

RN 100292117

Contact Us	
The General Manager, 7/5 Pittwater Road, Dee Why NSW 2099 or Customer Service Centre, Northern Beaches Council D/9-18 Dee Why	
Email	council@warringah.nsw.gov.au
Fax	9542 2606
If you need help lodging your application call Customer Service on (02) 9542 2111 or come in and talk to us at the Civic Centre, Dee Why	

Office Use Only											
WLEP 2000						WLEP 2011					
D	A	2	0	1	6	/	0	7	8	8	
Landscape				Vegetation				Heritage			
Urban				Rural				Coastal Zone			
Water				Transport				Vegetation			
Public				Highway				Heritage			
Right				Way				Other			

For applicable fees and charges, please refer to Council's website warringah.nsw.gov.au or contact our Customer Service Centre

The personal information requested in this form is required by or under the Environmental Planning and Assessment Act 1979 and will only be used by Northern Beaches Council in connection with the requirements of that Act and any other relevant applicable legislation relating to the subject-matter of this application. The information is being collected for the following purposes: namely, to enable us to (1) process and determine your application; (2) contact you in relation to your application should that be necessary; and (3) keep the public informed by making the application publicly accessible. If you do not provide the information, Council will not be able to process your application, and your application will be rejected.

Your application will be available to Council and Council Officers. Members of the public have certain rights of access to information and documents held by Council under the Government Information (Public Access) Act 2009 (GPIA) and under the Privacy and Personal Information Protection Act 1998 (NSW) to the extent permitted by those Acts.

Northern Beaches Council is to be regarded as the agency that holds the information, which will be stored on Council's records management system or in archival and may be displayed on E-services Online (except as regards to personal particulars). You have a right to access information within the meaning of the Privacy and Personal Information Protection Act 1998 (NSW) on application to Council, and to have that information updated or corrected as necessary. Please contact Northern Beaches Council if the information you have provided is incorrect or challenges of access is otherwise sought to the information. In addition, a person may request that any material that is available (or is to be made available) for public release by or under the Local Government Act 1993 (NSW) be prepared or amended so as to omit or remove any matter that would disclose or disclose the person's place of living if the person considers that the disclosure would place or place the personal safety of the person or members of the person's family at risk. Any such request must be made to Council's General Manager, s.73B of the Local Government Act 1993 (NSW).

Part 1 Summary Applicant(s) Details

1 APPLICANT(S) DETAILS	
Applicant(s) name	DAVID HOARE & TRACEY ZANATTA
Owner(s) name	DAVID HOARE & TRACEY ZANATTA
If any owner/applicant of this development application is a current employee or elected representative of Warringah Council	Council Employee
	Elected Representative

Part 2. Application Details

2.1 LOCATION OF THE PROPERTY			
We need this to correctly identify the land. These details are shown on your rates notice, property title etc			
Unit number	—	House number	30
Street	CHURCHILL CRESCENT		
Suburb	ALLAMBIE HEIGHTS		
Legal Property Description (This information must be submitted)	Lot		
	Sect		
	DP/CP		

Part 2 Application Details

2.2 EXEMPTIONS

Council consent is not required for removal if the tree is less than 6 metres in height, the tree is dead or a toxic weed (as referred to in the list of exempt species in Appendix 5 of the WDCP 2011), or is considered dangerous to life or property. Note: A tree less than 6 metres in height which has a canopy width exceeding 7 metres will require consent. (For properties within Deferral Lands under the WLEP 2000 then you must consider the Tree Preservation Order.) To find out more about the exemptions, please go to: warrigah.nsw.gov.au/planning-and-development/development-restrictions/trees-and-development

Trees which are considered a high risk or an imminent danger to life and property by a Level 5 qualified Arborist are exempt consent, permit and can be removed without Council consent by the owner of the tree.

You need written confirmation from the Arborist and the report must clearly state the following:

- Qualifications ACF Level 5 Arborist or equivalent (see WDCP 2011 Part H, Appendix 10)
- The tree(s) is declared a high risk or is an imminent danger to life and property
- Immediate removal of the tree(s) is recommended

A copy of the report is to be sent to Council for record keeping purposes.

You may also prune a tree by less than 10% of the foliage within a 12 month period without Council consent.

2.3 APPLICATION FEE

\$110 - Fee to be confirmed with Council's current Fees and Charges

2.4 OWNERS CONSENT

The owner of the land on which the tree(s) are located must give consent on the application.

Any consent issued as a result of this application is not a directive or order and does not oblige the owner to undertake the consented works. The consent is valid for five years from the date of the determination.

2.5 DESCRIPTION OF WORKS

Please provide details of the work to be carried out in the box below. If your application is required as part of a Compliant and Complying Development (CCD) such as a secondary dwelling, please refer to the Development Application (back) in section 2.8 or page 4 for required information.

Tree No	Tree species (if known)	Work required (prune/remove/assess)	Reason for the work
1	MAHOGANY	REMOVE	CONTINUOUSLY DROPS LARGE BRANCHES IN WIND - DANGEROUS TO OUR CHILDREN
2			
3			
4			
5			
6			
7			
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11			
12			
13			
14			

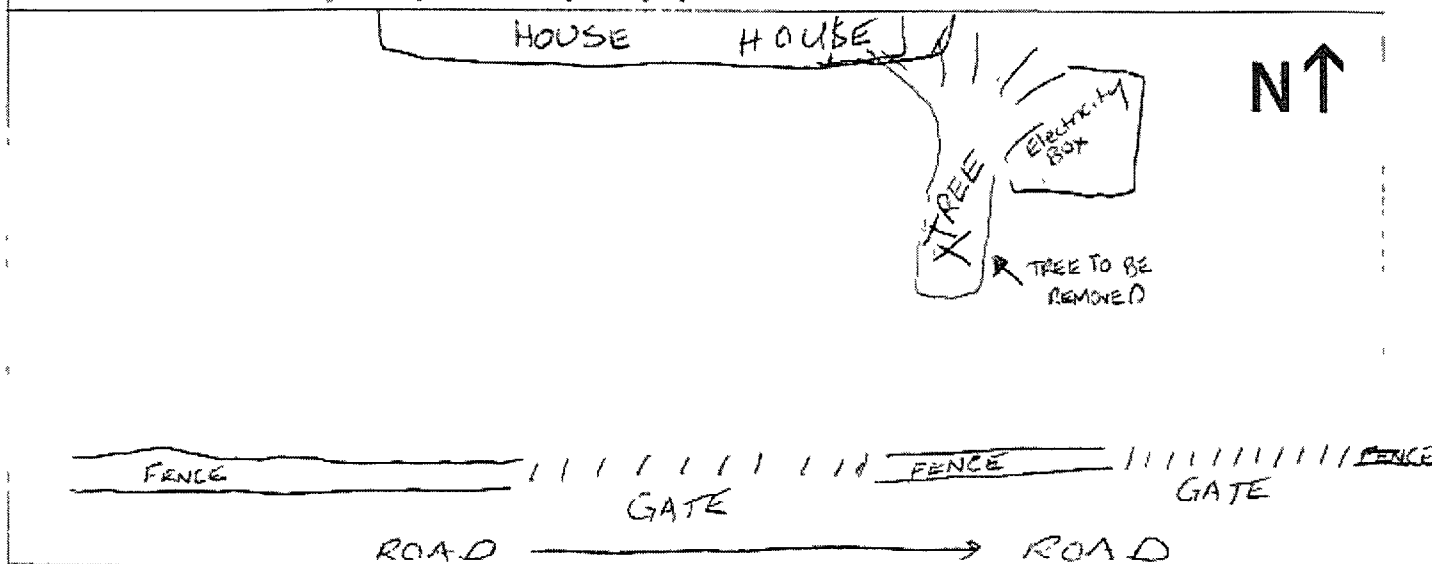
Please indicate whether any of the above trees are considered dangerous to life or property. Please refer to section 2.2 Exemptions.

Part 2 Application Details

2.6 SKETCH

Please indicate in the box below

Sketch the outline of the allotment, street, position of structures eg. house, garage and the location of each tree as numbered in 2.3



Indicate location of all underground infrastructure such as pipes, sewer etc. within 5 metres of the tree

2.7 SITE DETAILS

For the purpose of providing safe access for the site inspection

Are there any dogs on the property?

☒ YES

☐ NO

→ JACK RUSSELL VERY FRIENDLY

Are there any locked gates blocking access?

☐ YES

☒ NO

Special arrangement required for site access?

☐ YES

☒ NO

For the purpose of identifying the trees in section 2.5, please indicate clearly with tape, ribbon, paint spot or numbered tag each tree to be inspected



2.8 INTEGRATED DEVELOPMENT

Is this application for integrated development?

☐ YES

☒ NO

Integrated development is development that requires licences or approvals from other consent authorities. Most forms of development will not be "integrated". See Part 4, Division 5, Section 91 of the Environmental Planning and Assessment Act 1979 www.legislation.nsw.gov.au if integrated additional payment (by Cheque) is required to relevant authority

Firearm Management Act 1994	S244	S20	S207	S210
Heritage Act 1977	S53			
Mine Subsidence Compensation Act 1961	S14			
Mining Act 1992	S63	S64		
National Parks And Wildlife Act 1974	S20			
Petroleum (Onshore) Act 1991	S5			
Protection Of The Environment Operations Act 1997	S13(a), (b) (d)	S47	S49	S55 S122
Forests Act 1992	S138			
Rural Fires Act 1997	S100b			
Water Management Act 2000	S89	S43	S41	

Part 2 Application Details

2.9 DISCLOSURE OF POLITICAL DONATIONS AND GIFTS	
Note: gift means a gift within the meaning of section 84 of the Election Funding & Disclosures Act 1981. Failure to disclose relevant information is considered an offence under Part 6 sport on 9611 of the Election Funding and Disclosures Act 1981. Under section 14(1) of the Environmental Planning and Assessment Act 1979 any reported political donation to an elected representative of Council (Mayor or Councillor), and/or any gift to an elected representative or Council employee within a two (2) year period commencing two (2) years before the date of this application and ending when the application is determined must be disclosed.	
Are you aware of any person with a financial interest in this application who made a reportable donation or gave a gift in the last two (2) years?	Yes ☐ No ☒
If you complete the Political Donations Declaration and lodge it with this application. If no, in signing this application I undertake to advise the Council in writing if I become aware of any person with a financial interest in this application who has made a political donation or has given a gift in the period from the date of lodgement of this application and the date of its determination. For further information visit Council's website at: warringah.nsw.gov.au/planning-dev/political-donations.html.aspx	

DEVELOPMENT APPLICATION CHECKLIST	
Required	Supplied
DO YOU HAVE OWNER(S) CONSENT? (All owners of the property must give consent) (NOTE: If the trunk of the tree is located to cross property boundaries, consent of ALL owners or EasCrl property is required)	Yes ☒ No ☐
HAVE YOU ATTACHED A SKETCH OF THE PROPERTY? (All trees to be inspected are to be clearly marked on the sketch and on site with tape ribbon, paint spot or numbered tag)	Yes ☒ No ☐
If you have indicated that the application is Integrated Development, HAVE YOU ATTACHED A CHEQUE? Please discuss with Council	Yes ☒ No ☐
SUPPORTING DOCUMENTATION? Have you attached all relevant documentation reports/photographs in support of the application? e.g. below: • Arborist Report in accordance with Appendix 10 of WDL - If your Council assesses that your tree will be a visual observation in the early bird level. Should your tree require detailed inspection or assessment of features located more than 2 metres above ground level or on low ground such as root mapping, to justify your assessment, you must provide a report from a qualified level 3 arborist detailing these issues • Sewer diagram/Plumbers report • Structural Engineers report detailing damage to property and why alternative to removing the tree are not feasible	Yes ☐ No ☐ Yes ☐ No ☐ Yes ☐ No ☐
EXEMPT AND COMPLYING DEVELOPMENT Is this application required as part of an Exempt or Complying Development (CDC)? If Yes, have you attached all relevant plans? A Site Plan must be provided showing existing and proposed development with trees identified in Part 2.5 Warringah Development Control Plan, Part 4, Appendix 10. Details to be contained in an Arborist report, Appendix 11 Class 2-9 Building and Appendix 12 - Tree Protection Plan may apply.	Yes ☐ No ☒ Yes ☐ No ☐
For more information about Complying Development in relation to tree removal go to: warringah.nsw.gov.au/planning-and-development/trees-and-development	