

ALTERATIONS & ADDITIONS AT

23 NIMBEY AVENUE, NARRAWEENA NSW 2099

Notes:

1. Do not scale off drawings. *(If in doubt- ask.)*
2. All measurements to be checked on site prior to commencement of construction.
3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected smoke alarm system to comply with AS3786.
5. All storm water to be connected to street gutters as per council requirements
6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
7. Setting out dimensions shown on the drawings shall be verified by the builder
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install lift off hinges to all wet area doors.

Areas Calculations:

F.S.R CALCULATIONS

EXISTING AREAS:

EX. GROUND FLOOR	-	138.65m2
EX. COVERED DECK	-	47.00m2
EX. GARAGE	-	22.30m2
EX. CARPORT	-	20.05m2

NEW AREAS:

GROUND FLOOR	-	157.70m2
EX. COVERED DECK	-	47.00m2
EX. GARAGE	-	22.30m2
EX. CARPORT	-	20.05m2

LANDSCAPE AREA (36.11%)	-	228.35m2
TOTAL SITE AREA	-	632.30m2

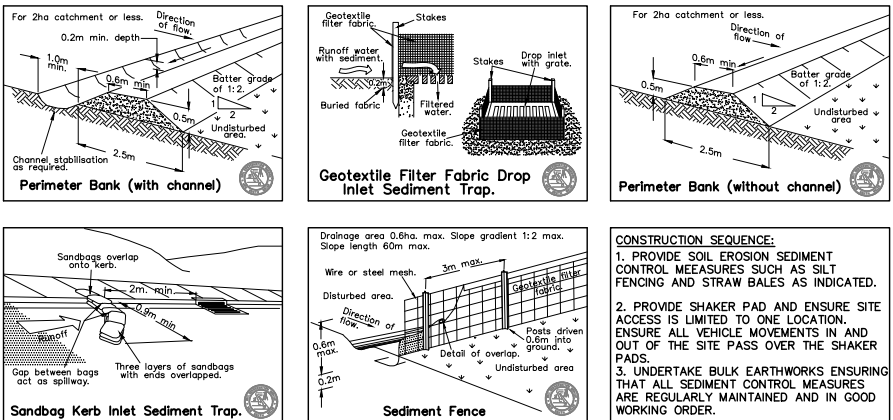
Drawing List:

Dwg No:	Title:	Scale:
DA00 -	Title Page & Notes	N/A
DA01 -	Site Analysis Plan	1:150
DA02 -	Ground Floor Plan	1:100
DA03 -	Roof Plan	1:100
DA04 -	Landscape Areas Calculations Plan	1:125
DA05 -	North & South Elevation	1:100
DA06 -	East & West Elevation	1:100
DA07 -	Section A-A	1:100

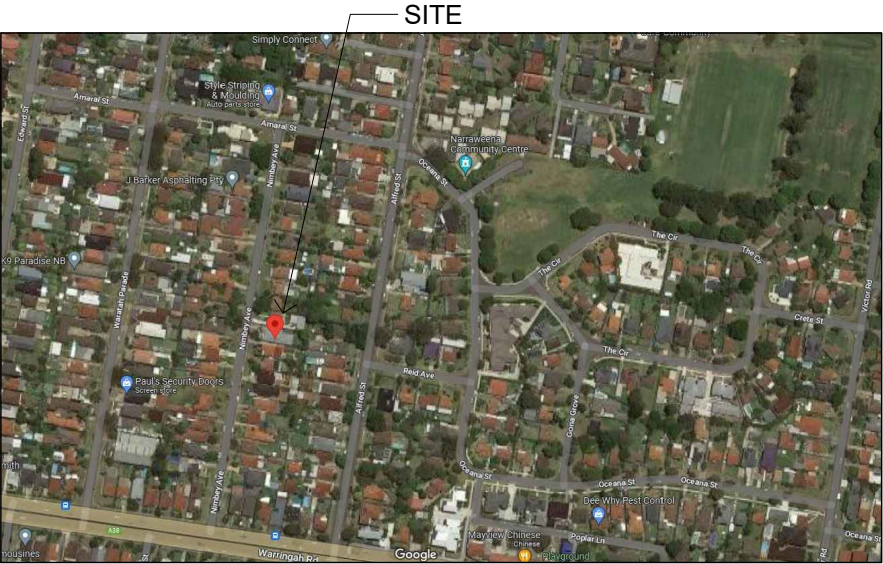
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazed roofs glazing requirements			
Glazed roof number	Area of glazing (m2)	Shading device	Glass type
G1	0.36	no shading	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
G2	0.36	no shading	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
G3	0.36	no shading	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
G4	0.36	no shading	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	N	0.5	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	2.42	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	S	0.5	1.34	1.93	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	N	0.5	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	W	3.21	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	S	0.56	1.46	4.43	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	S	0.63	0.9	4.17	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	S	2.52	1.4	4.17	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	S	2.52	1.4	1.52	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	E	2.5	1.83	10.13	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)



Soil Erosion and Sediment Control Details:



Location Plan:

BASIX Notes:

Notes:
Builder/Contractor shall verify job dimensions before job commences. Figured dimensions take precedence over drawings and job dimensions. All wall set-out dimensions are dimensioned to the external faces of the studs.

A	10.03.2023	Development Application Issue
Revision:	Date:	Amentment:



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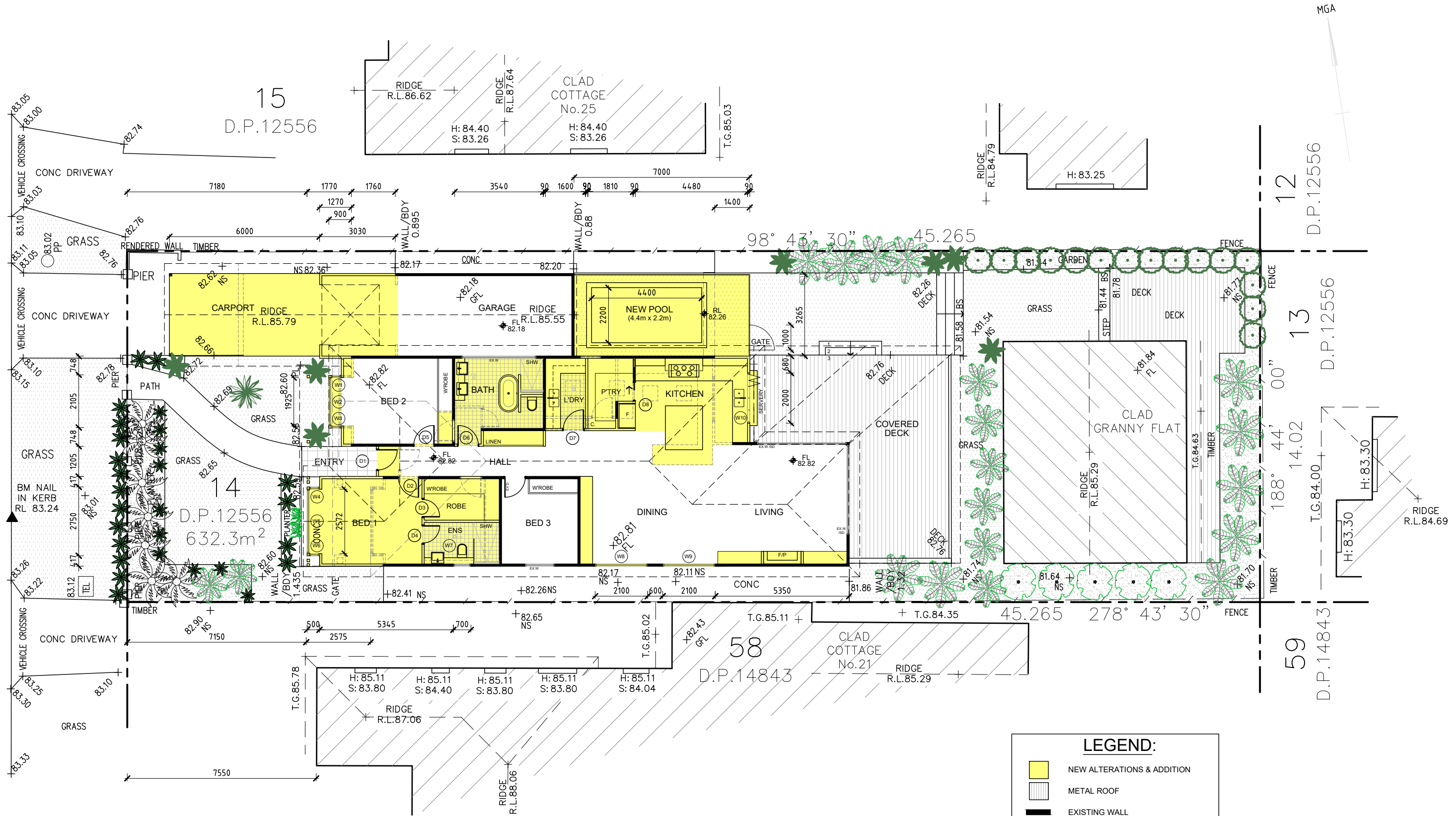
Project. Proposed Alterations & Additions
Address. 23 Nimbey Avenue
Narrabeena NSW 2099
LOT 14 DP12556
Client. Norm & Mary Amato

Title. **TITLE PAGE**
Issue. DELOPMENT APPLICATION

Job No. 2112
Date. Mar 2023
Drawn. DW
Checked. PZ
Scale. N.T.S @A3

Drawing No.
DA00
Revision.
A

NIMBEY AVENUE



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A	10.03.2023	Development Application Issue
Revision:	Date:	Amendment:



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Title. **SITE ANALYSIS PLAN**
Issue. DELOPMENT APPLICATION

Job No. 2112
Date. Mar 2023
Drawn. DW
Checked. PZ
Scale. 1:150 @A3

Drawing No.
DA01
Revision.

A

NIMBEY AVENUE

15
D.P.12556

CLAD
COTTAGE
No.25

LEGEND:

- NEW ALTERATIONS & ADDITION
- METAL ROOF
- EXISTING WALL
- NEW TIMBER STUD WALL

NIMBEY AVENUE

15
D.P.12556

CLAD
COTTAGE
No.25

LEGEND:

- NEW ALTERATIONS & ADDITION
- METAL ROOF
- EXISTING WALL
- NEW TIMBER STUD WALL

Notes:
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Address. 23 Nimbey Avenue
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Title. GROUND FLOOR PLAN
Issue. DELOPMENT APPLICATION

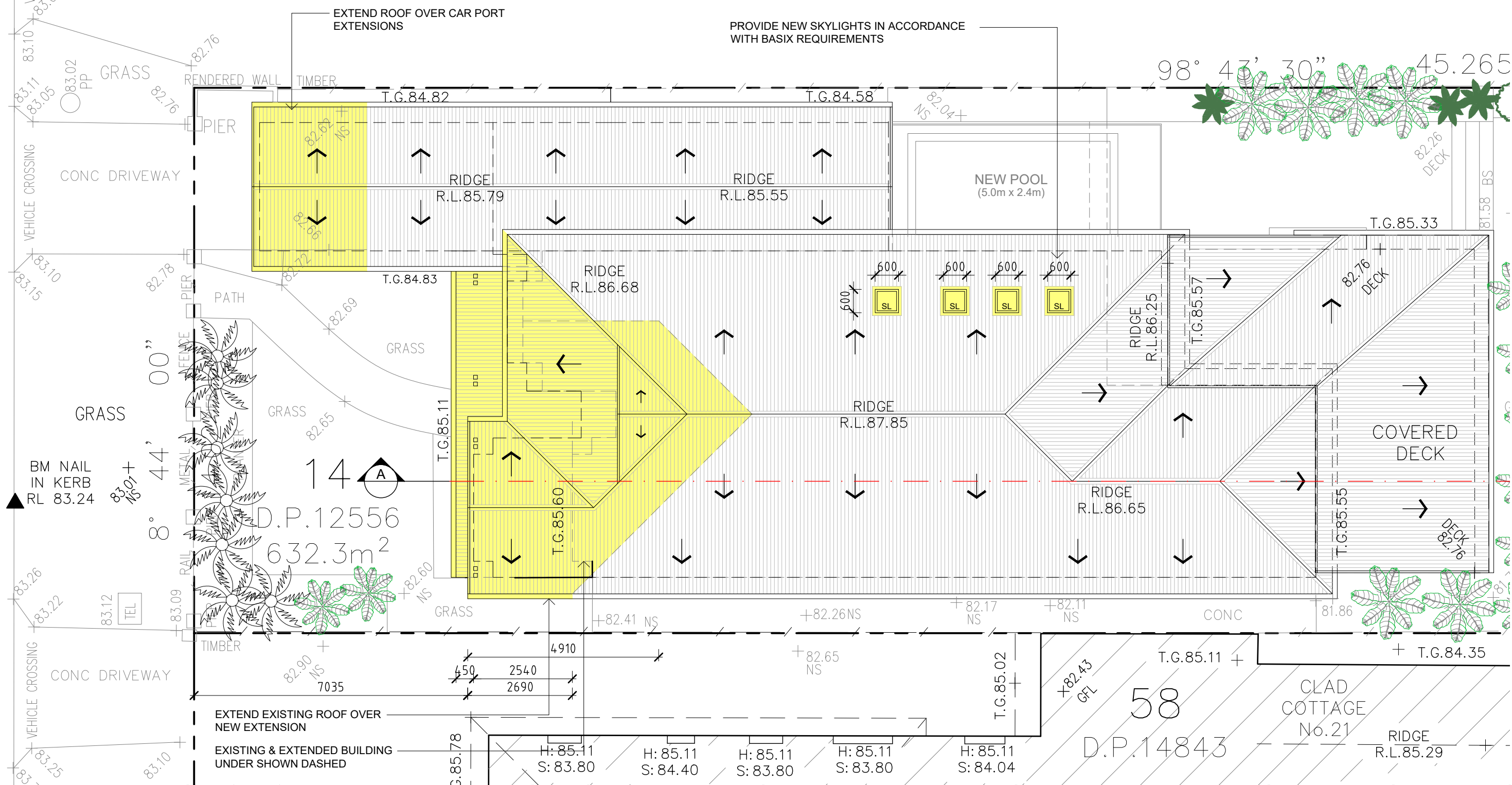
Job No. 2112
Date. Mar 2023
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Scale. 1:100 @A3

Drawing No.
DA02
Revision.

A

The diagram shows a cross-section of a roof structure. On the left, a vertical line represents the wall. A horizontal line indicates the 'RIDGE' with a level of 'R.L. 86.62'. Below this, the height 'H: 84.40' and slope 'S: 83.26' are noted. To the right, the 'CLAD COTTAGE No. 25' is shown. The roof slope is indicated by diagonal lines. The height 'H: 84.40' and slope 'S: 83.26' are repeated for this section. On the far right, a vertical line represents the ground level, labeled 'T.G. 85.03'. A horizontal line indicates the 'RIDGE' with a level of 'R.L. 87.64'.

 NEW ALTERATIONS & ADDITION
 METAL ROOF
 EXISTING WALL
 NEW TIMBER STUD WALL



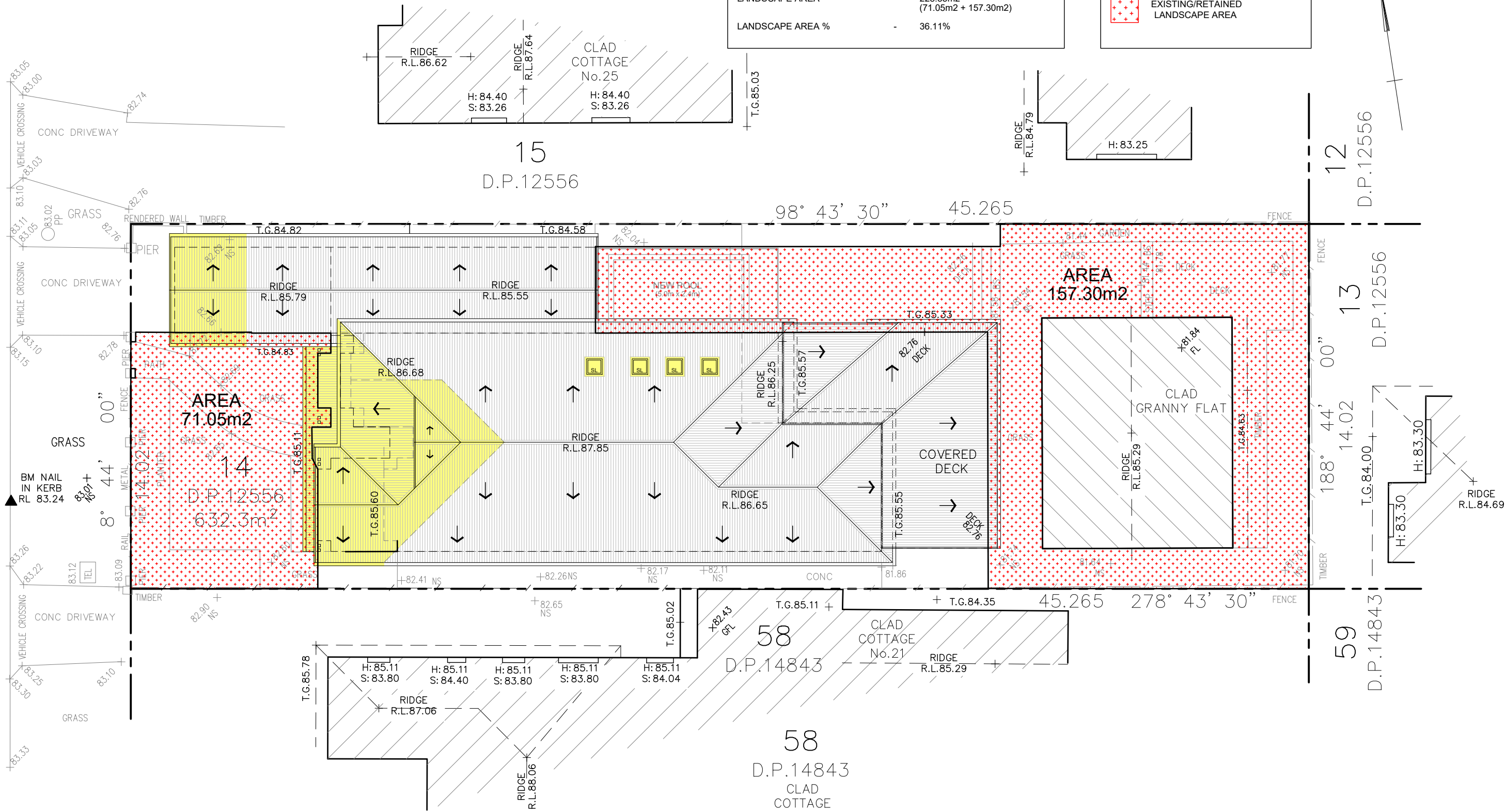
A	10.03.2023	Development Application Issue
Revision:	Date:	Amentment:

Title. **ROOF PLAN**

Issue. **DELOPMENT APPLICATION**

Drawing No. **DA03**
Revision. **A**

NIMBEY AVENUE



LANDSCAPE AREA CALCULATIONS:

TOTAL SITE AREA	-	632.30m ²
LANDSCAPE AREA	-	228.35m ² (71.05m ² + 157.30m ²)
LANDSCAPE AREA %	-	36.11%

LEGEND:



Notes:
Builder/Contractor shall verify job dimensions before job commences. Figured dimensions take precedence over drawings and job dimensions. All wall set-out dimensions are dimensioned to the external faces of the studs.

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Title. **LANDSCAPE AREAS
CALCULATIONS PLAN**
Issue. DELOPMENT APPLICATION

Job No. 2112
Date. Mar 2023
Drawn. DW
Checked. PZ
Scale. 1:100 @A3

Drawing No.
DA04
Revision.
A

LEGEND:



NEW ALTERATIONS & ADDITION

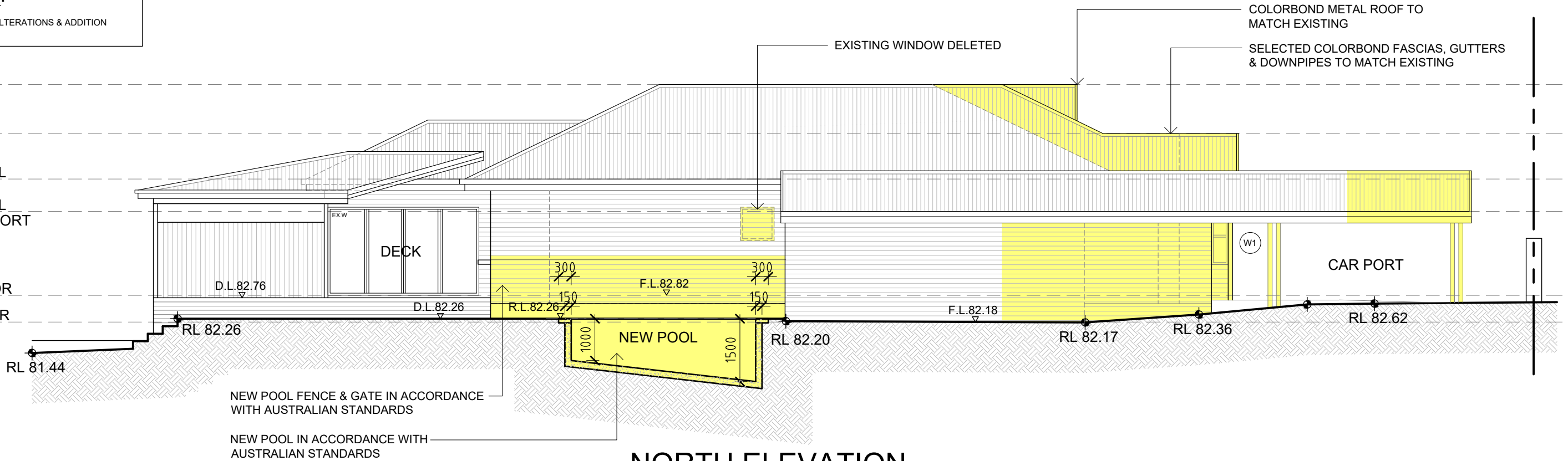
RIDGE LEVEL
FL87.85

RIDGE LEVEL
FL86.68

GUTTER LEVEL
FL85.60

GUTTER LEVEL
GARAGE/CARPORT
FL82.82

GROUND FLOOR
LEVEL FL82.82
GARAGE FLOOR
LEVEL FL82.18



NORTH ELEVATION

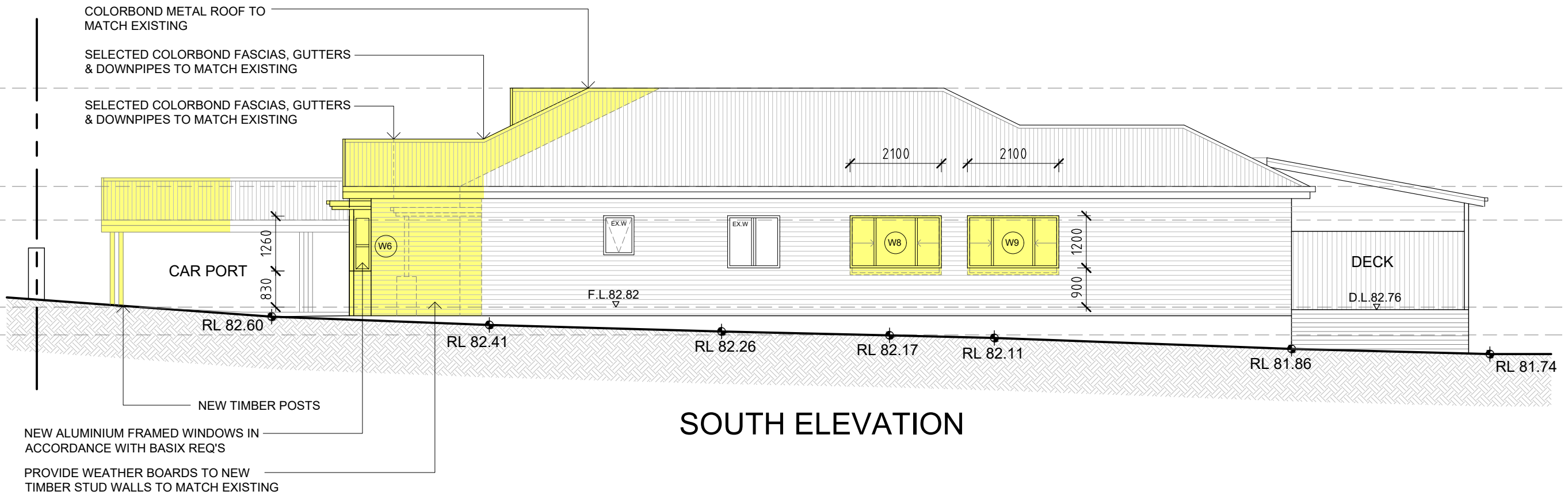
RIDGE LEVEL
FL87.85

RIDGE LEVEL
FL86.68

GUTTER LEVEL
FL85.60

GUTTER LEVEL
GARAGE/CARPORT
FL82.82

GROUND FLOOR
LEVEL FL82.82
GARAGE FLOOR
LEVEL FL82.18



SOUTH ELEVATION

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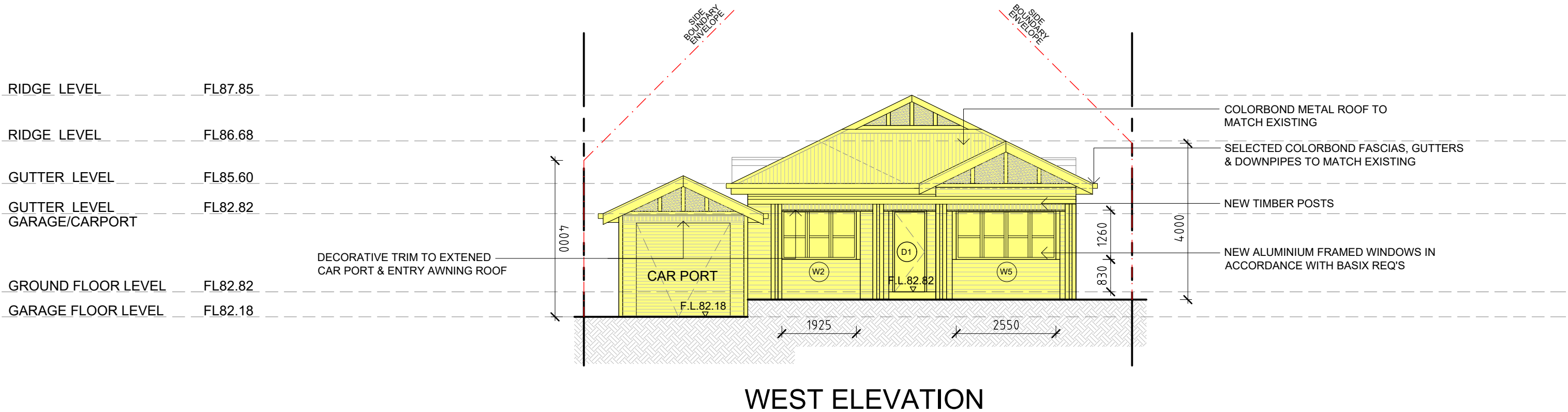
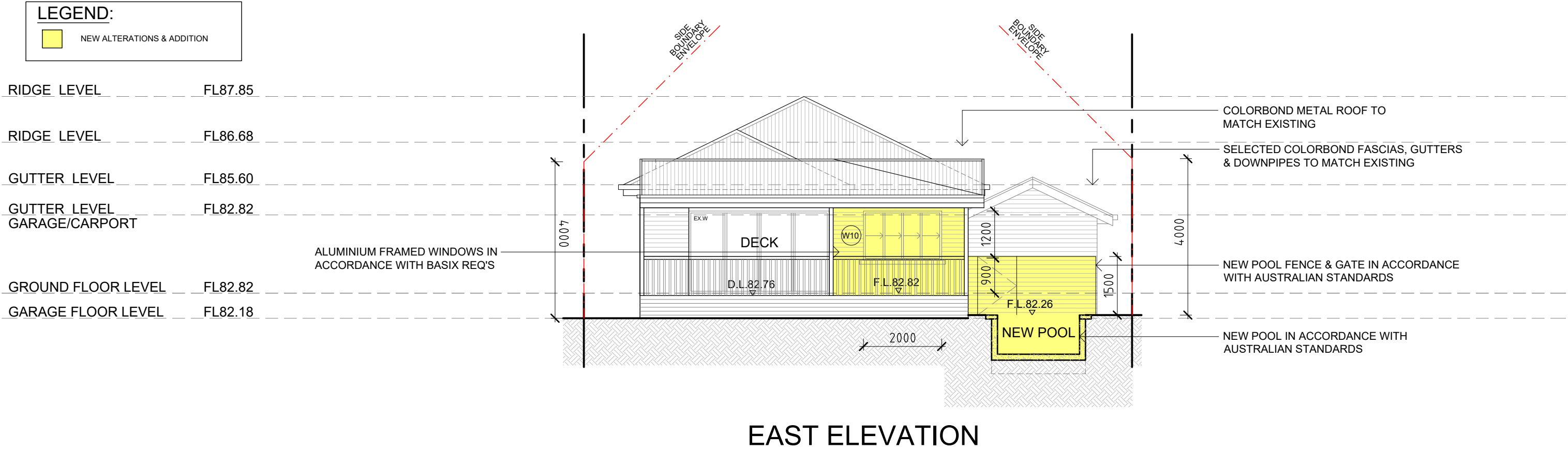
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Project. Proposed Alterations & Additions
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Title. **NORTH & SOUTH ELEVATION**
Issue. DELOPMENT APPLICATION

Job No. 2112
Date. Mar 2023
Drawn. DW
Checked. PZ
Scale. 1:100 @A3

Drawing No. **DA05**
Revision. **A**



Notes:
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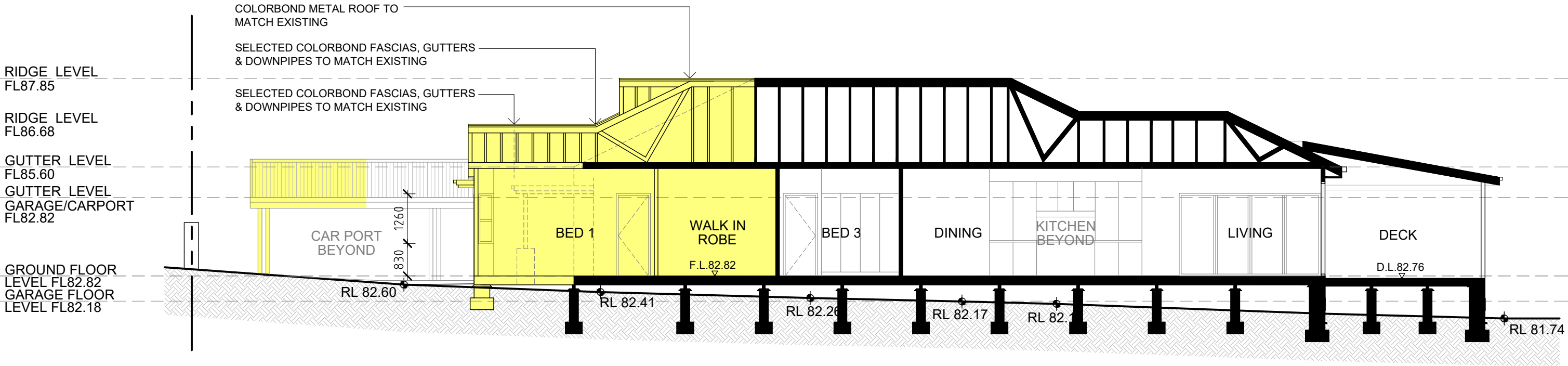
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Title. **EAST & WEST ELEVATION**
Issue. DELOPMENT APPLICATION

Job No. 2112
Date. Mar 2023
Drawn. DW
Checked. PZ
Scale. 1:100 @A3

Drawing No. **DA06**
Revision. **A**



SECTION A-A

Notes:
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Title. **SECTION A-A**
Issue. DELOPMENT APPLICATION

Job No. 2112
Date. Mar 2023
Drawn. DW
Checked. PZ
Scale. 1:100 @A3

Drawing No. **DA07**
Revision. **A**