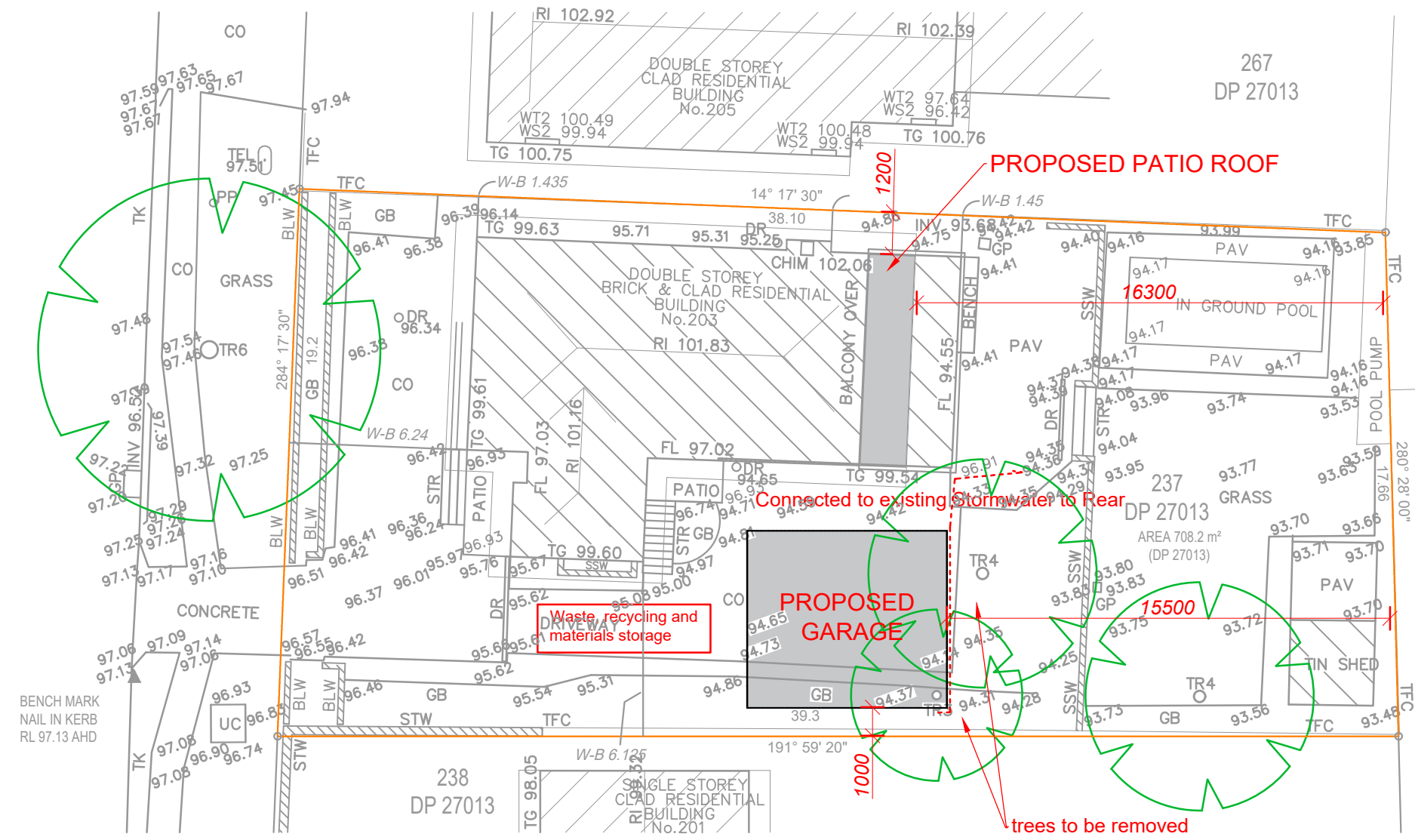


POWDERWORKS ROAD



DIAL BEFORE YOU DIG
 NOTES:
 BUILDER TO ENSURE THE EXACT LOCATIONS OF THE SERVICES PRIOR TO THE START OF ANY CONSTRUCTION WORK. BUILDER MUST CALL 'DIAL BEFORE YOU DIG' TO THE TO CONFIRM THE THE LOCATIONS OF THE EXISTING SERVICES.
 IN THE EVENT THAT ANY SERVICES MAY BE AFFECTED WITH STRUCTURAL WORK, STRUCTURAL ENGINEER TO BE NOTIFIED AND CONSULTED IMMEDIATELY FOR REVIEWING THE STRUCTURAL DETAILS.

TOTAL SITE AREA - m2 approx	708.20
EXISTING DWELLING	148.00
EXISTING OTHER STRUCTURES	23.00
EXISTING DRIVEWAY/PATHS	237.00
TOTAL EXISTING IMPERVIOUS	408.00
EXISTING HARD SURFACE BUILT OVER	45.00
BALANCE IMPERVIOUS AREA	363.00
PROPOSED PATIO ROOF/GARAGE/OFFICE	56.90
TOTAL PROPOSED IMPERVIOUS AREA	419.90 59.29 %
TOTAL PROPOSED LANDSCAPE AREA	288.30 40.71 %

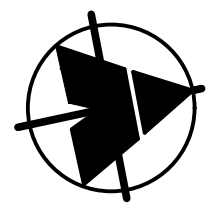
SITE PLAN/SITE ANALYSIS
 Site Plan: 1 : 200

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AMENDMENT	ISSUE	PROPOSED	FOR
22/12/20	PRELIMINARY ISSUE	A	GARAGE/PATIO ROOF
		JAMIE & NICHOLE COOK	
AT SITE ADDRESS			
203 POWDER WORKS ROAD, ELANORA HEIGHTS			
DRAWING		LOT NO	DP
SITE PLAN/SITE ANALYSIS		237	27013
DATE	SCALE	PROJECT NO	DRAWING NO
22/12/20	1 : 200	CD-338/20	CD-338/20-V1
			SHEET NO
			1 OF 6

CONNECT DRAFTING

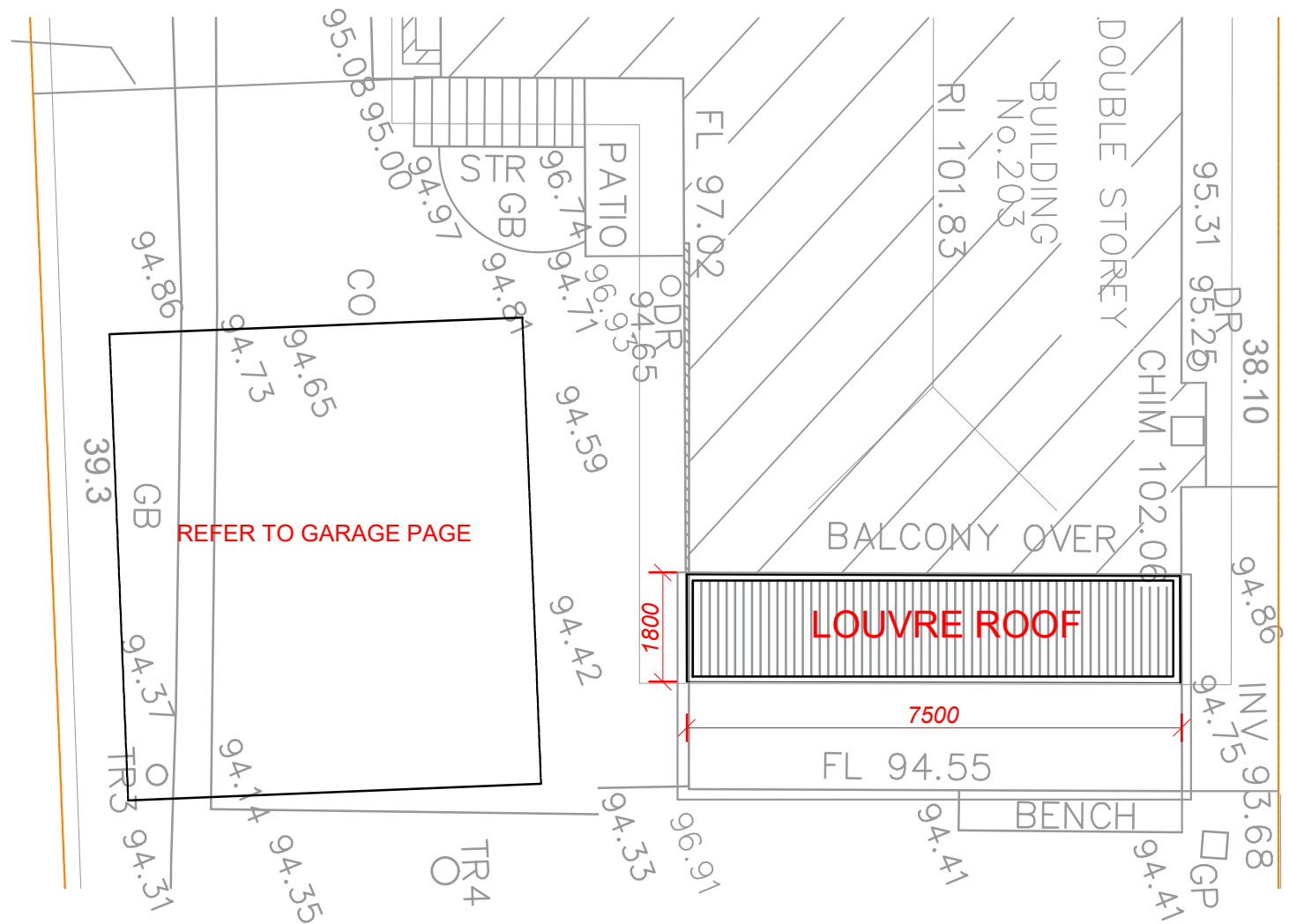
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 connectdrafting@gmail.com



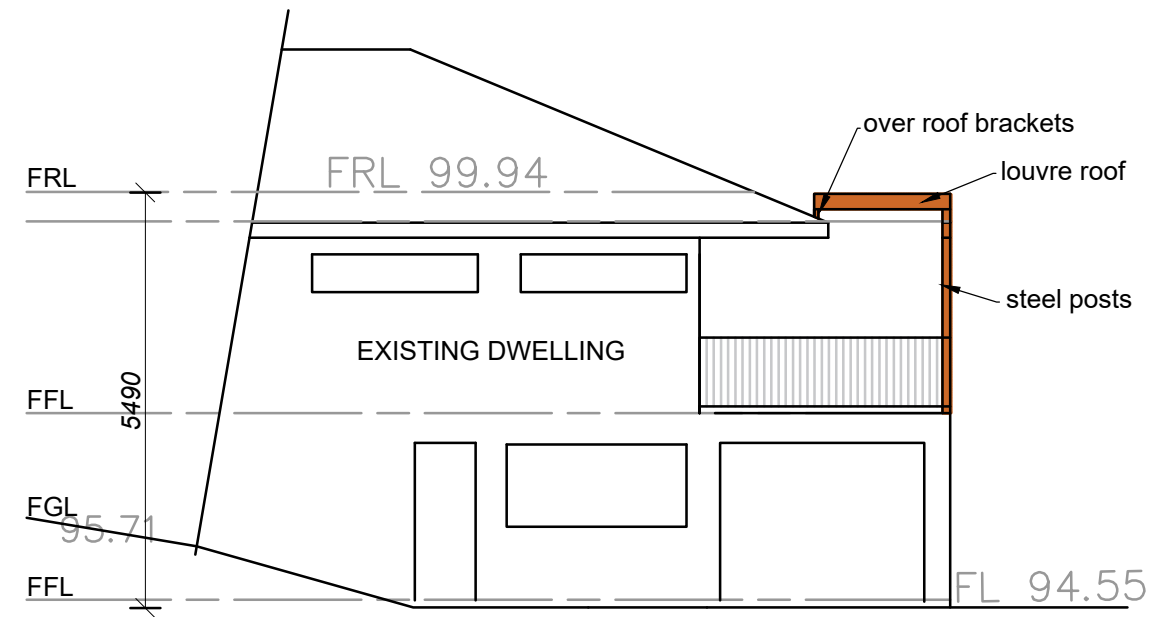
ALL WORK TO BE CARRIED OUT IN ACCORDANCE

WITH THE "BUILDING CODE OF AUSTRALIA - VOLUME 2" & TO COMPLY WITH THE FOLLOWING & ANY OTHER RELEVANT AUSTRALIAN STANDARD ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT

- TERMITE TREATMENT** - Carried out in accordance with AS 3660.1 - 2000
- TIMBER FRAMING** - Carried out in accordance with AS 1684
- STORMWATER** - Carried out in accordance with AS/NZ 3500.3 - 2015
- WINDOWS/GLAZED DOORS** - Supplied/Installed in accordance with AS 2047 - 2014
- SMOKE ALARMS** - Supplied/Installed in accordance with AS 3786 - 1993
- CONCRETE** - Supplied/Installed in accordance with AS 2870



FLOOR PLAN



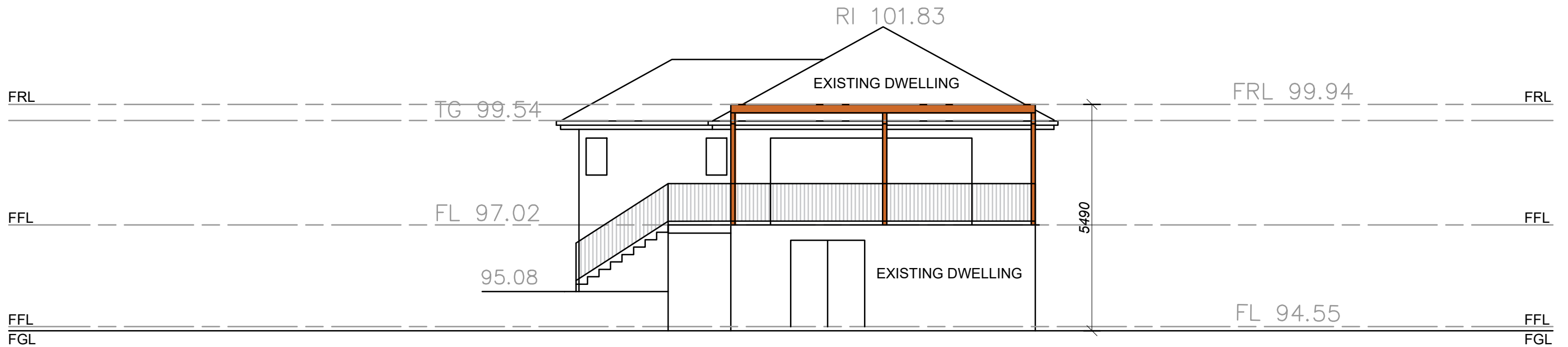
SECTION AA

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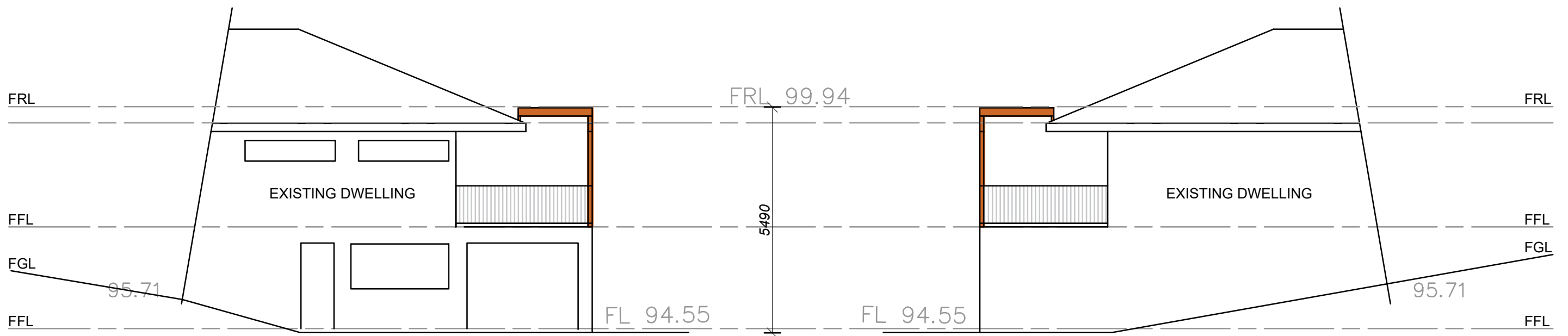
22/12/20	PRELIMINARY ISSUE	A	PROPOSED	GARAGE/PATIO ROOF			FOR	JAMIE & NICHOLE COOK			
DATE	FINAL ISSUE		AT SITE ADDRESS								
		203 POWDER WORKS ROAD, ELANORA HEIGHTS									
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			DRAWING			FLOOR PLAN/SECTION		LOT NO	237	DP	27013
DATE	SCALE	PROJECT NO	DRAWING NO		SHEET NO						
22/12/20	1:100	CD-338/20	CD-338/20-V1		2 OF 6						

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NORTH ELEVATION



EAST ELEVATION

WEST ELEVATION

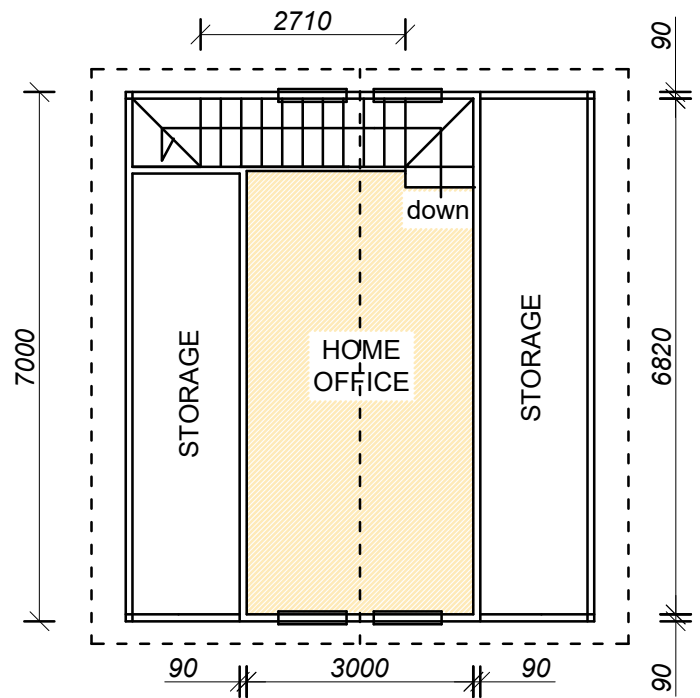
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22/12/20	PRELIMINARY ISSUE	A	PROPOSED	FOR
DATE	FINAL ISSUE		GARAGE/PATIO ROOF	JAMIE & NICHOLE COOK
AT SITE ADDRESS				
203 POWDER WORKS ROAD, ELANORA HEIGHTS				
DRAWING		LOT NO	DP	
ELEVATIONS		237	27013	
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
22/12/20	1:100	CD-338/20	CD-338/20-V1	3 OF 6

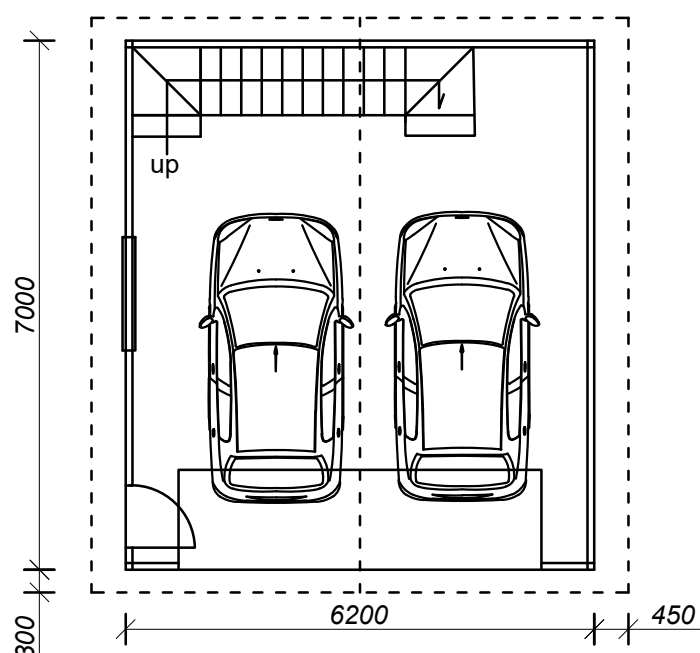
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FLOOR PLAN-MEZZANINE

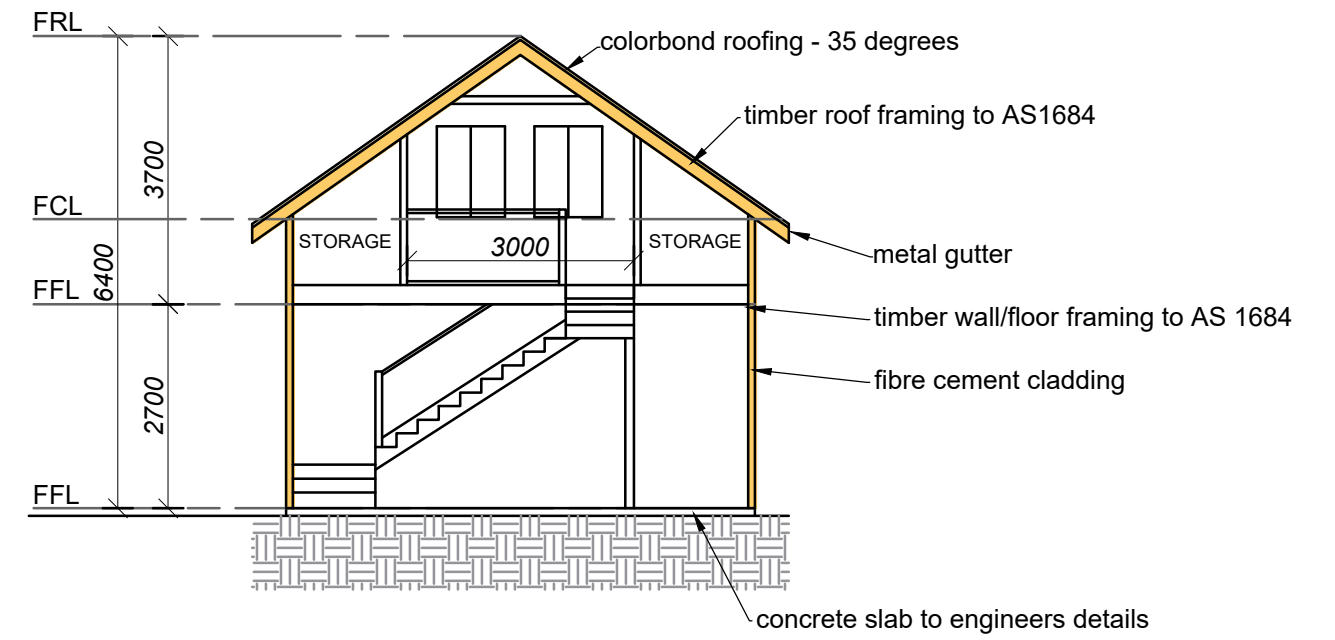


FLOOR PLAN-LOWER

ALL WORK TO BE CARRIED OUT IN ACCORDANCE

WITH THE "BUILDING CODE OF AUSTRALIA - VOLUME 2" & TO COMPLY WITH THE FOLLOWING & ANY OTHER RELEVANT AUSTRALIAN STANDARD ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT

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- STORMWATER** - Carried out in accordance with AS/NZ 3500.3 - 2015
- WINDOWS/GLAZED DOORS** - Supplied/Installed in accordance with AS 2047 - 2014
- SMOKE ALARMS** - Supplied/Installed in accordance with AS 3786 - 1993
- CONCRETE** - Supplied/Installed in accordance with AS 2870



SECTION AA

SCHEDULE FINISHES/COLOURS			
ROOFING	TILES	DARK GREY	
WALLS	FIBRE CEMENT	LIGHT/DK GREY	
GUTTER	METAL	DARK GREY	
WINDOWS	ALUMINIUM	LIGHT GREY	

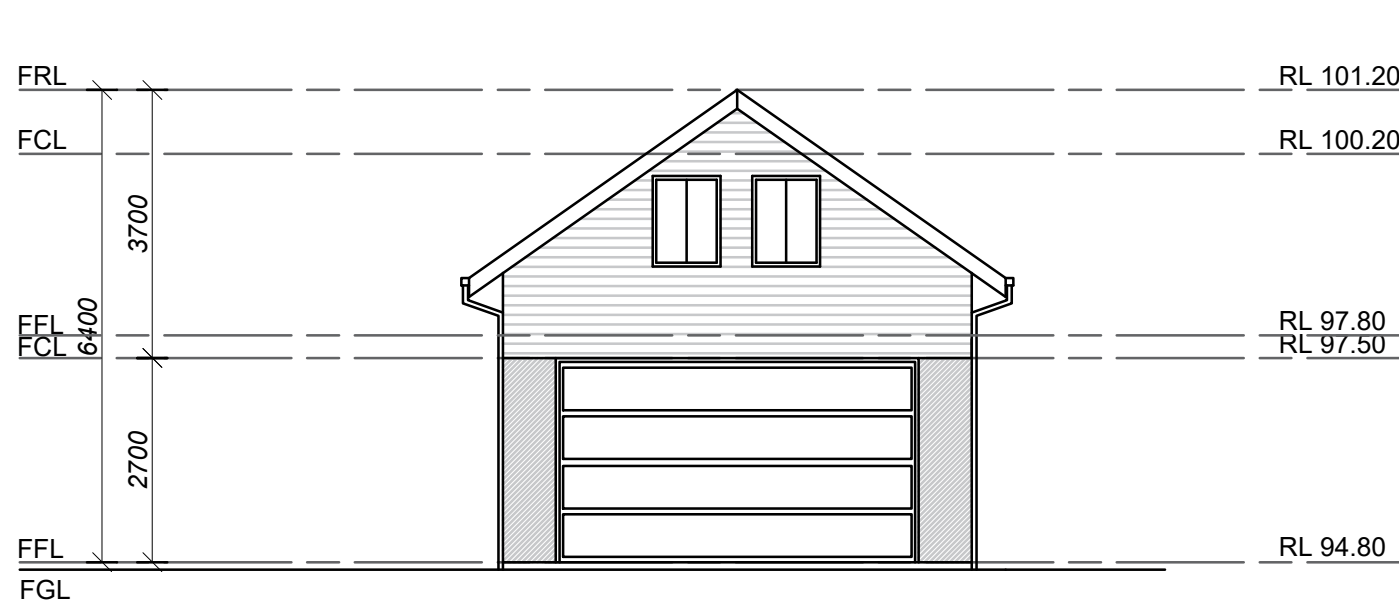
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DATE	FINAL ISSUE		AT SITE ADDRESS					
203 POWDER WORKS ROAD, ELANORA HEIGHTS								
DRAWING				FLOOR PLAN/SECTION	LOT NO	237	DP	27013
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO				
22/12/20	1:100	CD-338/20	CD-338/20-V1	4 OF 6				

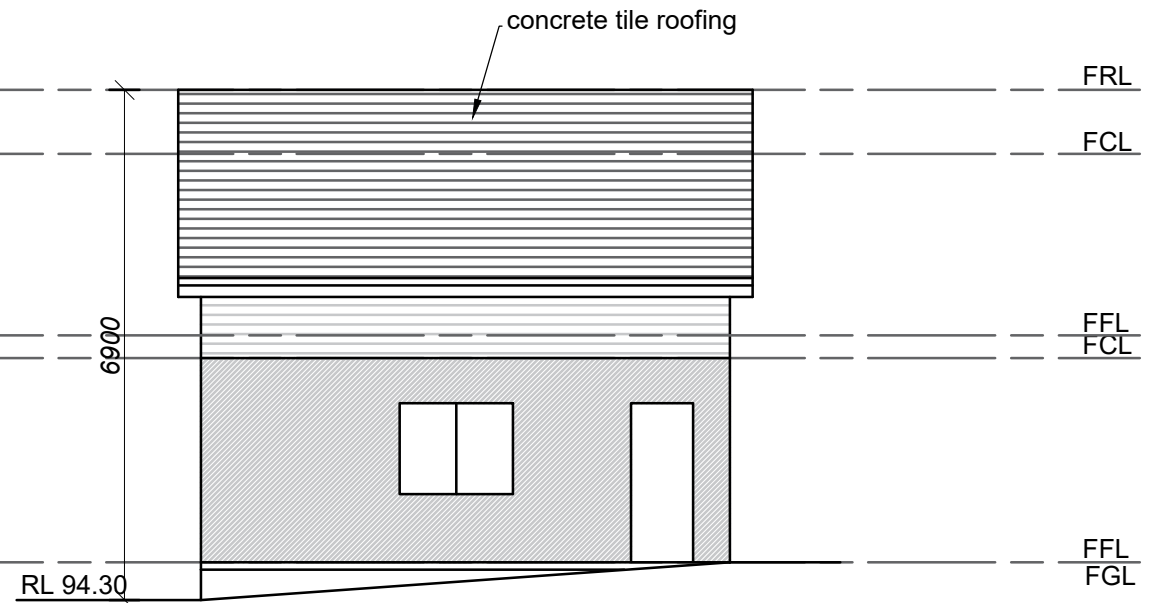
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CONNECT DRAFTING

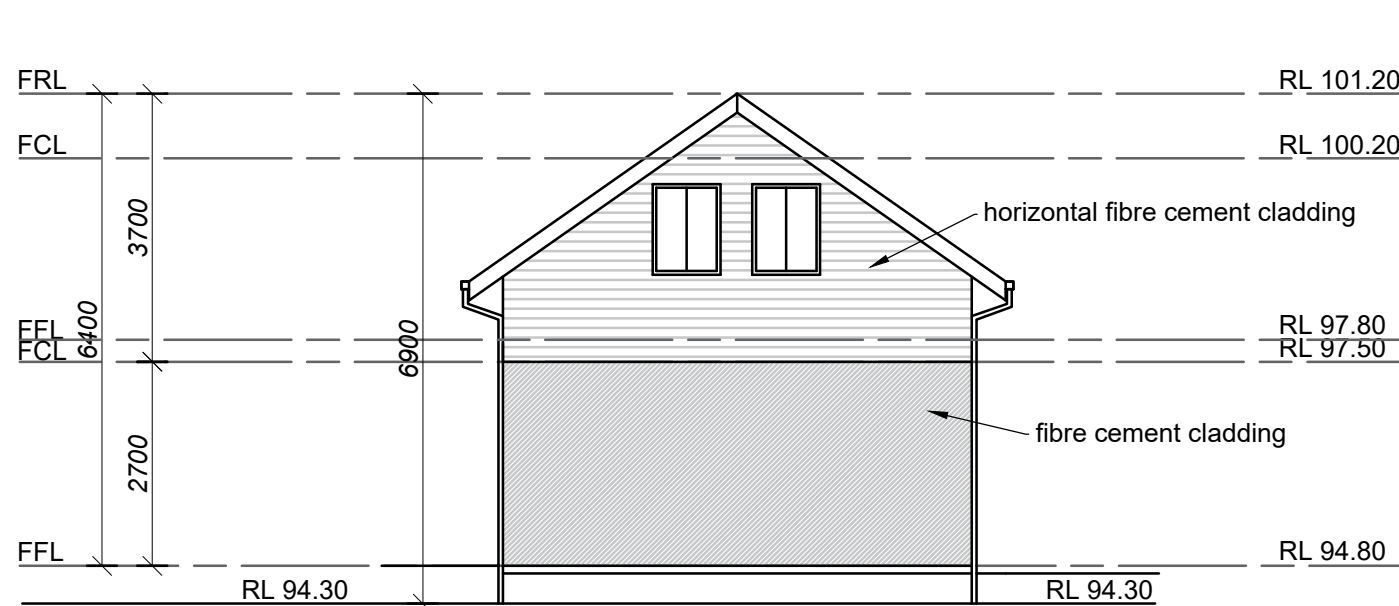
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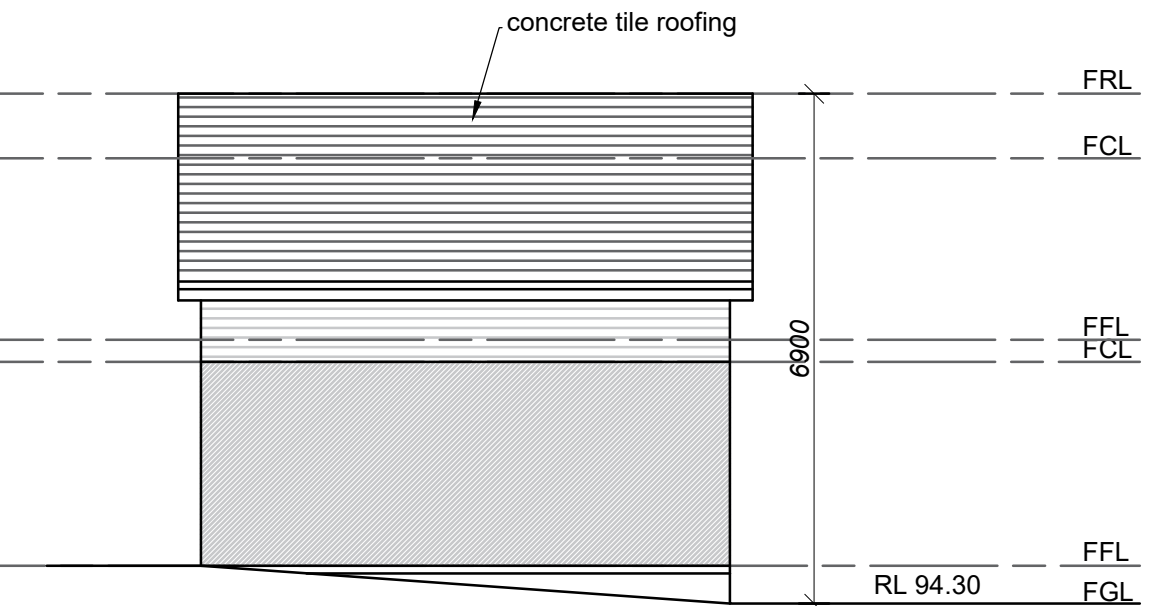
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

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DATE	FINAL ISSUE		AT SITE ADDRESS						
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203 POWDER WORKS ROAD, ELANORA HEIGHTS									
DRAWING			ELEVATIONS			LOT NO	237	DP	27013
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO					
22/12/20	1:100	CD-338/20	CD-338/20-V1	5 OF 6					

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BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A407474

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Sunday, 21, February 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	ELANORA-ADDITIONS
Street address	203 POWDERWORKS Road ELANORA HEIGHTS 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP27013
Lot number	237
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Connect Drafting
ABN (if applicable):	44533496441

BASIX Certificate number: A407474

page 2 / 5

Fixtures and systems				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting					✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.						

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A407474

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Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			✓	✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.					
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor above garage: framed (R0.7).	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A407474

page 4 / 5

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors							✓	✓	✓
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.									
The following requirements must also be satisfied in relation to each window and glazed door:									
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.									
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass in frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type			
W1	N	1.08	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W2	N	1.08	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W3	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.83, SHGC: 0.75)			
W4	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.83, SHGC: 0.75)			

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22/12/20	PRELIMINARY ISSUE	A	PROPOSED	GARAGE/PATIO ROOF		FOR JAMIE & NICHOLE COOK	
DATE	FINAL ISSUE			AT SITE ADDRESS			
				203 POWDER WORKS ROAD, ELANORA HEIGHTS			
				DRAWING	LOT NO	DP	
				BASIX REQUIREMENTS	237	27013	
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO			
22/12/20	1:100	CD-338/20	CD-338/20-V1	6 OF 6			

NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION
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