

S96

NOT FOR CONSTRUCTION

FIGURED DIMENSIONS TO BE
TAKEN IN PREFERENCE TO
SCALED READINGS."
"IF IN DOUBT, ASK!"

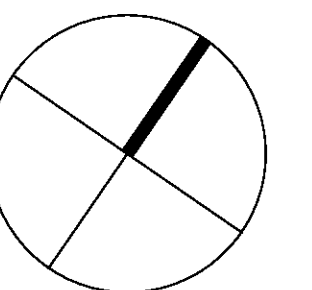
Issue	Amendment	Date
	PRELIMINARY	MAY 17
96-A	DEVELOPMENT APPLICATION	AUG 17
96-P	SECTION 96 - PRELIM	NOV 17
96	SECTION 96	DEC 17

LEGEND:

-  EXISTING WALLS
 NEW WALLS
 TO BE DEMOLISHED
 NEW WORKS COLOURED YELLOW

BASIX NOTATION:

- NEW OR ALTERED CONSTRUCTION (FLOORS, WALLS, AND CEILINGS/ROOFS) TO BE IN ACCORDANCE WITH BASIX
- WINDOWS AND DOORS TO BE INSTALLED IN ACCORDANCE WITH BASIX
- FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500 MM ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400 MM ABOVE THE SILL
- SKYLIGHTS TO BE INSTALLED IN ACCORDANCE WITH BASIX



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ALTERATIONS AND ADDITIONS TO EXISTING DWELLING

23 STUART STREET
MANLY, NSW

drawing
SITE/SITE ANALYSIS PLAN

SCALE: 1:100 @ A1

ISSUE: S96 DATE: DEC 2017

DWG No.: 2016-041-A00

**NORTHERN BEACHES
COUNCIL**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH**

Endorsement Date: 15/03/2018

MOD2018/0012

 SITE/SITE ANALYSIS PLAN
1:100@A1

NOR-EAST/EASTERLY
SUMMER BREEZES

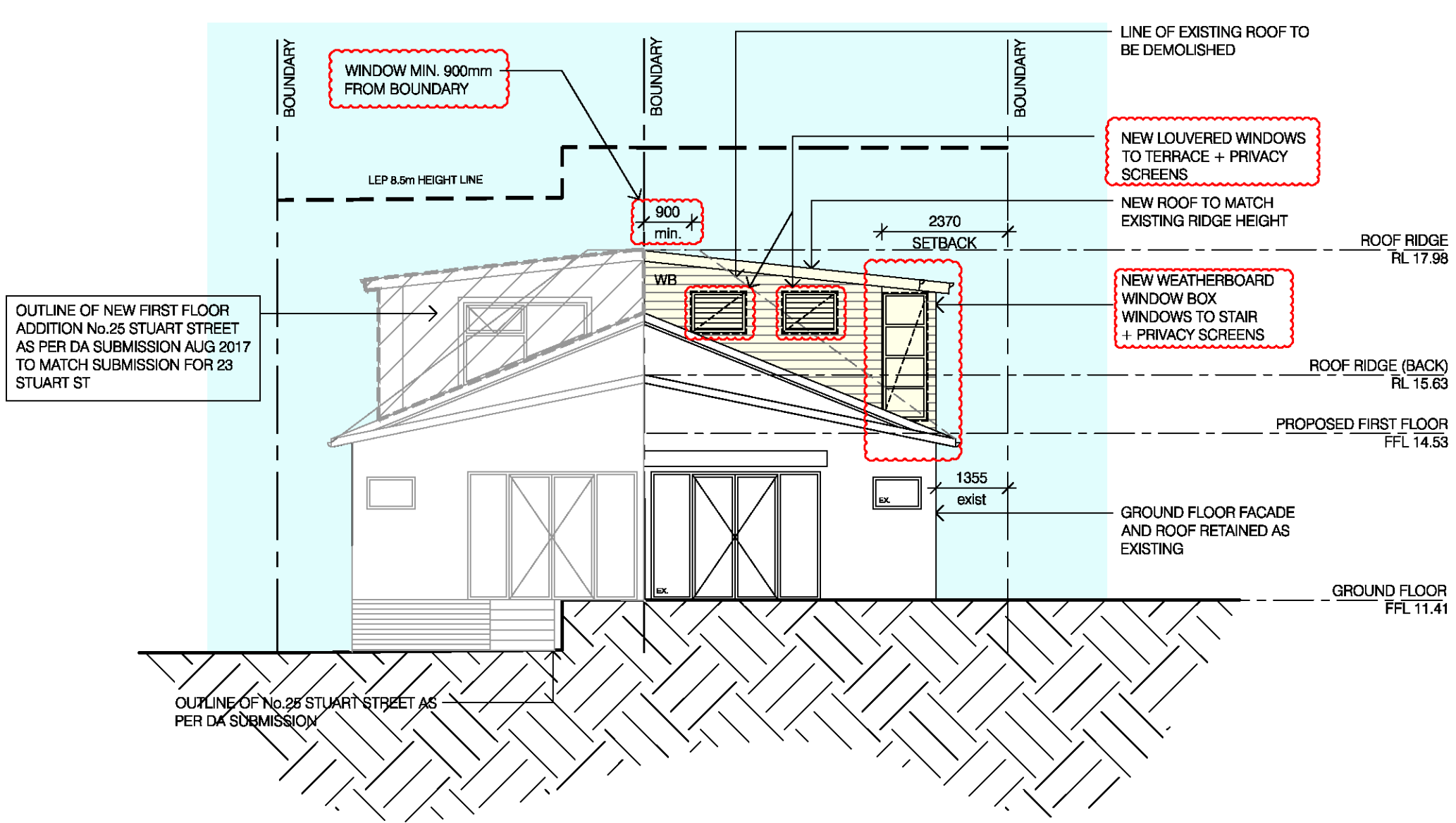
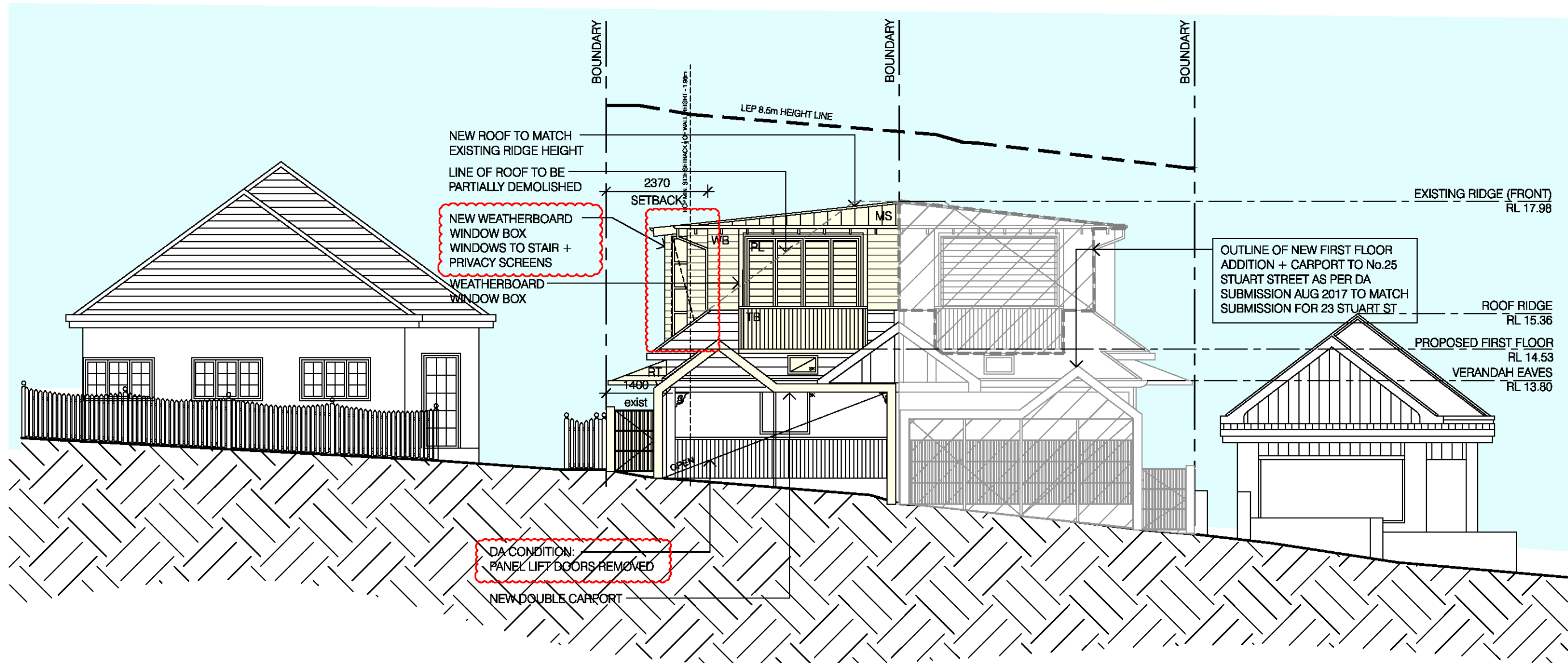
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LEGEND:

	EXISTING WALLS
	NEW WALLS
	TO BE DEMOLISHED
	NEW WORKS COLOURED YELLOW

FINISHES:

WB	WEATHBOARD CLADDING
MS	METAL SHEET ROOFING
TB	TIMBER BALUSTRADE TO MATCH EXISTING VERANDAH
LW	GLASS LOUVRED HIGHLIGHT WINDOW
W1	WHITE ALUMINIUM FRAMED WINDOWS
PL	WHITE PLANTATION STYLE LOUVRES
TF	30% OPEN TIMBER PICKET STYLE FENCE
RT	ROOF TILES TO MATCH EXISTING



NO. 21 STUART ST

SUBJECT SITE
NO. 23 STUART ST

NO. 25 STUART ST

NO. 27 STUART ST

NORTHERN BEACHES
COUNCIL

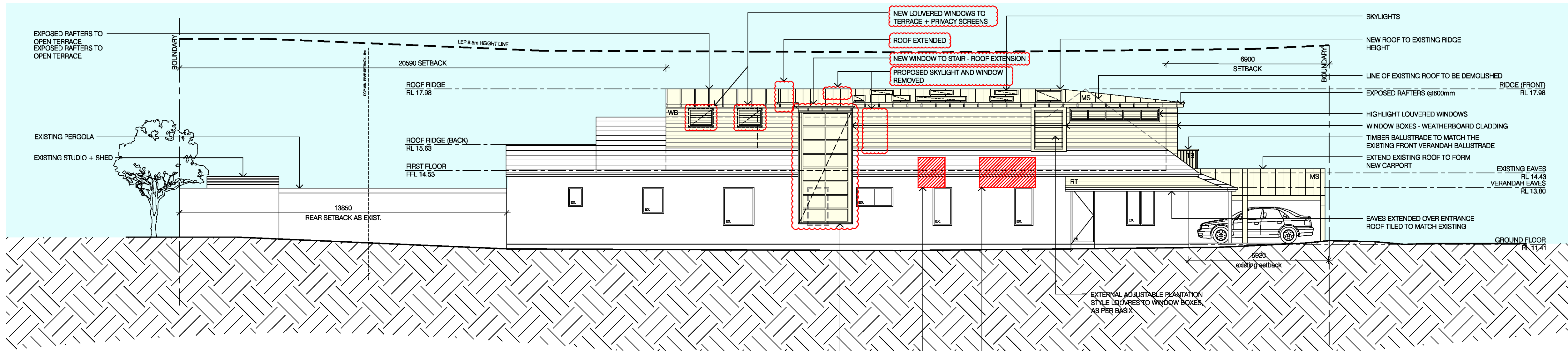
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STREET ELEVATION
1:100@A1

REAR ELEVATION
1:100@A1

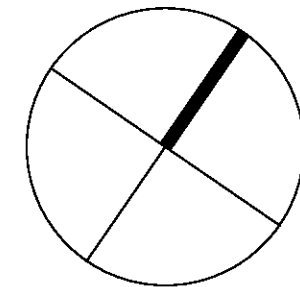


NORTH ELEVATION
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STUART STREET

EXISTING NEIGHBOURS WINDOWS SHOWN AS PER
SURVEY

REPLACE EXISTING WINDOW WITH FULL HEIGHT
WINDOW TO STAIR WIDTH



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TO EXISTING DWELLING

address
23 STUART STREET
MANLY, NSW

drawing
ELEVATIONS

SCALE: 1:100 @ A1

ISSUE: S96 DATE: DEC 2017

DWG No.: 2016-041-A02