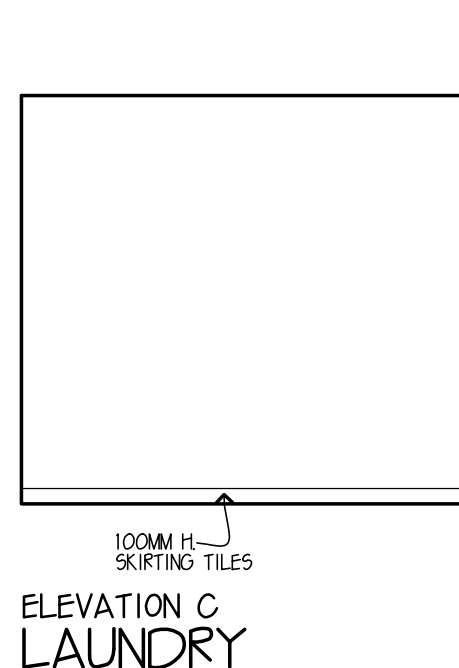
ELEVATION C
SCULLERY



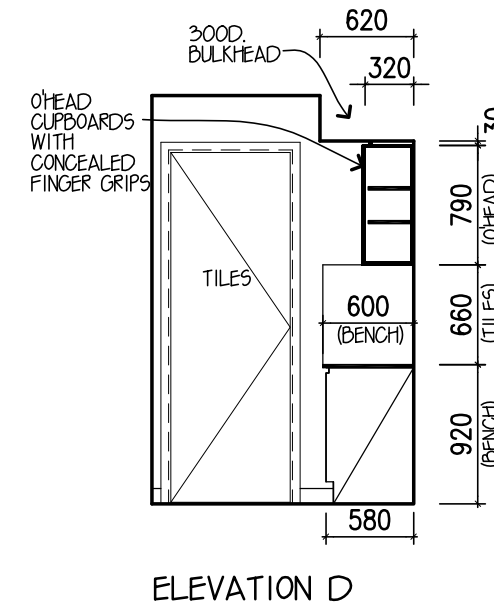
ELEVATION D

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THE CONDITIONS OF DEVELOPMENT
CONSENT**

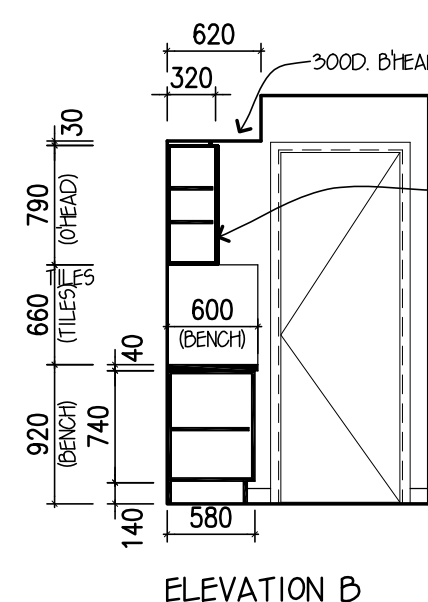
DA2020/0411



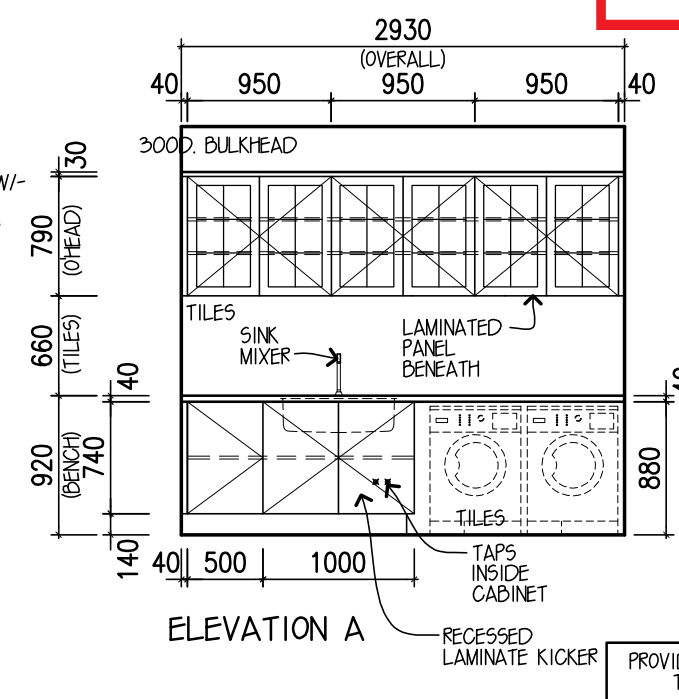
ELEVATION C
LAUNDRY



ELEVATION D



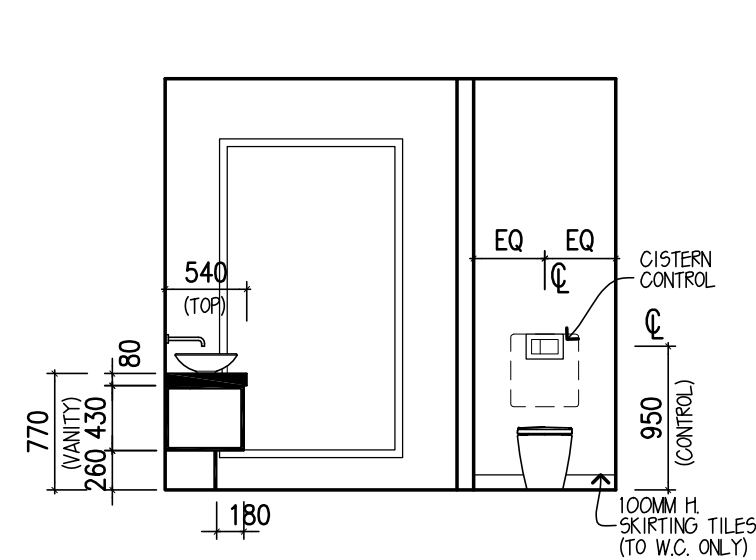
ELEVATION B



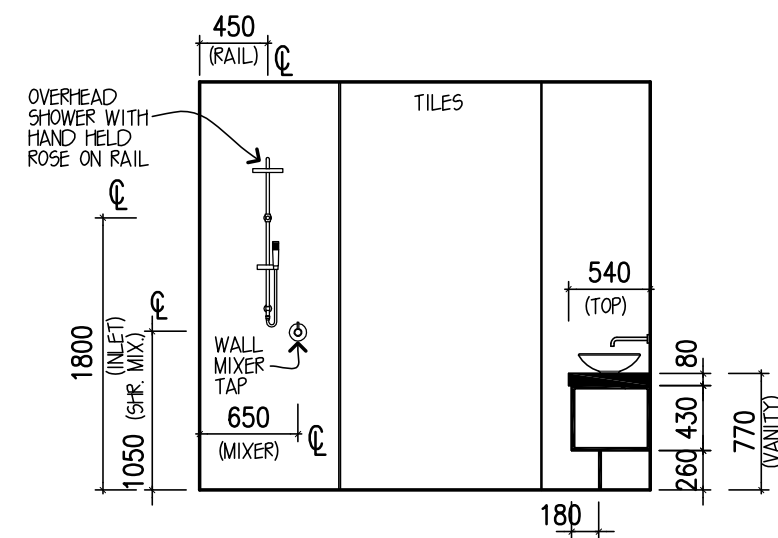
ELEVATION A

PROVIDE 40MM COMPOSITE STONE
TO LAUNDRY BENCHTOP

DESIGN: BAYVILLE 48	CEILING: 27, R
FACADE: BAYVILLE	GARAGE: DOUBLE
LOCATION: F	
INTERNALS	
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SIGNATURE	m metricon
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JOB No: 704303	DATE: 04.03.2020
FC DATE: DD.MM.YYYY	MST VER: 12.04.2018
SCALE: 1:50 ON A2 SHEET	REVISION: E
DRAWN: JUI	CHECK: --
SHEET: 7 of 11	

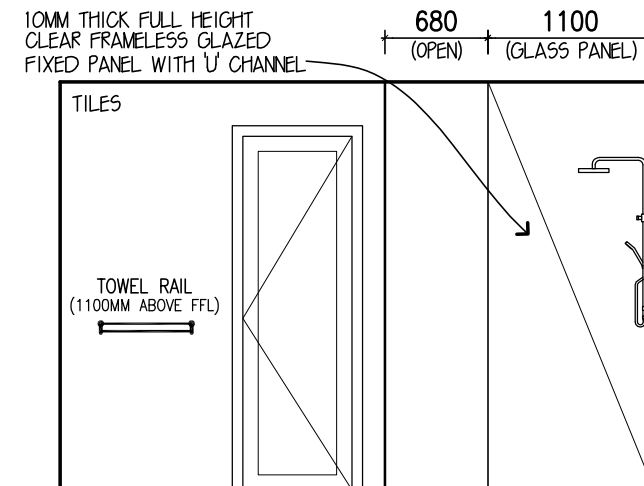


ELEVATION D
ENSUITE 2

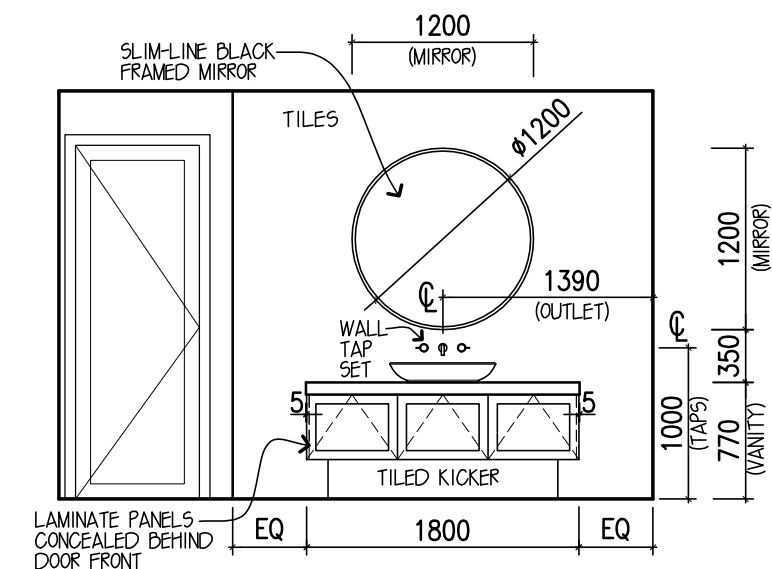


ELEVATION B

PROVIDE FULL HEIGHT WALL TILING TO ENSUITE 2 (INCL. W.C.)

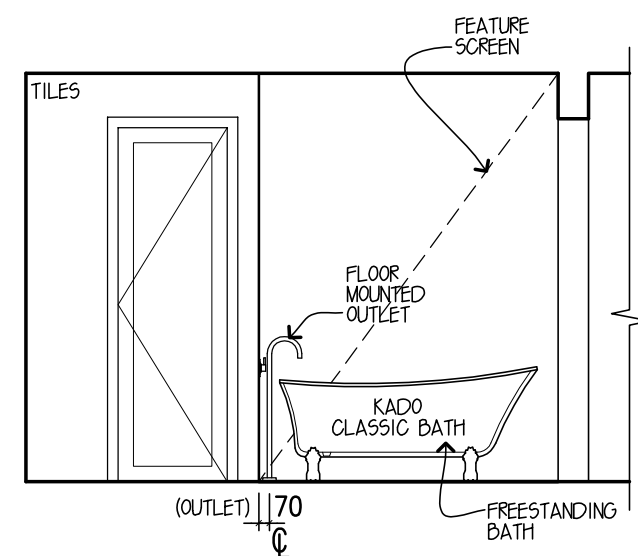


ELEVATION A

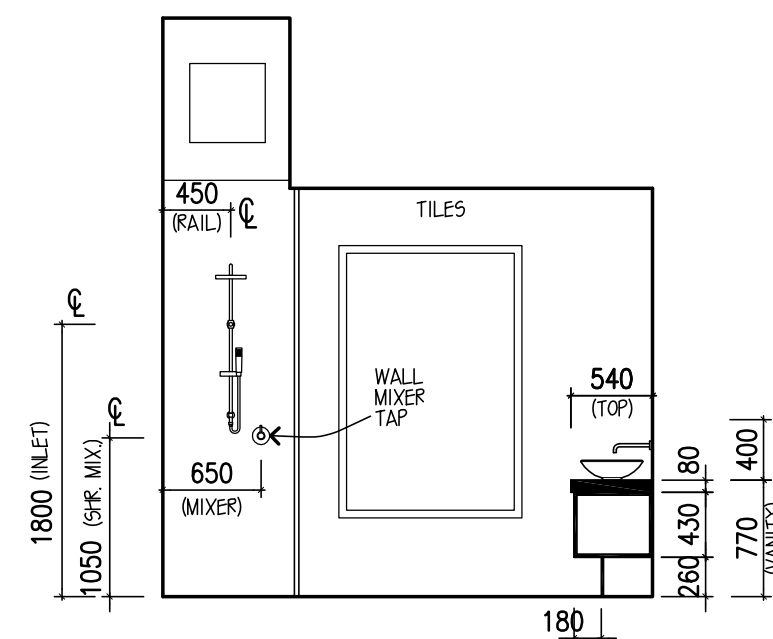


ELEVATION C

PROVIDE 20MM COMPOSITE STONE WITH 80MM EDGE PROFILE TO ENSUITE 2 VANITY BENCHTOP

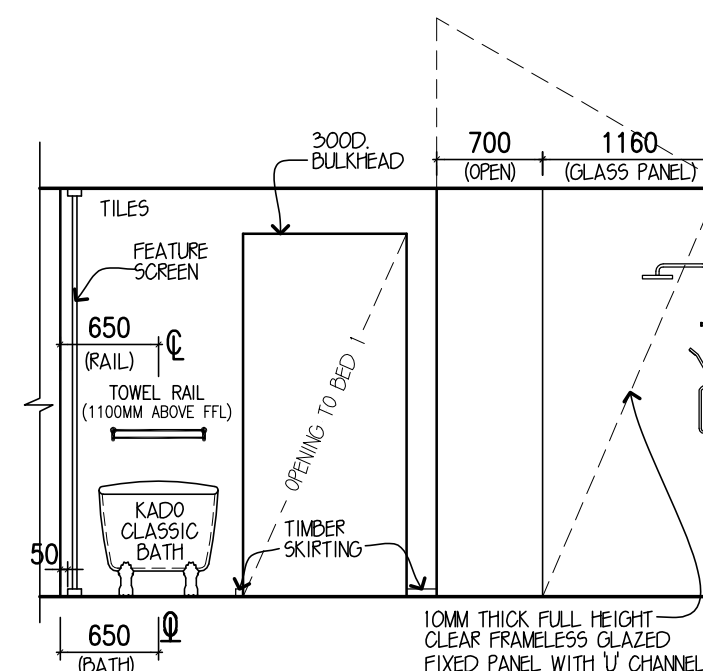


ELEVATION D
ENSUITE 1



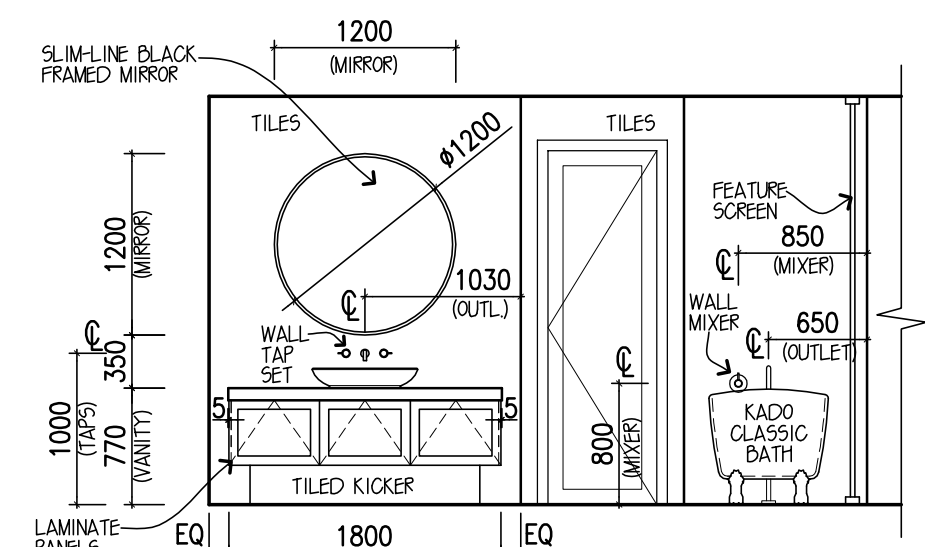
ELEVATION B

PROVIDE FULL HEIGHT WALL TILING TO ENSUITE 1 (INCL. W.C.)



ELEVATION A

PROVIDE 20MM COMPOSITE STONE WITH 80MM EDGE PROFILE TO ENSUITE 1 VANITY BENCHTOP

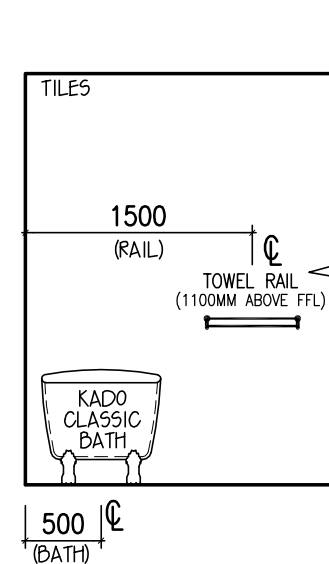


ELEVATION C

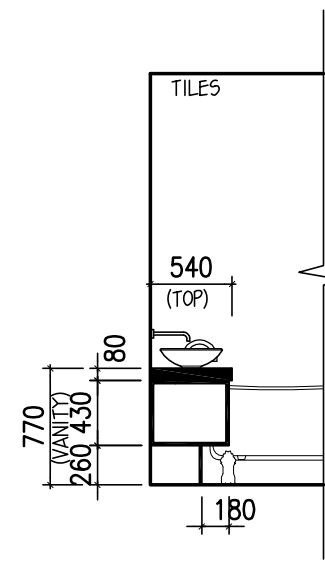
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DA2020/0411

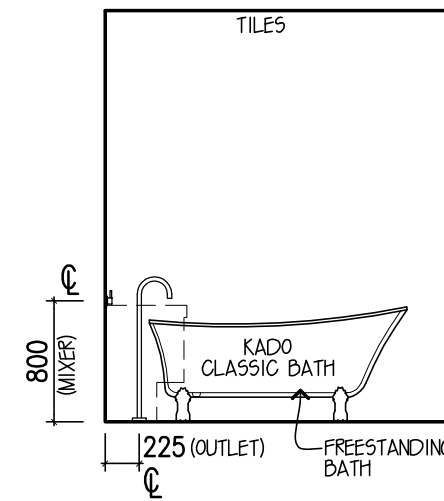
DESIGN: BAYVILLE 48	
FACADE: BAYVILLE	CEILING: 27, R
GARAGE: DOUBLE	LOCATION: F
INTERNALS	
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SIGNATURE	m metricon
BY METRICON	
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OWNER: MR & MRS MILLARD LOT 71, 3 MILDRED AVENUE MANLY VALE	
JOB No: 704303	DATE: 04.03.2020
FC DATE: DD.MM.YYYY	MST VER: 12.04.2018
SCALE: 1:50 ON A2 SHEET	REVISION: E
DRAWN: JUI	CHECK: --
SHEET: 8 of 11	



ELEVATION B
BATHROOM

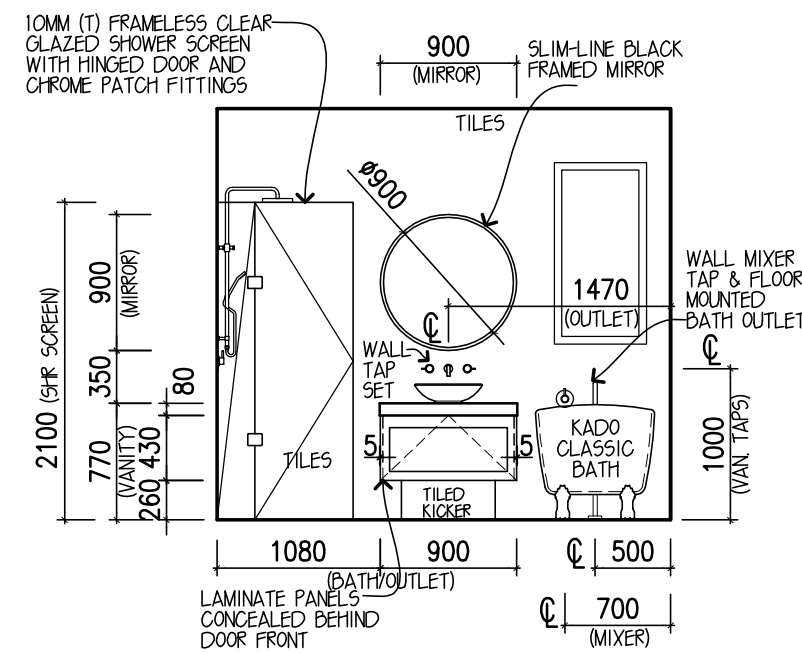


ELEVATION C
(VANITY)



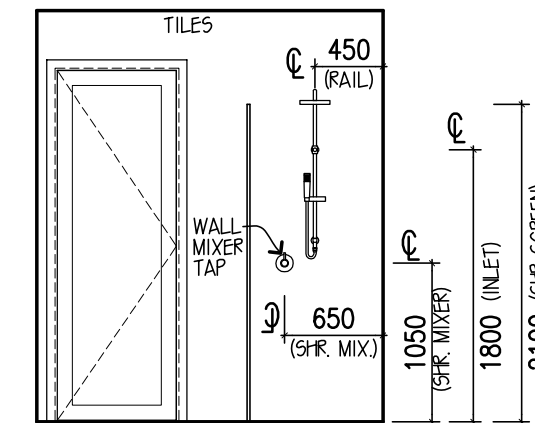
ELEVATION C
(BATH)

PROVIDE 20MM COMPOSITE STONE
WITH 80MM EDGE PROFILE
TO BATHROOM VANITY BENCHTOP

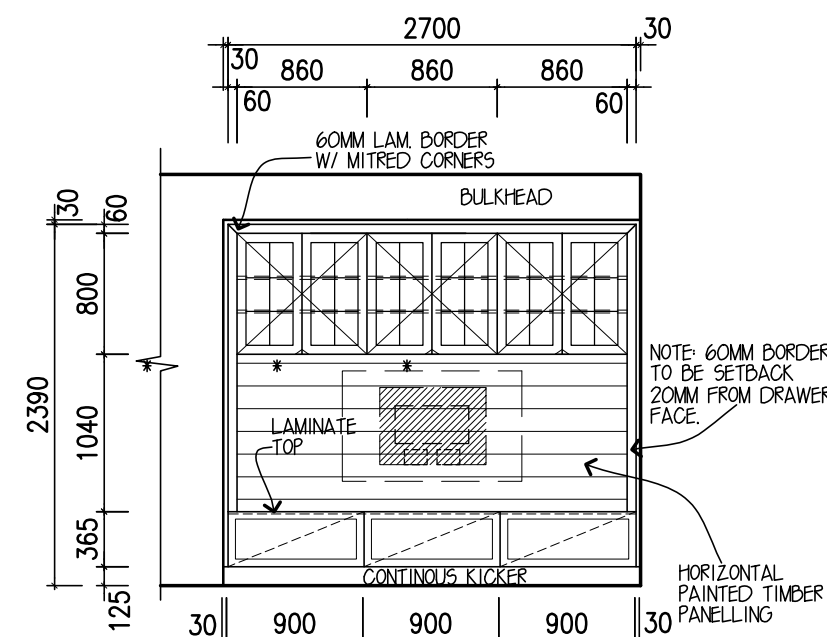


ELEVATION D

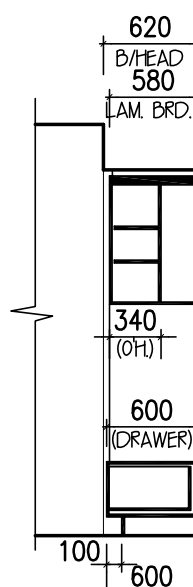
PROVIDE FULL HEIGHT WALL TILING
TO BATHROOM (EXCL. W.C.)



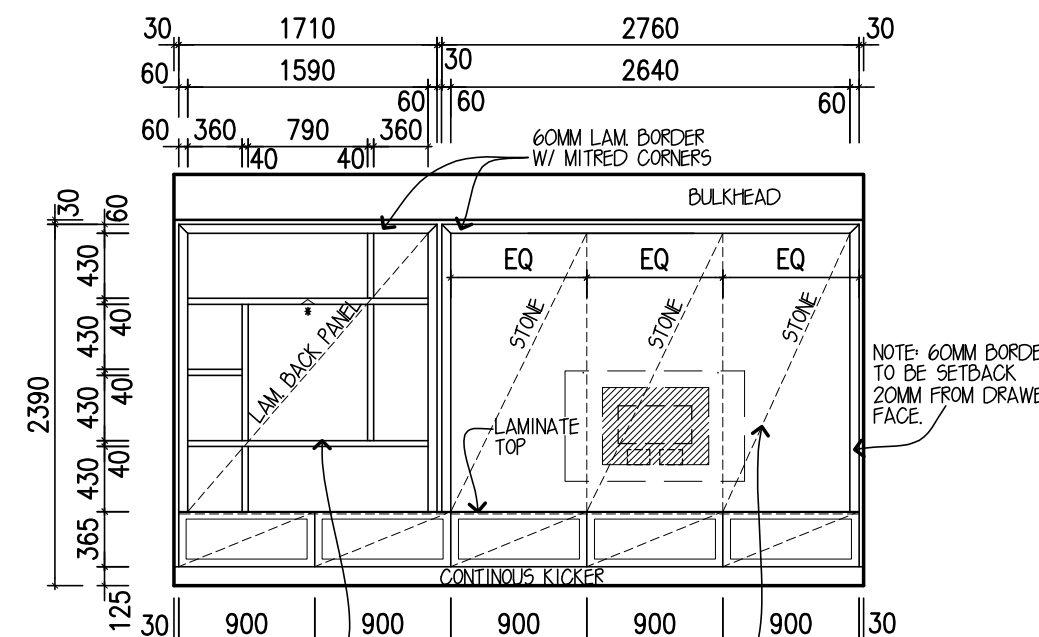
ELEVATION C



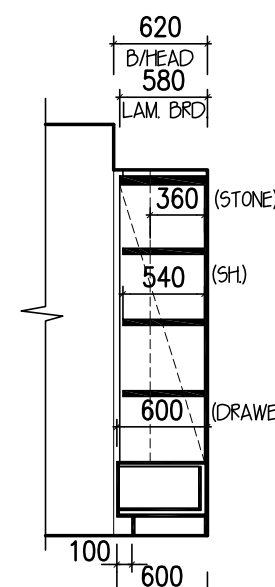
ELEVATION A
LEISURE ALCOVE



ELEVATION D



ELEVATION B
FAMILY ALCOVE

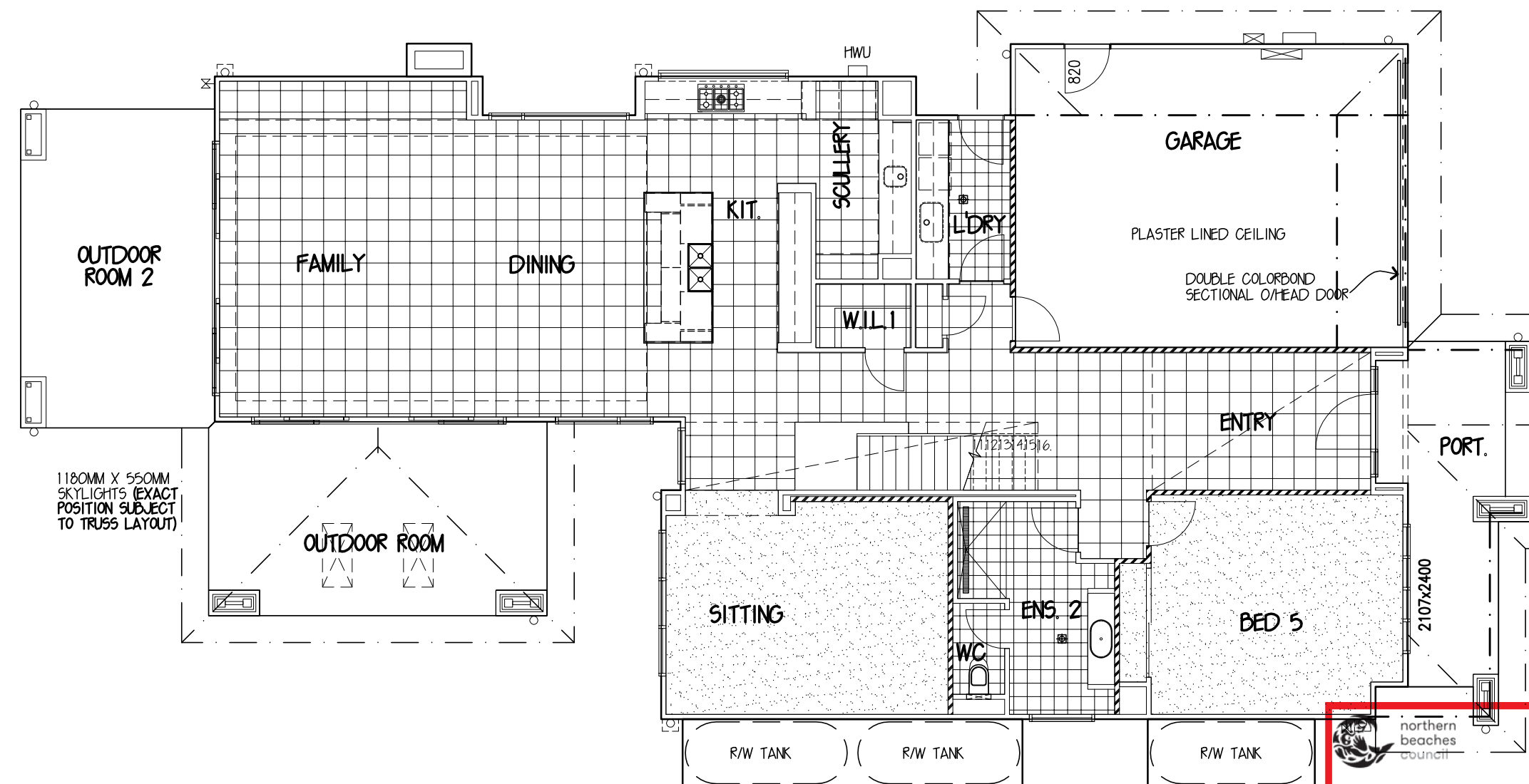


ELEVATION A

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0411

DESIGN: BAYVILLE 48	
FACADE: BAYVILLE	CEILING: 27, R
GARAGE: DOUBLE	LOCATION: F
INTERNALS	
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OWNER: MR & MRS MILLARD LOT 71, 3 MILDRED AVENUE MANLY VALE	
JOB No: 704303	DATE: 04.03.2020
FC DATE: DD.MM.YYYY	MST VER: 12.04.2018
SCALE: 1:50 ON A2 SHEET	REVISION: E
DRAWN: JUI	CHECK: -- SHEET: 9 of 11



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0411

FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING
TOTAL AREA: 13.83 SQM



TIMBER FLOOR AREAS
TOTAL AREA: 0.00 SQM



CARPET FLOOR AREAS
TOTAL AREA: 40.81 SQM



TILED FLOOR AREAS (INTERNAL)
TOTAL AREA: 95.61 SQM



TILED FLOOR AREAS (EXTERNAL)
TOTAL AREA: 0.00 SQM

DESIGN: BAYVILLE 48

FACADE: BAYVILLE CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

GROUND FLOOR FLOOR COVERINGS

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BY METRICON

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Tel: 02 8887 9000 Fax: 02 8079 5901

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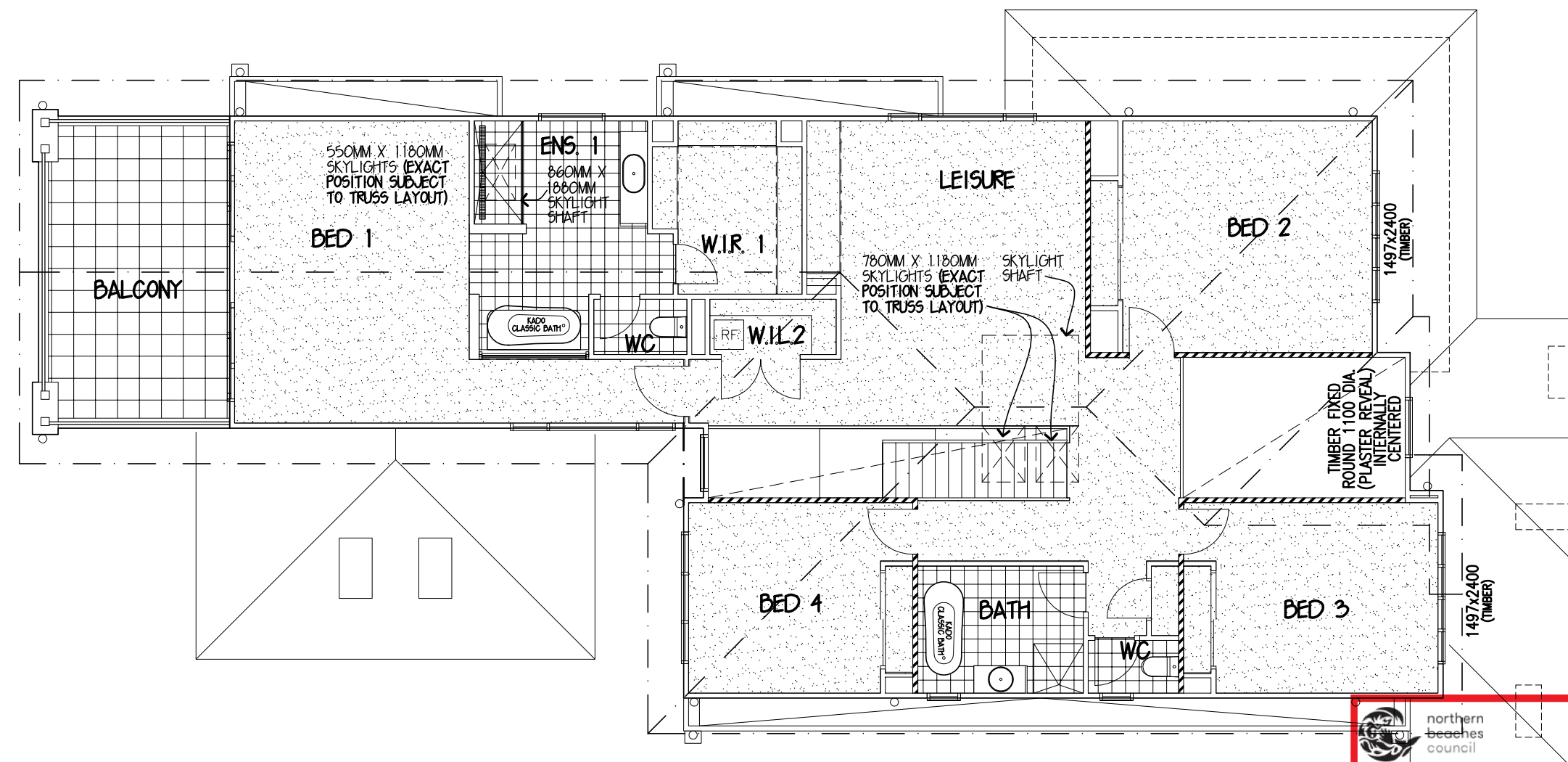
OWNER: MR & MRS MILLARD
LOT 71, 3 MILDRED AVENUE
MANLY VALE

JOB No: 704303 DATE: 04.03.2020

FC DATE: DD.MM.YYYY MST VER: 12.04.2018

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FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING
TOTAL AREA: 21.37 SQM



CARPET FLOOR AREAS
TOTAL AREA: 131.24 SQM



TIMBER FLOOR AREAS
TOTAL AREA: 0.00 SQM



TILED FLOOR AREAS (INTERNAL)
TOTAL AREA: 0.00 SQM



TILED FLOOR AREAS (EXTERNAL)
TOTAL AREA: 17.39 SQM

DESIGN: BAYVILLE 48

FACADE: BAYVILLE CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

FIRST FLOOR FLOOR COVERINGS

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