



ABN: 75 620 090 726

PO Box 517,  
Mona Vale NSW 1660  
(p): 0414 851 484  
vladan@vbcertifier.com.au

Our reference: 2019/431

14 December 2020

Natali Calci  
23 Reynolds Cres  
Beacon Hill NSW 2100

Dear Sir/Madam,

**Re:** 23 Reynolds Cres, Beacon Hill NSW 2100

**Complying Development Certificate No.:** 2019/431/02Mod

Enclosed is approved **Complying Development Certificate** for the subject development, and the stamped plans and relevant documents. One copy of each will be forwarded directly to Northern Beaches Council for their records.

It is required by Legislation that owner or applicant notifies neighbours 7 days prior to commencement of works therefore at your request and notification of the intention to this office, we will provide you with the neighbour notification letter. This notification is required only for the construction of a new building, or the construction of an addition to an existing building, or the demolition of a building.

You must notify this office **48 hours prior to commencement of building work** so that we lodge The Notice of Appointment of Principal Certifying Authority and Commencement of Building Work form to the Consent Authority (Council) on your behalf as The lodgement of the Notice of Commencement form is the responsibility of the owner or applicant to fulfil.

The PCA role to be undertaken by VBCertifier Pty Ltd will require inspections and certification. Please have the Owner/Builder liaise with our Certifier, Vladan Blagojevic, prior to commencement of the work.

Should you need to discuss any issues, please do not hesitate to contact the undersigned on the above numbers.

Yours sincerely,

Vladan Blagojevic  
Certifier  
VBCertifier Pty Ltd



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**COMPLYING DEVELOPMENT CERTIFICATE 2019/431/02Mod**  
**PROJECT REFERENCE 2019/431**

Issued under Part 4 of the Environmental Planning and Assessment Act 1979 Section 4.28

**APPLICANT DETAILS**

**Applicant:** Natali Calci  
**Address:** 23 Reynolds Cres, Beacon Hill NSW 2100  
**Phone:** 0451 454 351

**OWNER DETAILS**

**Name of the person having benefit of the development consent:** Natali Calci  
**Address:** 23 Reynolds Cres, Beacon Hill NSW 2100  
**Phone:** 0451 454 351

**COMPLYING DEVELOPMENT CONSENTS**

**Consent Authority / Local Government Area:** Northern Beaches Council  
**Relevant Planning Instrument Decision Made Under:** State Environmental Planning Policy (Exempt and Complying Development Codes) 2008  
**Date of Determination:** 14/12/2020  
**Complying Development Certificate Number:** 2019/431/02Mod

**Lapse date:** Section 4.29 of the Environmental Planning and Assessment Act 1979 stipulates that this certificate will lapse within 5 years if not physically commenced on the stated land to which this certificate applies. Sections 4.19, 6.6, 6.7, 6.12, 6.13, 6.14 of the Act is applicable.

**PROPOSAL**

**Address of Development:** 23 Reynolds Cres, Beacon Hill NSW 2100  
**Lot:** Lot 20  
**DP:** DP 218395  
**Land Use Zone:** R2  
**Building Classification/s:** 1a  
**Scope of Building Works Covered by this Certificate:** Alterations and additions to an existing dwelling and swimming pool  
**Type of Construction:** N/A  
**Value of Construction (incl. GST):** \$350,000.00  
**Plans and Specifications approved:** Refer Schedule 1: Approved Plans and Specifications  
**Fire Safety Schedule:** N/A  
**Conditions:** See Conditions attached  
**Exclusions:**  
**Critical stage inspections:** See attached Notice

**CERTIFYING AUTHORITY**

**Accredited Certifier:** Vladan Blagojevic  
**Accreditation Body and Registration Number:** BPB  
2158

*I, Vladan Blagojevic, as the certifying authority, certify that the proposed development is complying development and that if carried out in accordance with the plans and specifications will comply with all development standards, any standards in a Development Control Plan, and all requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in section 4.26 of the Environmental Planning and Assessment Act 1979.*

**Dated:** 14/12/2020

Vladan Blagojevic

**N.B.** Prior to the commencement of work section 6.6 of the Environment Planning and Assessment Act 1979 must be satisfied.



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## SCHEDULE 1: APPROVED PLANS AND SPECIFICATIONS

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### 1. Endorsed Architectural Plans

Prepared by	Document	Drawing number	Revision	Date
Studio ML	drawings	sheets 25	J	09/12/2020

### 2. Endorsed Structural Plans

Prepared by	Document	Drawing number	Revision	Date
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### 3. Endorsed Engineering Plans Not applicable.

### 4. Endorsed Landscape Plans Not applicable.

### 5. Endorsed other documents

Prepared by	Document	Drawing number	Revision	Date
Council	email	pages 2		24/11/2020
Robert Friend Surveys	survey	sheets 1 + 10 pages stamped drawings for BIC		01/12/2020
Applicant	application form	pages 1		02/12/2020

## ***Environmental Planning and Assessment Act 1979 No 203***

### **7.21 Contributions plans—complying development (cf previous s 94EC)**

(1) In relation to an application made to an accredited certifier for a complying development certificate, a contributions plan—

(a) is to specify whether or not the accredited certifier must, if a complying development certificate is issued, impose a condition under section 7.11 or 7.12, and

(b) can only authorise the imposition by an accredited certifier of a condition under section 7.11 that requires the payment of a monetary contribution, and

(c) must specify the amount of the monetary contribution or levy that an accredited certifier must so impose or the precise method by which the amount is to be determined.

(1A) The imposition of a condition by an accredited certifier as authorised by a contributions plan is subject to compliance with any directions given under section 7.17(1)(a), (b) or (d) with which a council would be required to comply if issuing the complying development certificate concerned.

(2) This section does not limit anything for which a contributions plan may make provision in relation to a consent authority.

(3) The regulations may make provision for or with respect to anything for which a contributions plan may make provision under this section (being provisions that apply despite anything to the contrary in the contributions plan). The regulations may provide that the amount of a monetary contribution or levy be determined in a manner and by a person or body authorised by the regulations.

Condition: The Section 7.21 fee applicable to this project is

\$ \_\_\_\_\_

The owner / applicant is required to pay this amount prior to the "Notice of Commencement" being issued to Council two days before physical commencement is to occur on site. A copy of the receipt of the applicable Section 7.21 payment is required to be submitted to the Accredited Certifying Authorities office as evidence two days prior to the commencement on site. Failure to undertake this step will result in the complying development being *invalid*.

# ***Environmental Planning and Assessment Regulation 2000***

## **Division 2A Conditions of complying development certificate**

### **136A Compliance with Building Code of Australia and insurance requirements under the Home Building Act 1989**

(cf clauses 78 and 78A of EP&A Regulation 1994)

- (1) A complying development certificate for development that involves any building work must be issued subject to the following conditions—
  - (a) that the work must be carried out in accordance with the requirements of the *Building Code of Australia*,
  - (b) in the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance must be entered into and be in force before any building work authorised to be carried out by the certificate commences.
- (1A) A complying development certificate for a temporary structure that is used as an entertainment venue must be issued subject to the condition that the temporary structure must comply with Part B1 and NSW Part H102 of Volume One of the *Building Code of Australia* (as in force on the date the application for the relevant complying development certificate is made).
- (2) This clause does not limit any other conditions to which a complying development certificate may be subject, as referred to in section 4.28(6)(a) of the Act.
- (3) This clause does not apply—
  - (a) to the extent to which an exemption is in force under clause 164B, 187 or 188, subject to the terms of any condition or requirement referred to in clause 164B(4), 187(6) or 188(4), or
  - (b) to the erection of a temporary building, other than a temporary structure that is used as an entertainment venue.
- (4) In this clause, a reference to the *Building Code of Australia* is a reference to that Code as in force on the date the application for the relevant complying development certificate is made.

#### **Note.**

There are no relevant provisions in the *Building Code of Australia* in respect of temporary structures that are not entertainment venues.

### **136AA Condition relating to fire safety systems in class 2–9 buildings**

- (1) A complying development certificate for building work involving the installation, extension or modification of any relevant fire safety system in a class 2, 3, 4, 5, 6, 7, 8 or 9 building, as defined in the *Building Code of Australia*, must be issued subject to the condition required by this clause.
- (2) The condition required by this clause is that the building work involving the installation, modification or extension of the relevant fire safety system cannot commence unless—
  - (a) plans have been submitted to the principal certifier that show—
    - (i) in the case of building work involving the installation of the relevant fire safety system—the layout, extent and location of key components of the relevant fire safety system, or
    - (ii) in the case of building work involving the modification or extension of the relevant fire safety system—the layout, extent and location of any new or modified components of the relevant fire safety system, and
  - (b) specifications have been submitted to the principal certifier that—
    - (i) describe the basis for design, installation and construction of the relevant fire safety system, and
    - (ii) identify the provisions of the *Building Code of Australia* upon which the design of the system is based, and
  - (c) those plans and specifications—
    - (i) have been certified by a compliance certificate referred to in section 6.4(e) of the Act as complying with the relevant provisions of the *Building Code of Australia*, or

- (ii) unless they are subject to an exemption under clause 164B, have been endorsed by a competent fire safety practitioner as complying with the relevant provisions of the *Building Code of Australia*, and
- (d) if those plans and specifications were submitted before the complying development certificate was issued—each of them was endorsed by the certifier with a statement that the certifier is satisfied that it correctly identifies both the performance requirements and the deemed-to-satisfy provisions of the *Building Code of Australia*, and
- (e) if those plans and specifications were not submitted before the complying development certificate was issued—each of them was endorsed by the principal certifier with a statement that the principal certifier is satisfied that it correctly identifies both the performance requirements and the deemed-to-satisfy provisions of the *Building Code of Australia*.

(3) In this clause—

**relevant fire safety system** means any of the following—

- (a) a hydraulic fire safety system within the meaning of clause 165,
- (b) a fire detection and alarm system,
- (c) a mechanical ducted smoke control system.

### **136AB Notice to neighbours**

(1) A complying development certificate for development on land that is in a category 1 local government area and that is not in a residential release area and that involves—

- (a) a new building, or
- (b) an addition to an existing building, or
- (c) the demolition of a building,

must be issued subject to a condition that the person having the benefit of the complying development certificate must give at least 7 days' notice in writing of the person's intention to commence the work authorised by the certificate to the occupier of each dwelling that is located on a lot that has a boundary within 20 metres of the boundary of the lot on which the work is to be carried out.

(2) A complying development certificate for development on land that is in a category 2 local government area or a residential release area and that involves—

- (a) a new building, or
- (b) an addition to an existing building, or
- (c) the demolition of a building,

must be issued subject to a condition that the person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the person's intention to commence the work authorised by the certificate to the occupier of each dwelling that is located on a lot that has a boundary within 20 metres of the boundary of the lot on which the work is to be carried out.

(3) In this clause—

**category 1 local government area** means any of the local government areas of Ashfield, City of Auburn, City of Bankstown, City of Blacktown, City of Blue Mountains, City of Botany Bay, Burwood, Camden, City of Campbelltown, Canada Bay, City of Canterbury, City of Fairfield, City of Hawkesbury, City of Holroyd, Hornsby, Hunter's Hill, City of Hurstville, City of Kogarah, Ku-ring-gai, Lane Cove, Leichhardt, City of Liverpool, Manly, Marrickville, Mosman, North Sydney, City of Parramatta, City of Penrith, Pittwater, City of Randwick, City of Rockdale, City of Ryde, Strathfield, Sutherland Shire, City of Sydney, The Hills Shire, Warringah, Waverley, City of Willoughby, Wingecarribee, Wollondilly or Woollahra.

**category 2 local government area** means any local government area that is not a category 1 local government area.

**residential release area** means any land within—

- (a) an urban release area identified within a local environmental plan that adopts the applicable mandatory provisions of the Standard Instrument, or

- (b) a land release area identified under the *Eurobodalla Local Environmental Plan 2012*, or
- (c) any land subject to *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*, or
- (d) any area included in Parts 6, 26, 27, 28 and 29 of Schedule 3 to *State Environmental Planning Policy (Major Development) 2005*.

### **136B Erection of signs**

- (1) A complying development certificate for development that involves any building work, subdivision work or demolition work must be issued subject to a condition that the requirements of subclauses (2) and (3) are complied with.
- (2) A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out—
  - (a) showing the name, address and telephone number of the principal certifier for the work, and
  - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
  - (c) stating that unauthorised entry to the site is prohibited.
- (3) Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
- (4) This clause does not apply in relation to building work, subdivision work or demolition work that is carried out inside an existing building, that does not affect the external walls of the building.
- (5) This clause does not apply in relation to Crown building work that is certified, in accordance with section 6.28 of the Act, to comply with the technical provisions of the State's building laws.
- (6) This clause applies to a complying development certificate issued before 1 July 2004 only if the building work, subdivision work or demolition work involved had not been commenced by that date.

#### **Note.**

Principal certifiers and principal contractors must also ensure that signs required by this clause are erected and maintained (see clause 227A which currently imposes a maximum penalty of \$1,100).

### **136C Notification of Home Building Act 1989 requirements**

- (1) A complying development certificate for development that involves any residential building work within the meaning of the *Home Building Act 1989* must be issued subject to a condition that the work is carried out in accordance with the requirements of this clause.
- (2) Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the principal certifier for the development to which the work relates (not being the council) has given the council written notice of the following information—
  - (a) in the case of work for which a principal contractor is required to be appointed—
    - (i) the name and licence number of the principal contractor, and
    - (ii) the name of the insurer by which the work is insured under Part 6 of that Act,
  - (b) in the case of work to be done by an owner-builder—
    - (i) the name of the owner-builder, and
    - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- (3) If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the principal certifier for the development to which the work relates (not being the council) has given the council written notice of the updated information.
- (4) This clause does not apply in relation to Crown building work that is certified, in accordance with section 6.28 of the Act, to comply with the technical provisions of the State's building laws.

### **136D Fulfilment of BASIX commitments**

- (1) This clause applies to the following development—
  - (a) BASIX affected development,
  - (b) any BASIX optional development in relation to which a person has made an application for a complying development certificate that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 4A of Schedule 1 for it to be so accompanied).
- (2) A complying development certificate for development to which this clause applies must be issued subject to a condition that the commitments listed in each relevant BASIX certificate for the development must be fulfilled.

### **136E Development involving bonded asbestos material and friable asbestos material**

- (1) A complying development certificate for development that involves building work or demolition work must be issued subject to the following conditions—
  - (a) work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the *Work Health and Safety Regulation 2011*,
  - (b) the person having the benefit of the complying development certificate must provide the principal certifier with a copy of a signed contract with such a person before any development pursuant to the complying development certificate commences,
  - (c) any such contract must indicate whether any bonded asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the bonded asbestos material or friable asbestos material is to be delivered,
  - (d) if the contract indicates that bonded asbestos material or friable asbestos material will be removed to a specified landfill site, the person having the benefit of the complying development certificate must give the principal certifier a copy of a receipt from the operator of the landfill site stating that all the asbestos material referred to in the contract has been received by the operator.
- (2) This clause applies only to a complying development certificate issued after the commencement of this clause.
- (3) In this clause, ***bonded asbestos material***, ***bonded asbestos removal work***, ***friable asbestos material*** and ***friable asbestos removal work*** have the same meanings as in clause 317 of the *Occupational Health and Safety Regulation 2001*.

#### **Note 1.**

Under clause 317 removal work refers to work in which the bonded asbestos material or friable asbestos material is removed, repaired or disturbed.

#### **Note 2.**

The effect of subclause (1)(a) is that the development will be a workplace to which the *Occupational Health and Safety Regulation 2001* applies while removal work involving bonded asbestos material or friable asbestos material is being undertaken.

#### **Note 3.**

Information on the removal and disposal of asbestos to landfill sites licensed to accept this waste is available from the Office of Environment and Heritage.

#### **Note 4.**

Demolition undertaken in relation to complying development under the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* must be carried out in accordance with Australian Standard AS 2601—2001, *Demolition of structures*.

### **136F, 136G (Repealed)**

### **136H Condition relating to shoring and adequacy of adjoining property**

- (1) A complying development certificate for development must be issued subject to a condition that if the development involves an excavation that extends below the level of the base of the footings of a

building, structure or work (including any structure or work within a road or rail corridor) on adjoining land, the person having the benefit of the certificate must at the person's own expense—

- (a) protect and support the building, structure or work from possible damage from the excavation, and
  - (b) where necessary, underpin the building, structure or work to prevent any such damage.
- (2) The condition referred to in subclause (1) does not apply if the person having the benefit of the complying development certificate owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

### **136I Traffic generating development**

If an application for a complying development certificate is required to be accompanied by a certificate of Roads and Maritime Services as referred to in clause 4(1)(j1) or (k) of Schedule 1, the complying development certificate must be issued subject to a condition that any requirements specified in the certificate of Roads and Maritime Services must be complied with.

### **136J Development on contaminated land**

- (1) If an application for a complying development certificate is required to be accompanied by a statement of a qualified person as referred to in clause 4(1)(l) of Schedule 1, the complying development certificate must be issued subject to a condition that any requirements specified in the statement must be complied with.
- (2) Subclause (1) does not apply to complying development carried out under the complying development provisions of *State Environmental Planning Policy (Three Ports) 2013* in the Lease Area within the meaning of clause 4 of that Policy.

### **136K When complying development certificates must be subject to section 4.28(9) condition**

- (1) This clause applies if a council's contributions plan provides for the payment of a monetary section 7.11 contribution or section 7.12 levy in relation to development for a particular purpose (whether or not it is classed as complying development under the contributions plan).
- (2) The certifier must issue the relevant complying development certificate authorising development for that purpose subject to a condition requiring payment of such contribution or levy, as required by section 4.28(9) of the Act.
- (3) Subclause (2) applies despite any provision to the contrary in the council's contributions plan.

### **136L Contributions and levies payable under section 4.28(9) must be paid before work commences**

- (1) A complying development certificate issued subject to a condition required by section 4.28(9) of the Act must be issued subject to a condition that the contribution or levy must be paid before any work authorised by the certificate commences.
- (2) Subclause (1) applies despite any provision to the contrary in the council's contributions plan.

### **136M Condition relating to payment of security**

- (1) This clause applies to a complying development certificate authorising the carrying out of development if—
  - (a) the development is demolition of a work or building, erection of a new building or an addition to an existing building and the estimated cost of the development (as specified in the application for the certificate) is \$25,000 or more, and
  - (b) the development is to be carried out on land adjacent to a public road, and
  - (c) at the time the application for the certificate is made, there is specified on the website of the council for the area in which the development is to be carried out an amount of security determined by the council that must be paid in relation to—
    - (i) development of the same type or description, or
    - (ii) development carried out in the same circumstances, or

- (iii) development carried out on land of the same size or description.
- (2) A complying development certificate to which this clause applies must be issued subject to a condition that the amount of security referred to in subclause (1) is to be provided, in accordance with this clause, to the council before any building work or subdivision work authorised by the certificate commences.
- (3) The security may be provided, at the applicant's choice, by way of—
  - (a) deposit with the council, or
  - (b) a guarantee satisfactory to the council.
- (4) The funds realised from a security may be paid out to meet the cost of making good any damage caused to any property of the council as a consequence of doing anything (or not doing anything) authorised or required by the complying development certificate, including the cost of any inspection to determine whether damage has been caused.
- (5) Any balance of the funds realised from a security remaining after meeting the costs referred to in subclause (4) is to be refunded to, or at the direction of, the person who provided the security.

**136N Principal certifier to be satisfied that preconditions met before commencement of work**

- (1) This clause applies to building work or subdivision work that is the subject of a complying development certificate.
- (2) A principal certifier for building work or subdivision work to be carried out on a site, and over which the principal certifier has control, is required to be satisfied that any preconditions in relation to the work and required to be met before the work commences have been met before the work commences.

# **State Environmental Planning Policy (Exempt and Complying Development Codes) 2008**

## **Schedule 6 Conditions applying to complying development certificates under certain complying development codes**

(Clauses 3.34, 3A.39, 3C.37 and 3D.65)

### **Note 1.**

Complying development under the Housing Code, the Rural Housing Code, the Greenfield Housing Code and the Inland Code must comply with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Schedule.

### **Note 2.**

Division 2A of **Part 7** of the *Environmental Planning and Assessment Regulation 2000* specifies conditions to which certain complying development certificates are subject.

### **Note 3.**

In addition to the requirements specified for development under this Policy, adjoining owners' property rights, applicable common law and other legislative requirements for approvals, licences, permits and authorities still apply.

### **Note 4.**

If the development is in the proximity of infrastructure (including water, stormwater or sewer mains, electricity power lines and telecommunications facilities), the relevant infrastructure authority should be contacted before commencing the development.

### **Note 5.**

Under section 4.29 of the *Environmental Planning and Assessment Act 1979*, a complying development certificate lapses 5 years after the date endorsed on the certificate, unless the development has physically commenced on the land during that period.

## **Part 1 Conditions applying before works commence**

### **1 Protection of adjoining areas**

A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of the works—

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or **part** of a public place.

### **2 Toilet facilities**

- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
- (2) Each toilet must—
  - (a) be a standard flushing toilet connected to a public sewer, or
  - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
  - (c) be a temporary chemical closet approved under the *Local Government Act 1993*.

### **3 Garbage receptacle**

- (1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

#### **4 Adjoining wall dilapidation report**

- (1) If a wall on a lot is to be built to a boundary and there is a wall (the **adjoining wall**) on the lot adjoining that boundary that is less than 0.9m from that boundary, the person having the benefit of the complying development certificate must obtain a dilapidation report on the adjoining wall.
- (2) If the person preparing the report is denied access to the adjoining lot for the purpose of inspecting the adjoining wall, the report may be prepared from an external inspection of the adjoining wall.

#### **5 Run-off and erosion controls**

Run-off and erosion controls must be implemented to prevent soil erosion, water pollution or the discharge of loose sediment on the surrounding land by—

- (a) diverting uncontaminated run-off around cleared or disturbed areas, and
- (b) erecting a silt fence and providing any other necessary sediment control measures that will prevent debris escaping into drainage systems, waterways or adjoining properties, and
- (c) preventing the tracking of sediment by vehicles onto roads, and
- (d) stockpiling top soil, excavated materials, construction and landscaping supplies and debris within the lot.

#### **6 Tree protection measures**

- (1) This clause applies to each protected tree and any other tree that is to be retained on a lot.
- (2) The trunk of each of the following trees must be provided with a tree guard that is comprised of hardwood timber panels each having a minimum length of 2m, minimum width of 75mm and minimum thickness of 25mm and secured, but not permanently fixed or nailed, to the tree and spaced a maximum of 80mm apart—
  - (a) each tree that is within 6m of a dwelling house or any ancillary development that is to be constructed, and
  - (b) each protected tree that is within 10m of a dwelling house or any ancillary development that is to be constructed.
- (3) Each protected tree that is within 6m of a dwelling house, outbuilding or swimming pool must have a fence or barrier that is erected—
  - (a) around its tree protection zone as defined by section 3.2 of AS 4970—2009, *Protection of trees on development sites*, and
  - (b) in accordance with section 4 of that standard.
- (4) The person having the benefit of the complying development certificate must ensure that—

- (a) the activities listed in section 4.2 of that standard do not occur within the tree protection zone of any tree on the lot or any tree on an adjoining lot, and
  - (b) any temporary access to, or location of scaffolding within the tree protection zone of a protected tree or any other tree to be retained on the lot during the construction, is undertaken using the protection measures specified in sections 4.5.3 and 4.5.6 of that standard.
- (5) The tree protection measures specified in this clause must—
- (a) be in place before work commences on the lot, and
  - (b) be maintained in good condition during the construction period, and
  - (c) remain in place for the duration of the construction works.

**Note.**

A separate permit or development consent may be required if the branches or roots of a protected tree on the lot or on an adjoining lot are required to be pruned or removed.

## **Part 2 Conditions applying during the works**

**Note.**

The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise.

### **7 Hours for construction**

Construction may only be carried out between 7.00 am and 5.00 pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or a public holiday.

### **8 Compliance with plans**

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

### **9 Maintenance of site**

- (1) All materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials (including excavation, demolition and construction waste materials) must be managed on the site and then disposed of at a waste management facility.
- (3) Any run-off and erosion control measures required must be maintained within their operating capacity until the completion of the works to prevent debris escaping from the site into drainage systems, waterways, adjoining properties and roads.
- (4) During construction—
  - (a) all vehicles entering or leaving the site must have their loads covered, and
  - (b) all vehicles, before leaving the site, must be cleaned of dirt, sand and other materials, to avoid tracking these materials onto public roads.
- (5) At the completion of the works, the work site must be left clear of waste and debris.

### **10 Earthworks, retaining walls and structural support**

- (1) Any earthworks (including any structural support or other related structure for the purposes of the development)—

- (a) must not cause a danger to life or property or damage to any adjoining building or structure on the lot or to any building or structure on any adjoining lot, and
  - (b) must not redirect the flow of any surface or ground water or cause sediment to be transported onto an adjoining property, and
  - (c) that is fill brought to the site—must contain only virgin excavated natural material (VENM) as defined in **Part 3** of Schedule 1 to the *Protection of the Environment Operations Act 1997*, and
  - (d) that is excavated soil to be removed from the site—must be disposed of in accordance with any requirements under the *Protection of the Environment Operations (Waste) Regulation 2005*.
- (2) Any excavation must be carried out in accordance with *Excavation Work: Code of Practice* (ISBN 978-0-642-785442), published in July 2012 by Safe Work Australia.

### **11 Drainage connections**

- (1) If the work is the erection of, or an alteration or addition to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof is installed.
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out.

### **11A Swimming pool safety**

If the work involves the construction of a swimming pool, a child-resistant barrier that complies with the requirements of the *Building Code of Australia* and AS 1926.1—2012, *Swimming pool safety—Part 1: Safety barriers for swimming pools* must be erected around that work during the construction.

### **12 Archaeology discovered during excavation**

If any object having interest due to its age or association with the past is uncovered during the course of the work—

- (a) all work must stop immediately in that area, and
- (b) the Office of Environment and Heritage must be advised of the discovery.

**Note.**

Depending on the significance of the object uncovered, an archaeological assessment and excavation permit under the *Heritage Act 1997* may be required before further the work can continue.

### **13 Aboriginal objects discovered during excavation**

If an Aboriginal object (including evidence of habitation or remains) is discovered during the course of the work—

- (a) all excavation or disturbance of the area must stop immediately, and
- (b) the person making the discovery must advise the Chief Executive (within the meaning of the *National Parks and Wildlife Act 1974*) of the discovery in accordance with section 89A of that Act.

**Note.**

If an Aboriginal object is discovered, an Aboriginal heritage impact permit may be required under the *National Parks and Wildlife Act 1974*.

## **Part 3 Conditions applying before the issue of an occupation certificate**

### **14 Vehicular access**

If the work involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the work on the site is obtained.

### **15 Utility services**

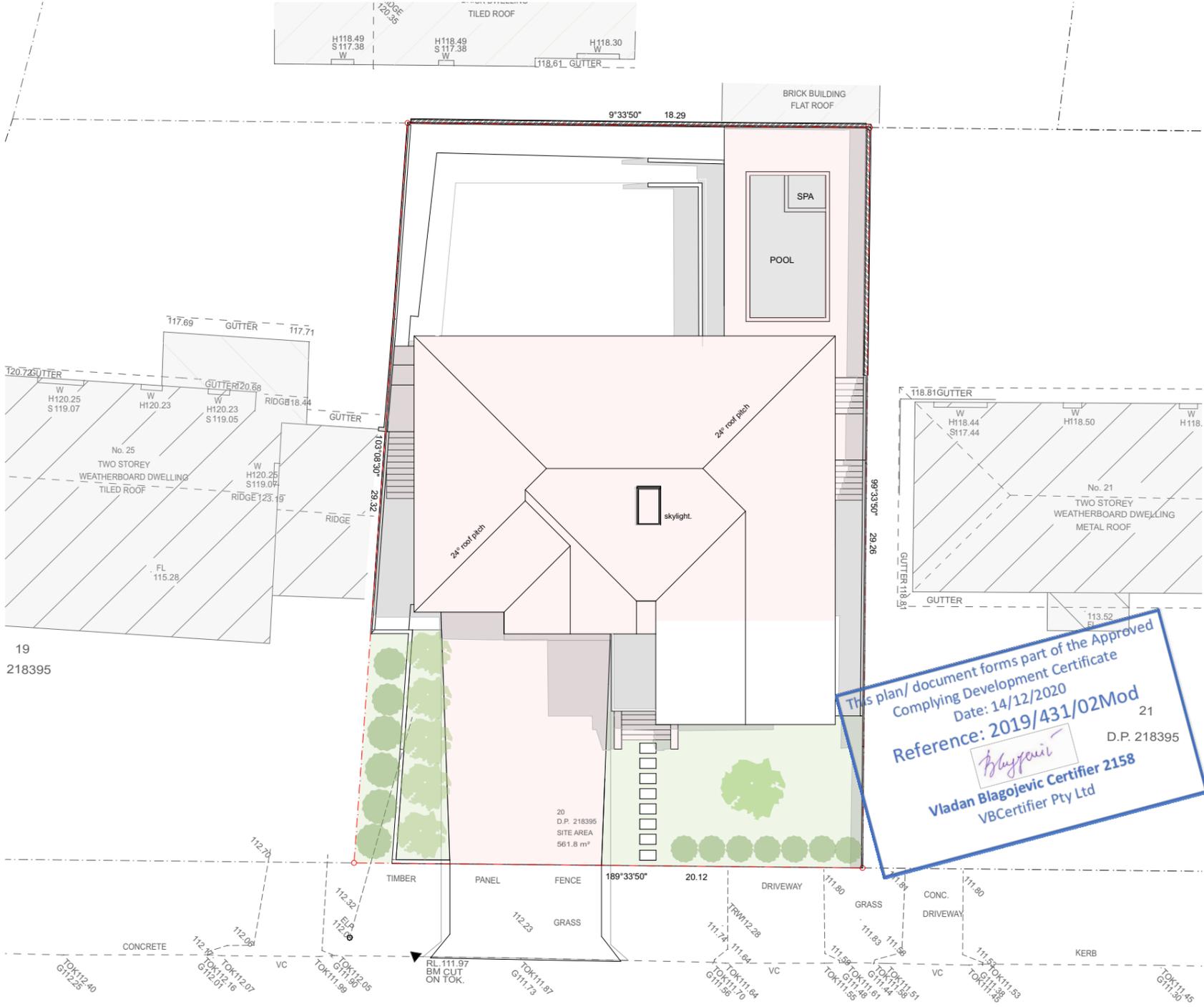
If the work requires alteration to, or the relocation of, utility services on, or adjacent to, the lot on which the work is carried out, the work is not complete until all such works are carried out.

# COMPLYING DEVELOPMENT CERTIFICATE (REVISED)

## 23 Reynolds Crescent BEACON HILL

Alterations and additions to an existing two (2) storey dwelling.

Dwg No:	Drawing Name
CDC.00	COVER PAGE
CDC.01	SITE PLAN
CDC.02	GROUND FLOOR
CDC.03	GROUND FLOOR 1
CDC.04	GROUND FLOOR DIMENSIONS
CDC.05	GROUND FLOOR DIMENSIONS
CDC.06	LOWER GROUND
CDC.07	LOWER GROUND 1
CDC.08	LOWER GROUND DIMENSIONS
CDC.09	LOWER GROUND DIMENSIONS
CDC.10	ROOF PLAN
CDC.11	ELEVATION - EAST
CDC.12	ELEVATION - NORTH
CDC.13	ELEVATION - SOUTH
CDC.14	ELEVATION - WEST
CDC.15	SECTION AA
CDC.16	SECTION BB
CDC.17	SECTION CC
CDC.18	CDC NOTES
CDC.19	CDC NOTES
CDC.20	CDC NOTES
CDC.21	CALCULATIONS
CDC.22	WINDOW SCHEDULE
CDC.23	DOOR SCHEDULE
CDC.24	BASIX COMMITMENTS

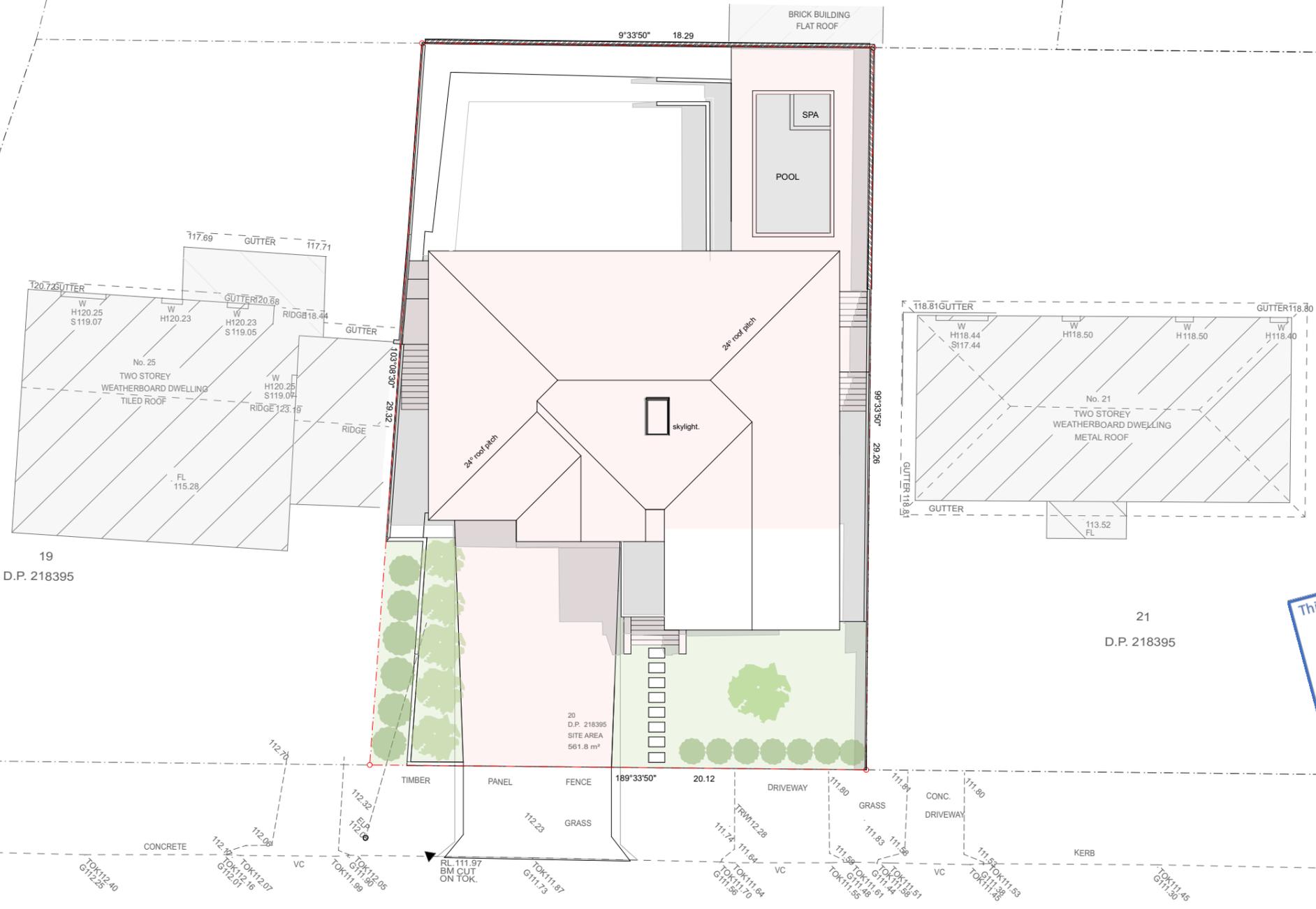
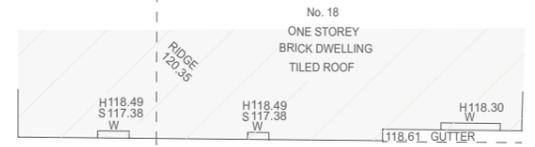


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design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

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D.P. 219278



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CDC works  
 to be demolished / removed

**SITE PLAN**  
1:200

Note

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Issue	Revision
E	Revised CDC Plans
F	Revised CDC Plans
G	CDC Drawings
H	CDC Drawings
I	Revised CDC Drawings
J	Revised CDC Drawings

Date
25/09/19
12/01/20
18/02/20
28/03/20
30/11/20
09/12/20

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 e : michael@studioml.com.au  
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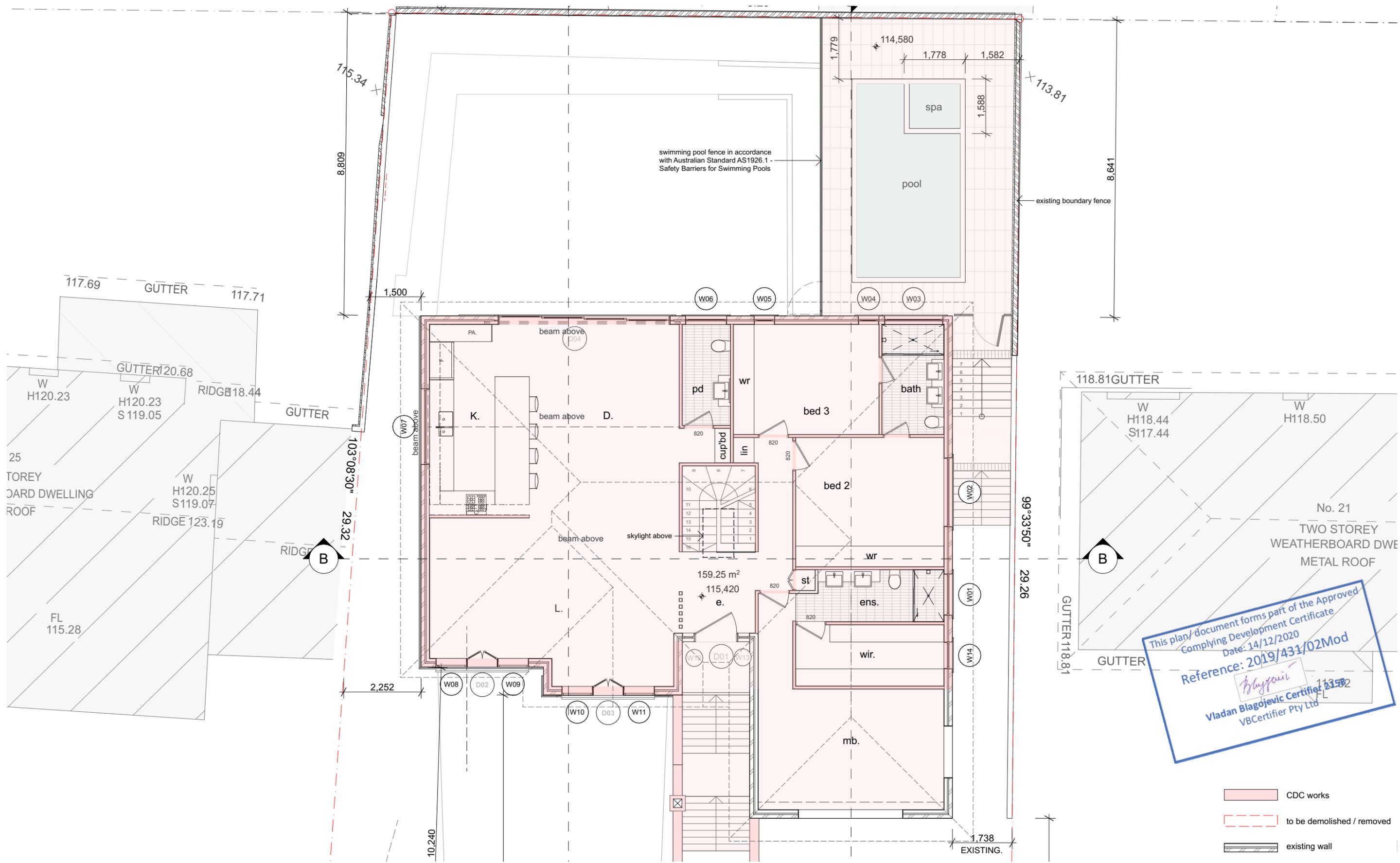
design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial



**Complying Development Certificate**

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	SITE PLAN	CDC.01



**GROUND FLOOR**  
1:100

Note

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E	Revised CDC Plans
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Date
25/09/19
12/01/20
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e : michael@studioml.com.au  
w : www.studioml.com.au

design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial

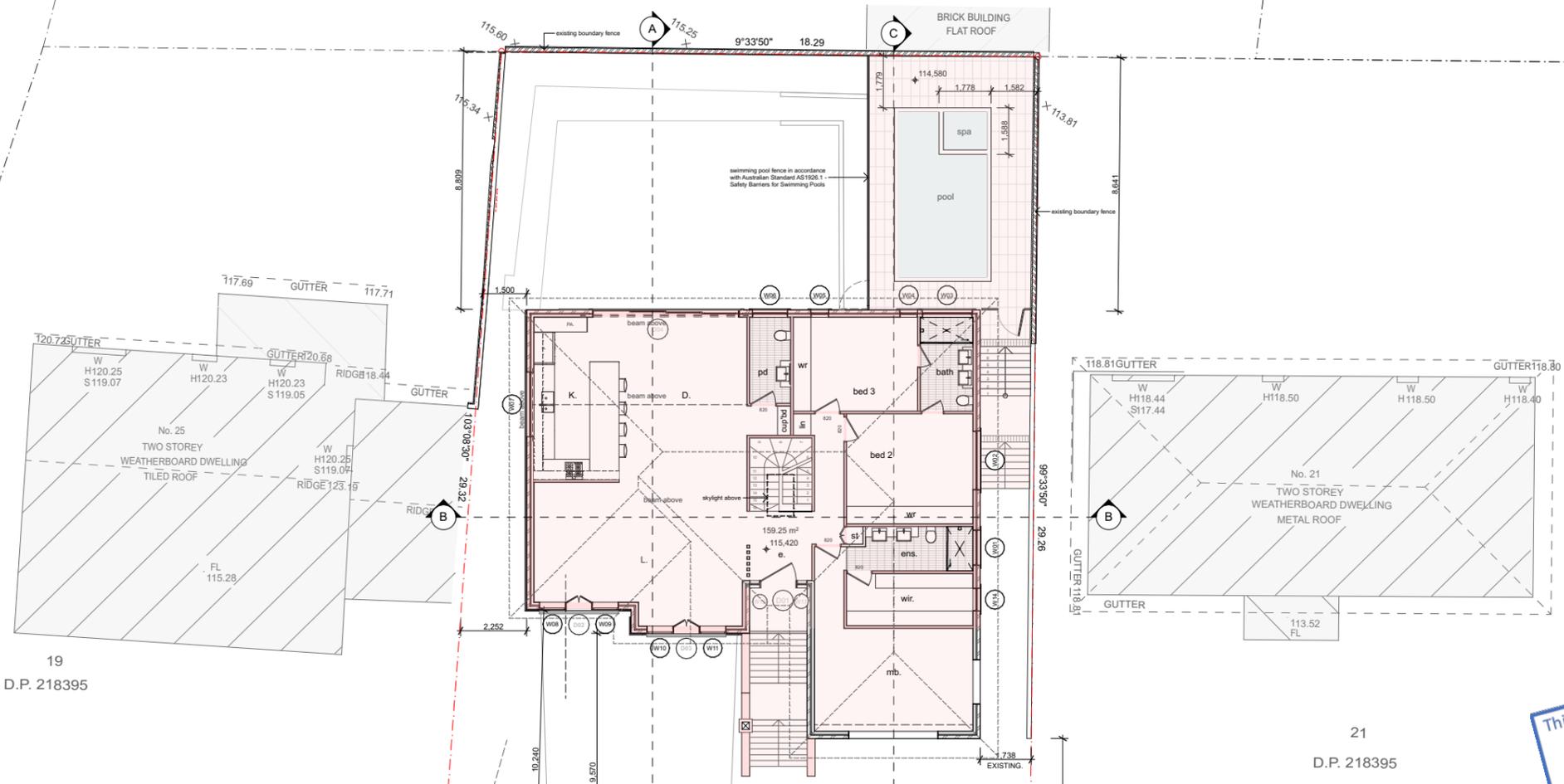
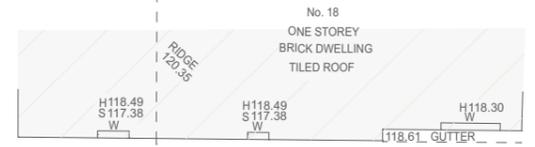


**Complying Development Certificate**

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	GROUND FLOOR	CDC.02

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- CDC works
- to be demolished / removed
- existing wall

**GROUND FLOOR**  
1:200

Note

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Issue	Revision
E	Revised CDC Plans
F	Revised CDC Plans
G	CDC Drawings
H	CDC Drawings
I	Revised CDC Drawings
J	Revised CDC Drawings

Date
25/09/19
12/01/20
18/02/20
28/03/20
30/11/20
09/12/20

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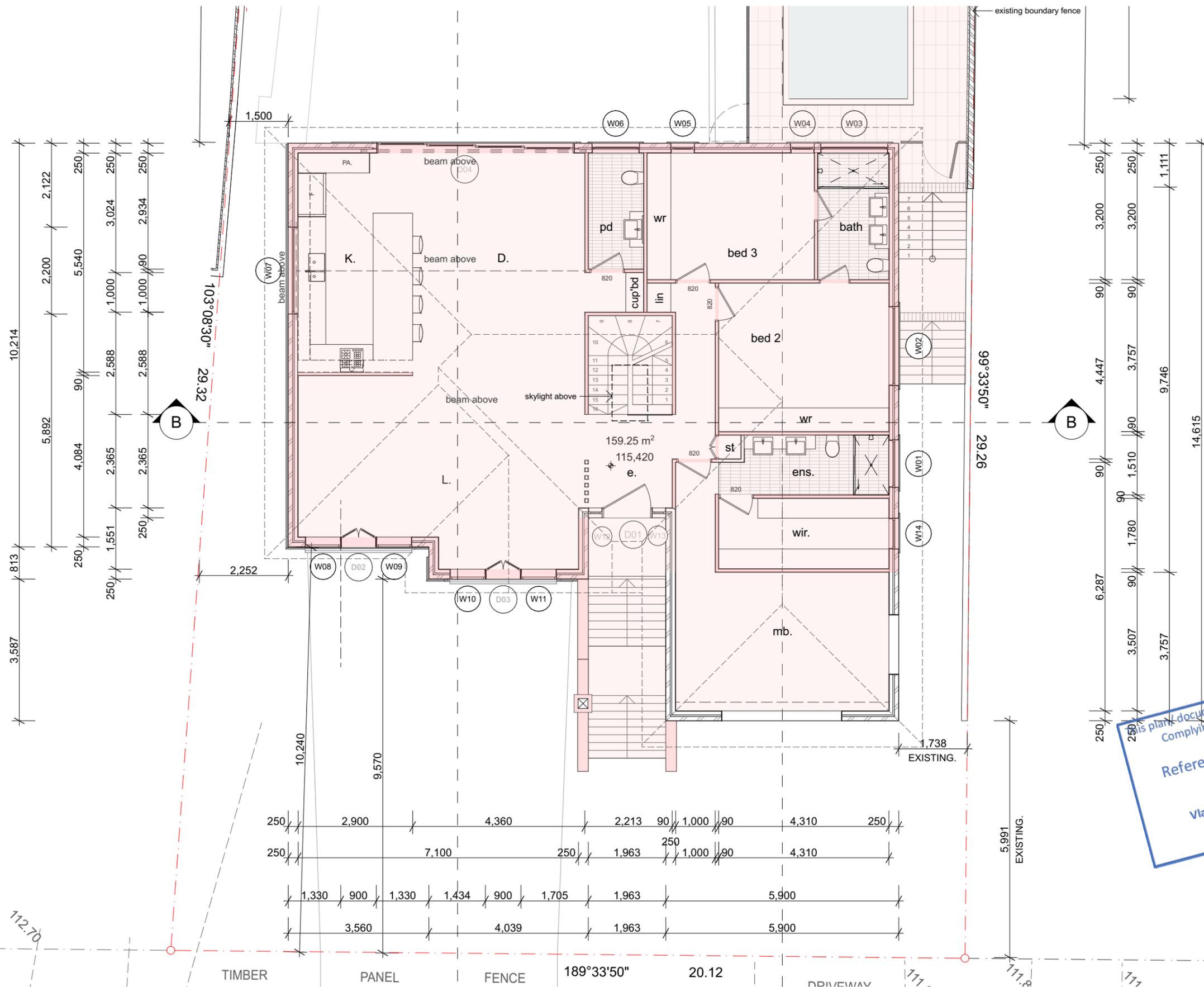
**design : STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial



**Complying Development Certificate**

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	GROUND FLOOR 1	CDC.03



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**GROUND FLOOR DIMENSIONS**  
 1:100

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Issue	Revision
E	Revised CDC Plans
F	Revised CDC Plans
G	CDC Drawings
H	CDC Drawings
I	Revised CDC Drawings
J	Revised CDC Drawings

Date
25/09/19
12/01/20
18/02/20
28/03/20
30/11/20
09/12/20

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design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial



**Complying Development Certificate**

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	GROUND FLOOR DIMENSIONS	04





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- CDC works
- to be demolished / removed
- existing wall

**LOWER GROUND**  
 1:100

Note

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Issue	Revision
E	Revised CDC Plans
F	Revised CDC Plans
G	CDC Drawings
H	CDC Drawings
I	Revised CDC Drawings
J	Revised CDC Drawings

Date  
 25/09/19  
 12/01/20  
 18/02/20  
 28/03/20  
 30/11/20  
 09/12/20

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 e : michael@studioml.com.au  
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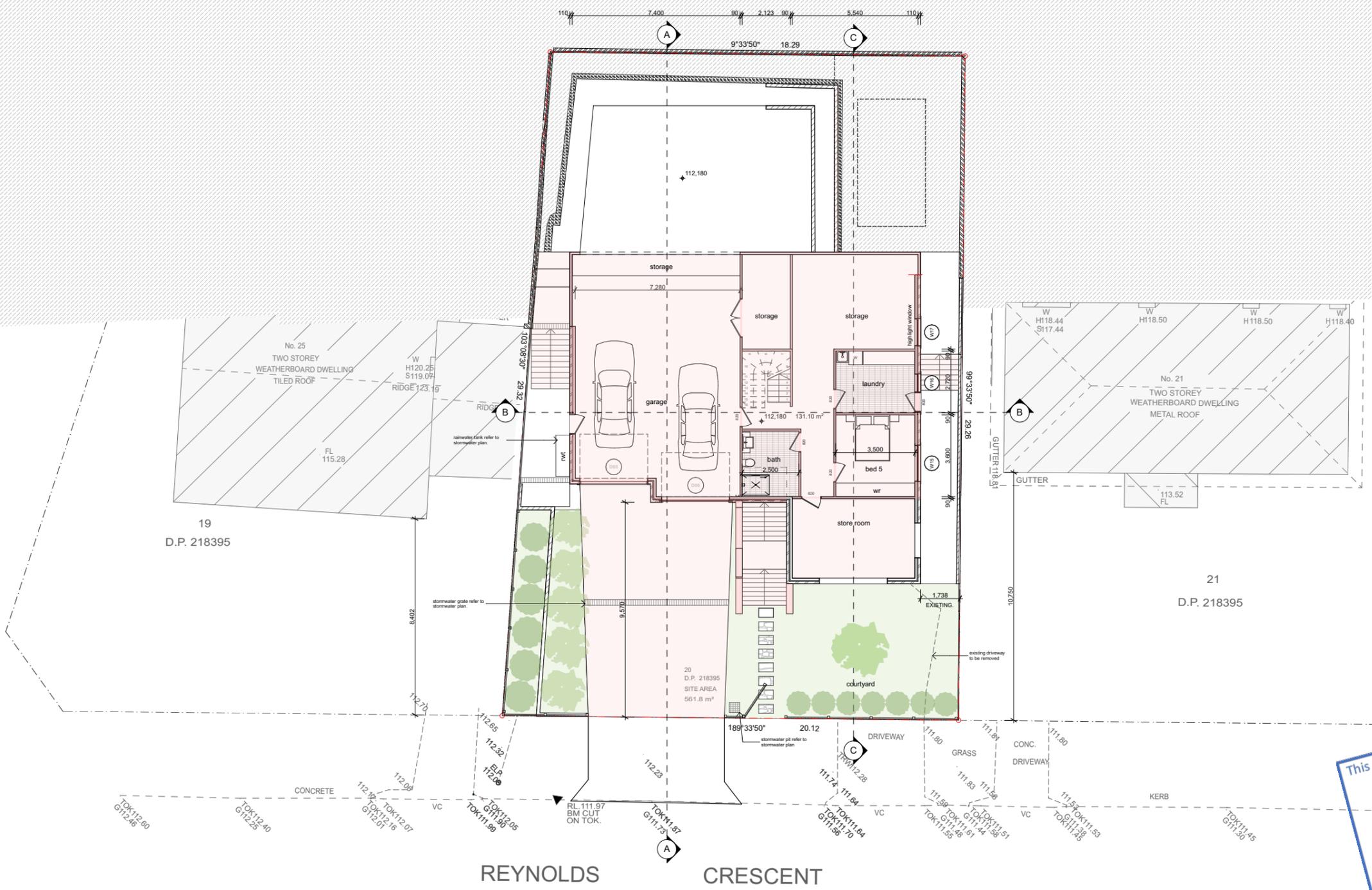
design : **STUDIO ML**



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Project Proposed Alterations and Additions Residential Dwelling	Client Mr & Mrs Calci	Job 1805
Project Address 23 Reynolds Crescent, Beacon Hill	Drawing LOWER GROUND	Dwg no CDC.06

residential : mutli - unit dwellings : alterations & additions : commercial



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- CDC works
- to be demolished / removed
- existing wall

**LOWER GROUND**  
 1:200

Note

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Issue	Revision	Date
E	Revised CDC Plans	25/09/19
F	Revised CDC Plans	12/01/20
G	CDC Drawings	18/02/20
H	CDC Drawings	28/03/20
I	Revised CDC Drawings	30/11/20
J	Revised CDC Drawings	09/12/20

Issue  
 E Revised CDC Plans  
 F Revised CDC Plans  
 G CDC Drawings  
 H CDC Drawings  
 I Revised CDC Drawings  
 J Revised CDC Drawings

Date  
 25/09/19  
 12/01/20  
 18/02/20  
 28/03/20  
 30/11/20  
 09/12/20

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 w : www.studioml.com.au

design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial

Project  
 Proposed Alterations and Additions Residential Dwelling  
 Project Address  
 23 Reynolds Crescent, Beacon Hill

Client  
 Mr & Mrs Calci

Drawing  
 LOWER GROUND 1

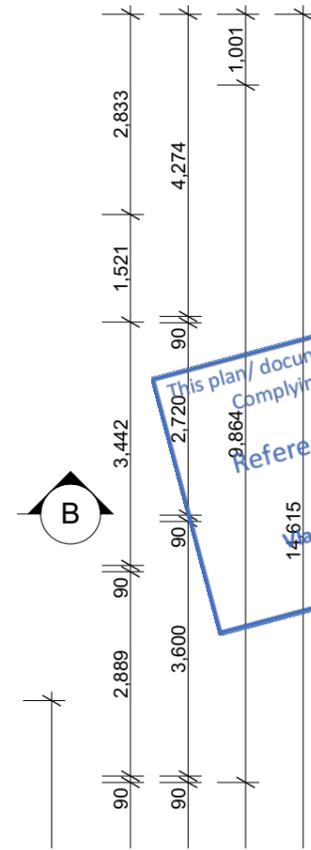
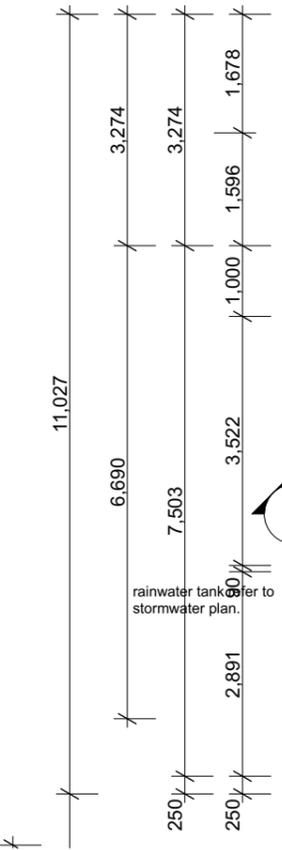
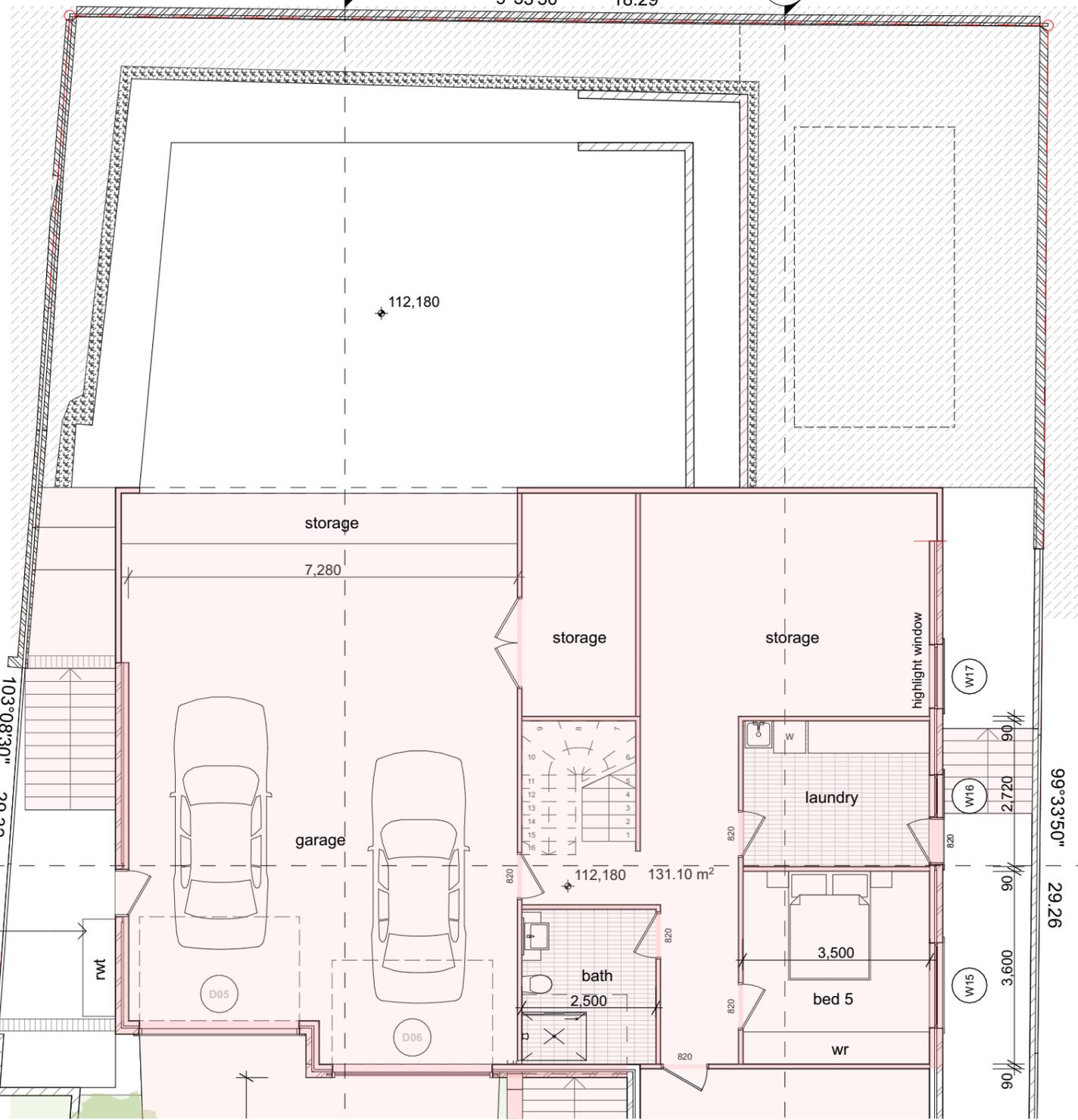
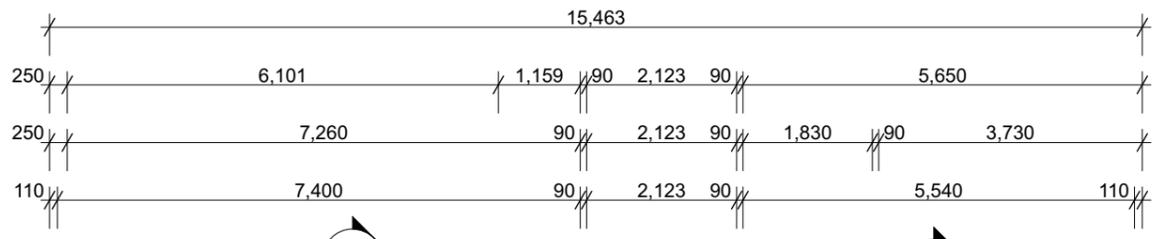
Job  
 1805

Dwg no  
 CDC.07

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**LOWER GROUND DIMENSIONS**  
 1:100

Note

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Issue	Revision
E	Revised CDC Plans
F	Revised CDC Plans
G	CDC Drawings
H	CDC Drawings
I	Revised CDC Drawings
J	Revised CDC Drawings

Date
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12/01/20
18/02/20
28/03/20
30/11/20
09/12/20

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 e : michael@studioml.com.au  
 w : www.studioml.com.au

design : **STUDIO ML**

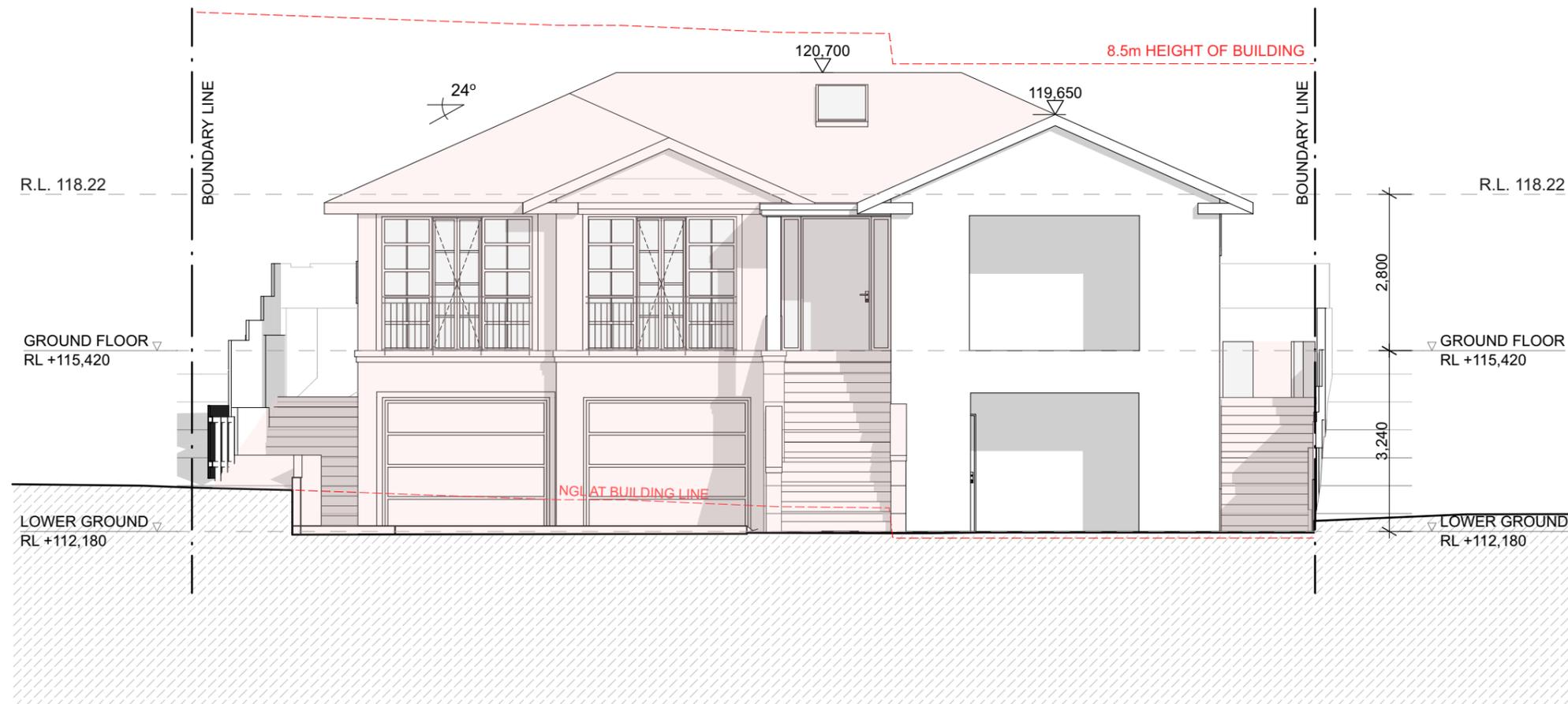


residential : mutli - unit dwellings : alterations & additions : commercial

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	LOWER GROUND DIMENSIONS	09

**Complying Development Certificate**





**EAST ELEVATION**  
1:100

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- CDC works
- to be demolished / removed
- existing wall

**Complying Development Certificate**

**Note**

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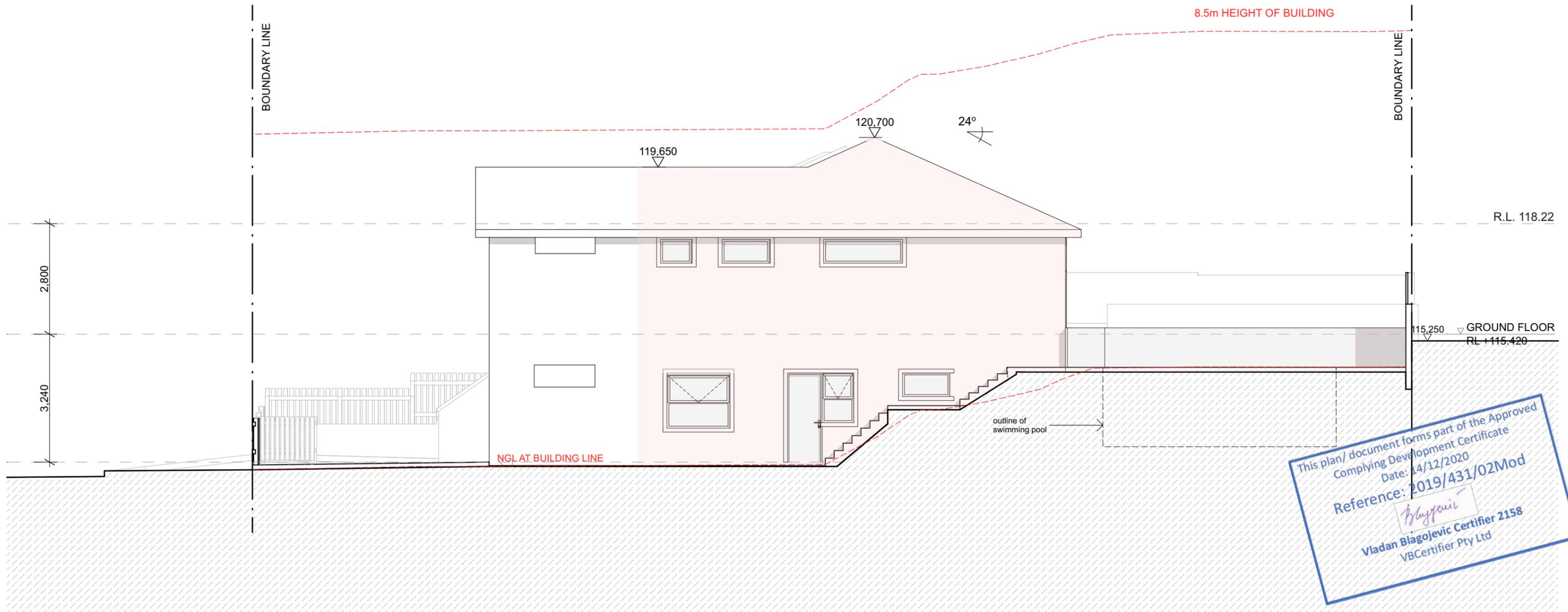
Issue	Revision	Date
E	Revised CDC Plans	25/09/19
F	Revised CDC Plans	12/01/20
G	CDC Drawings	18/02/20
H	CDC Drawings	28/03/20
I	Revised CDC Drawings	30/11/20
J	Revised CDC Drawings	09/12/20

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**design : STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	ELEVATION - EAST	CDC.11



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**NORTH ELEVATION**  
 1:100

- CDC works
- to be demolished / removed
- existing wall

**Complying Development Certificate**

Note

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Issue	Revision	Revised CDC Plans
E	Revised CDC Plans	
F	Revised CDC Plans	
G	CD	
H	CD	
I	Revised CDC Plans	vings
J	Revised CDC Plans	vings

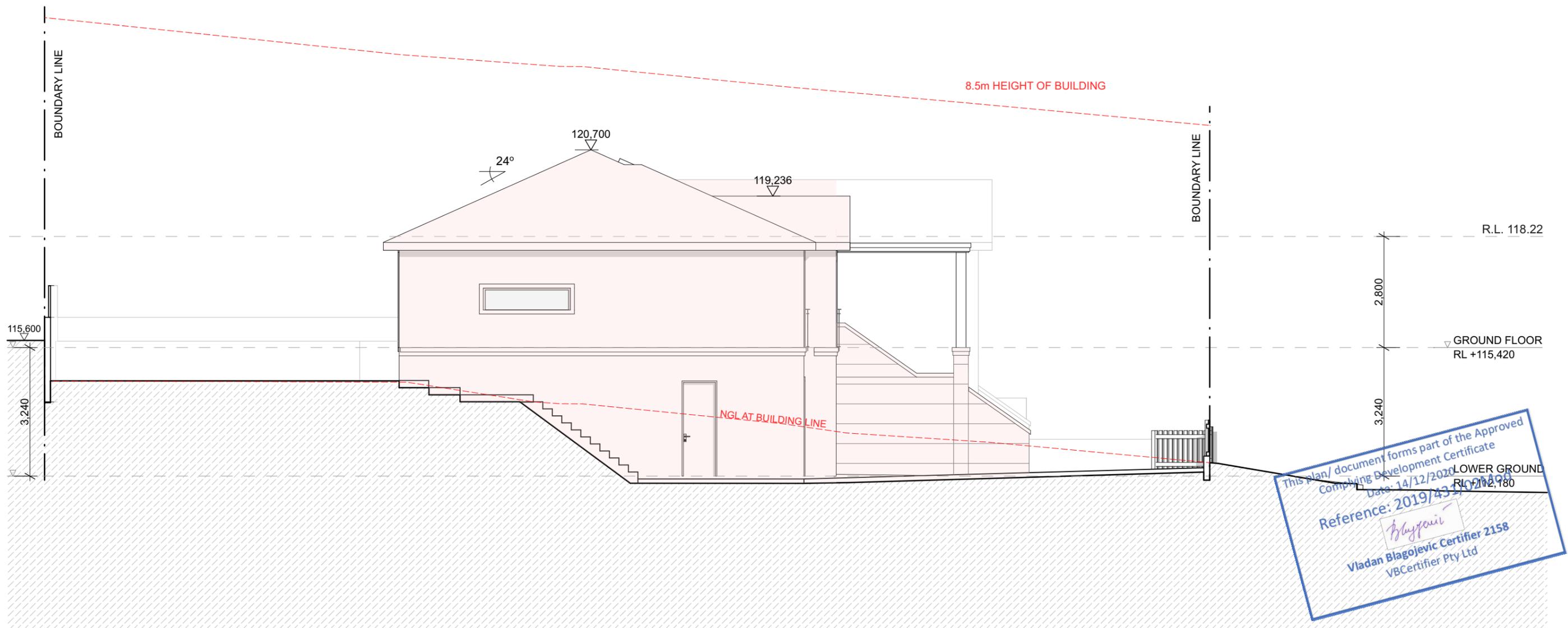
Date
25/09/19
12/01/20
18/02/20
28/03/20
30/11/20
09/12/20

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 e : michael@studioml.com.au  
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design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	ELEVATION - NORTH	CDC.12



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 Lower Ground  
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**SOUTH ELEVATION**  
 1:100

- CDC works
- to be demolished / removed
- existing wall

**Complying Development Certificate**

Note

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Issue	Revision
E	Revised CDC Plans
F	Revised CDC Plans
G	CDC Drawings
H	CDC Drawings
I	Revised CDC Drawings
J	Revised CDC Drawings

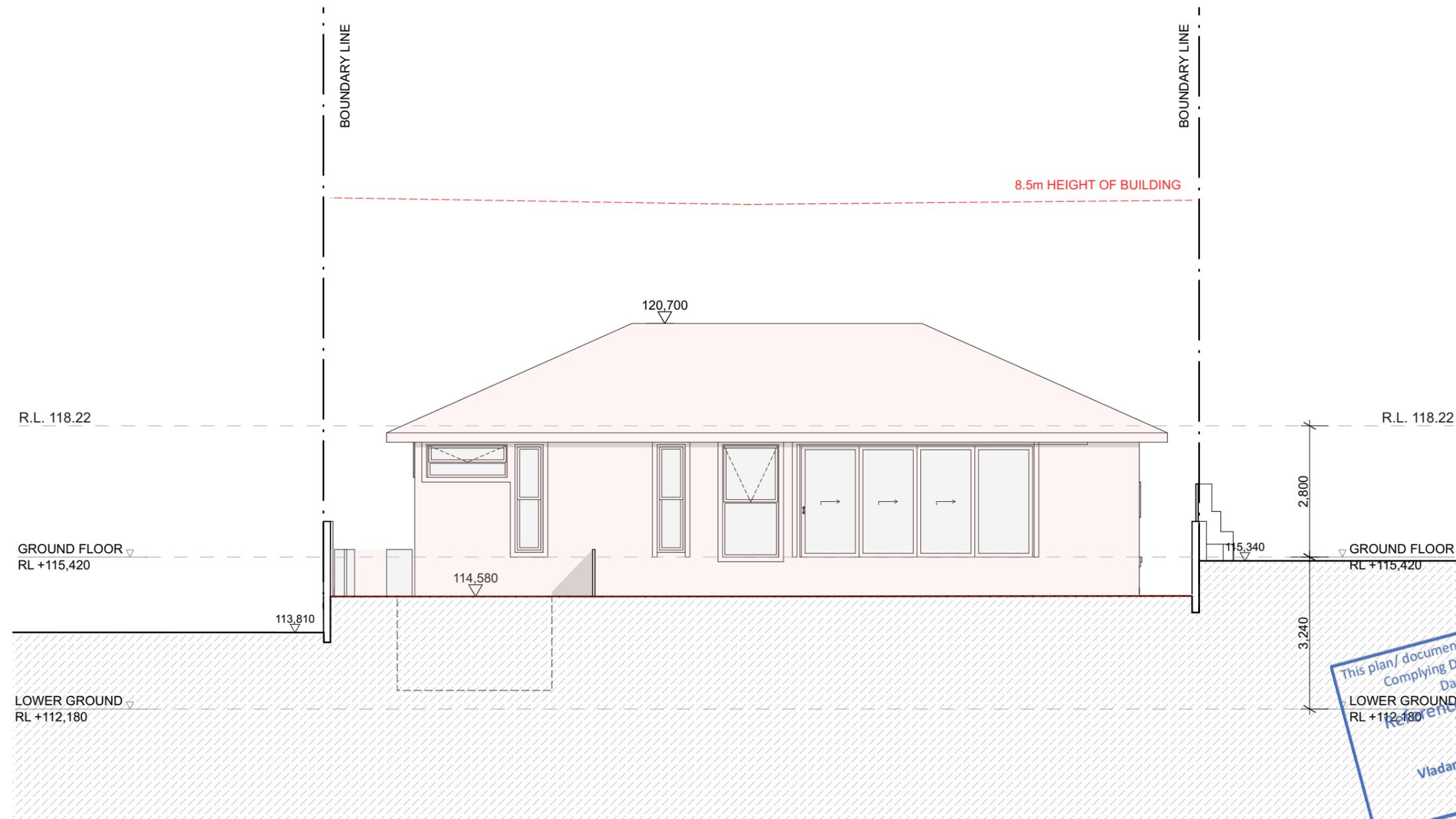
Date
25/09/19
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09/12/20

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 w : www.studioml.com.au

**design : STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	ELEVATION - SOUTH	CDC.13



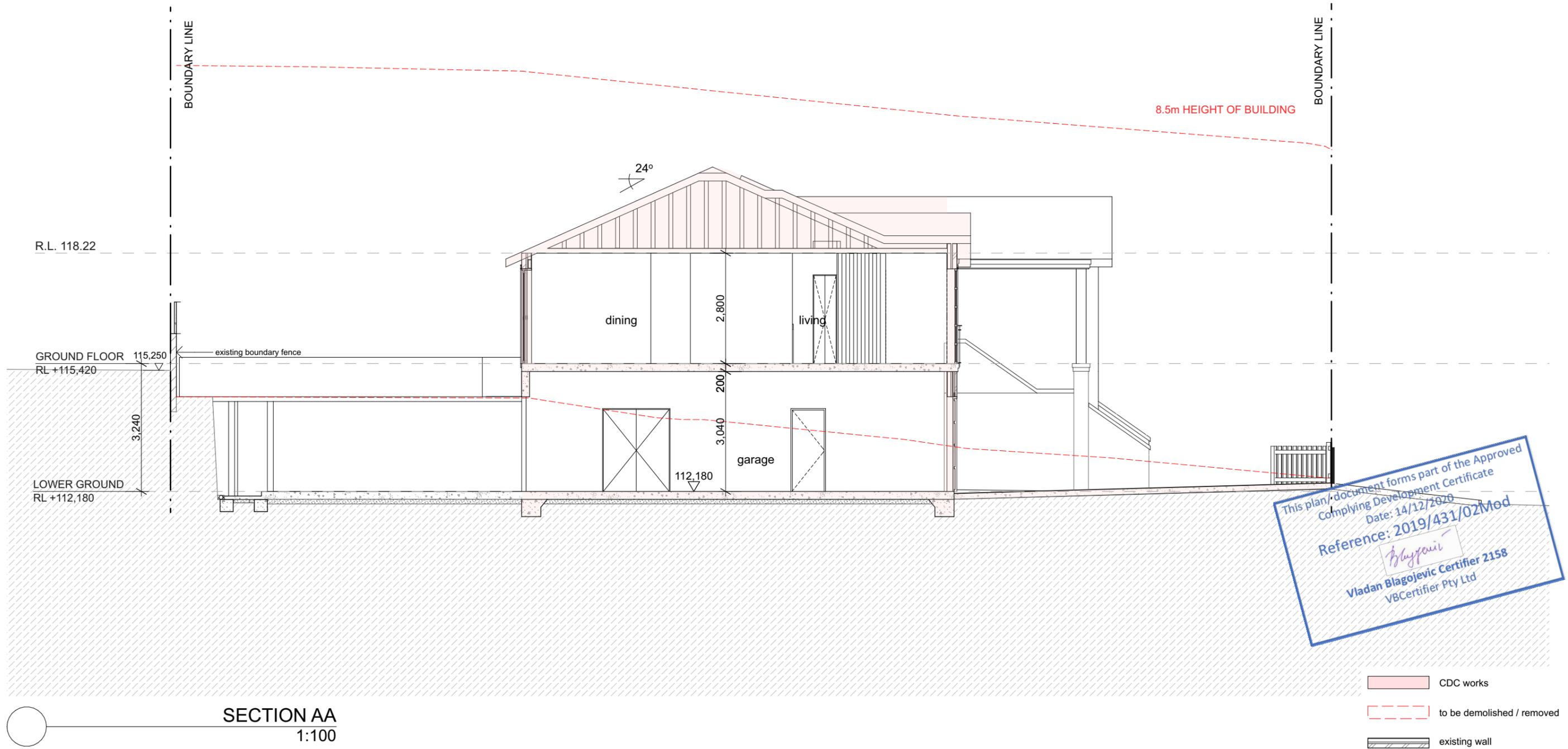
WEST ELEVATION  
1:100

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- CDC works
- to be demolished / removed
- existing wall

### Complying Development Certificate

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	residential : mutli - unit dwellings : alterations & additions : commercial				Project Address: 23 Reynolds Crescent, Beacon Hill	Drawing: ELEVATION - WEST	Job: 1805 Dwg no: CDC.14



SECTION AA  
1:100

Complying Development Certificate

Note

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Issue	Revision	
E	Revised CDC Plans	
F	Revisions	
G	CD	
H	CD	
I	Revisions	vings
J	Revisions	vings

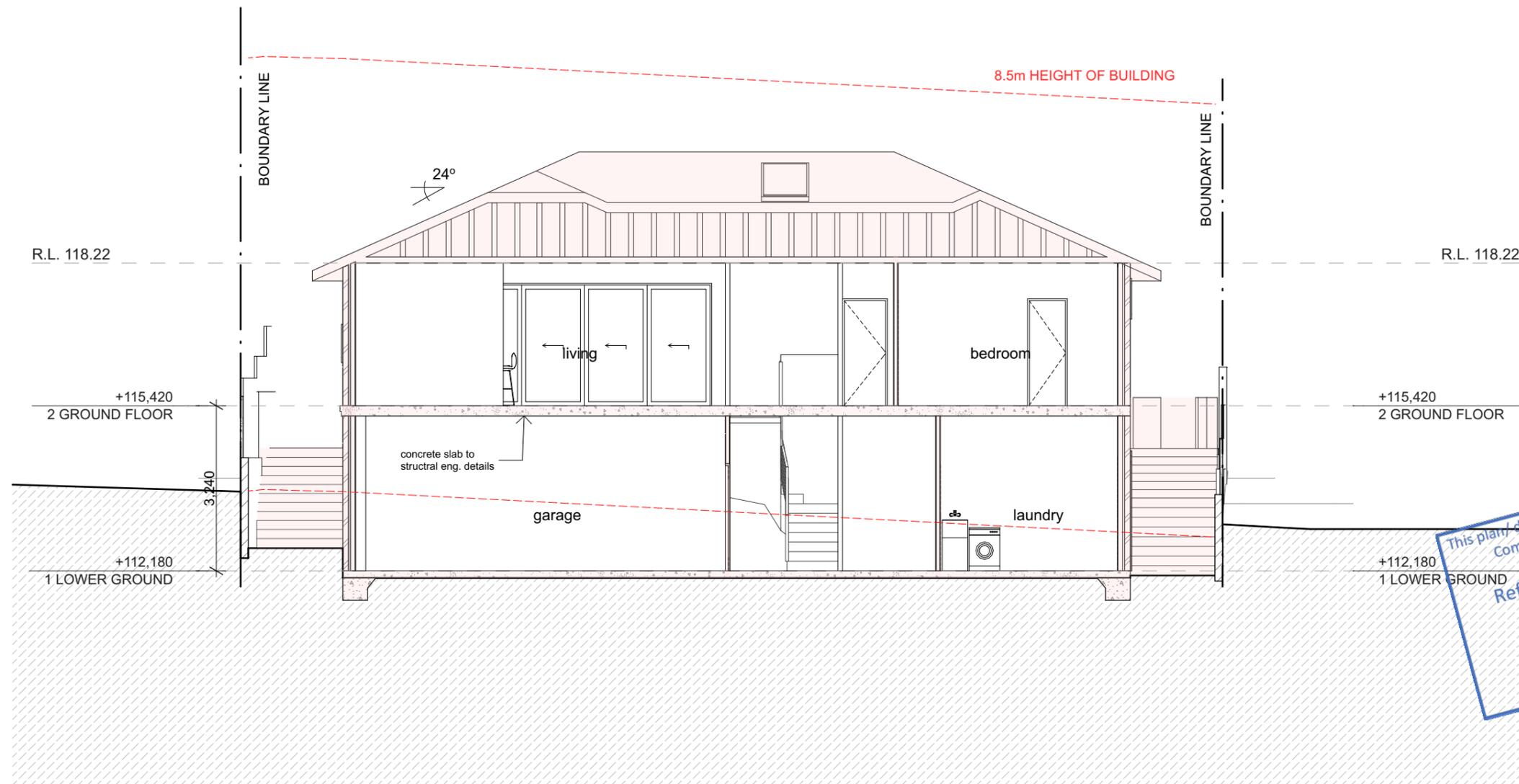
Date
25/09/19
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28/03/20
30/11/20
09/12/20

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e : michael@studioml.com.au  
w : www.studioml.com.au

design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	SECTION AA	CDC.15



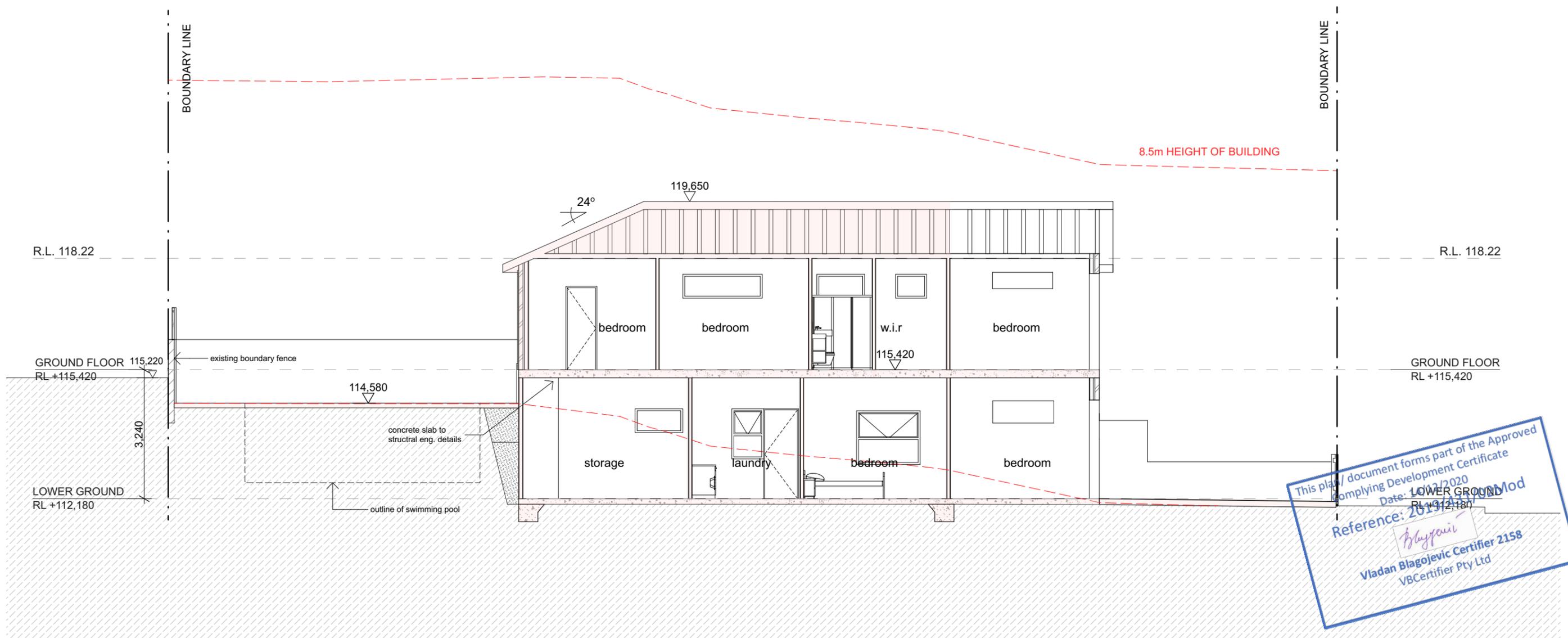
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 Reference: 2019/431/02Mod  
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- CDC works
- to be demolished / removed
- existing wall

SECTION BB  
 1:100

Complying Development Certificate

<b>Note</b> - Dimensions in millimeters. - Confirm all dimensions on site prior to commencing work. - Use figured dimensions only. - Do not scale. - If discrepancy exists notify designer. - If in doubt ask. Copyright in all documents and drawings prepared by Design:Studio ML and in any works executed from those documents and drawings shall remain the property of Design: Studio ML.	<b>Issue</b> E Revised CDC Plans F Revised CDC Plans G CDC Drawings H CDC Drawings I Revised CDC Drawings J Revised CDC Drawings	<b>Revision</b> E Revised CDC Plans F Revised CDC Plans G CDC Drawings H CDC Drawings I Revised CDC Drawings J Revised CDC Drawings	<b>Date</b> 25/09/19 12/01/20 18/02/20 28/03/20 30/11/20 09/12/20	m : 0403 324 888 e : michael@studioml.com.au w : www.studioml.com.au	<b>design : STUDIO ML</b>	<b>Project</b> Proposed Alterations and Additions Residential Dwelling <b>Project Address</b> 23 Reynolds Crescent, Beacon Hill	<b>Client</b> Mr & Mrs Calci <b>Drawing</b> SECTION BB	<b>Job</b> 1805 <b>Dwg no</b> CDC.16
	residential : mutli - unit dwellings : alterations & additions : commercial			residential : mutli - unit dwellings : alterations & additions : commercial				



This plan / document forms part of the Approved Complying Development Certificate  
 Date: 10/12/2020  
 Reference: 2019/2147  
 Vladan Blagojevic Certifier 2158  
 VBCertifier Pty Ltd

SECTION CC  
 1:100

- CDC works
- to be demolished / removed
- existing wall

Note

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Issue	Revision	Date
E	Revised CDC Plans	25/09/19
F	Revised CDC Plans	12/01/20
G	CDC Drawings	18/02/20
H	CDC Drawings	28/03/20
I	Revised CDC Drawings	30/11/20
J	Revised CDC Drawings	09/12/20

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**design : STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	SECTION CC	CDC.17

Complying Development Certificate

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	Proposed Alterations and Additions to existing two (2) storey dwelling.																	
<p><b>3.1 Development that is complying development under this code</b>            (1) The following development is complying development under this code:            (a) the erection of a new 1 or 2 storey dwelling house and any attached development,            (b) the alteration of, or an addition to, a 1 or 2 storey dwelling house (including any addition that results in a 2 storey dwelling house) and any attached development,            (c) the erection of detached development and the alteration of, or an addition to, any detached development.</p>	Proposed alterations and addition to an existing dwelling.																	
<p>(2) For the purposes of calculating the number of storeys in a dwelling house under this code, any basement (including a garage) is to be counted as a storey.</p> <p>(3) Lot requirements Complying development specified for this code may only be carried out on a lot that meets the following requirements:            (a) the lot must be in Zone R1, R2, R3, R4 or RU5,            (b) the area of the lot must not be less than 200m<sup>2</sup>,            (c) the width of the lot must be at least 6m measured at the building line,            (d) there must only be 1 dwelling house on the lot at the completion of the development,            (e) the lot must have lawful access to a public road at the completion of the development,            (f) if the development is on a battle-axe lot—the lot must be at least 12m by 12m (not including the access laneway) and must have an access laneway that is at least 3m wide,            (g) if the development is on a corner lot—the width of the primary road boundary of the lot must be at least 6m.</p>	Site zoned R2. Subject site area: 561.8sqm (refer to survey plan). Site width of 20.12m. One dwelling located on subject site. Dwelling contains lawful access to public road																	
<p>(4) A secondary dwelling with development consent or a complying development certificate is not a dwelling house for the purpose of subclause (3) (d).</p>	N/A																	
<p><b>Subdivision 2 Built form development standards for dwelling houses and attached development</b></p> <p><b>3.8 Maximum building height</b>            The maximum height for a dwelling house and any attached development is 8.5m above ground level (existing).</p>	Dwelling no greater than 8.5m in height.																	
<p><b>3.9 Maximum gross floor area of all buildings</b></p> <table border="1" data-bbox="53 661 1629 739"> <thead> <tr> <th>Lot area</th> <th>Maximum GFA</th> </tr> </thead> <tbody> <tr> <td>&gt;560m<sup>2</sup>–600m<sup>2</sup></td> <td>25% of lot area + 150m<sup>2</sup></td> </tr> </tbody> </table>	Lot area	Maximum GFA	>560m <sup>2</sup> –600m <sup>2</sup>	25% of lot area + 150m <sup>2</sup>	Maximum GFA: 561.8 x 25% = 140.45sqm 140.45sqm + 150sqm = 290.45sqm permitted  Proposed GFA: 290.35sqm													
Lot area	Maximum GFA																	
>560m <sup>2</sup> –600m <sup>2</sup>	25% of lot area + 150m <sup>2</sup>																	
<p><b>3.10 Minimum setbacks and maximum height and length of boundary walls</b>            (1) Primary road setbacks The setback of a dwelling house and any attached development from a primary road must not be less than the average setback from the primary road of the 2 nearest dwelling houses on the same side of the primary road.</p> <p>(4) Side setbacks The following buildings must have a minimum setback from a side boundary as shown in the table to this subclause:            (a) a dwelling house,            (b) a carport or garage,            (c) a balcony, deck, patio, pergola, terrace or verandah,            (d) a cabana, cubby house, garden shed, gazebo, fernery, greenhouse or shed.</p> <table border="1" data-bbox="53 945 1629 1039"> <thead> <tr> <th>Lot width at the building line</th> <th>Building height at any point</th> <th>Minimum required setback from each side boundary</th> </tr> </thead> <tbody> <tr> <td>&gt;18m–24m</td> <td>0m–4.5m</td> <td>1.5m</td> </tr> <tr> <td>&gt;18m–24m</td> <td>&gt;4.5m–8.5m</td> <td>(building height–4.5m) ÷ 4 + 1.5m</td> </tr> </tbody> </table>	Lot width at the building line	Building height at any point	Minimum required setback from each side boundary	>18m–24m	0m–4.5m	1.5m	>18m–24m	>4.5m–8.5m	(building height–4.5m) ÷ 4 + 1.5m	<table border="1" data-bbox="1635 743 2887 829"> <thead> <tr> <th>Front setback</th> <th></th> </tr> </thead> <tbody> <tr> <td>No. 21 Reynolds Cr</td> <td>10.75m</td> </tr> <tr> <td>No.25 Reynolds Cr</td> <td>8.4m</td> </tr> <tr> <td>(Total and average front setback</td> <td>19.15m average = 9.57m)</td> </tr> </tbody> </table> <p>front setback = 5.99m (existing wall front setback) and proposed 9.75m - 10.24m.</p> <p>Side Setbacks</p> <p>Northern Boundary            existing wall 1.73m - 1.88m            new wall 1.88m (new wall height 3.79m)</p> <p>Southern Boundary            new wall 1.5m - 2.2m</p>	Front setback		No. 21 Reynolds Cr	10.75m	No.25 Reynolds Cr	8.4m	(Total and average front setback	19.15m average = 9.57m)
Lot width at the building line	Building height at any point	Minimum required setback from each side boundary																
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Front setback																		
No. 21 Reynolds Cr	10.75m																	
No.25 Reynolds Cr	8.4m																	
(Total and average front setback	19.15m average = 9.57m)																	
<p>(10) Rear setbacks The following buildings on a lot (other than a lot that only has 3 boundaries) must have a minimum setback from the rear boundary as shown in the table to this subclause:            (a) a dwelling house,            (b) a carport or garage,            (c) a balcony, deck, patio, pergola, terrace or verandah,            (d) a cabana, cubby house, garden shed, gazebo, fernery, greenhouse or shed.</p> <table border="1" data-bbox="53 1207 1629 1302"> <thead> <tr> <th>Lot area</th> <th>Building height</th> <th>Minimum setback from rear boundary</th> </tr> </thead> <tbody> <tr> <td>&gt;300m<sup>2</sup>–900m<sup>2</sup></td> <td>0m–4.5m</td> <td>3m</td> </tr> <tr> <td>&gt;300m<sup>2</sup>–900m<sup>2</sup></td> <td>&gt;4.5m–8.5m</td> <td>8m</td> </tr> </tbody> </table>	Lot area	Building height	Minimum setback from rear boundary	>300m <sup>2</sup> –900m <sup>2</sup>	0m–4.5m	3m	>300m <sup>2</sup> –900m <sup>2</sup>	>4.5m–8.5m	8m	Rear Setback  Western Boundary existing wall 8.6m								
Lot area	Building height	Minimum setback from rear boundary																
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>300m <sup>2</sup> –900m <sup>2</sup>	>4.5m–8.5m	8m																
<p><b>3.11 Exceptions to setbacks</b>            (1) Development to which side and rear setbacks do not apply The setback standards specified in clause 3.10 (4) and (10) do not apply to the following:            (a) downpipes,            (b) driveways,            (c) electricity or gas meters,            (d) fascias,            (e) gutters,            (f) light fittings,            (g) pathways and paving.</p>																		
<p><b>3.12 Other development standards for balconies, decks, patios, terraces and verandahs attached to side or rear of dwelling house</b>            (1) The erection of a balcony, deck, patio, terrace or verandah that is attached to the side or rear elevation of a dwelling house is only permitted on a lot if:            (a) the area of the lot is more than 300m<sup>2</sup>, and            (b) the width of the lot, measured at the building line, is more than 10m.            (2) The maximum height of the floor level of the balcony, deck, patio, terrace or verandah is the height shown in the following table:</p> <table border="1" data-bbox="53 1648 1629 1711"> <thead> <tr> <th>Setback from the side or rear boundary</th> <th>Maximum permitted floor level above ground level (existing)</th> </tr> </thead> <tbody> <tr> <td>&lt;3m</td> <td>2m</td> </tr> </tbody> </table> <p>(3) The total floor area of all attached side or rear balconies, decks, patios, terraces and verandahs that, after the completion of the development:            (a) are within 6m from a side or rear boundary, and            (b) have a finished floor level of more than 2m above ground level (existing),            must not be more than 12m<sup>2</sup>.</p>	Setback from the side or rear boundary	Maximum permitted floor level above ground level (existing)	<3m	2m	Proposed patio to rear below 2m above natural existing ground level.													
Setback from the side or rear boundary	Maximum permitted floor level above ground level (existing)																	
<3m	2m																	

## Complying Development Certificate

<p>Note</p> <ul style="list-style-type: none"> <li>- Dimensions in millimeters.</li> <li>- Confirm all dimensions on site prior to commencing work.</li> <li>- Use figured dimensions only.</li> <li>- Do not scale.</li> <li>- If discrepancy exists notify designer.</li> <li>- If in doubt ask.</li> </ul> <p>Copyright in all documents and drawings prepared by Design:Studio ML and in any works executed from those documents and drawings shall remain the property of Design: Studio ML.</p>	<p>Issue</p> <p>E Revised CDC Plans            F Revised CDC Plans            G CDC Drawings            H CDC Drawings            I Revised CDC Drawings            J Revised CDC Drawings</p>	<p>Revision</p> <p>25/09/19            12/01/20            18/02/20            28/03/20            30/11/20            09/12/20</p>	<p>Date</p> <p>m : 0403 324 888            e : michael@studioml.com.au            w : www.studioml.com.au</p>	<p>design : <b>STUDI ML</b></p> <p>residential : multi - unit dwellings : alterations &amp; additions : commercial</p>	<p>Project</p> <p>Proposed Alterations and Additions Residential Dwelling</p> <p>Project Address</p> <p>23 Reynolds Crescent, Beacon Hill</p>	<p>Client</p> <p>Mr &amp; Mrs Calci</p> <p>Drawing</p> <p>CDC NOTES</p>	<p>Job</p> <p>1805</p> <p>Dwg no</p> <p>CDC.18</p>
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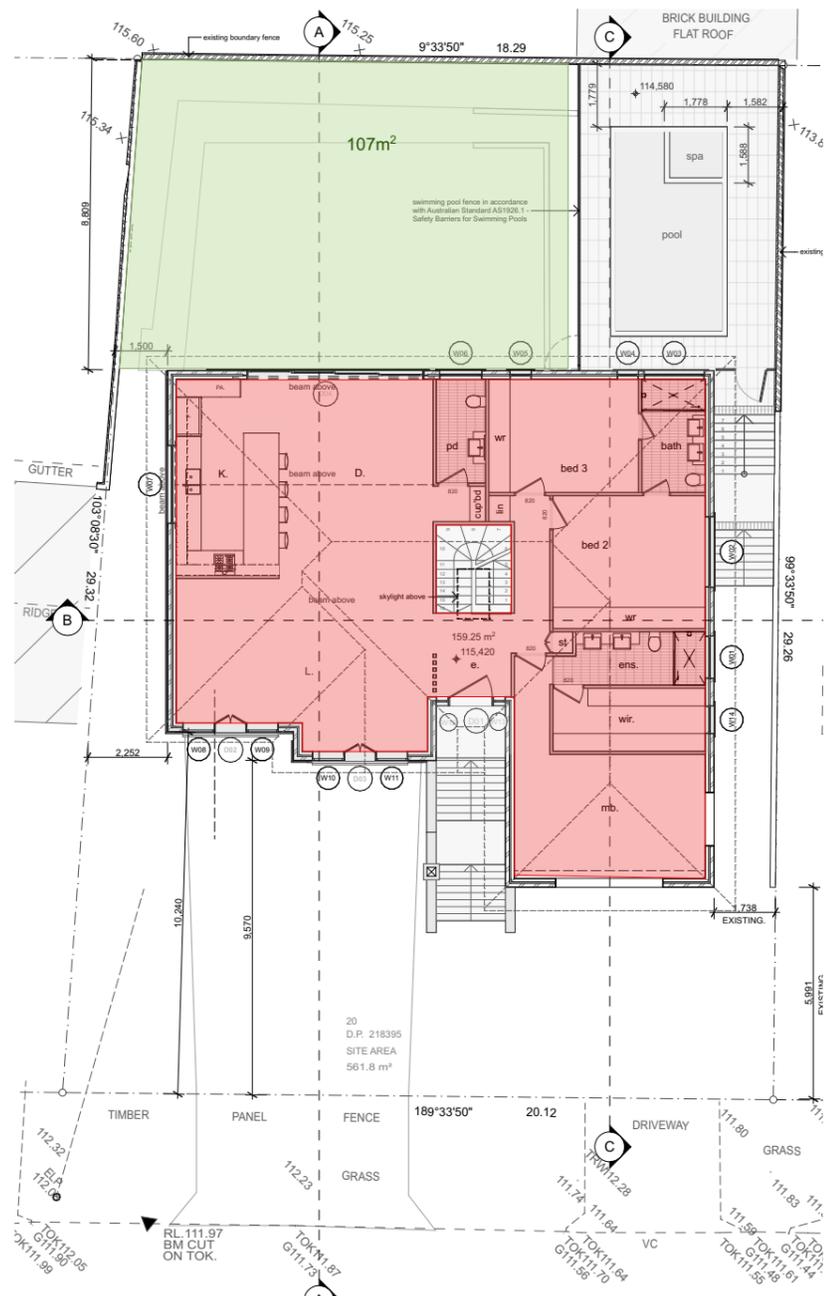
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	Proposed Alterations and Additions to existing two (2) storey dwelling.				
<p><b>Subdivision 3 Landscape development standards for dwelling houses and attached development</b>  3.13 Minimum landscaped area  (1) The minimum landscaped area that must be provided on a lot is shown in the following table:</p> <table border="1"> <thead> <tr> <th>Lot area</th> <th>Minimum landscaped area</th> </tr> </thead> <tbody> <tr> <td>&gt;450m<sup>2</sup>–600m<sup>2</sup></td> <td>20% of lot area</td> </tr> </tbody> </table> <p>(2) Each landscaped area must have a minimum width and length of 1.5m.</p> <p>(3) The minimum landscaped area calculated in accordance with subclause (1) must be provided as follows:  (a) if the lot width measured at the building line is 18m or less—25% of the area forward of the building line must be landscaped,  (b) if the lot width measured at the building line is more than 18m—50% of the area forward of the building line must be landscaped,  (c) 50% of the minimum landscaped area must be located behind the building line.</p>	Lot area	Minimum landscaped area	>450m <sup>2</sup> –600m <sup>2</sup>	20% of lot area	<p>Proposed Landscaped Area = 112.54sqm (20%)</p> <p>Proposed Landscaped Area behind building line = 57.10sqm (50.7%)</p>
Lot area	Minimum landscaped area				
>450m <sup>2</sup> –600m <sup>2</sup>	20% of lot area				
<p>(4) The minimum area of principal private open space that must be provided on a lot is shown in the following table:</p> <table border="1"> <thead> <tr> <th>Lot width (measured at the building line)</th> <th>Minimum principal private open space</th> </tr> </thead> <tbody> <tr> <td>&gt;10m</td> <td>24m<sup>2</sup></td> </tr> </tbody> </table> <p>(4A) The principal private open space must:  (a) be at least 3m wide and 3m long, and  (b) not be steeper than 1:50 gradient.</p> <p>(5) This clause does not apply to complying development that is the alteration of, or an addition to, a dwelling house or attached development if the development does not:  (a) increase the footprint of the dwelling house or attached development, or  (b) decrease the landscaped area on the lot.</p>	Lot width (measured at the building line)	Minimum principal private open space	>10m	24m <sup>2</sup>	<p>Principal Private Open Space 150sqm and measures greater than 3m in dimensions.</p>
Lot width (measured at the building line)	Minimum principal private open space				
>10m	24m <sup>2</sup>				
<p><b>Subdivision 4 Amenity development standards for dwelling houses and attached development</b>  <b>3.14 Building design</b>  (1) This clause applies to the erection of a dwelling house on a lot, other than a battle-axe lot.  (2) The dwelling house must contain the following building elements:  (a) at least 1 door and 1 window to a habitable room at ground floor level facing the primary road, or  (b) at least 1 door and 1 window to a habitable room at ground floor level facing any parallel road.</p>	<p>Habitable room with at least 1 door and 1 window facing the primary road.</p>				
<p>(3) Primary road frontage  A dwelling house with a setback from a primary road of at least 3m may have an articulation zone that extends up to 1.5m forward of the minimum required setback from the primary road.</p> <p>(4) The following building elements may be located in the articulation zone:  (a) an entry feature or portico,  (b) a balcony, deck, pergola, terrace or verandah,  (c) a window box treatment,  (d) a bay window or similar feature,  (e) an awning or other feature over a window,  (f) a sun shading feature,  (g) an eave.</p>	<p>Dwelling contains an entry portico.</p>				
<p>(5) The maximum total area of all building elements in the articulation zone, other than a building element specified in subclause (4) (e), (f) or (g), must not comprise more than 25% of the area of the articulation zone.</p> <p>(6) Maximum height of building elements A building element on a dwelling house (other than an entry feature or portico that has the same pitch as the roof on the dwelling house) must not extend:  (a) more than 1m above the gutter line of the eaves of a single storey dwelling house, or  (b) above the gutter line of the eaves of a 2 storey dwelling house.</p> <p>(7) Secondary road frontage on corner lots A dwelling house on a corner lot must have a window to a habitable room with an area of at least 1m<sup>2</sup> that faces and is visible from the secondary road.</p>	<p>Articulation zone does not comprise more than 25% of the articulation zone area.</p>				
<p>(8) A dwelling house with a setback from a secondary road of not more than 4.5m must have at least one of the following building elements for a minimum length of 20% of the elevation of the walls that face the secondary road and that are within 4.5m of the secondary road:  (a) an entry feature or portico,  (b) a balcony, deck, pergola, terrace or verandah,  (c) a bay window,  (d) a step of at least 600mm in depth.</p> <p>(9) Building elements listed in subclause (8) may be located in a secondary road articulation zone if:  (a) the zone extends no more than 1m into the minimum required setback area and spans the length of the walls that face the secondary road, and  (b) the building element comprises no more than 20% of the zone area.</p> <p>(10) Any part of a gable or hipped roof that overhangs walls that are within 4.5m of the secondary road boundary must include eaves that extend for the length of those walls and project at least 450mm, but not more than 1m from those walls.</p>	<p>N / A</p>				
<p><b>3.15 Privacy screens for windows and certain attached development</b></p> <p>(1) A privacy screen must be provided for any part of a window to a habitable room that is less than 1.5m above the finished floor level of that room if:  (a) the window faces and is less than 3m from a side or rear boundary and the room has a finished floor level of more than 1m above ground level (existing), or  (b) the window faces and is at least 3m, but not more than 6m, from a side or rear boundary and the room has a finished floor level of more than 3m above ground level (existing).</p> <p>(2) Subclause (1) does not apply to a bedroom window that has an area of not more than 2m<sup>2</sup>.</p> <p>(3) A privacy screen of at least 1.7m, but not more than 2.2m, above the finished floor level of a balcony, deck, patio, terrace or verandah must be installed at the edge of that part of the balcony, deck, patio, terrace or verandah that is parallel to or faces towards the relevant side or rear boundary if the area of the balcony, deck, patio, terrace or verandah is at least 3m<sup>2</sup> and:  (a) that edge is less than 3m from a side or rear boundary and the balcony, deck, patio, terrace or verandah has a finished floor level of more than 1m above ground level (existing), or  (b) that edge is at least 3m, but not more than 6m from a side or rear boundary and the balcony, deck, patio, terrace or verandah has a finished floor level of more than 2m above ground level (existing).</p>	<p>Kitchen window is 1.5m above existing ground level.</p> <p>Lower ground floor bedroom does not have an area greater than 2m<sup>2</sup>.</p> <p>Ground floor bedroom windows is 1.5m above the existing ground level.</p> <p>Windows are greater than 6m from the rear boundary.</p>				



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State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	Proposed Alterations and Additions to existing two (2) storey dwelling.				
<p>(4) Clause does not apply to existing parts of dwelling house or attached development This clause does not apply to any existing parts of a dwelling house or attached development that will remain on the lot after the complying development is carried out.</p> <p><b>3.16 Car parking and vehicle access requirements</b></p> <p>(1) At least 1 off-street car parking space, being an open hard stand space or a carport or garage, must be provided on a lot unless:</p> <p>(a) the lot has a width of less than 8m measured at the building line, or</p> <p>(b) the complying development is the alteration of, or an addition to, a dwelling house and the lot does not contain an off-street car parking space, or</p> <p>(c) the complying development is the erection or alteration of, or an addition to, attached development and the lot does not contain an off-street car parking space.</p> <p>(2) All off-street car parking spaces and vehicle access must comply with AS 2890.1:2004, Parking facilities—Off-street car parking.</p> <p>(3) The off-street car parking space for a battle-axe lot must be constructed so that vehicles can leave the lot in a forward direction.</p> <p>(4) An attached garage may only be erected on a lot that has a width of less than 8m measured at the building line if the garage is accessed only from a secondary road, parallel road or lane.</p> <p>(5) An attached garage, carport or car parking space accessed from a primary road must have a minimum setback as shown in the following table:</p> <table border="1" data-bbox="53 447 1629 522"> <thead> <tr> <th>Setback of dwelling house from primary road</th> <th>Minimum off-street parking setback from primary road</th> </tr> </thead> <tbody> <tr> <td>&gt;4.5m</td> <td>1m or more behind the building line of the dwelling house</td> </tr> </tbody> </table>	Setback of dwelling house from primary road	Minimum off-street parking setback from primary road	>4.5m	1m or more behind the building line of the dwelling house	<p>2 car spaces and greater than 1.0m behind the dwelling building line.</p>
Setback of dwelling house from primary road	Minimum off-street parking setback from primary road				
>4.5m	1m or more behind the building line of the dwelling house				
<p>(6) The maximum width of all garage door openings facing a primary, secondary or parallel road is shown in the following table:</p> <table border="1" data-bbox="53 569 1629 678"> <thead> <tr> <th>Lot width</th> <th>Maximum width of garage door openings</th> </tr> </thead> <tbody> <tr> <td>&gt;12m</td> <td>6m</td> </tr> </tbody> </table>	Lot width	Maximum width of garage door openings	>12m	6m	<p>Garage door openings are 6.0m.</p>
Lot width	Maximum width of garage door openings				
>12m	6m				
<p><b>3.28 Development standards for swimming pools</b></p> <p>(1) A swimming pool must be for private use and associated with a dwelling house.</p> <p>(2) Water from a swimming pool must be discharged in accordance with an approval under the Local Government Act 1993 if the lot is not connected to a sewer main.</p> <p>(3) The pump must be housed in an enclosure that is soundproofed.</p> <p><b>(4) Height of coping and decking</b></p> <p>Coping around a swimming pool must not be more than—</p> <p>(a) 1.4m above ground level (existing), and</p> <p>(b) 300mm wide if the coping is more than 600mm above ground level (existing).</p> <p>(5) Decking around a swimming pool must not be more than 600mm above ground level (existing).</p> <p>(6) A swimming pool must be located behind the building line of the dwelling house.</p> <p>(7) The swimming pool water line must have a setback of at least 1m from a side or rear boundary.</p>	<p>A swimming pool for private use and associated with dwelling house. Water from a swimming pool connected to a sewer main. The pump must be housed in an enclosure that is soundproofed.</p> <p>A swimming pool located behind the building line of the dwelling house. The swimming pool water line have a setback of at least 1m from a side and rear boundary.</p>				
<p><b>3.30 Earthworks, retaining walls and structural support</b></p> <p><b>(1) Excavation</b> Excavation for the purposes of development under this code must not exceed a maximum depth, measured from ground level (existing), of—</p> <p>(a) if located not more than 1m from any boundary—1m, and</p> <p>(b) if located more than 1m but not more than 1.5m from any boundary—2m, and</p> <p>(c) if located more than 1.5m from any boundary—3m.</p> <p>(2) Despite subclause (1), the excavation must not exceed a maximum depth, measured from ground level (existing), of 1m if the land is identified as Class 3 or 4 on an Acid Sulfate Soils Map or is within 40m of a waterbody (natural).</p> <p><b>(3) Fill</b></p> <p>Fill must not exceed a maximum height, measured from ground level (existing), of—</p> <p>(a) if the fill is for the purposes of the erection or alteration of, or an addition to, a dwelling house under this code—1m, or</p> <p>(b) if the fill is for any other purpose under this code—600mm.</p> <p>(4) Despite subclause (3), the height of fill contained wholly within the footprint of a dwelling house or any attached development or detached development is not limited.</p> <p>(5) Fill that is higher than 150mm above ground level (existing) and is not contained wholly within the footprint of a dwelling house or any attached development or detached development is limited to 50% of the landscaped area of the lot.</p> <p>(6) The ground level (finished) of the fill must not be used to measure the height of any dwelling house or any attached development or detached development under this code.</p>	<p>Earthworks no greater than 1m</p> <p>Fill no greater 1m.</p> <div data-bbox="2368 1220 2902 1602" style="border: 2px solid blue; padding: 10px; transform: rotate(-5deg);"> <p>This plan/ document forms part of the Approved Complying Development Certificate Date: 14/12/2020 Reference: 2019/431/02Mod  Vladan Blagojevic Certifier 2158 VBCertifier Pty Ltd</p> </div>				



REYNOLDS CRESCENT

○ **GROUND FLOOR**  
Scale 1:200



REYNOLDS CRESCENT

○ **LOWER GROUND**  
Scale 1:200

SITE AREA = 561.80m<sup>2</sup>

<span style="display:inline-block; width:15px; height:15px; background-color:#c8e6c9;"></span> <b>LANDSCAPED AREA</b>	
LOWER GROUND FLOOR	55.44m <sup>2</sup>
GROUND FLOOR	107m <sup>2</sup>
<b>TOTAL LANDSCAPED AREA</b>	162.44m <sup>2</sup> (28.9%)
<span style="display:inline-block; width:15px; height:15px; background-color:#f8bbd0;"></span> <b>GROSS FLOOR AREA</b>	
LOWER GROUND FLOOR	131.10m <sup>2</sup>
GROUND FLOOR	159.25m <sup>2</sup>
<b>TOTAL GFA</b>	290.35m <sup>2</sup>
(MAXIMUM GFA PERMITTED	290.45m <sup>2</sup> )

This plan/document forms part of the Approved  
 Complying Development Certificate  
 Date: 12/12/2020  
 Reference: 2019/431/03Mod  
 Blaypoit  
 Vladan Blagojevic Certifier 2158  
 Valuer Pty Ltd

Note

- Dimensions in millimeters.  
 - Confirm all dimensions on site prior to commencing work.  
 - Use figured dimensions only.  
 - Do not scale.  
 - If discrepancy exists notify designer.  
 - If in doubt ask.  
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Issue	Revision
E	Revised CDC Plans
F	Revised CDC Plans
G	CDC Drawings
H	CDC Drawings
I	Revised CDC Drawings
J	Revised CDC Drawings

Date
25/09/19
12/01/20
18/02/20
28/03/20
30/11/20
09/12/20

m : 0403 324 888  
 e : michael@studioml.com.au  
 w : www.studioml.com.au

design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial



Complying Development Certificate

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	CALCULATIONS	CDC.21

Window List												
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12
Quantity	1	1	1	1	1	1	1	1	1	1	1	1
W x H Size	1,200×600	2,000×600	1,700×700	600×2,300	600×2,300	1,200×2,400	2,200×600	900×2,400	900×2,400	900×2,400	900×2,400	351×2,400
Sill/Header Value	1.80	1.80	1.70	0.10	0.10	0.00	0.90	0.00	0.00	0.00	0.00	0.00
2D Symbol												
3D Front View												

Window List					
ID	W13	W14	W15	W16	W17
Quantity	1	1	1	1	1
W x H Size	351×2,400	780×600	1,600×1,348	800×1,260	1,200×600
Sill/Header Value	0.00	1.80	0.86	1.00	1.66
2D Symbol					
3D Front View					

**WINDOWS SCHEDULE NOTE :**

- All glass thicknesses to comply with AS1288 and Basix Certificate.
- All dimensions are overall window frame dimension (unless otherwise noted).
- Verify all opening dimensions on site prior to ordering & installing.
- Location of locks and handles to be confirmed on site by builder prior to installation.
- All windows shown as viewed from outside.
- All dimensions are in millimetres.
- All first floor windows are to be fitted with a restricting device compliant with Part 3.9.2.5 of the BCA - Protection of openable windows.

○ WINDOW SCHEDULE

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Complying Development Certificate

Note

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Date
25/09/19
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18/02/20
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30/11/20
09/12/20

m : 0403 324 888  
e : michael@studioml.com.au  
w : www.studioml.com.au

design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project	Client	Job
Proposed Alterations and Additions Residential Dwelling	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	WINDOW SCHEDULE	CDC.22

Door List													
ID	D01	D001	D02	D02	D03	D04	D05	D06	D09	D10	D11	D12	D13
Quantity	1	1	1	1	1	1	1	1	1	1	1	2	4
W x H Size	1,260x2,400	604x2,250	880x2,400	900x2,400	900x2,400	5,000x2,400	3,000x2,400	3,000x2,400	880x2,260	880x2,100	1,710x2,100	780x2,100	880x2,100
2D Symbol													
3D Front View													
Orientation	R	R	L	L	L	R			R	L	L	R	R

Door List

**DOOR SCHEDULE**

**DOORS SCHEDULE NOTE :**

- All glass thicknesses to comply with AS1288 and Basix Certificate.
- All dimensions are door leaf size dimension only (unless otherwise noted).
- Verify all opening dimensions on site prior to ordering & installing.
- Sliding doors are overall unit dimension (unless otherwise noted).
- Location of locks and handles to be confirmed on site by builder prior to installation.
- All doors shown as viewed from outside.
- All dimensions are in millimetres.

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*Blagojevic*  
Vladan Blagojevic Certifier 2158  
VBCertifier Pty Ltd

## Alterations and Additions

Certificate number: A359834\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Monday, 11, May 2020  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	23 Reynolds Crescent_02
Street address	23 Reynolds Crescent Beacon Hill 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 218395
Lot number	20
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Michael Lescesin
ABN (if applicable):	N/A

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1968 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 59 square metres of roof area.	✓	✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.	✓	✓	✓
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 28 kilolitres.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.	✓	✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.	✓	✓	✓
<b>Outdoor spa</b>			
The spa must not have a capacity greater than 2 kilolitres.	✓	✓	✓
The spa must have a spa cover.	✓	✓	✓
The applicant must install a spa pump timer.	✓	✓	✓
The applicant must install the following heating system for the outdoor spa that is part of this development: gas.	✓	✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Hot water</b>			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	✓	✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	✓	✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Insulation requirements</b>			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
<b>Construction</b>			
concrete slab on ground floor.	nil		
suspended floor above garage: concrete (R0.6).	nil		
external wall: cavity brick	nil		
internal wall shared with garage: plasterboard (R0.36)	nil		
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
<b>Windows and glazed doors</b>						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
<b>Windows and glazed doors glazing requirements</b>						
<b>Window / door no.</b>	<b>Orientation</b>	<b>Area of glass inc. frame (m2)</b>	<b>Overshadowing Height (m)</b>	<b>Distance (m)</b>	<b>Shading device</b>	<b>Frame and glass type</b>
W1	N	0.72	4	3	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	N	1.2	4	3	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
<b>Window / door no.</b>	<b>Orientation</b>	<b>Area of glass inc. frame (m2)</b>	<b>Overshadowing Height (m)</b>	<b>Distance (m)</b>	<b>Shading device</b>	<b>Frame and glass type</b>
W3	W	1.1	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W4	W	1.3	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W5	W	1.3	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W6	W	2.8	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W7	S	1.3	3	1.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W10	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D02	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D03	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D04	W	12	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W12	E	0.7	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
<b>Window / door no.</b>	<b>Orientation</b>	<b>Area of glass inc. frame (m2)</b>	<b>Overshadowing Height (m)</b>	<b>Distance (m)</b>	<b>Shading device</b>	<b>Frame and glass type</b>
W13	E	0.7	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	N	0.42	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	N	1.9	4	3	none	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W16	N	0.9	4	3	none	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W17	N	1	4	3	none	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
<b>Skylights</b>						
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓			
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.	✓	✓	✓			
External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed.	✓	✓	✓			
<b>Skylights glazing requirements</b>						
<b>Skylight number</b>	<b>Area of glazing inc. frame (m2)</b>	<b>Shading device</b>	<b>Frame and glass type</b>			
S1	1.4	external fixed awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			

This plan/document forms part of the Approved  
 Complying Development Certificate  
 Date: 14/12/2020  
 Reference: 2019/431/02Mod  
  
 Vladan Blagojevic Certifier 2158  
 VBCertifier Pty Ltd

## Complying Development Certificate

Note

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Issue  
E Revised CDC Plans  
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m : 0403 324 888  
e : michael@studioml.com.au  
w : www.studioml.com.au

design : **STUDIO ML**

residential : multi - unit dwellings : alterations & additions : commercial

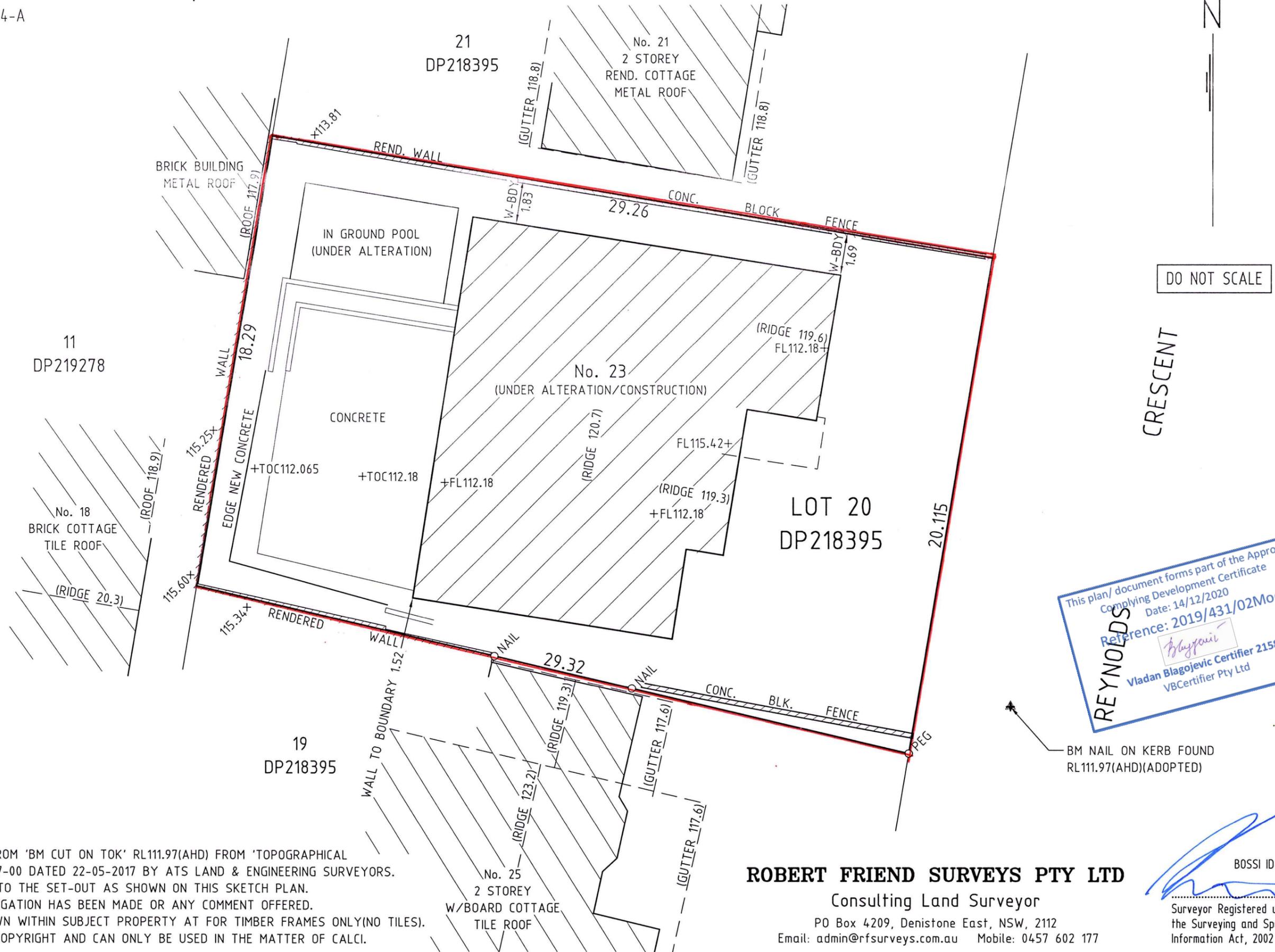
Project  
Proposed Alterations and Additions  
Residential Dwelling  
Project Address  
23 Reynolds Crescent, Beacon Hill

Client  
Mr & Mrs Calci  
Drawing  
BASIX COMMITMENTS

Job  
1805  
Dwg no  
CDC.24

Sketch to accompany my field survey completed on 1st December 2020  
 RE: 23 REYNOLDS CRESCENT, BEACON HILL - BOUNDARY & LEVELS SURVEY

Reference No.: 2069-4-A



**NOTES:**

1. ORIGIN OF LEVELS FROM 'BM CUT ON TOK' RL111.97(AHD) FROM 'TOPOGRAPHICAL SURVEY PLAN' 10097-00 DATED 22-05-2017 BY ATS LAND & ENGINEERING SURVEYORS.
2. SURVEY IS LIMITED TO THE SET-OUT AS SHOWN ON THIS SKETCH PLAN. NO FURTHER INVESTIGATION HAS BEEN MADE OR ANY COMMENT OFFERED.
3. RIDGE HEIGHTS SHOWN WITHIN SUBJECT PROPERTY AT FOR TIMBER FRAMES ONLY(NO TILES).
4. THIS DOCUMENT IS COPYRIGHT AND CAN ONLY BE USED IN THE MATTER OF CALCI.

**ROBERT FRIEND SURVEYS PTY LTD**  
 Consulting Land Surveyor  
 PO Box 4209, Denistone East, NSW, 2112  
 Email: admin@rfsurveys.com.au Mobile: 0457 602 177

BOSSI ID SU003841  
 Surveyor Registered under  
 the Surveying and Spatial  
 Information Act, 2002

# BUILDING INFORMATION CERTIFICATE

## 23 Reynolds Crescent BEACON HILL

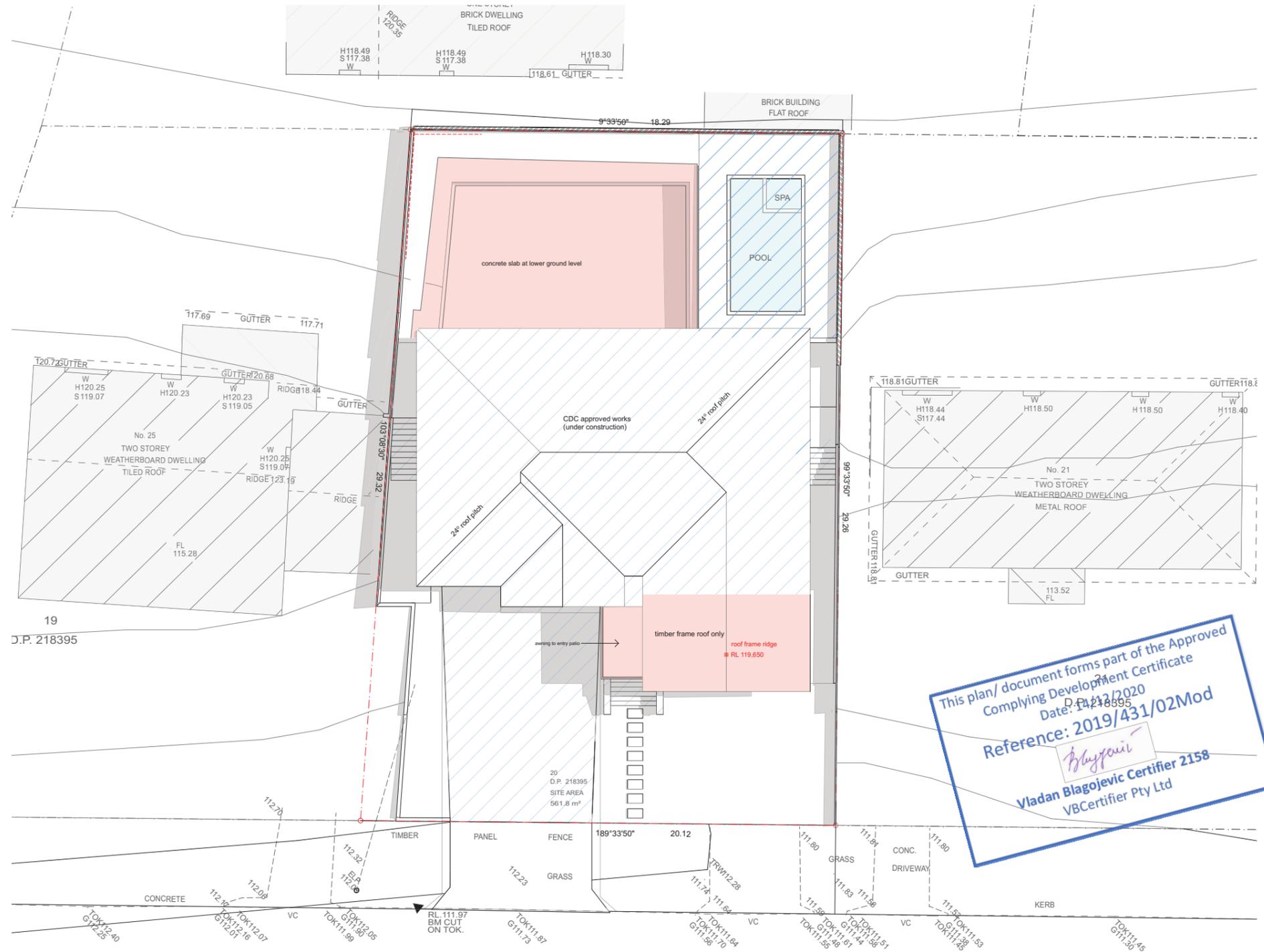
As built works to the front part of dwelling and concrete slab to rear.

Dwg No:	Drawing Name
BIC.00	COVER PAGE
BIC.01	SITE PLAN
BIC.02	LOWER GROUND
BIC.03	GROUND FLOOR
BIC.04	ELEVATION - EAST
BIC.05	ELEVATION - NORTH
BIC.06	ELEVATION - SOUTH
BIC.07	ELEVATION - WEST
BIC.08	SECTION AA
BIC.09	SECTION BB

### Notes:

BIC drawings to be read in conjunction with:

- Works As Executed Plans prepared by Robert Friend Surveys dated 6.10.202 and 12.11.2020.
- White Geotechnical Group letter dated 14 September 2020.
- NY Civil Engineering stormwater drainage letter and detail letter dated 11 September 2020
- SC Engineers inspection report dated 10 September 2020 and typical retaining wall construction detail letter dated 17 September 2020.
- All works in accordance with the NCC and Australian Standards.



This plan/ document forms part of the Approved Complying Development Certificate  
 Date: 14/11/2020  
 Reference: 2019/431/02Mod  
*Blagovic*  
 Vladan Blagojevic Certifier 2158  
 VBCertifier Pty Ltd

**SURVEYORS CERTIFICATE**

**ROBERT FRIEND SURVEYS**  
 ROBERT FRIEND SURVEYS PTY LTD  
 CONSULTING REGISTERED LAND SURVEYOR  
 PO Box 4209, Denistone East NSW 2112  
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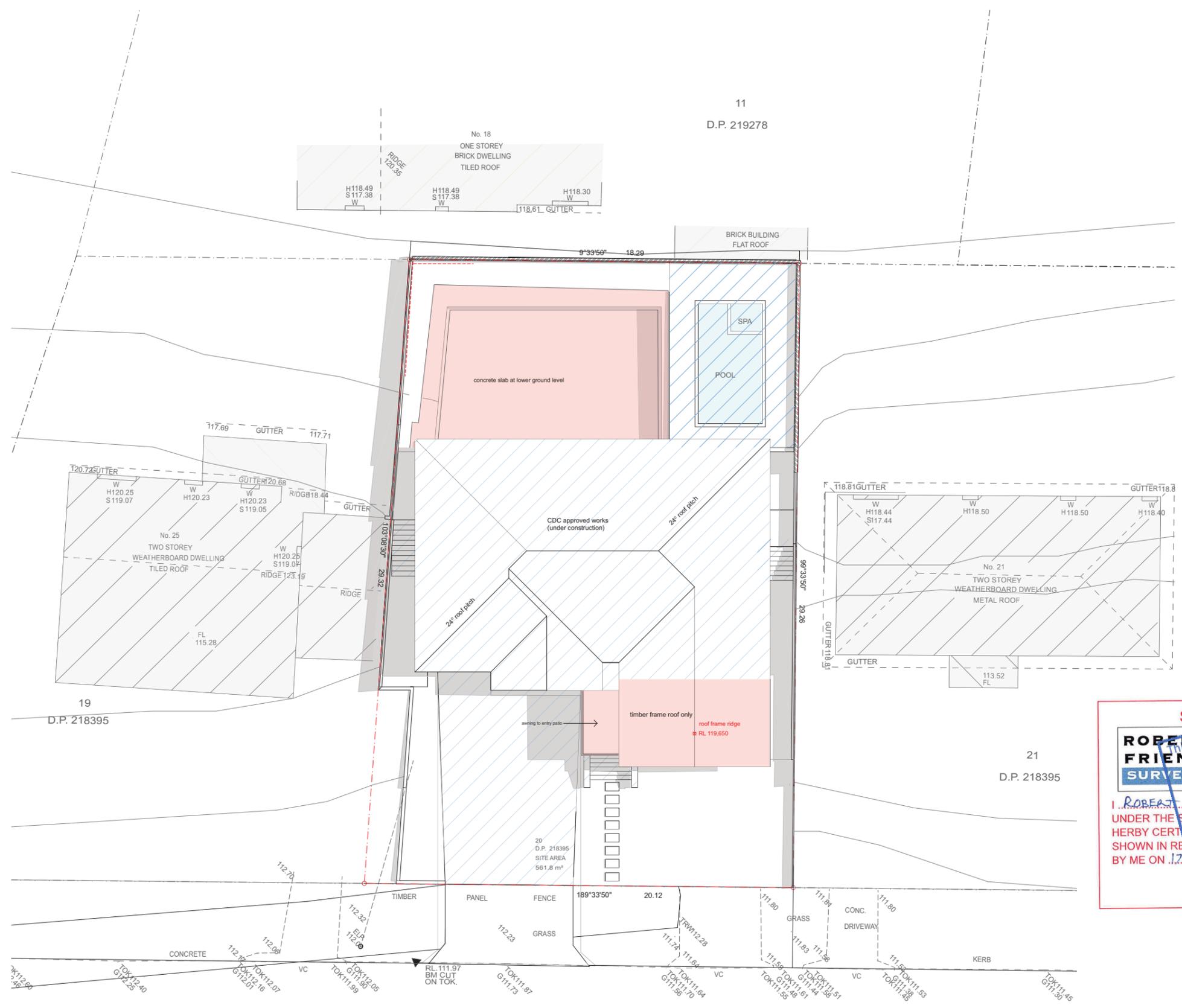
*ROBERT FRIEND*, A SURVEYOR REGISTERED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT 2002, HERBY CERTIFY THAT THE WORKS AS EXECUTED INFORMATION, SHOWN IN RED INK ON THIS PLAN, IS ACCURATE AND WAS MADE BY ME ON 17<sup>TH</sup> NOVEMBER 2020

BOSSI ID 50003841  
 REGISTERED LAND SURVEYOR (NSW)

REF: 2009-5-A.

design : **STUDI ML**

residential : mutli - unit dwellings : alterations & additions : commercial



**SURVEYORS CERTIFICATE**  
Part of the Approved  
document development Centre

**ROBERT FRIEND SURVEYS PTY LTD**  
CONSULTING REGISTERED LAND SURVEYOR  
PO Box 4203, Dealingstone, NSW 2112  
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Email: info@rfsurveys.com.au

I, **ROBERT FRIEND**, A SURVEYOR REGISTERED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT 2002, HERBY CERTIFY THAT THE WORKS AS EXECUTED INFORMATION, SHOWN IN RED INK ON THIS PLAN IS ACCURATE AND WAS MADE BY ME ON **12<sup>th</sup> NOVEMBER 2020**

BOSSI ID 5003841  
REGISTERED LAND SURVEYOR (NSW)

REF: 2009-5-A

**SITE PLAN**  
1:200

- Building Information Certificate
- CDC approved works

**Building Information Certificate**

**Note**

- Dimensions in millimeters.
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Issue	Revision
A	Building Information Certificate
A01	Building Information Certificate

Date  
12/11/20  
16/11/20

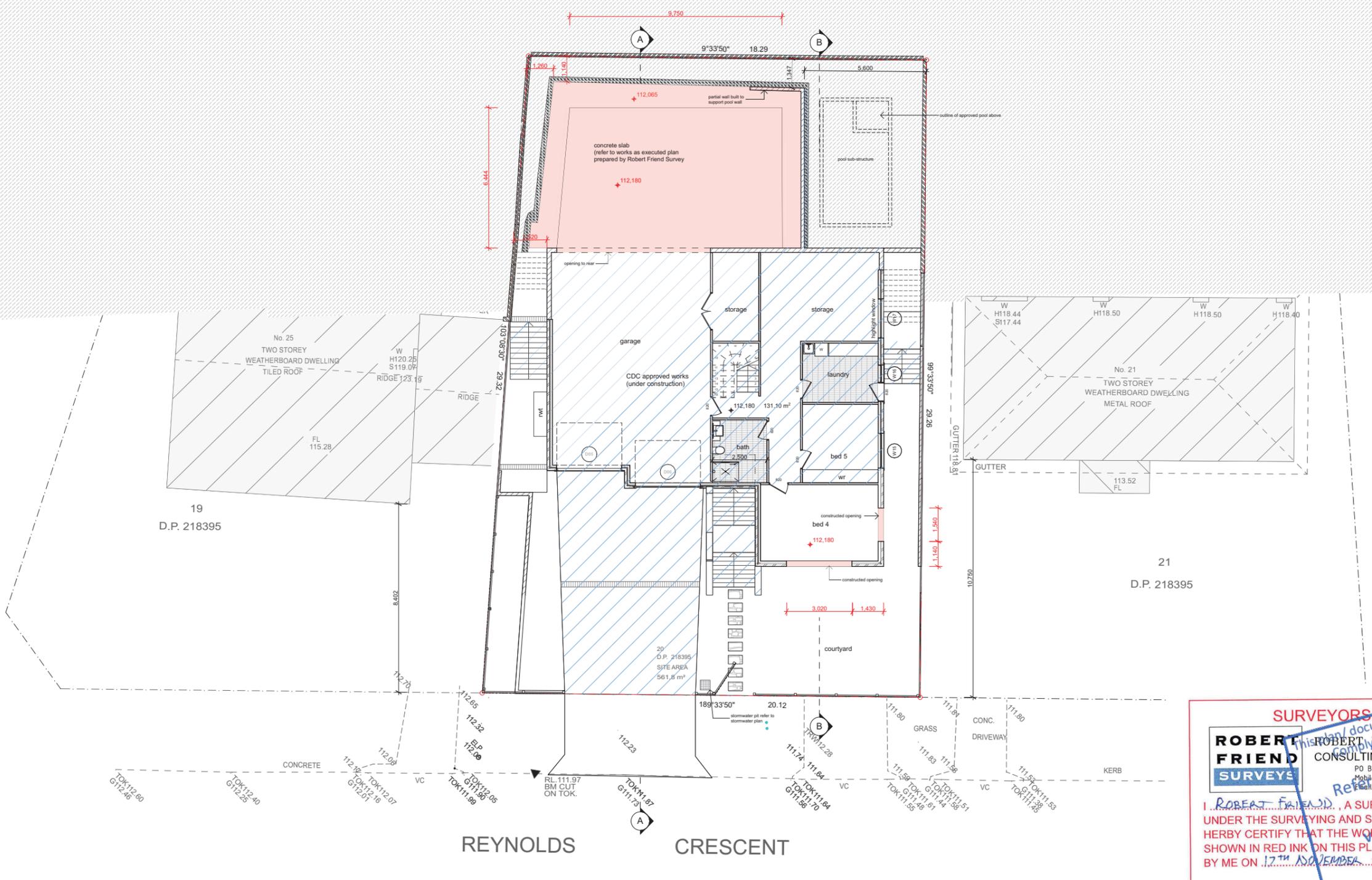
m : 0403 324 888  
e : michael@studioml.com.au  
w : www.studioml.com.au

**design : STUDIO ML**



residential : multi - unit dwellings : alterations & additions : commercial

Project Building Information Certificate	Client Mr & Mrs Calci	Job 1805
Project Address 23 Reynolds Crescent, Beacon Hill	Drawing SITE PLAN	Dwg no BIC.01



**SURVEYORS CERTIFICATE**  
 This plan/document is part of the Approved  
 Development Certificate  
 under the Surveying and Spatial Information Act 2002  
 and the Building Act 2003

**ROBERT FRIEND SURVEYS**  
 ROBERT FRIEND SURVEYS PTY LTD  
 CONSULTING REGISTERED LAND SURVEYOR  
 PO Box 4209, Denison East, NSW 1512  
 Mobile: 0434 402 177  
 Email: admin@rfriend.com.au

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BOSSI ID S0003841  
 REGISTERED LAND SURVEYOR (NSW)

REF: 2009-S-A.

LOWER GROUND  
 1:200

Note

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Issue	Revision
A	Building Information Certificate
A01	Building Information Certificate

Date  
 12/11/20  
 16/11/20

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design : **STUDIO ML**

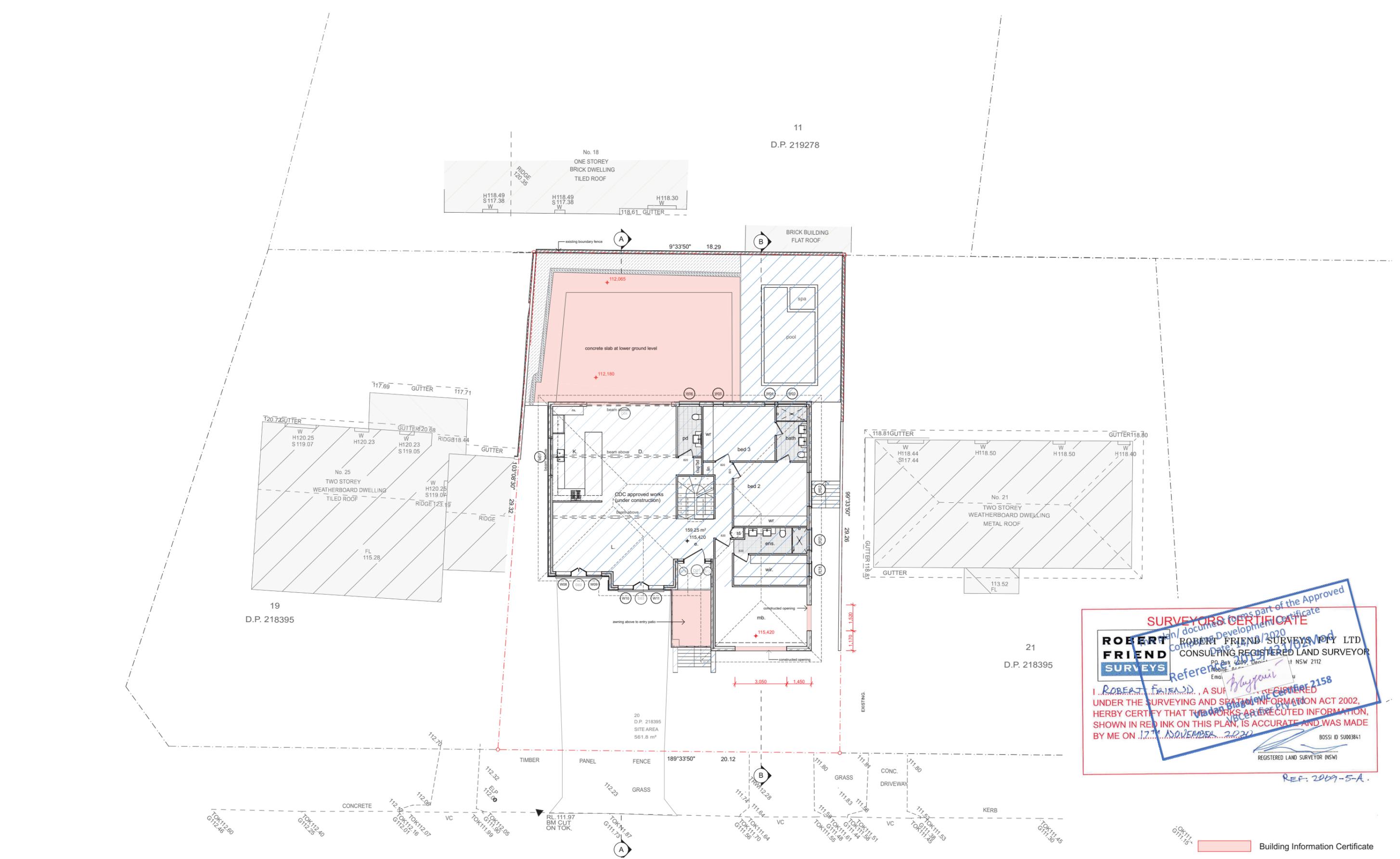


residential : multi - unit dwellings : alterations & additions : commercial

Project Building Information Certificate	Client Mr & Mrs Calci	Job 1805
Project Address 23 Reynolds Crescent, Beacon Hill	Drawing LOWER GROUND	Dwg no BIC.02

Building Information Certificate

Building Information Certificate



**GROUND FLOOR**  
1:200

Note

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Issue	Revision
A	Building Information Certificate
A01	Building Information Certificate

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design : **STUDIO ML**



residential : mutli - unit dwellings : alterations & additions : commercial

Project	Client	Job
Building Information Certificate	Mr & Mrs Calci	1805
Project Address	Drawing	Dwg no
23 Reynolds Crescent, Beacon Hill	GROUND FLOOR	BIC.03

**SURVEYORS CERTIFICATE**

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Reference: 2019-5-A

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REF: 2019-5-A

Building Information Certificate  
 CDC approved works

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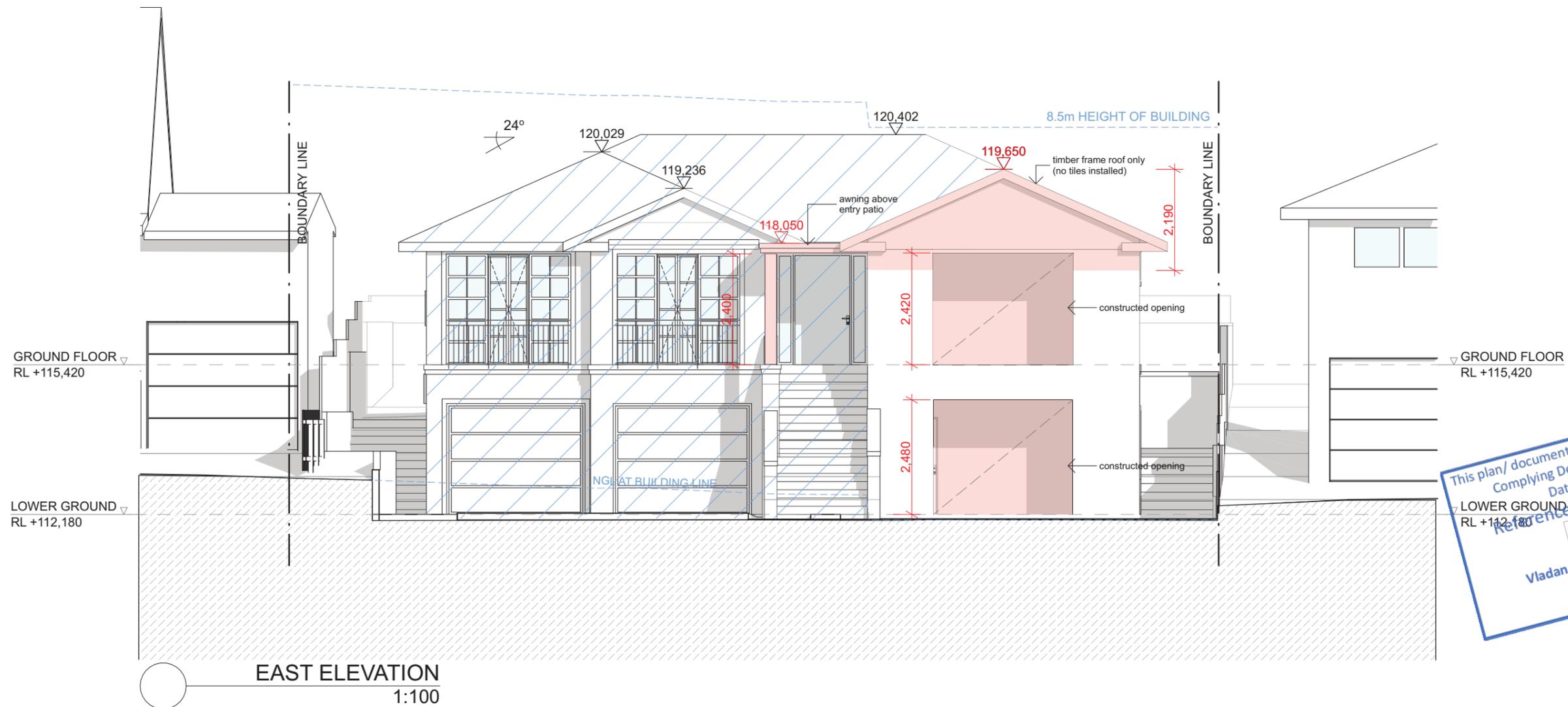


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Date: 14/12/2020  
Reference: 2019/431/02Mod  
*Blagovic*  
Vladan Blagojevic Certifier 2158  
VBCertifier Pty Ltd

Building Information Certificate

CDC approved works

**Building Information Certificate**

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Issue A A01  
Revision Building Information Certificate Building Information Certificate

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design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project Building Information Certificate

Project Address 23 Reynolds Crescent, Beacon Hill

Client Mr & Mrs Calci

Drawing ELEVATION - EAST

Job 1805

Dwg no BIC.04

**SURVEYORS CERTIFICATE**

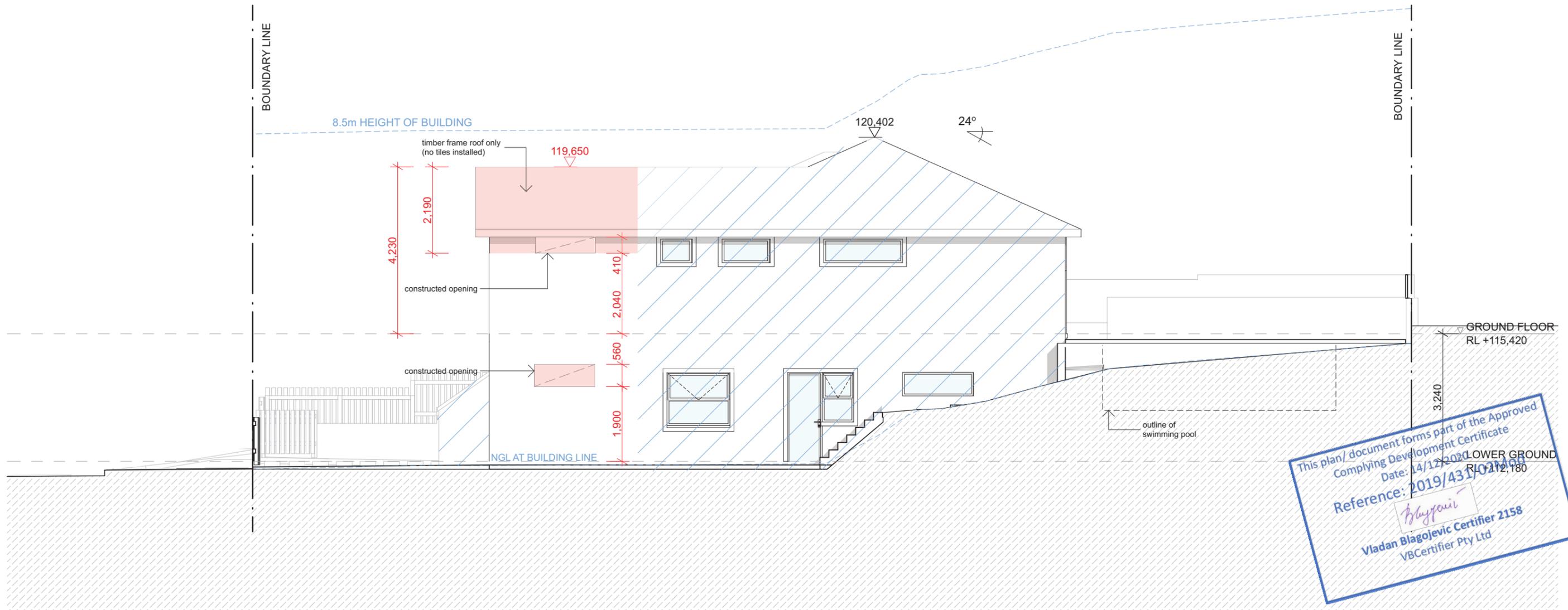


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REF: 2009-5-A



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Reference: 2019/431/CDM  
*[Signature]*  
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**NORTH ELEVATION**  
1:100

- Building Information Certificate
- CDC approved works

**Building Information Certificate**

<p>Note</p> <ul style="list-style-type: none"> <li>- Dimensions in millimeters.</li> <li>- Confirm all dimensions on site prior to commencing work.</li> <li>- Use figured dimensions only.</li> <li>- Do not scale.</li> <li>- If discrepancy exists notify designer.</li> <li>- If in doubt ask.</li> </ul> <p>Copyright in all documents and drawings prepared by Design:Studio ML and in any works executed from those documents and drawings shall remain the property of Design: Studio ML.</p>	<p>Issue A Revision A01</p> <p>Building Information Certificate Building Information Certificate</p>	<p>Date 12/11/20 16/11/20</p> <p>m : 0403 324 888 e : michael@studioml.com.au w : www.studioml.com.au</p>	<p>design : <b>STUDIO ML</b></p>	<p>Project Building Information Certificate</p> <p>Client Mr &amp; Mrs Calci</p> <p>Project Address 23 Reynolds Crescent, Beacon Hill</p> <p>Drawing ELEVATION - NORTH</p>	<p>Job 1805</p> <p>Dwg no BIC.05</p>
	<p>residential : mutli - unit dwellings : alterations &amp; additions : commercial</p>	<p>Project Address 23 Reynolds Crescent, Beacon Hill</p>	<p>Client Mr &amp; Mrs Calci</p>	<p>Drawing ELEVATION - NORTH</p>	<p>Job 1805</p> <p>Dwg no BIC.05</p>

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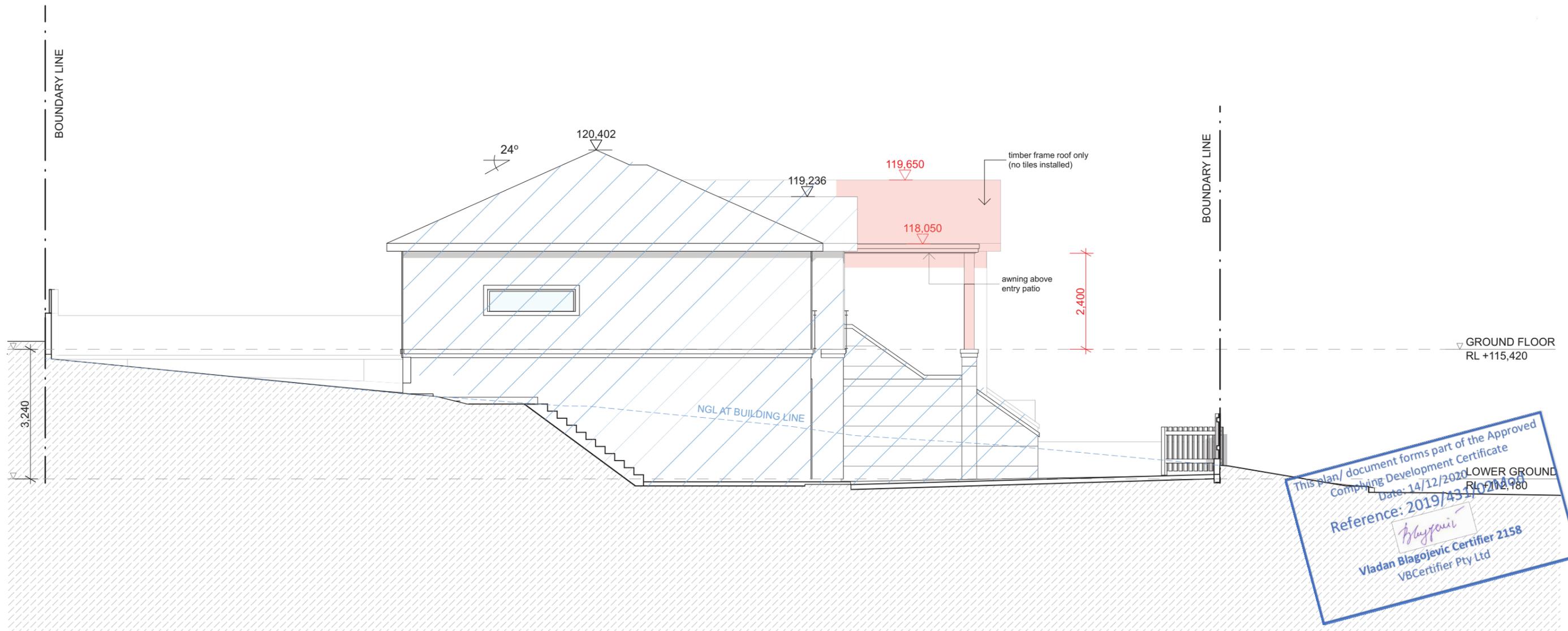


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**SOUTH ELEVATION**  
 1:100

- Building Information Certificate
- CDC approved works

**Building Information Certificate**

Note

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 w : www.studioml.com.au

design : **STUDIO ML**



Project  
 Building Information Certificate

Project Address  
 23 Reynolds Crescent, Beacon Hill

Client  
 Mr & Mrs Calci

Drawing  
 ELEVATION - SOUTH

Job  
 1805

Dwg no  
 BIC.06

residential : mutli - unit dwellings : alterations & additions : commercial

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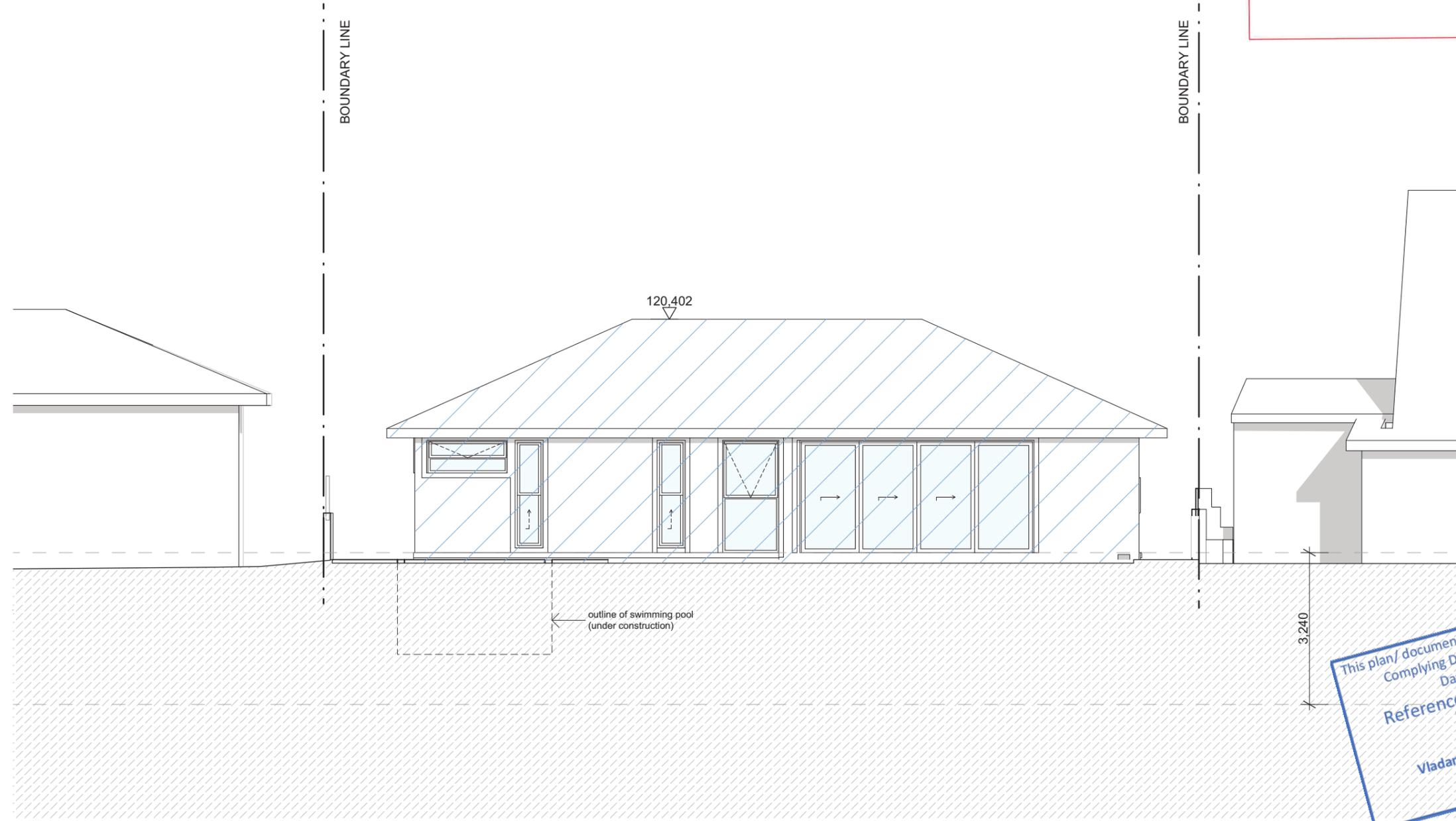
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**WEST ELEVATION**  
1:100

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- Building Information Certificate
- CDC approved works

## Building Information Certificate

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Issue	Revision														
A	Building Information Certificate														
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<b>Project</b> Building Information Certificate	<b>Client</b> Mr & Mrs Calci	<b>Job</b> 1805													
<b>Project Address</b> 23 Reynolds Crescent, Beacon Hill	<b>Drawing</b> ELEVATION - WEST	<b>Dwg no</b> BIC.07													

**SURVEYORS CERTIFICATE**



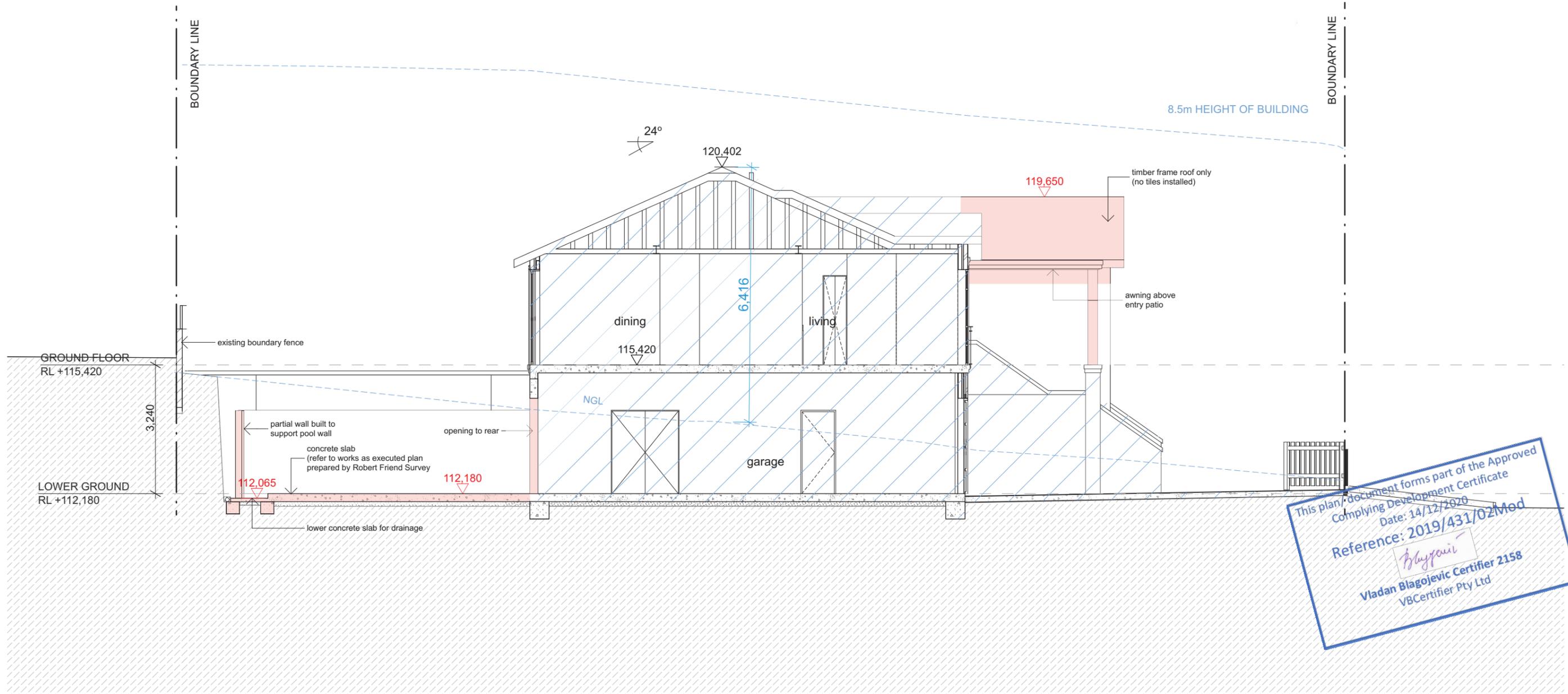
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**SECTION AA**  
1:100

Building Information Certificate  
CDC approved works

**Building Information Certificate**

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Issue A  
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Building Information Certificate  
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w : www.studioml.com.au

design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project  
Building Information Certificate

Project Address  
23 Reynolds Crescent, Beacon Hill

Client  
Mr & Mrs Calci

Drawing  
SECTION AA

Job  
1805

Dwg no  
BIC.08

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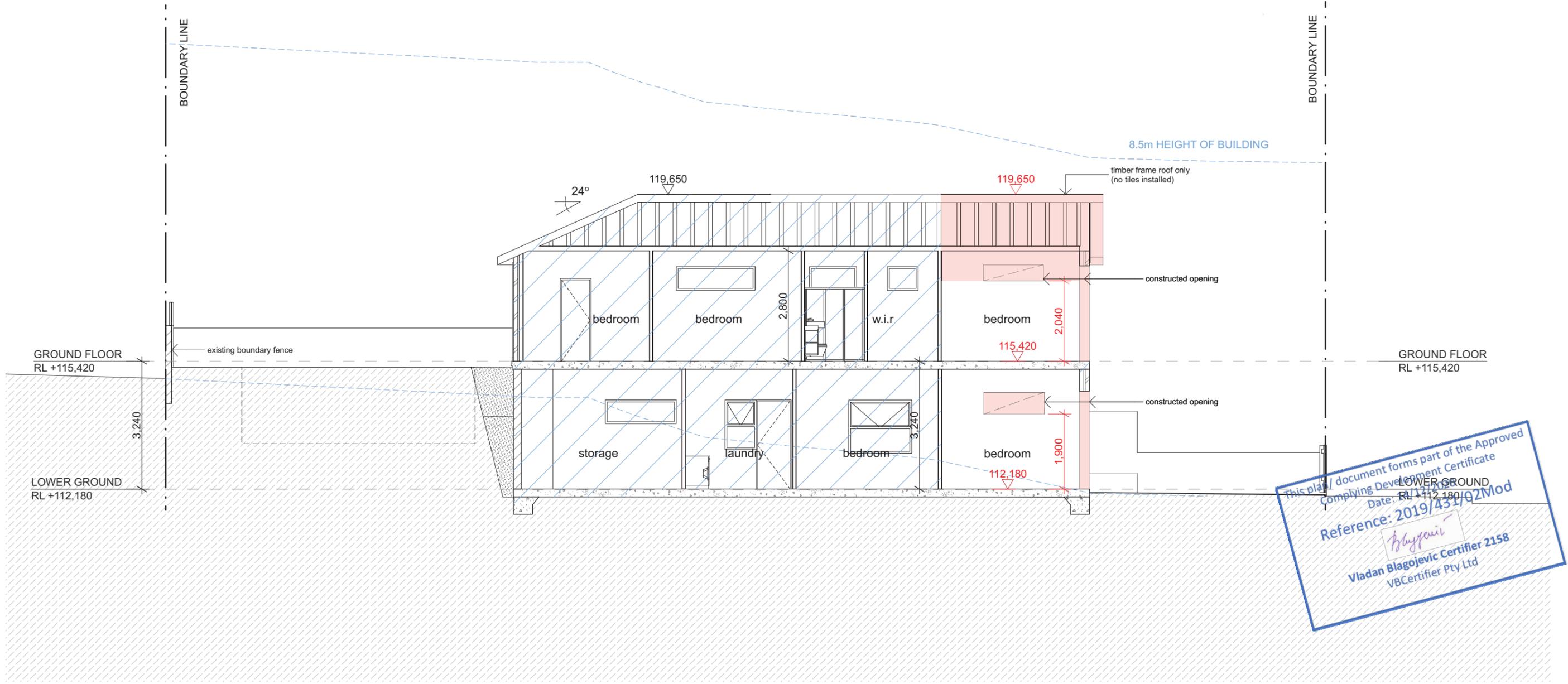
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Reference: 2019/431/02Mod  
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**SECTION BB**

- Building Information Certificate
- CDC approved works

**Building Information Certificate**

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