

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 15 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.
Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



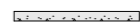


 **northern
beaches
council**


**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/0398


 Denotes New Works


Wall Legend

-  Denotes New Timber Framed Wall
-  Denotes New Concrete Block Wall
-  Denotes New Concrete
-  Denotes Existing Wall
-  Denotes Demolished Item


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Building Design and Architectural Drafting
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.

9 Hyde Avenue, Killarney Heights is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Framed Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A483346, 02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m ²)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO.: RP1022MAC
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

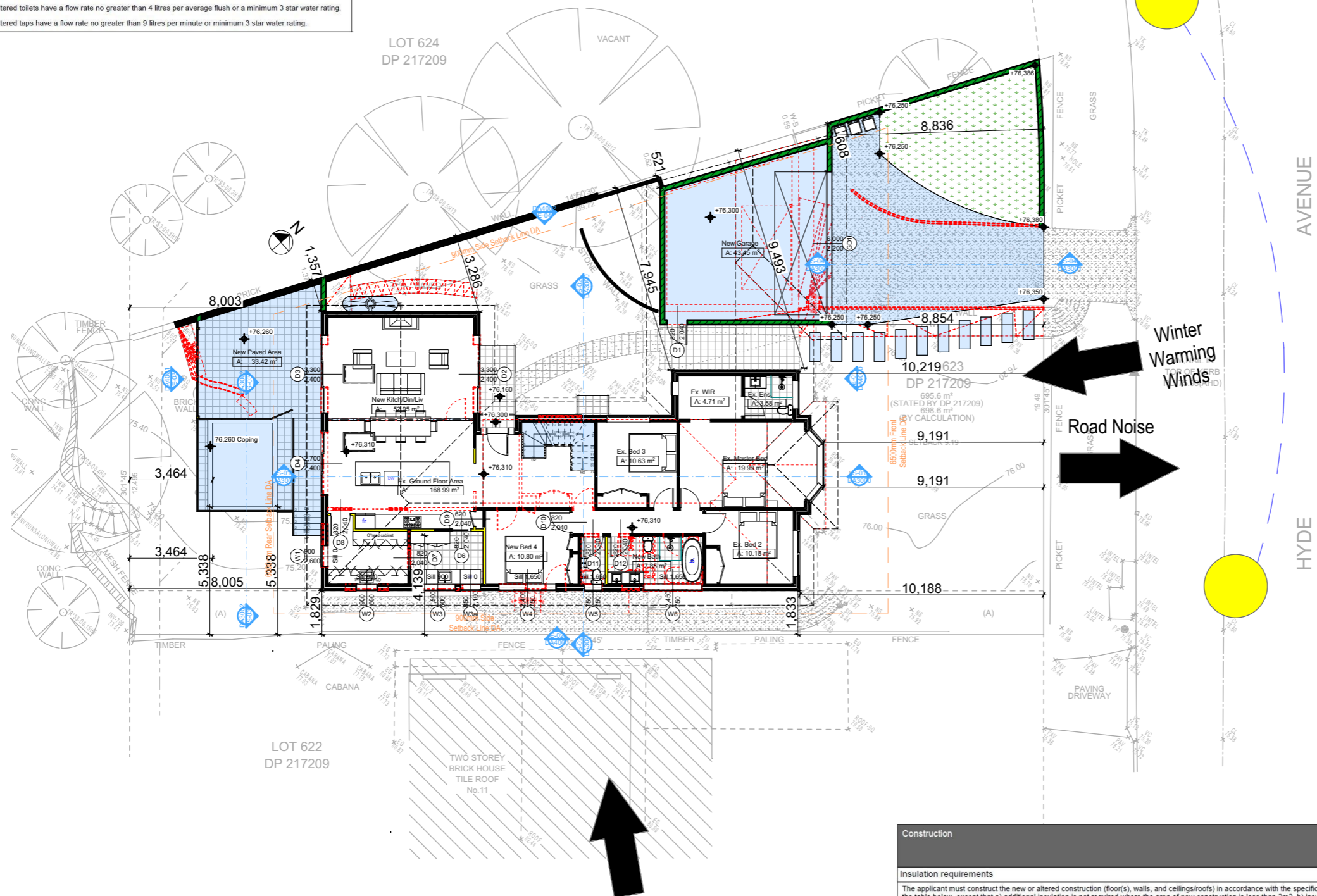
DRAWING TITLE:
SITE PLAN

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 9/12/22

DRAWING NO.
DA1003

Plot Date: 17/05/2023
Sheet Size: A3

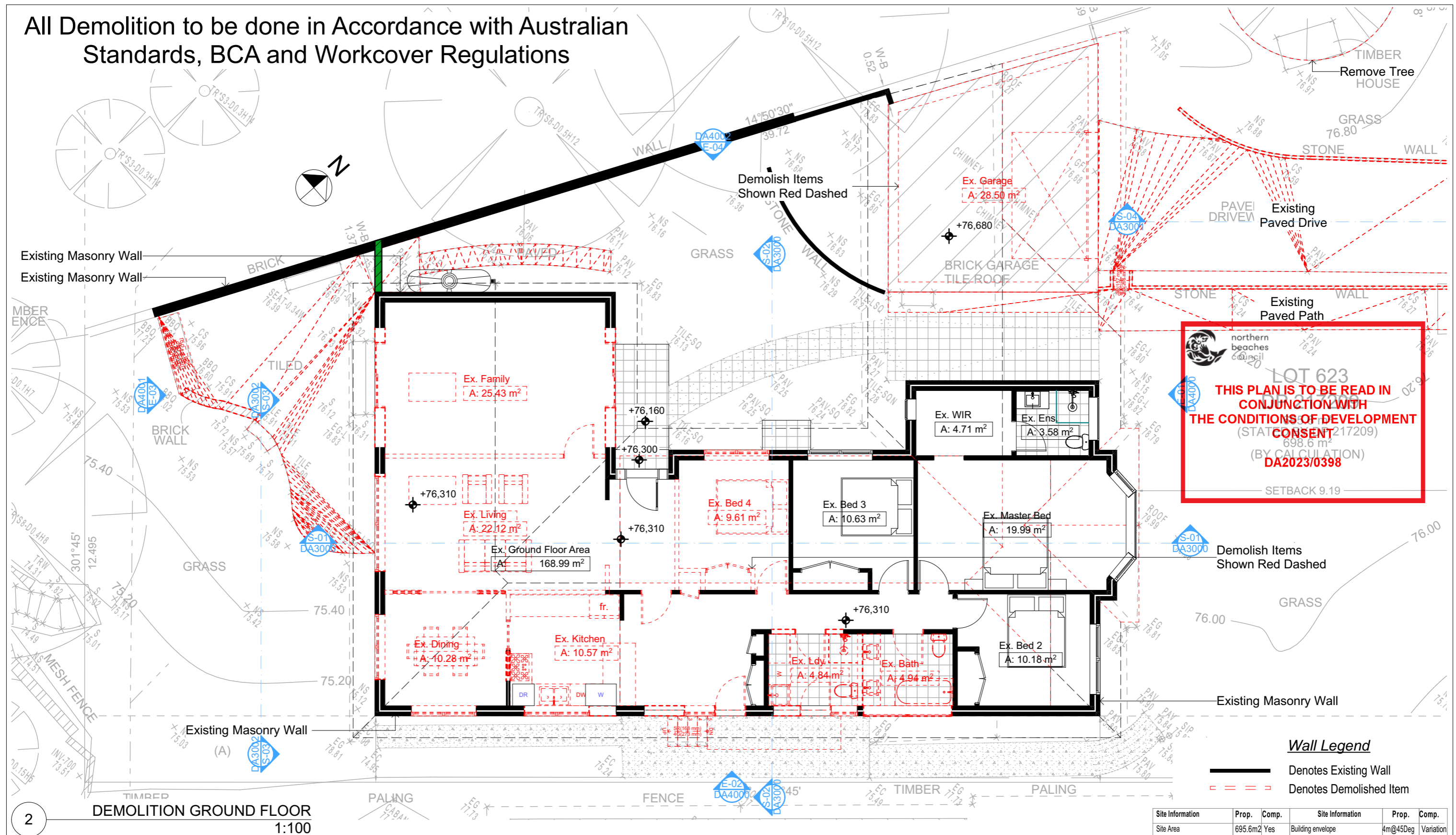


Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



LOT 623
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
(STAT 217209)
698.6 m²
(BY CALCULATION)
DA2023/0398
SETBACK 9.19

Wall Legend
— Denotes Existing Wall
- - - - Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	43%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	57%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Hyde Avenue, Killarney Heights is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A483346_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Rapid Plans 2022



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Matt MacLennan
9 Hyde Avenue, Killarney Heights
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
9/12/22
DRAWING NO.
DA1006

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0398

Wall Legend

Denotes Existing Wall

Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Glazing to BCA and AS1029.2017.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 80% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix

Basix Certificate Number A483346_02

All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specifications are not required for parts of altered construction where insulation already exists.

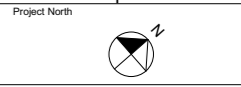
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m ²)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO.: RP1022MAC
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

DRAWING TITLE:

SITE AND LOCATION

Demolition Roof Plan

PROJECT NAME:

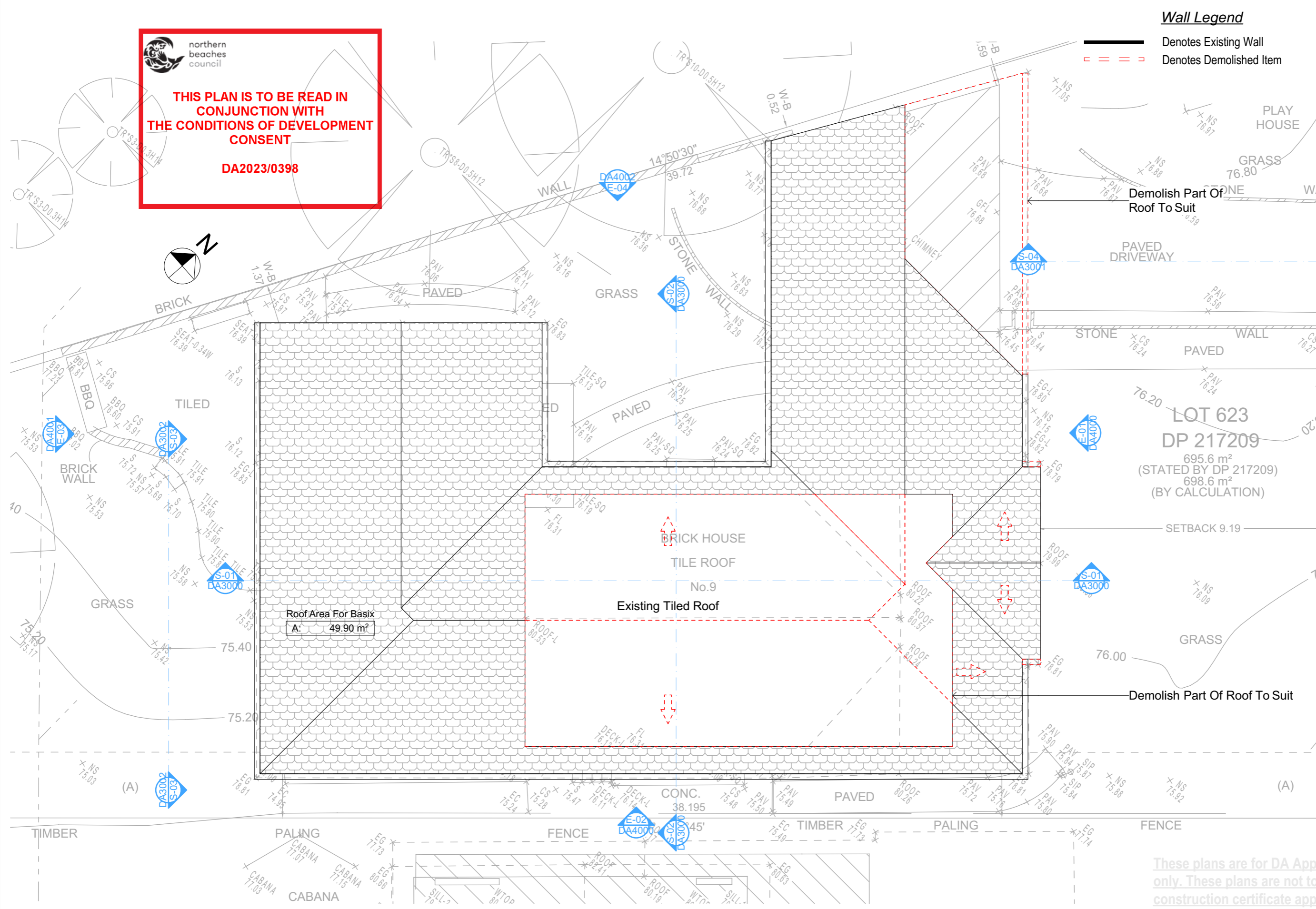
Alterations & Additions

REVISION NO. DATE

1 9/12/22

DRAWING NO. DA1007

Plot Date: 17/05/2023
Sheet Size: A3



DEMOLITION ROOF

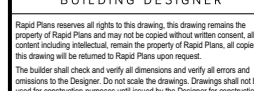
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans



Certifying
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by the contractor. The contractor must obtain a separate Construction Certificate by applying to authorised Construction Certificate drawings by Rapiid Plans.

Basic
Basic Certificate Number A483342 02
DA Plans to be recorded in conjunction with Basic Certificate
The applicant must construct the new or altered construction (i) (s), walls, and ceiling/s) in accordance with the specifications of the relevant Australian Standard of Rigid or Semi-rigid material required where the area of new construction is less than 12m² and is not required for the purpose of the party for the purpose of the unit where insulation already exists.
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications of the relevant Australian Standard.
Relevant overshadowing specifications must be satisfied for each new window and glazed door.
The applicant must construct in millimetres, the leading edge of each verandah, pergola, verandah, balcony or awning must be no more than 2400mm above the ground level and the height of the verandah, pergola, verandah or balcony or glazed door must be no more than 2400mm above the wall.
Overshadowing buildings or vegetation must be of the height and width of the building or vegetation.

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**

Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO. RP1022MAC
Project Status DA Rev1

Education purposes


PROJECT NAME : **Alterations & Additions**

Plot Date: 17/05/2023
 Chest Size: A2



<p><u>DA APPLICATION</u></p> <p><u>ONLY</u></p> <p>NOT FOR CONSTRUCTION</p>	<p>Additions</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">REVISION NO.</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">9/12/22</td> </tr> <tr> <td colspan="2">DRAWING NO.</td> </tr> <tr> <td colspan="2" style="text-align: center;">DA1008</td> </tr> </table>	REVISION NO.	DATE	1	9/12/22	DRAWING NO.		DA1008	
REVISION NO.	DATE								
1	9/12/22								
DRAWING NO.									
DA1008									

Pool and Spa	Construction												
Rainwater tank The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.												
Outdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 15 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.	<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>floor above existing dwelling or building.</td><td>nil</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>flat ceiling, pitched roof</td><td>ceiling: R0.95 (up), roof: foil backed blanket (75 mm)</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>	Construction	Additional insulation required (R-value)	Other specifications	floor above existing dwelling or building.	nil		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
Construction	Additional insulation required (R-value)	Other specifications											
floor above existing dwelling or building.	nil												
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)												
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)											
Fixtures and systems													
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.													
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.													



northern
beaches
council

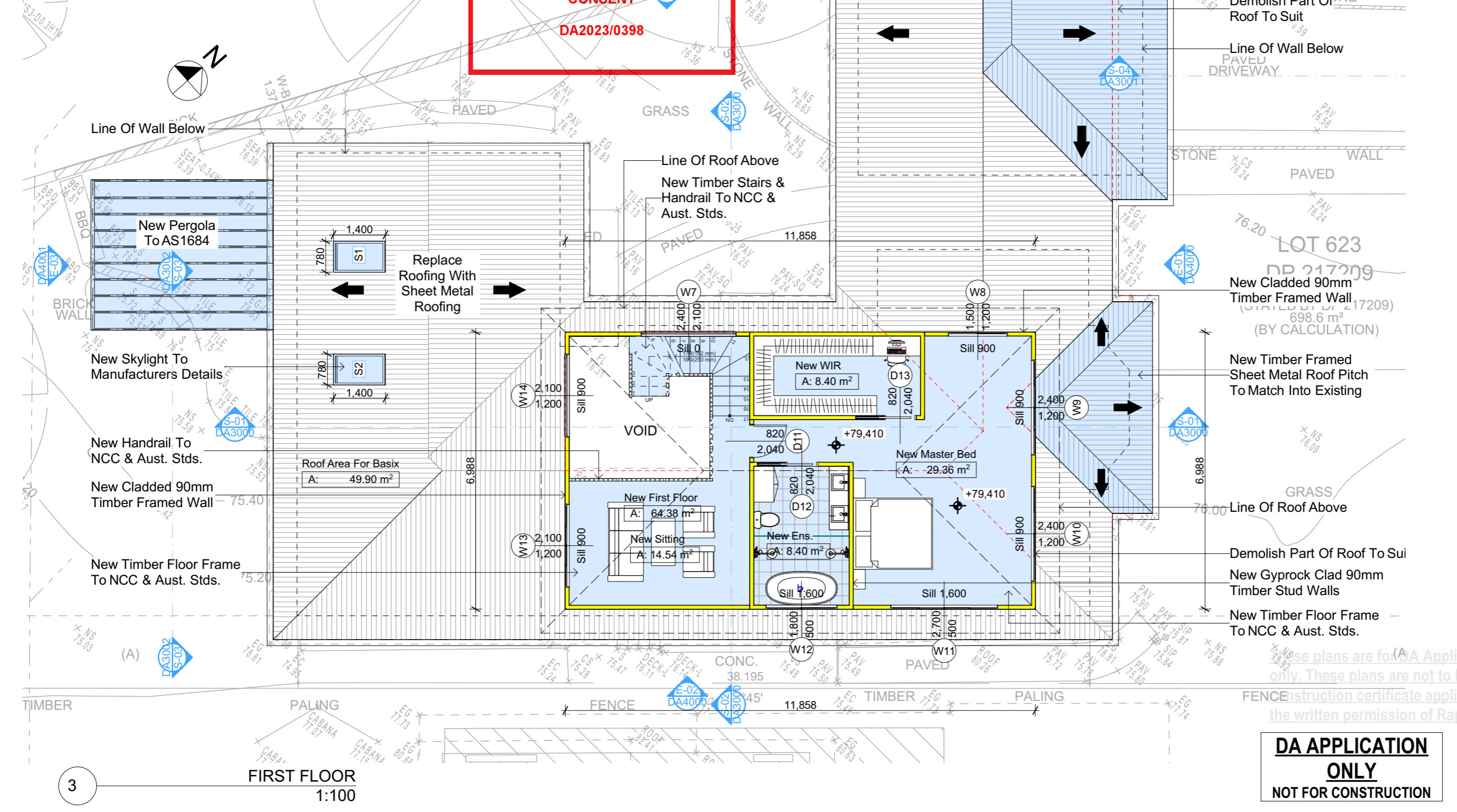
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

10-00-5412

14°50'30"

19°12'

TRANS-00-0



Denotes New Works

- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

Building Design and Architectural Drafting

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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killarney Heights is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed Timber Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A483346.02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m2)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO.: RP1022MAC
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DRAWING TITLE: PLANS FIRST FLOOR

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
1	9/12/22

DRAWING NO. **DA2002**

Plot Date: 17/05/2023
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

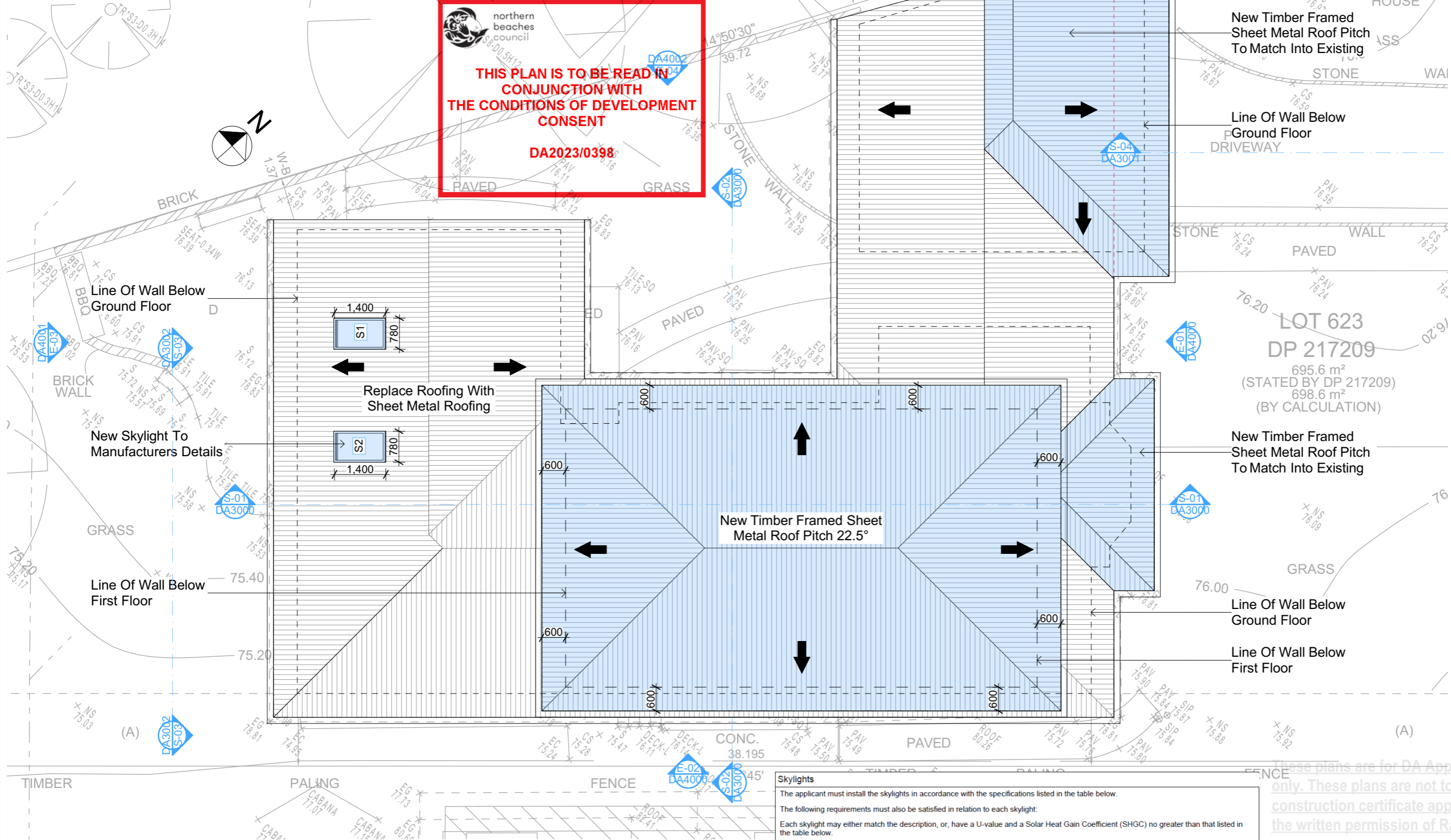
The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0398



Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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NOTES

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.

9 Hyde Avenue, Killarney Heights is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Framed, Framed Walls

Roof Framed to have R0.95 insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1742

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 4000K compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A483346_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m ²)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO.: RP1022MAC
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: PLANS ROOF

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
1	9/12/22

DRAWING NO. **DA2003**

Plot Date: 17/05/2023
Sheet Size: A3

+83,389
5 ROOF

Demolish Items
Shown Red Dashed

+81,810
4 FCL

New Cladded 90mm
Timber Framed Wall

Replace Roofing With
Sheet Metal Roofing

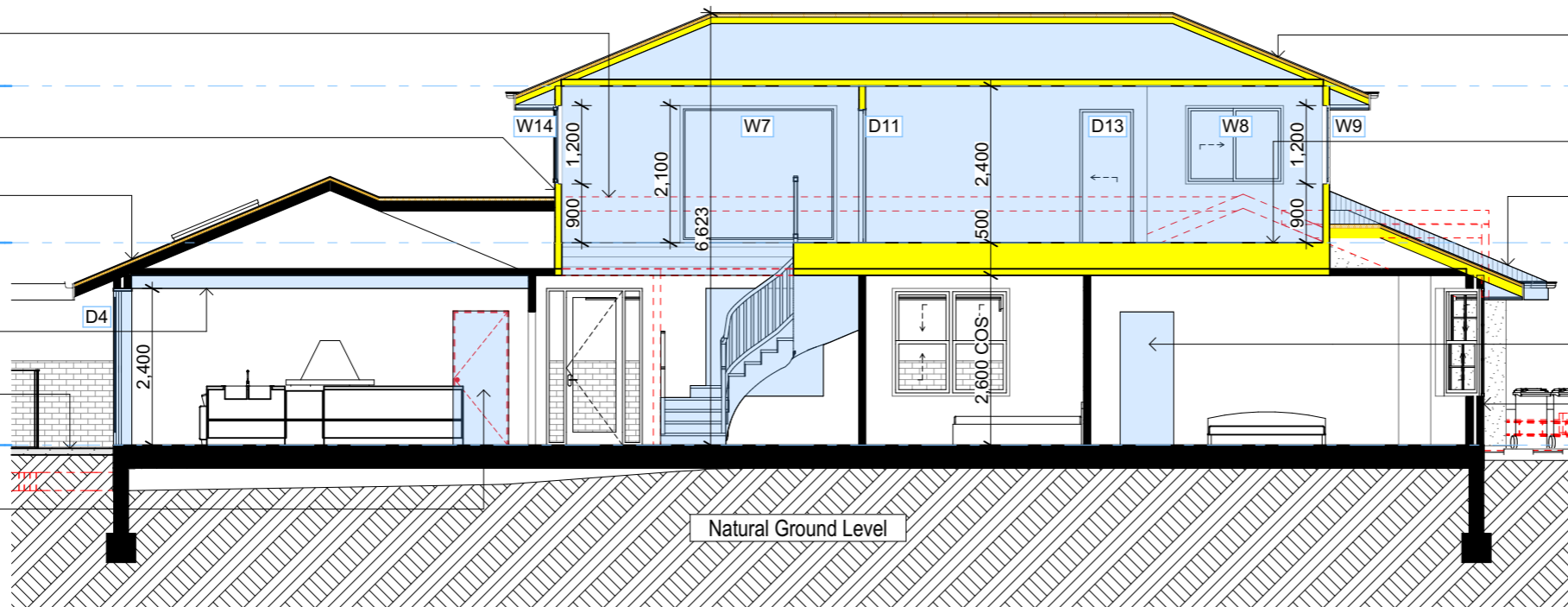
+79,410
3 FIRST FLOOR

Beam Over To
Engineering Details

New Paving

+76,310
2 GROUND FLOOR

Block In Door To
Match Existing



SECTION 1
1:100

S-01

+83,389
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 22.5°

+81,810
4 FCL

New Timber Floor Frame
To NCC & Aust. Stds.

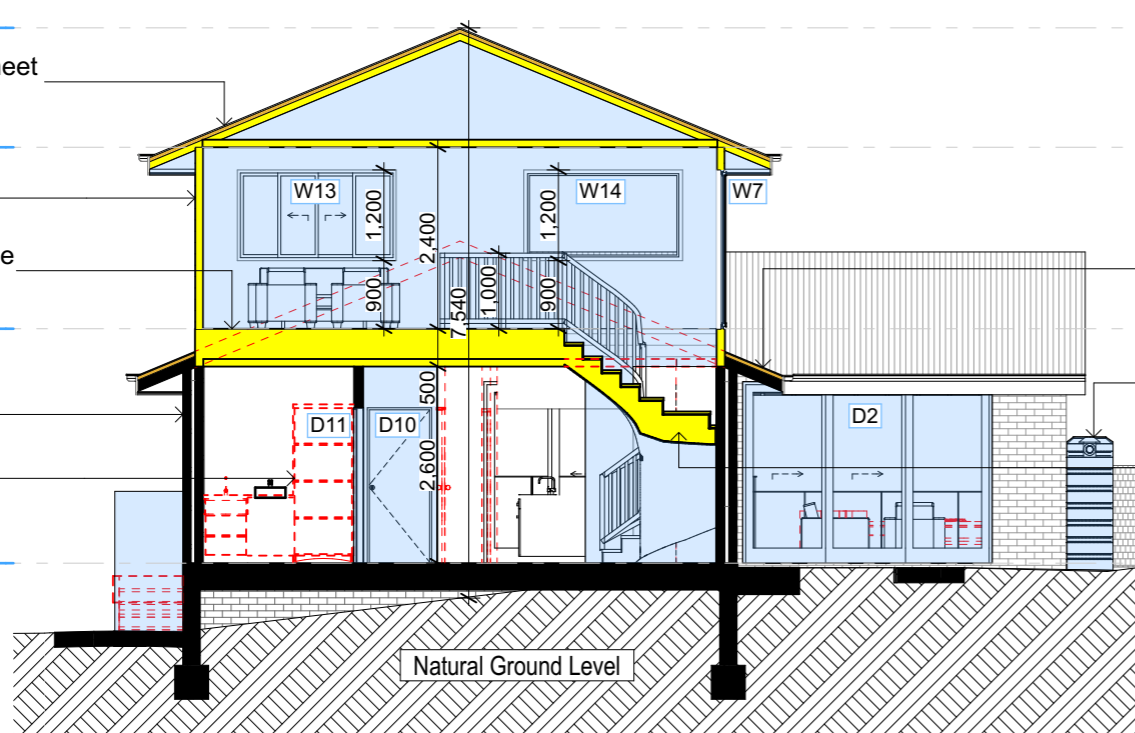
New Timber Framed Sheet Metal
Roof Pitch To Match Into Existing

+79,410
3 FIRST FLOOR

Block In Door To
Match Existing

Existing Masonry Wall

+76,310
2 GROUND FLOOR



SECTION 2
1:100

S-02

+83,389
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 22.5°

+81,810
4 FCL

New Cladded 90mm
Timber Framed Wall

New Timber Floor Frame
To NCC & Aust. Stds.

+79,410
3 FIRST FLOOR

Existing Masonry Wall

Demolish Items
Shown Red Dashed

+76,310
2 GROUND FLOOR

Replace Roofing With
Sheet Metal Roofing

+79,410
3 FIRST FLOOR

New Min. 781L Rain Tank
To Basix Requirements

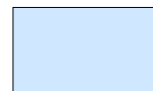
New Timber Stairs
& Handrail To
NCC & Aust. Stds.

+76,310
2 GROUND FLOOR

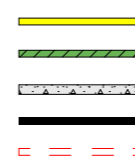


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/0398



Denotes New Works



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

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NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

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Tel: (02) 9395-8845, Mobile: 0414-946-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killarney Heights is not considered a heritage item.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.

Construction
Framed, Framed Walls
Roof Framed to have R0.95 insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10295-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number A483346_02
All Plans to be read in conjunction with Basix Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m ²)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO.: RP1022MAC
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

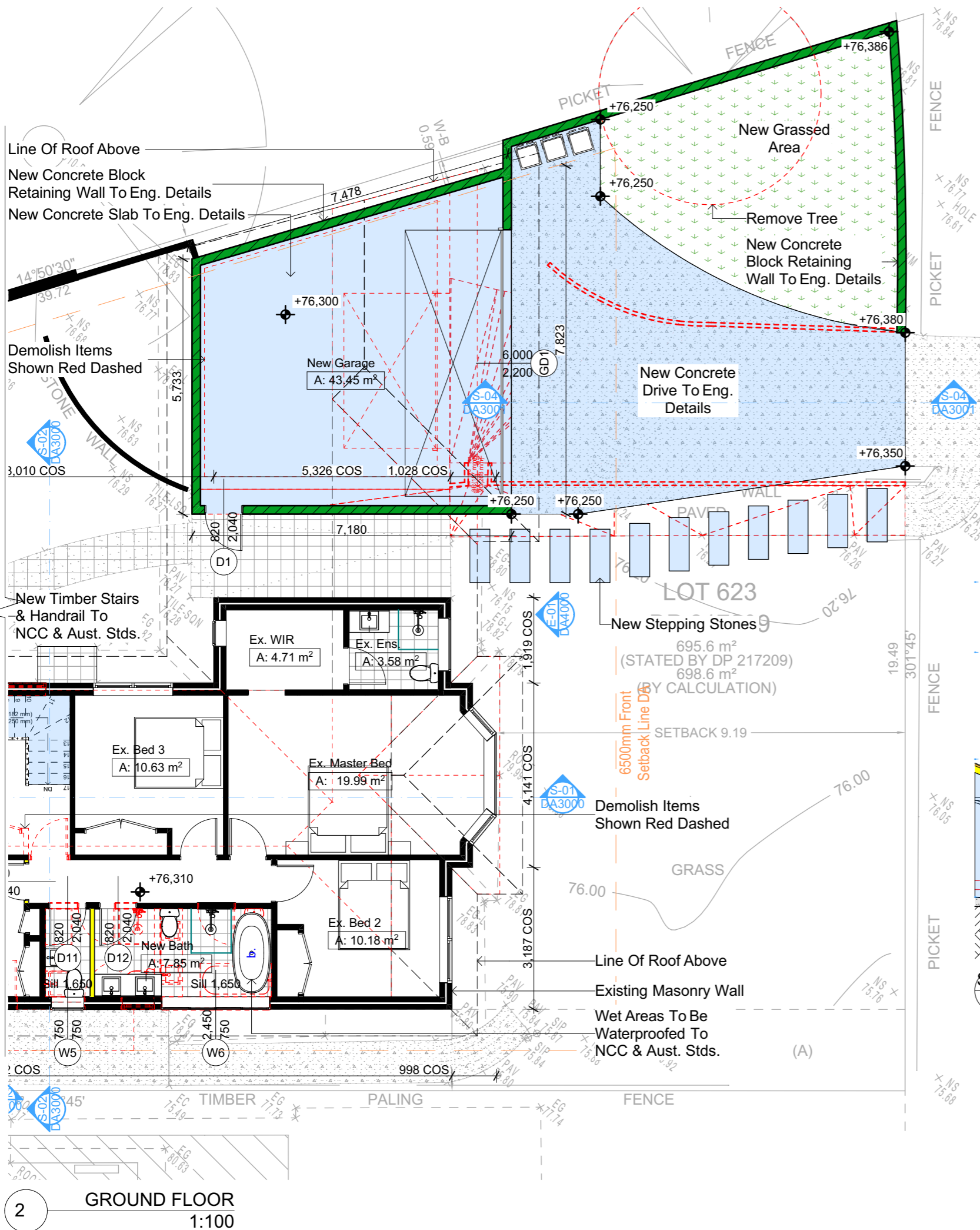
DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
1 **9/12/22**

DRAWING NO.: **DA3000**

Plot Date: 17/05/2023
Sheet Size: A3



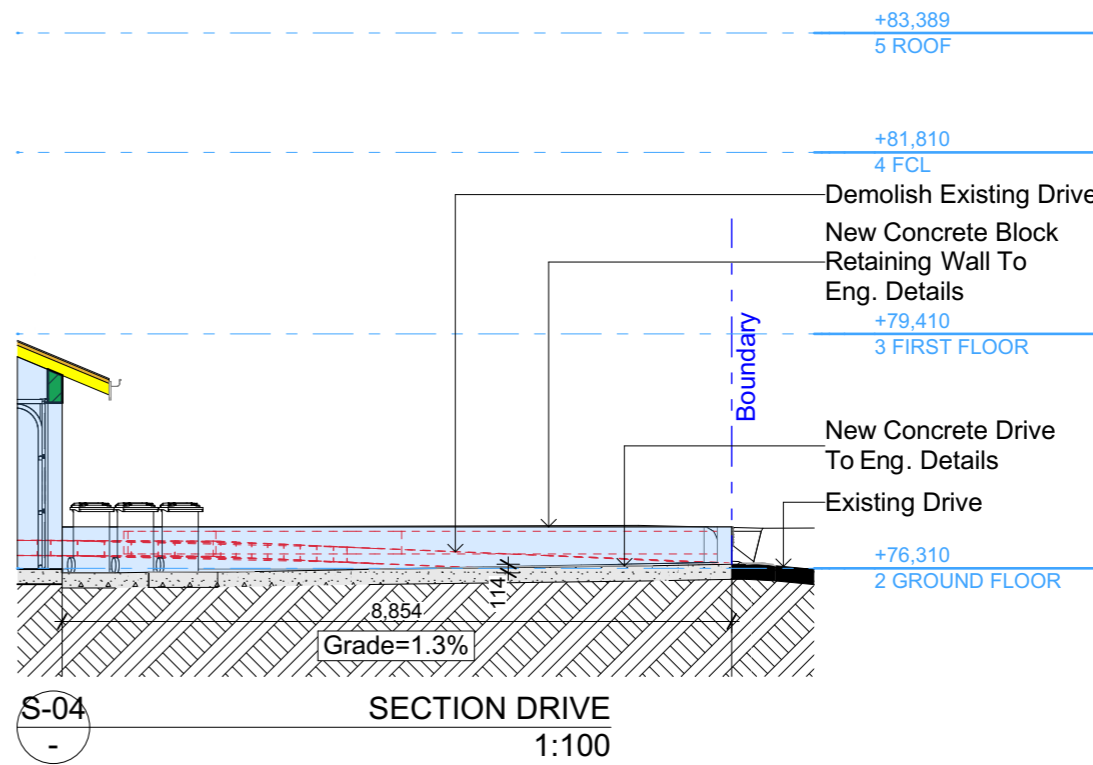
Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0398



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NOTES

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.

9 Hyde Avenue, Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1078-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

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Basic

Basic Certificate Number A483346_02

All Plans to be read in conjunction with Basic Certificate

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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m²)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO.: RP10224AC
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: **SECTIONS SECTION DRIVE**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

1 9/12/22

DRAWING NO. **DA3001**

Plot Date: 17/05/2023
Sheet Size: A3

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 15 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

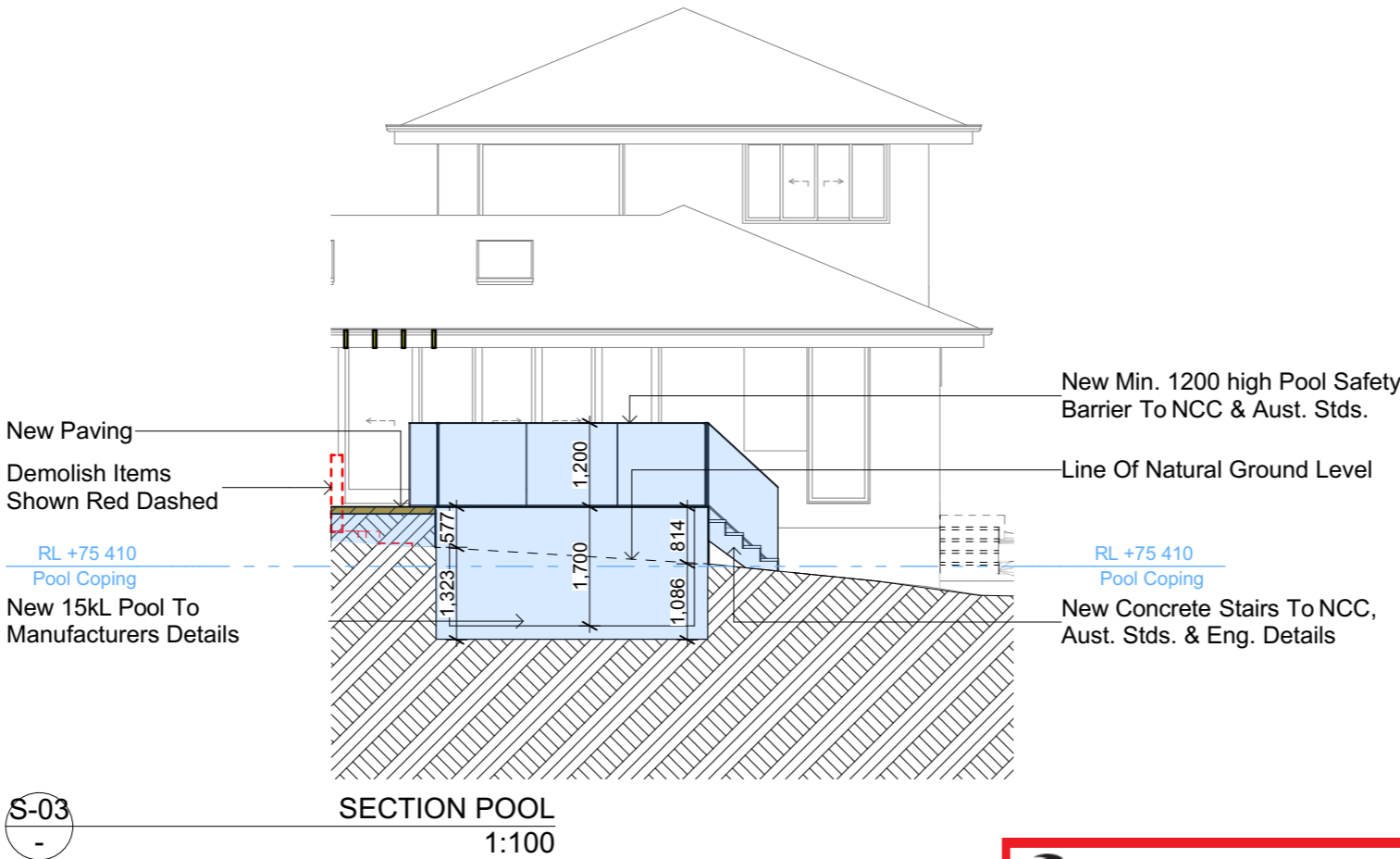
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Concrete Block Wall
Denotes New Concrete
Denotes Existing Wall
Denotes Demolished Item



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/0398

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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential
9 Hyde Avenue, Killarney Heights is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue
Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certifying
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Basic
Basic Certificate Number A483346_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m2)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 17/05/2023
Project NO.: RP1022MAC
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE : SECTIONS
SECTION POOL

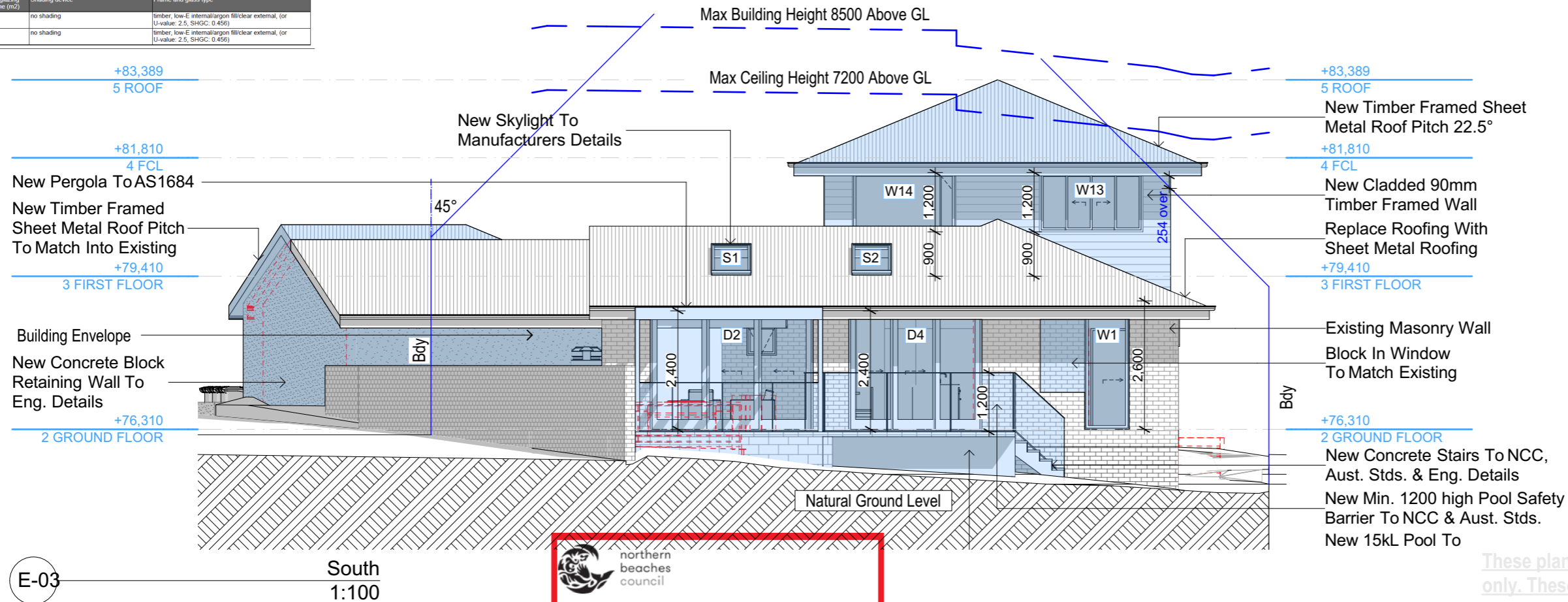
PROJECT NAME : Alterations & Additions

REVISION NO.	DATE
1	9/12/22

DRAWING NO. DA3002

Plot Date: 17/05/2023
Sheet Size: A3

Glazing requirements				
Windows and glazed doors				
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.				
The following requirements must also be satisfied in relation to each window and glazed door:				
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.				
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.				
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.				
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.				
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.				
Windows and glazed doors glazing requirements				
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m) Distance (m)	Shading device Frame and glass type
W1	SW	2.34	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SE	0.54	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	0.9	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	1.8	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	0.56	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SE	1.84	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	5.04	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.8	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	2.88	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	2.88	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	1.35	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.52	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.52	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	7.92	0 0	projection/height above sill ratio >=0.29 improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SW	7.92	0 0	eave/verandah/pergola/balcony >=800 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SW	6.48	0 0	projection/height above sill ratio >=0.29 improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3a	SE	1.8	0 0	eave/verandah/pergola/balcony >=750 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
Skylights				
The applicant must install the skylights in accordance with the specifications listed in the table below.				
The following requirements must also be satisfied in relation to each skylight:				
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.				
Skylights glazing requirements				
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type	
S1	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)	
S2	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)	



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0398

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Denotes New Works
Denotes New Timber Framed Wall
Denotes New Concrete Block Wall
Denotes New Concrete
Denotes Existing Wall
Denotes Demolished Item

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Building Design and Architectural Drafting

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bdca
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdca
ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.

9 Hyde Avenue, Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue.

Construction

Framed, Timber Walls

Roof Framed to have R0.95 insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber Framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10298-2017

Waterproofing to BCA and AS 3740

Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A483346 (02)

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m ²)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked: GBJ
Plot Date: 17/05/2023
Project NO.: RP1022MAC
Project Status: DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: ELEVATIONS 2

PROJECT NAME: Alterations & Additions

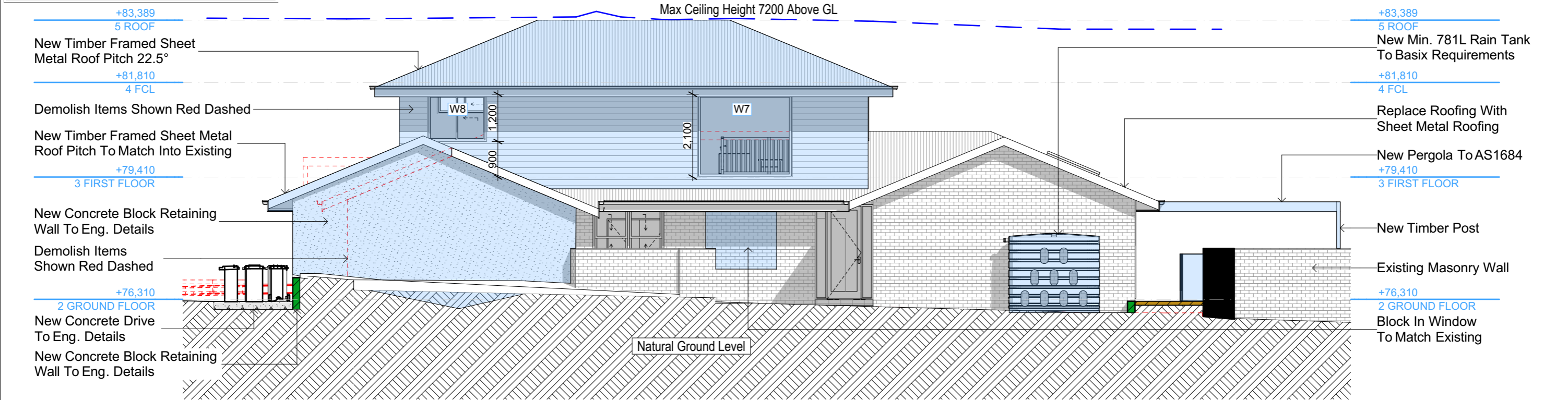
REVISION NO.	DATE
1	9/12/22

DRAWING NO.: **DA4001**


Plot Date: 17/05/2023
Sheet Size: A3

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear or clear/particle glazing, or toned/particle glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overhead height (m)	Shading device	Frame and glass type	
W1	SW	2.34	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SE	0.54	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	0.56	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SE	1.84	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	5.04	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	7.92	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SW	7.92	0	0	projection/height above sill ratio >=0.29	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SW	6.48	0	0	projection/height above sill ratio >=0.29	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3a	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	1.1	no shading	timber, low-E internal/argon filled clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.1	no shading	timber, low-E internal/argon filled clear external, (or U-value: 2.5, SHGC: 0.456)




E-04 West 1:100			Site Information			Site Information		
NOTES			Prop.			Prop.		
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential			Comp.			Comp.		
All Plans to be read in conjunction with Basix Certificate			Building envelope			4m@45Deg		
New Works to be constructed shown in Shaded/Blue			Housing Density (dwelling/m2)			1		
9 Hyde Avenue, Killarney Heights is not considered a heritage item			Max Ceiling Ht Above Nat. GL			7.2m		
Certifying			Max Bldg Ht Above Nat. GL			8.5m		
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans			Front Setback (Min.)			6.5m		
Construction			Rear Setback (Min.)			6.0m		
Framed, Framed Walls			Min. side bdy setback (Min.)			0.9m		
Roof Framed to have R0.95 Insulation			Basix			Basix Certificate Number A483346_02		
Insulation to External Framed Walls R1.70			All Plans to be read in conjunction with Basix Certificate			The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:		
Refer to Engineers drawings for structural details			a) additional insulation is not required where the area of new construction is less than 2m2			b) insulation specified is not required for parts of altered construction where insulation already exists.		
All work to Engineers Specification and BCA			The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.			For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		
Timber framing to BCA and AS 1684			Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.					
Termite Management to BCA and AS 3660.1								
Glazing to BCA and AS01288-2047								
Waterproofing to BCA and AS 3740								
New Lighting to have minimum of 40% compact fluorescent lamps								




Building Design and Architectural Drafting

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
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ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
17/05/2023
RP1022MAC
DA Rev1

Client
Site:

Matt MacLennan
9 Hyde Avenue, Killarney Heights

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 3

PROJECT NAME :

Alterations & Additions

REVISION NO.
1
DATE:
9/12/22
DRAWING NO.
DA4002