

A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.

B: Replacement of sliding doors with glass louvres.

C: Revised configuration of deck and pool area - refer to landscape architects drawings.










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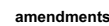
SETBACKS

GFA BY STOREY	
STOREY	AREA
BASEMENT	38.68
GROUND FLOOR	168.01
FIRST FLOOR	104.23
	310.92 m²

LEGEND

EXISTING DWELLING TO BE DEMOLISHED	
EXISTING NEIGHBOURING TREES	
EXISTING TREES TO BE RETAINED	
EXISTING TREES TO BE REMOVED	
PIT TO S/W RECOMMENDATION	
PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION	
LANDSCAPED AREA	

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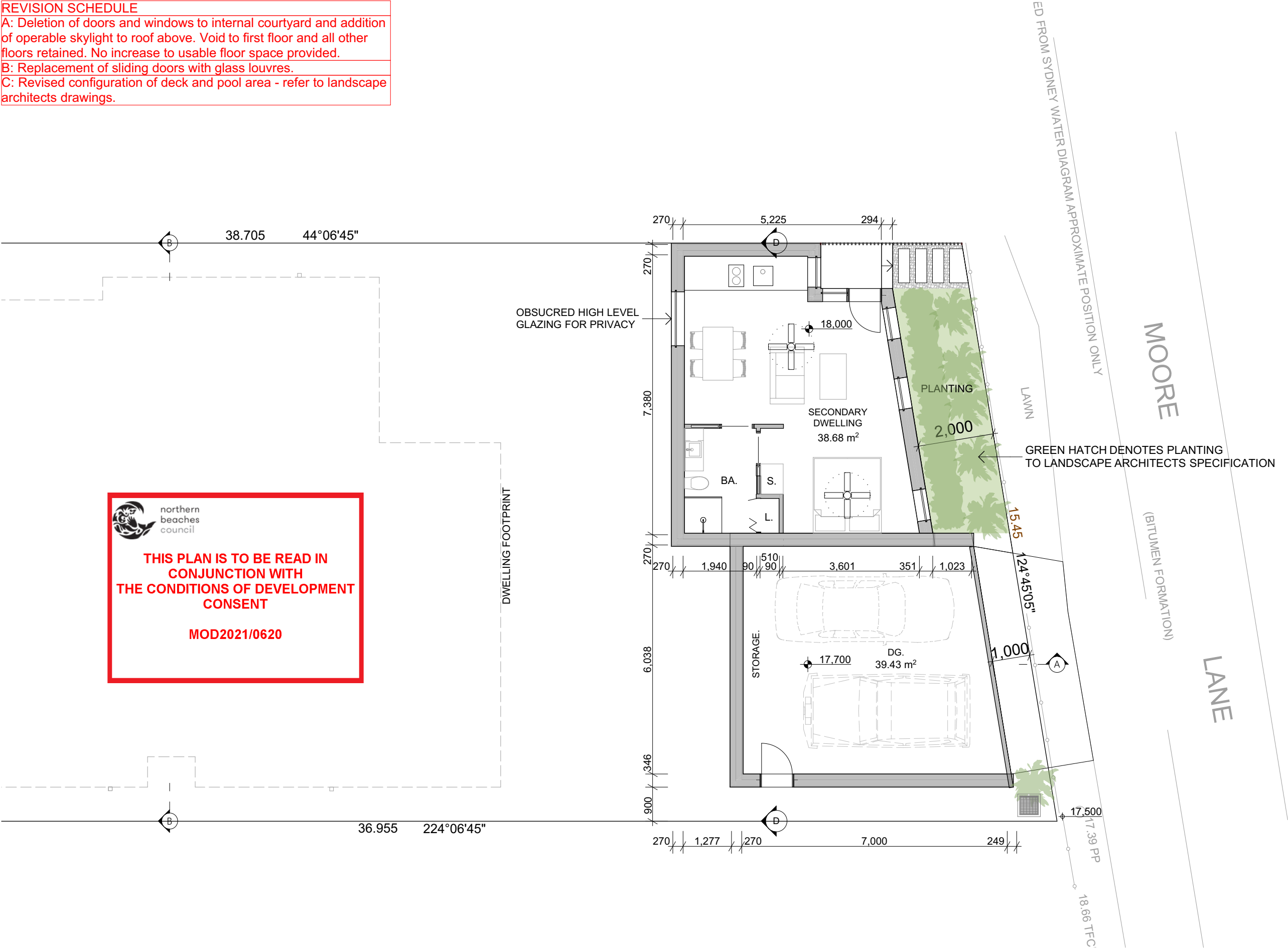
Date	Issue	Description
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Project description
NEW DWELLING HOUSE

Project address
38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

DEVELOPMENT APPLICATION

REVISION SCHEDULE
A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.
B: Replacement of sliding doors with glass louvres.
C: Revised configuration of deck and pool area - refer to landscape architects drawings.



LEGEND		
BALCONY	BL	BBQ
BARBECUE AREA		BA
BATHROOM		
BEDROOM	B	
BIKE RACK	BR	
COURTYARD		C
DECK		DK
DINING		D
DOUBLE GARAGE		DG
ENSUITE		EN
ENTRY		E
FIRE STAIR	FS	
GARAGE		G
GARBAGE ROOM		GR
KITCHEN		K
LAUNDRY		
LIFT	LD	LF
LIGHT WELL		LW
LIVING		L
LOBBY		LB
MASTER BEDROOM	MB	
NOOK		N
PANTRY		PA
POWDER		P
ROBE		R
RUMPUS		RU
SERVICES	SE	
STORE		S
STUDY		ST
TERRACE	T	
VOID		V
WALK IN PANTRY		WIP
WALK IN ROBE		WIR

LEGEND	
EXISTING DWELLING TO BE DEMOLISHED	
EXISTING NEIGHBOURING TREES	
EXISTING TREES TO BE RETAINED	
EXISTING TREES TO BE REMOVED	
PIT TO S/W RECOMMENDATION	
PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION	
LANDSCAPED AREA	

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amendments

Date	Issue	Description
12/11/20	DA.01	DEVELOPMENT APPLICATION ISSUE
10/02/2021	DA.B	ISSUE B - RFI
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
07/07/2021	DA.D	ISSUE D - Modification to approved DA

amendments

Date	Issue	Description
29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Client

GC & MC.

Drawing

GARAGE PLAN

Project description

NEW DWELLING HOUSE

Project address

38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

Sheet no.

DA.03

Job no.






2015DA

GARAGE FLOOR

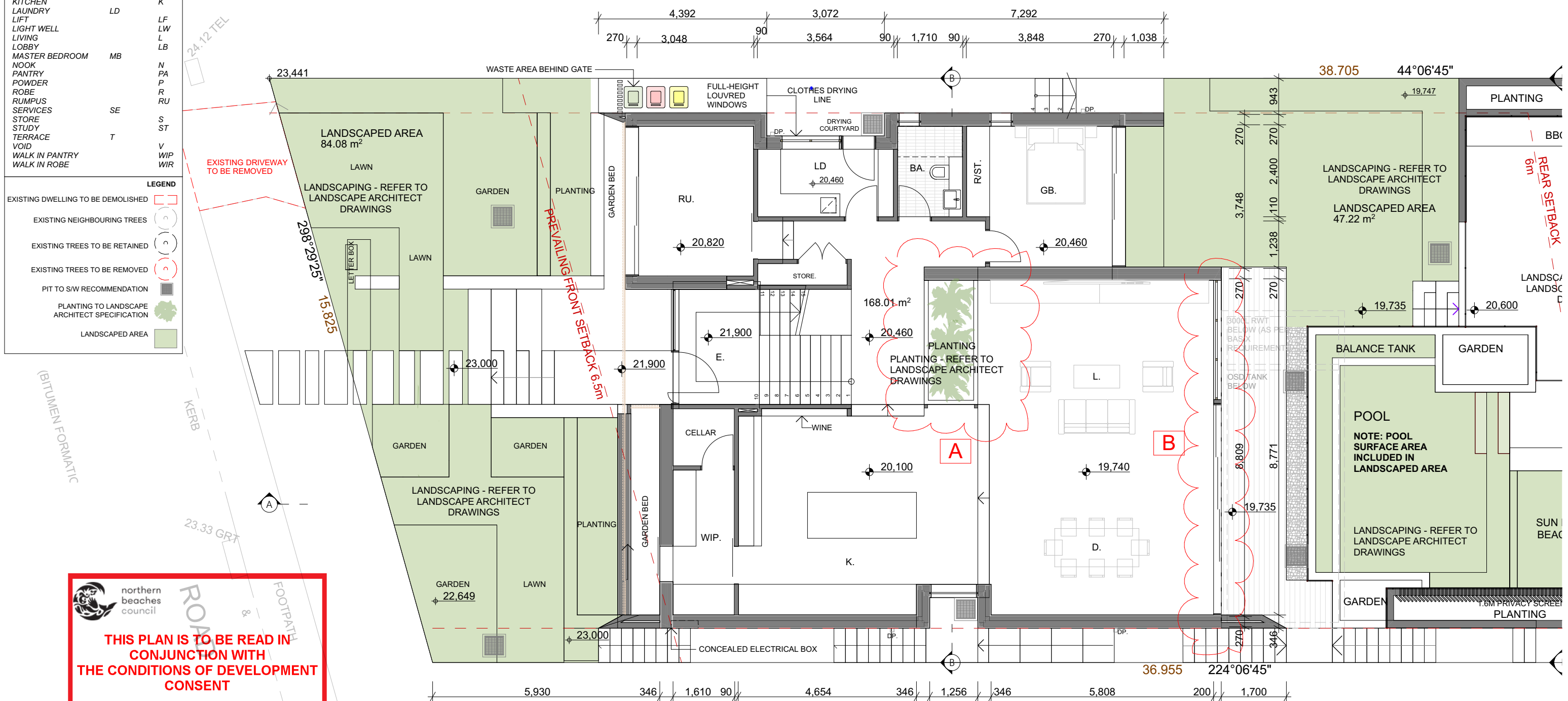
Scale 1:100


DEVELOPMENT APPLICATION

LEGEND		
BALCONY	BL	
BARBECUE AREA		BBQ
BATHROOM		BA
BEDROOM	B	
BIKE RACK	BR	
COURTYARD		C
DECK		DK
DINING		D
DOUBLE GARAGE		DG
ENSUITE		EN
ENTRY		E
FIRE STAIR	FS	
GARAGE		G
GARBAGE ROOM		GR
KITCHEN		K
LAUNDRY	LD	
LIFT		LF
LIGHT WELL		LW
LIVING		L
LOBBY		LB
MASTER BEDROOM	MB	
NOOK		N
PANTRY		PA
POWDER		P
ROBE		R
RUMPUS		RU
SERVICES	SE	
STORE		S
STUDY		ST
TERRACE	T	
VOID		V
WALK IN PANTRY		WIP
WALK IN ROBE		WIR

LEGEND	
EXISTING DWELLING TO BE DEMOLISHED	
EXISTING NEIGHBOURING TREES	
EXISTING TREES TO BE RETAINED	
EXISTING TREES TO BE REMOVED	
PIT TO S/W RECOMMENDATION	
PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION	
LANDSCAPED AREA	

REVISION SCHEDULE
A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.
B: Replacement of sliding doors with glass louvres.
C: Revised configuration of deck and pool area - refer to landscape architects drawings.



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beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2021/0620

GROUND FLOOR
1:100

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amendments		
Date	Issue	Description
12/11/20	DA.01	DEVELOPMENT APPLICATION ISSUE
10/02/2021	DA.B	ISSUE B - RFI
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
07/07/2021	DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description
29/04/2021	D.A.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Client	Project description	Sheet no.
GC & MC.	NEW DWELLING HOUSE	DA.04
Drawing	Project address	Job no.
GROUND FLOOR PLAN	38 UNDERCLIFF ROAD FRESHWATER NSW 2096	2015DA








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[illegible]

LEGEND		
BALCONY	BL	
BARBECUE AREA		BBQ
BATHROOM		BA
BEDROOM	B	
BIKE RACK	BR	
COURTYARD		C
DECK		DK
DINING		D
DOUBLE GARAGE		DG
ENSUITE		EN
ENTRY		E
FIRE STAIR	FS	
GARAGE		G
GARBAGE ROOM		GR
KITCHEN		K
LAUNDRY	LD	
LIFT		LF
LIGHT WELL		LW
LIVING		L
LOBBY		LB
MASTER BEDROOM	MB	
NOOK		N
PANTRY		PA
POWDER		P
ROBE		R
RUMPUS		RU
SERVICES	SE	
STORE		S
STUDY		ST
TERRACE	T	
VOID		V
WALK IN PANTRY		WIP
WALK IN ROBE		WIR

LEGEND	
EXISTING DWELLING TO BE DEMOLISHED	
EXISTING NEIGHBOURING TREES	
EXISTING TREES TO BE RETAINED	
EXISTING TREES TO BE REMOVED	
PIT TO SAW RECOMMENDATION	
PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION	
LANDSCAPED AREA	

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Issue	Description
DA01	DEVELOPMENT APPLICATION ISSUE
DA.B	ISSUE B - RFI
DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description
29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Drawing
GROUND FLOOR PLAN REAR

Project address
38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

DEVELOPMENT APPLICATION

REVISION SCHEDULE

A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.

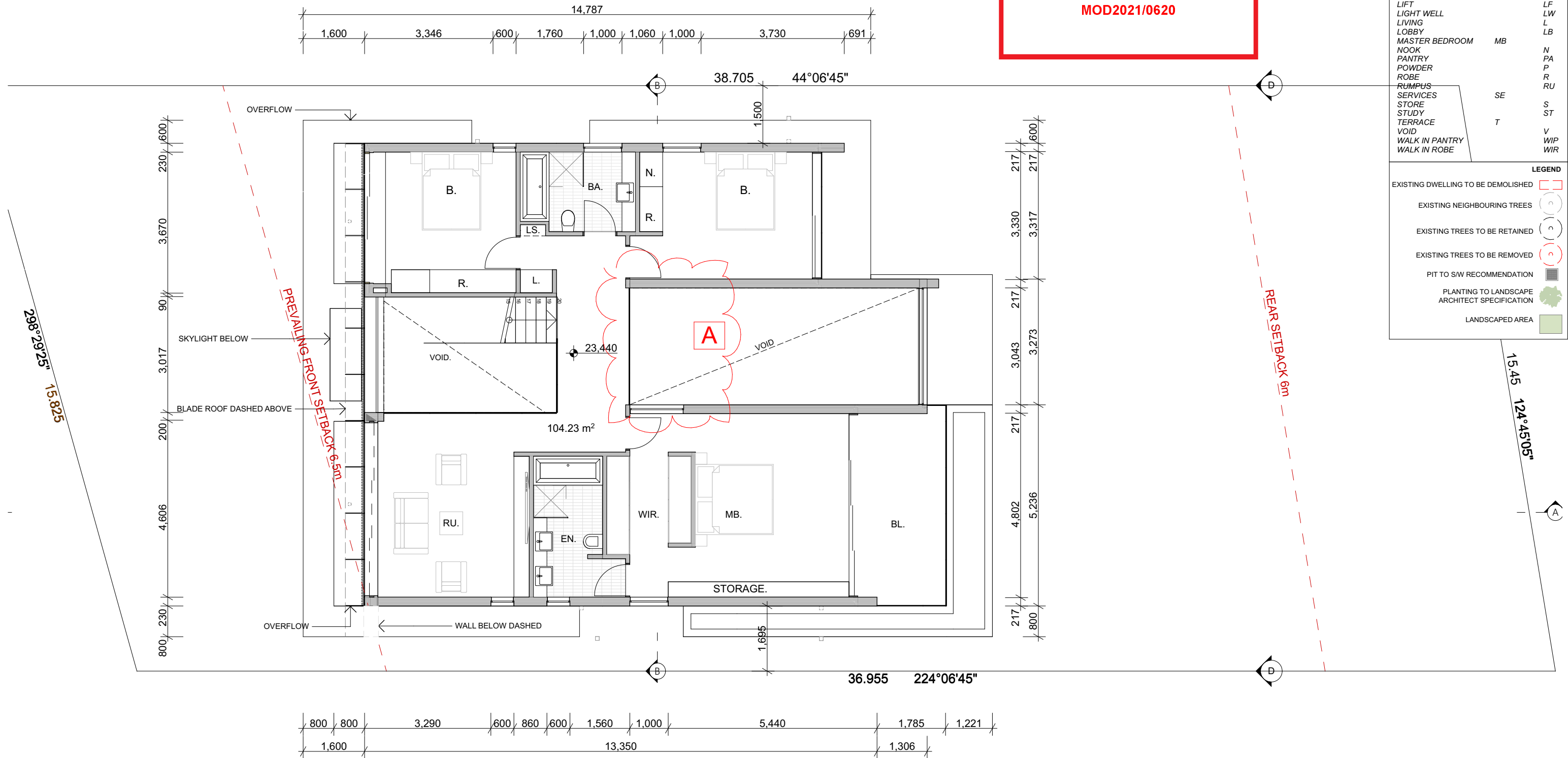
B: Replacement of sliding doors with glass louvres.

C: Revised configuration of deck and pool area - refer to landscape architects drawings.

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MOD2021/0620



LEGEND		
BALCONY	BL	BBQ
BARBECUE AREA		BA
BATHROOM		
BEDROOM	B	
BIKE RACK	BR	
COURTYARD		C
DECK		DK
DINING		D
DOUBLE GARAGE		DG
ENSUITE		EN
ENTRY		E
FIRE STAIR	FS	
GARAGE		G
GARBAGE ROOM		GR
KITCHEN		K
LAUNDRY		
LIFT	LD	LF
LIGHT WELL		LW
LIVING		L
LOBBY		LB
MASTER BEDROOM	MB	
NOOK		N
PANTRY		PA
POWDER		P
ROBE		R
RUMPUS		RU
SERVICES	SE	
STORE		S
STUDY		ST
TERRACE	T	
VOID		V
WALK IN PANTRY		WIP
WALK IN ROBE		WIR

LEGEND	
EXISTING DWELLING TO BE DEMOLISHED	
EXISTING NEIGHBOURING TREES	
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EXISTING TREES TO BE REMOVED	
PIT TO S/W RECOMMENDATION	
PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION	
LANDSCAPED AREA	

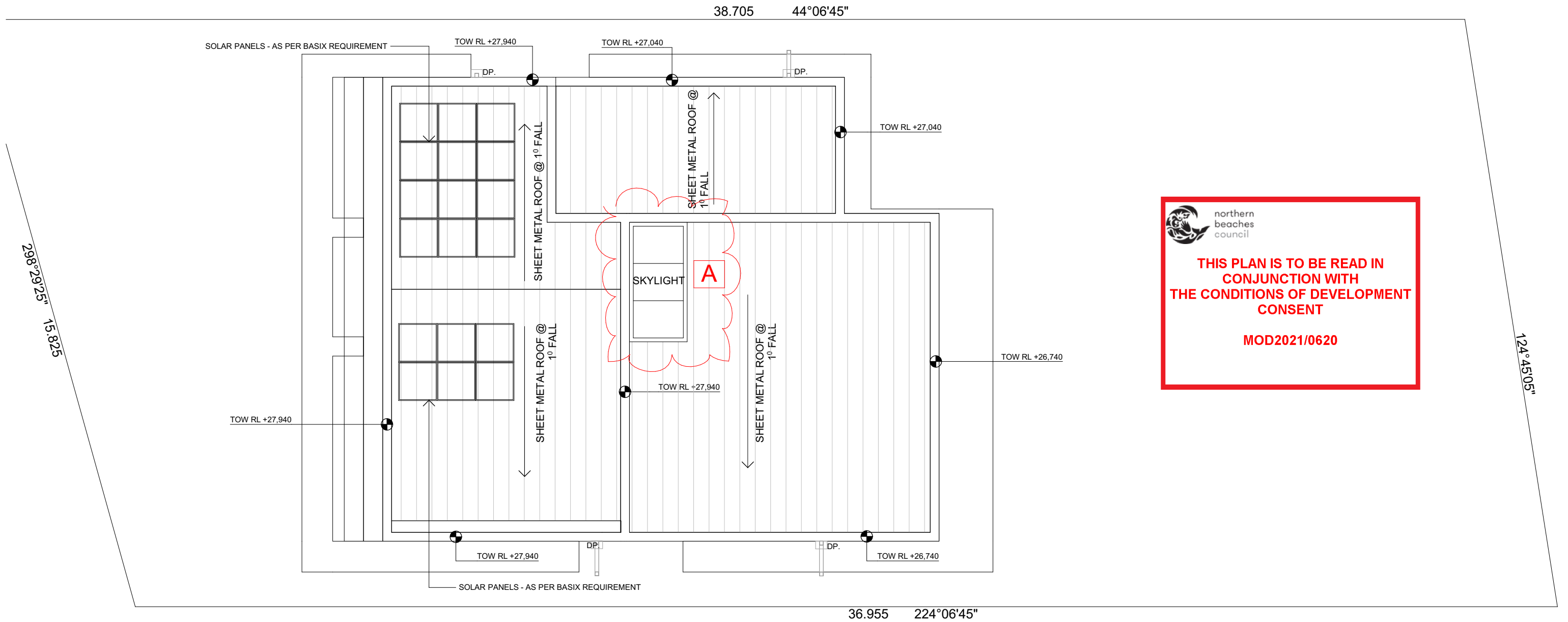


amendments		
Date	Issue	Description
12/11/20	DA01	DEVELOPMENT APPLICATION ISSUE
10/02/2021	DA.B	ISSUE B - RFI
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
07/07/2021	DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description
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DEVELOPMENT APPLICATION		
Client	Project description	Sheet no.
GC & MC.	NEW DWELLING HOUSE	DA.06
Drawing	Project address	Job no.
FIRST FLOOR PLAN	38 UNDERCLIFF ROAD	2015DA
	FRESHWATER NSW 2096	

REVISION SCHEDULE
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amendments		
Date	Issue	Description
12/11/20	DA01	DEVELOPMENT APPLICATION ISSUE
10/02/2021	DA.B	ISSUE B - RFI
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
07/07/2021	DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description

DEVELOPMENT APPLICATION		
Client GC & MC.	Project description NEW DWELLING HOUSE	Sheet no. DA.07
Drawing ROOF PLAN	Project address 38 UNDERCLIFF ROAD FRESHWATER NSW 2096	Job no. 2015DA

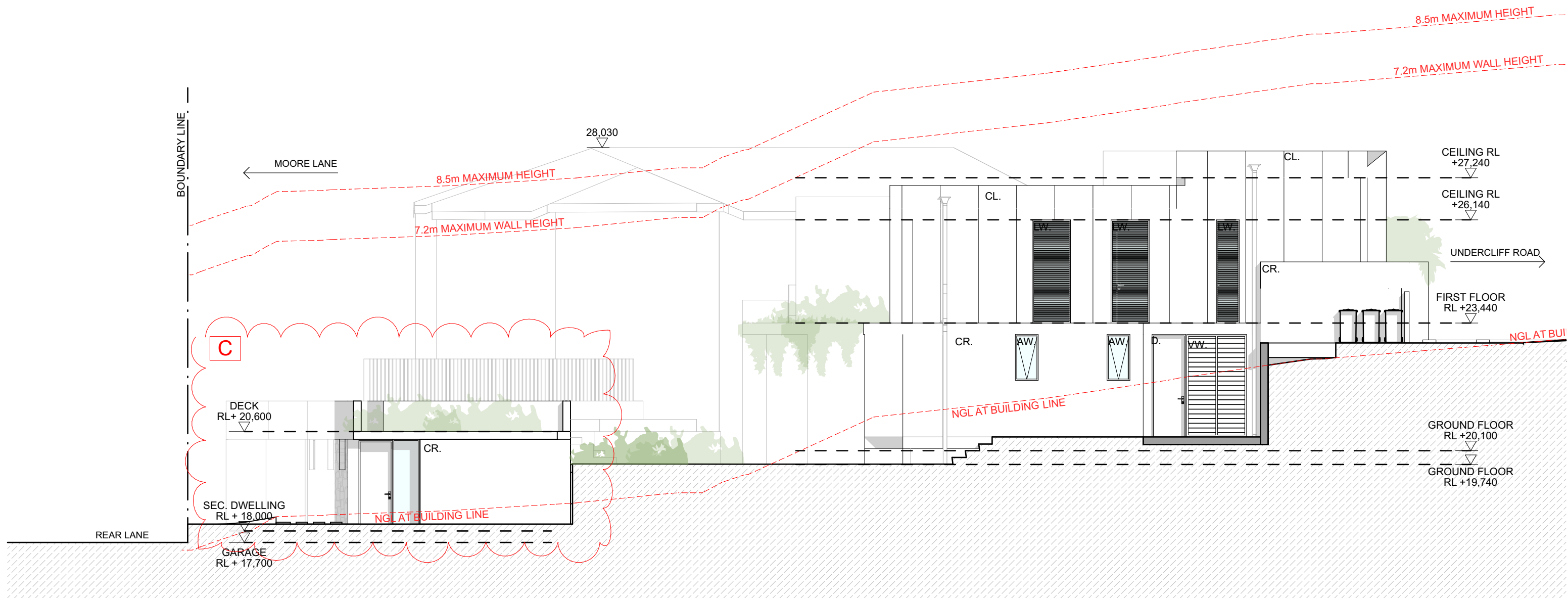
A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.

B: Replacement of sliding doors with glass louvres.

C: Revised configuration of deck and pool area - refer to landscape architects drawings.



LEGEND	
AW	AWNING WINDOW (Aluminium windows, as selected)
BG	BOX GUTTER
C	CARPET
CL	CLADDING
CR	CEMENT RENDER
CW	CASEMENT WINDOW (Aluminium windows, as selected)
DP	DOWN PIPE
FB	FACE BRICK (As selected)
FRP	FACADE RENDERED & PAINTED FINISH
FW	FIXED WINDOW (Aluminium window, as selected)
GB	GLASS BALUSTRADING
LW	LOUVRE WINDOW
MB	METAL BALUSTRADING
MR	METAL ROOFING (As selected)
OB	OBSCURE GLASS
PS	PRIVACY SCREENING
PSE	PAINTED SLAB EDGE (As selected)
SD	SLIDING DOOR (Aluminium doors as selected)
SW	SLIDING WINDOW (Aluminium windows, as selected)
T	TILES (As selected)
TF	TIMBER FLOOR
VW	VENT WINDOW (Aluminium window, as selected)
GD	GARAGE DOOR



DEVELOPMENT APPLICATION

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amendments		
Date	Issue	Description
12/11/20	DA.01	DEVELOPMENT APPLICATION ISSUE
10/02/2021	DA.B	ISSUE B - RFI
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
07/07/2021	DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description
29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Client	Project description	Sheet no.
GC & MC.	NEW DWELLING HOUSE	DA.09
Drawing	Project address	Job no.
ELEVATIONS	38 UNDERCLIFF ROAD FRESHWATER NSW 2096	2015DA

A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.

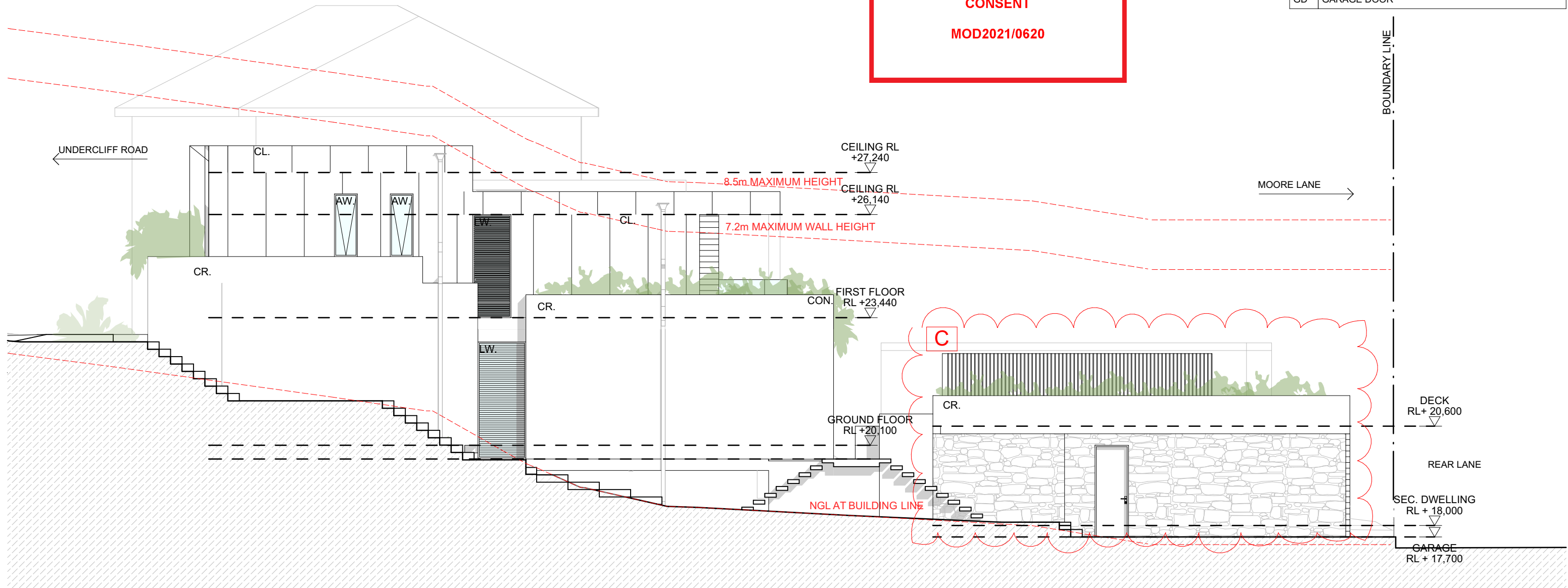
B: Replacement of sliding doors with glass louvres.

C: Revised configuration of deck and pool area - refer to landscape architects drawings.



MOD2021/0620

LEGEND	
AW	AWNING WINDOW (Aluminium windows, as selected)
BG	BOX GUTTER
C	CARPET
CL	CLADDING
CR	CEMENT RENDER
CW	CASEMENT WINDOW (Aluminium windows, as selected)
DP	DOWN PIPE
FB	FACE BRICK (As selected)
FRP	FACADE RENDERED & PAINTED FINISH
FW	FIXED WINDOW (Aluminium window, as selected)
GB	GLASS BALUSTRADING
LW	LOUVRE WINDOW
MB	METAL BALUSTRADING
MR	METAL ROOFING (As selected)
OB	OBSCURE GLASS
PS	PRIVACY SCREENING
PSE	PAINTED SLAB EDGE (As selected)
SD	SLIDING DOOR (Aluminium doors as selected)
SW	SLIDING WINDOW (Aluminium windows, as selected)
T	TILES (As selected)
TF	TIMBER FLOOR
VW	VENT WINDOW (Aluminium window, as selected)
GD	GARAGE DOOR



SOUTH ELEVATION
1:100

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Date	Issue	Description
12/11/20	DA01	DEVELOPMENT APPLICATION ISSUE
10/02/2021	DA.B	ISSUE B - RFI
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
07/07/2021	DA.D	ISSUE D - Modification to approved DA

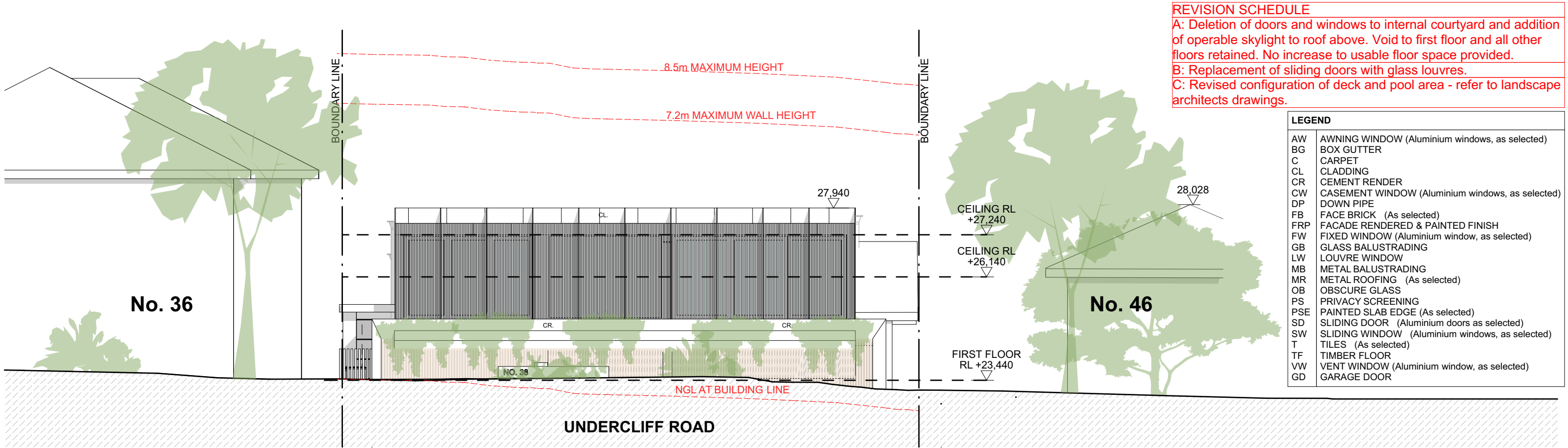
Date	Issue	Description
29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Client
GC & MC.
Drawing
ELEVATIONS

Project description
NEW DWELLING HOUSE

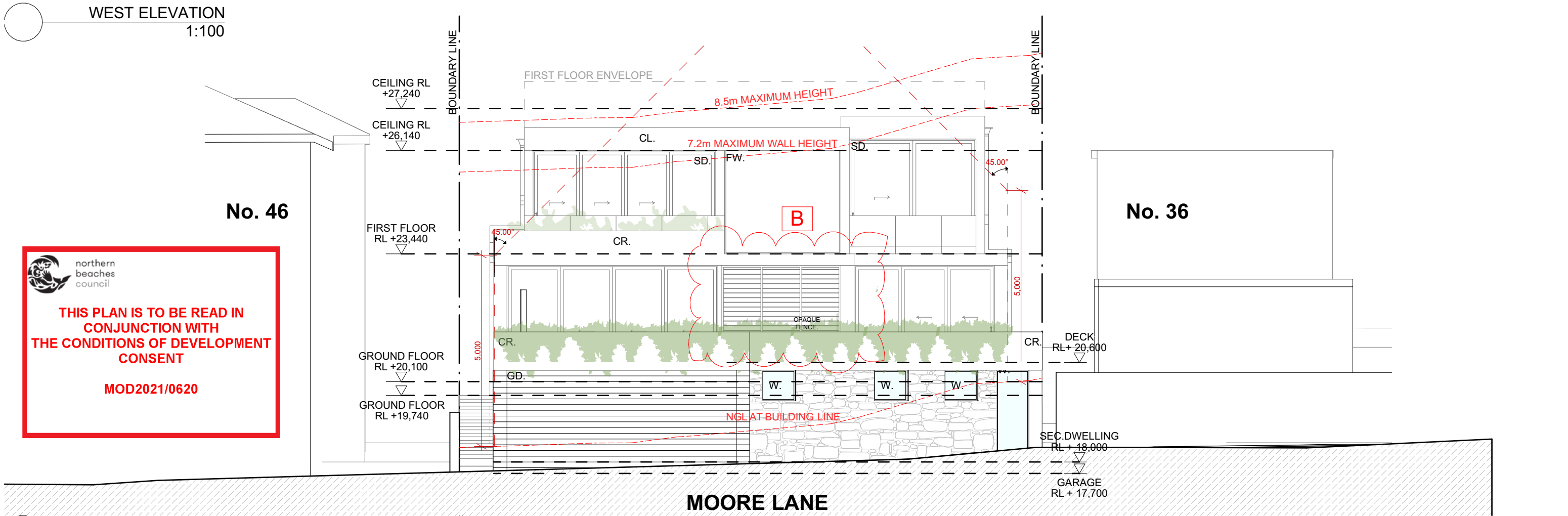
Project address
**38 UNDERCLIFF ROAD
FRESHWATER NSW 2096**

Sheet no.
DA.10
Job no.
2015DA



REVISION SCHEDULE	
A:	Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.
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C:	Revised configuration of deck and pool area - refer to landscape architects drawings.

LEGEND	
AW	AWNING WINDOW (Aluminium windows, as selected)
BG	BOX GUTTER
C	CARPET
CL	CLADDING
CR	CEMENT RENDER
CW	CASEMENT WINDOW (Aluminium windows, as selected)
DP	DOWN PIPE
FB	FACE BRICK (As selected)
FRP	FACADE RENDERED & PAINTED FINISH
FW	FIXED WINDOW (Aluminium window, as selected)
GB	GLASS BALUSTRADING
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MB	METAL BALUSTRADING
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OB	OBSCURE GLASS
PS	PRIVACY SCREENING
PSE	PAINTED SLAB EDGE (As selected)
SD	SLIDING DOOR (Aluminium doors as selected)
SW	SLIDING WINDOW (Aluminium windows, as selected)
T	TILES (As selected)
TF	TIMBER FLOOR
VW	VENT WINDOW (Aluminium window, as selected)
GD	GARAGE DOOR



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0620