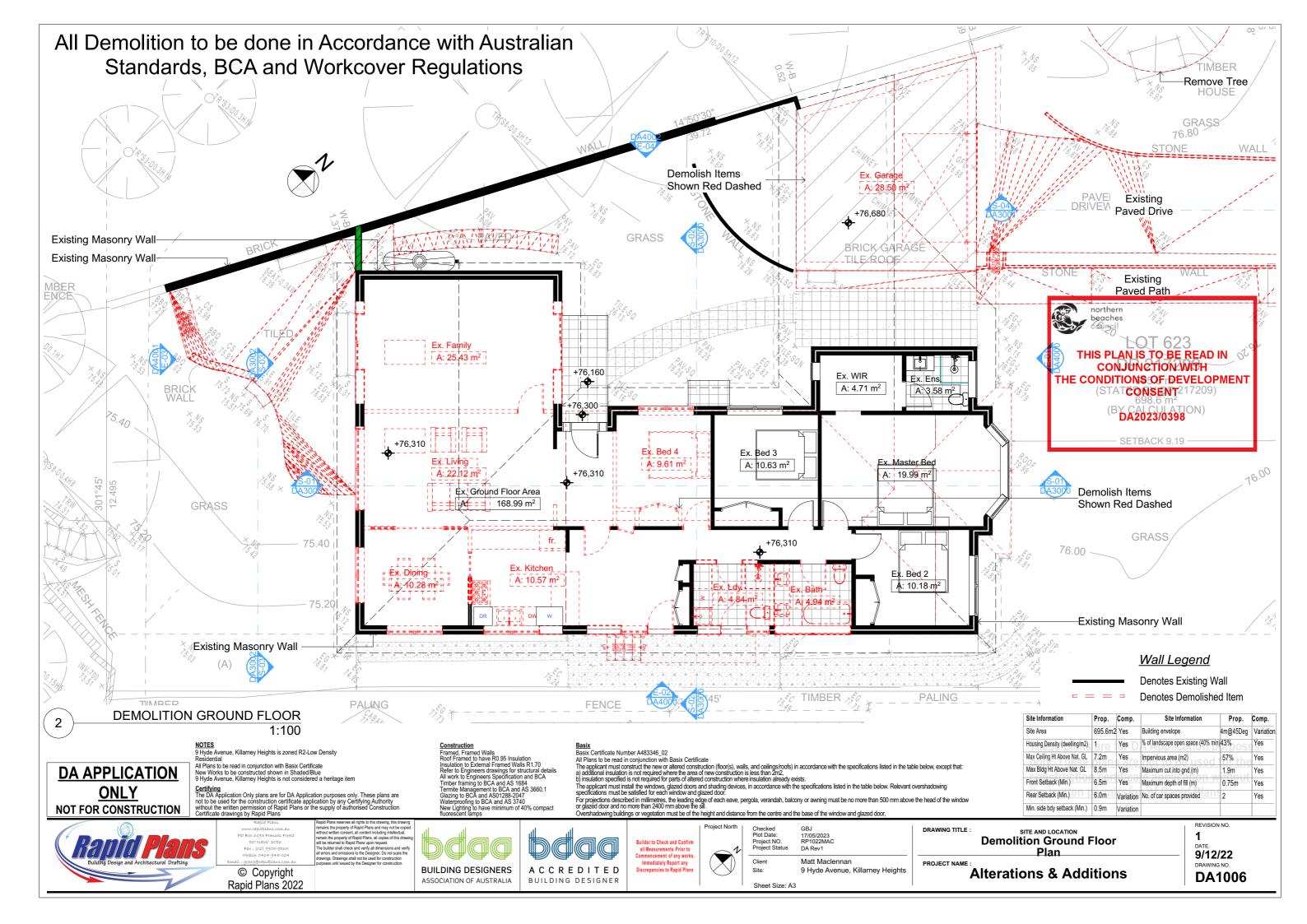
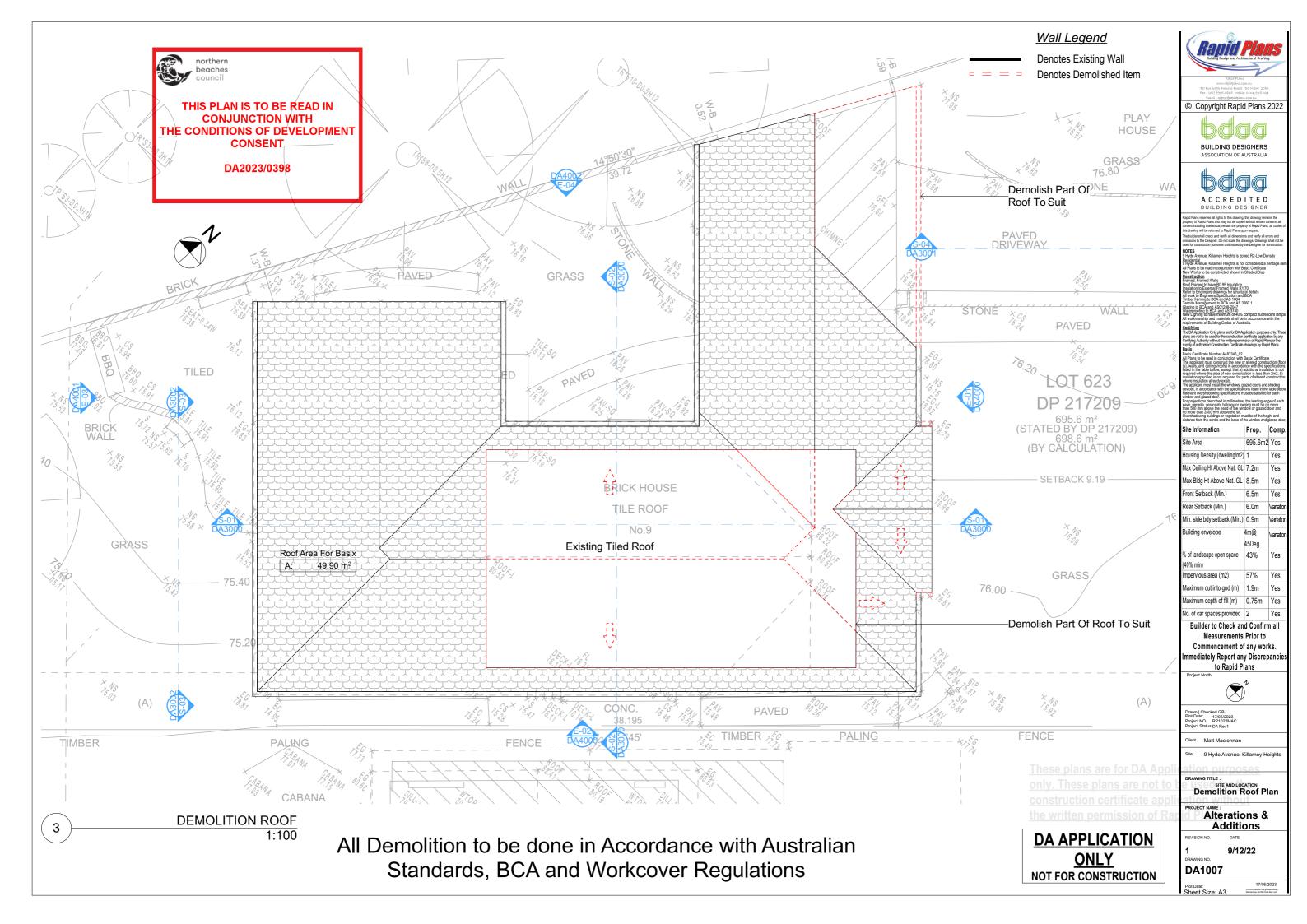
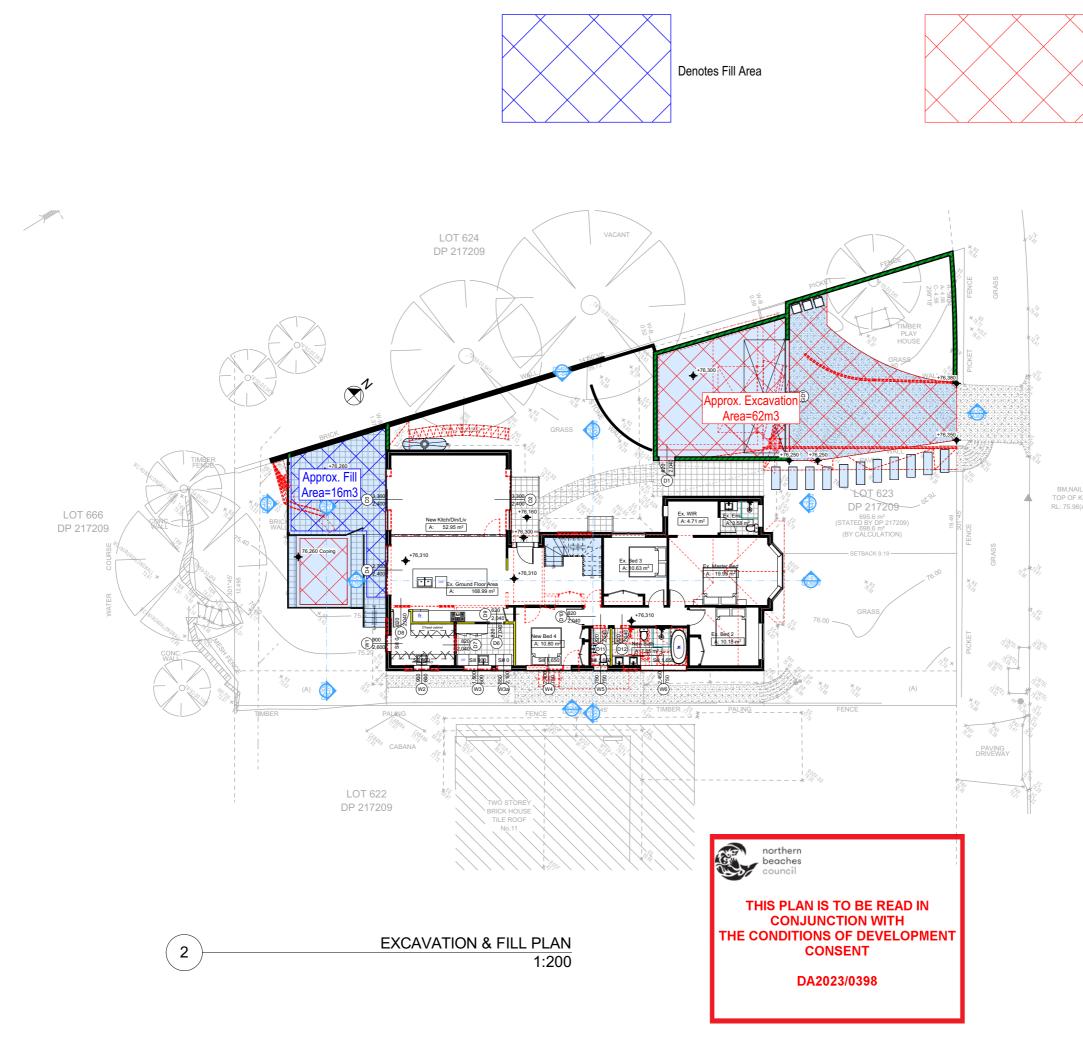


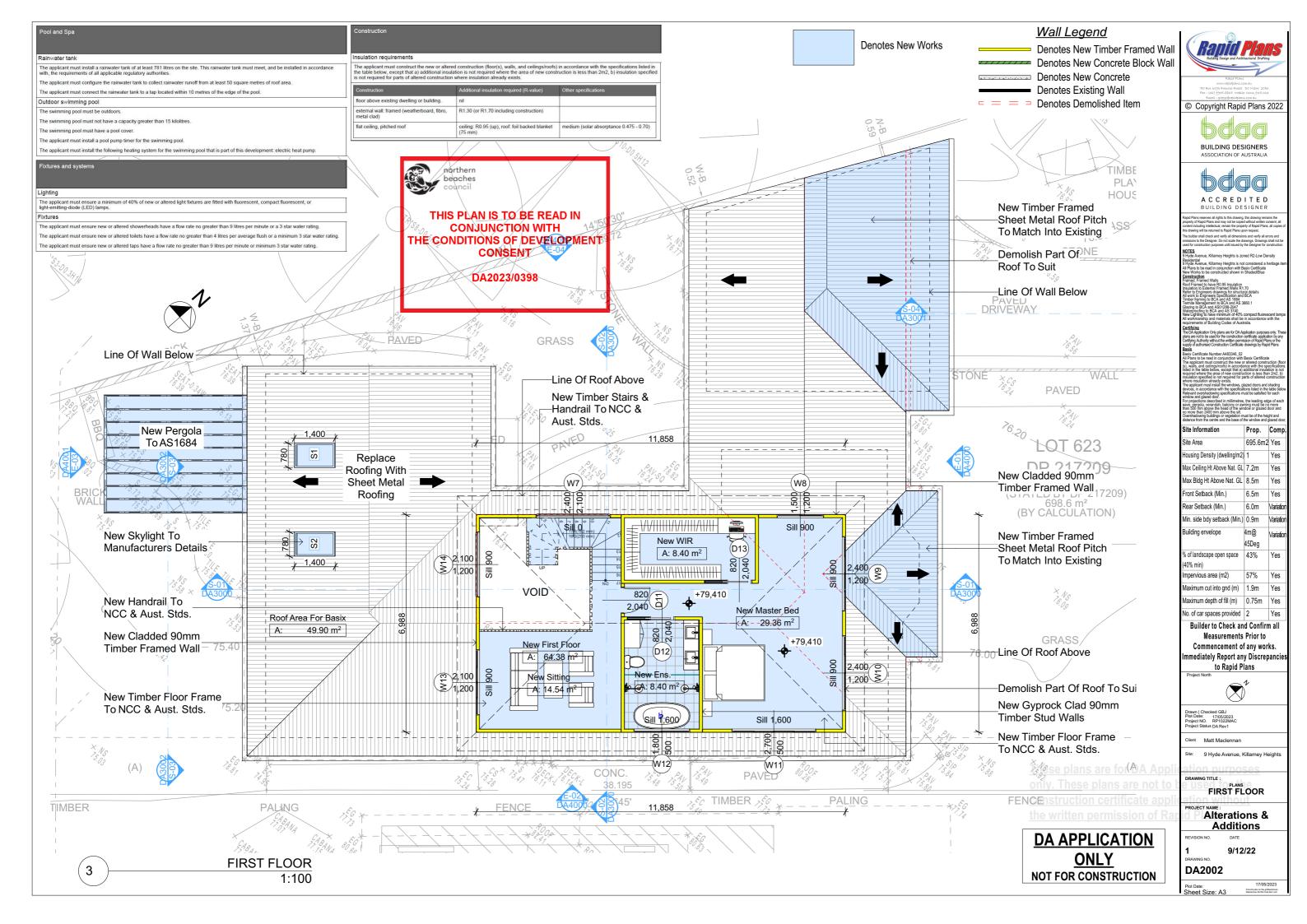
	<u>Wall Legend</u>	() .		
	Denotes New Timber Framed Wall	Balding Dealay and Archi	HELL tectural Deafting	15
	Denotes New Concrete Block Wall	Datating Debigin and Artein		
القرابة الأرامة الوام التر	Denotes New Concrete	Rapid Plans www.rapidplans.co DO Box 6193 Franchs Forst		
	Denotes Existing Wall	PO Rox 6193 Frenchs Forest Fax : (co) 99c5-8865 Mokile Email : gregg@rapidplan	: 0414-945-024	
	Denotes Demolished Item	© Copyright Rapid	l Plans :	2022
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		DØC	10	
		BUILDING DE Rapid Plans reserves all rights to this drawing.	this drawing rema	ins the
		property of Rapid Plans and may not be copie content including intellectual, remain the prope this drawing will be returned to Rapid Plans up The builder shall check and verify all dimension	on request.	
		omissions to the Designer. Do not scale the dr used for construction purposes until issued by NOTES	awings. Drawings	shall not be
		9 Hyde Avenue, Killarney Heights is zon Residential 9 Hyde Avenue, Killarney Heights is not	considered a h	nsity ieritage item
		New Works to be constructed shown in Construction	Shaded/Blue	
		Roof Framed to have R0.95 Insulation Insulation to External Framed Walls R1. Refer to Engineers drawings for structu All work to Engineers Specification and	70 ral details BCA	
		Framed, Framed Walls Roof Framed to have R.0.95 Insulation insulation to External Framed Walls R1. All work to Engineers drawings for structu Timher framing to BCA and ASI 1584. Glazing to BCA and ASI 1584.2017 Valetoprocing to BCA and ASI 1584.2017 Waterprocing to BCA and ASI 1584.2017 New Lighting to have minimum of 40%.	660.1	
		requirements of Building Codes of Austr	ralia.	
		Certifying The DA Application Only plans are for DA Ap plans are not to be used for the construction Certifying Authority without the written permis supply of authorised Construction Certificate	plication purpose certificate applicat ssion of Rapid Pla	s only. These tion by any ns or the
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		All Plans to be read in conjunction with All Plans to be read in conjunction with The applicant must construct the new o (s) walls, and ceilings/roofs) in accorda listed in the table below, except that a) required where the area of new constru- insulation specified is not required for p where insulation already exists. The applicant rune install the uniformer of	r altered constru nce with the sp additional insula	uction (floor ecifications ttion is not n 2m2 b)
		insulation specified is not required for pa where insulation already exists. The applicant must install the windows, gl devices, in accordance with the specifical	arts of altered o azed doors and ions listed in the	onstruction shading table below
		devices, in accordance with the specificat Relevant overshadowing specifications m window and glazed door. For projections described in millimetres, gave, percela verandah halcony or aw	ust be satisfied f , the leading edg	or each ge of each
		For projections described in millimetres, eave, pergola, verandah, balcorny or aw than 500 mm above the head of the win no more than 2400 mm above the sill. Overshadowing buildings or vegetation m distance from the centre and the base of 1	dow or glazed o ust be of the heigher window and o	door and ght and ght and
		Site Information	Prop.	Comp.
		Site Area	695.6m2	Yes
		Housing Density (dwelling/m2)		Yes
		Max Ceiling Ht Above Nat. GL Max Bldg Ht Above Nat. GL		Yes Yes
		Front Setback (Min.)	6.5m	Yes
		Rear Setback (Min.)	6.0m	Variation
		Min. side bdy setback (Min.)	0.9m	Variation
			4m@	Variation
•		% of landscape open space	45Deg 43%	Yes
		(40% min)		103
		Impervious area (m2)	57%	Yes
		Maximum cut into gnd (m) Maximum depth of fill (m)	1.9m 0.75m	Yes Yes
		No. of car spaces provided	2	Yes
		Builder to Check an		n all
		Measurements Commencement of		ks
		Immediately Report an	y Discrep	
		to Rapid P Project North	ans	
			1	
		Drawn Checked GBJ Plot Date: 17/05/2023 Project NO. RP1022MAC Project Status DA Rev1		
		Client Matt Maclennan		
		Site: 9 Hyde Avenue, M	Cillamey He	eights
1	hese plans are for DA Applic	ation purpos	ses	
0	only. These plans are not to b	DRAWING TITLE : SITE AND LOC		
	onstruction certificate applic	SITE PL	.AN	
sted in pecified	he written permission of Rap	Alteratio		
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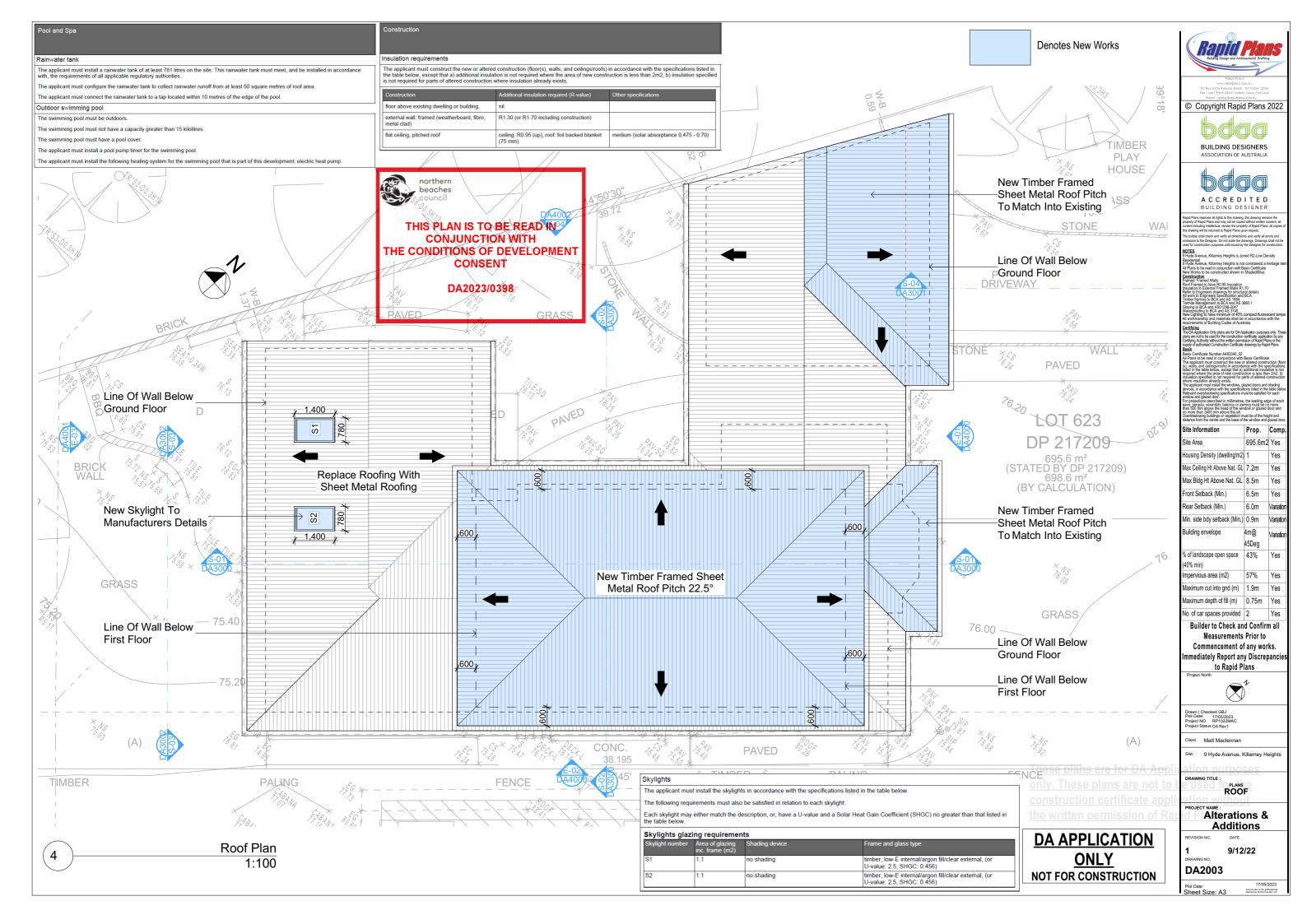


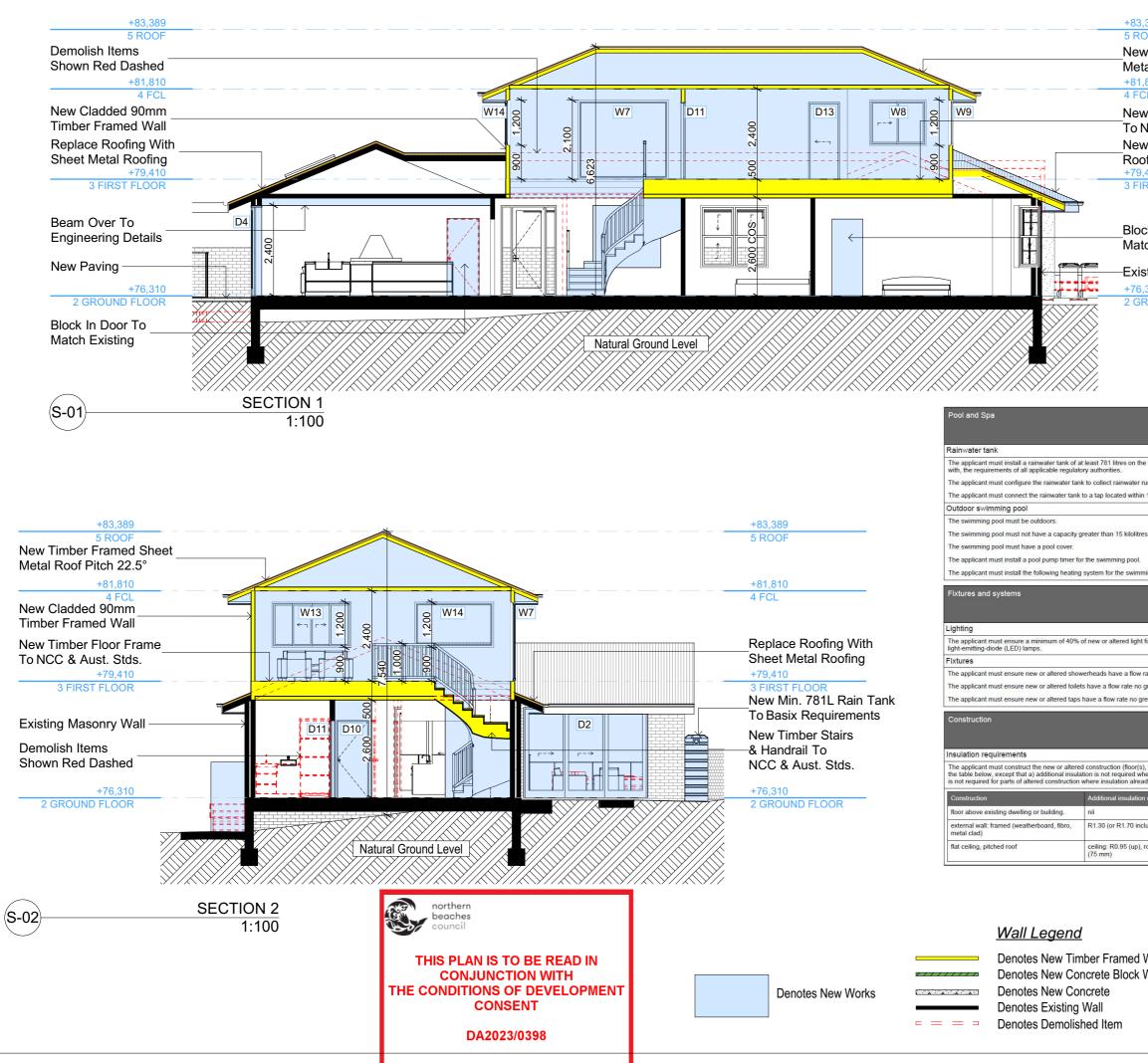




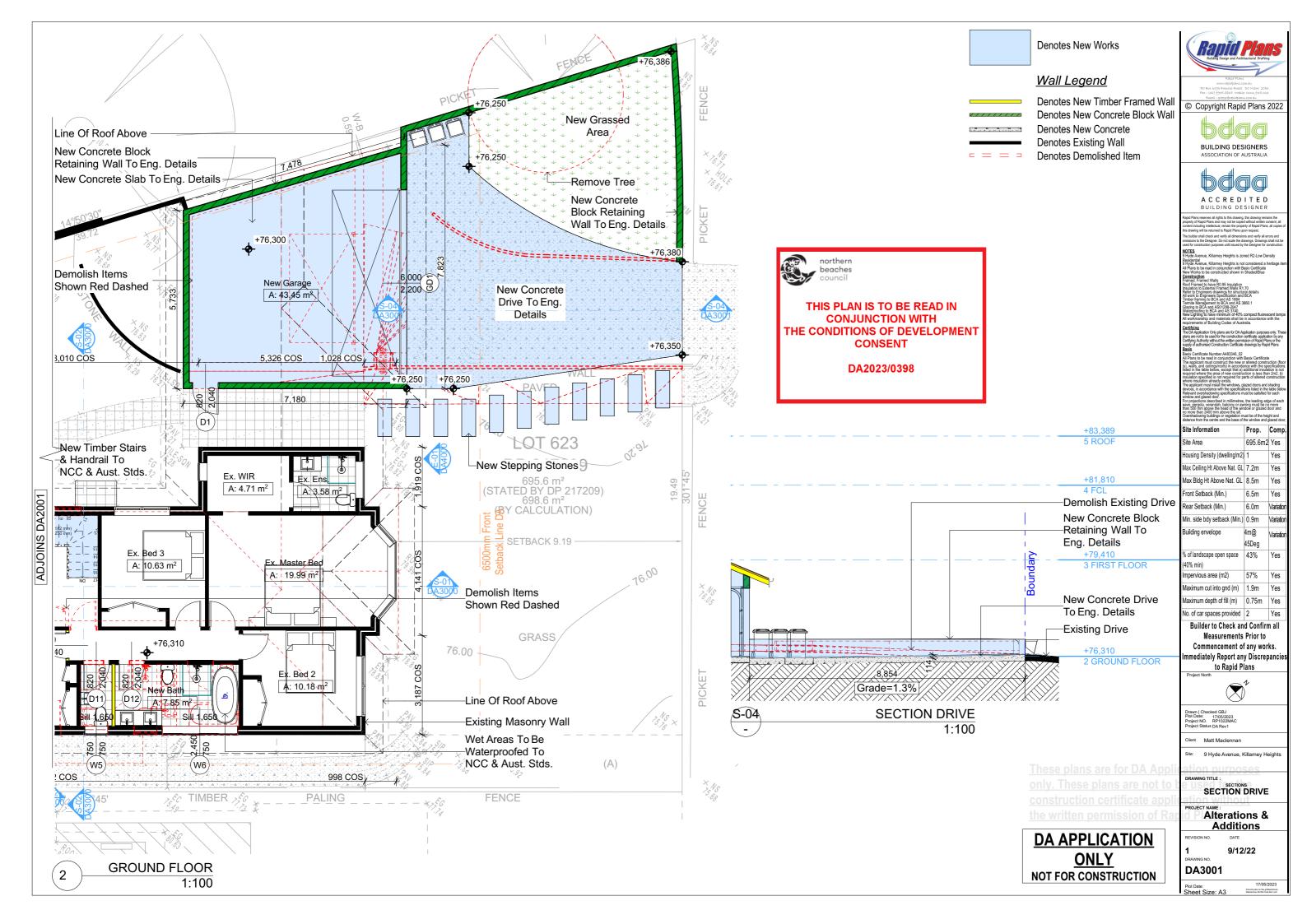
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		PO Box 6193 Frenchs Forest Fax : (02) 9905-8865 Mobile Email : gregg@rapidplan	DC NSW 2081	
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*	4	Rapid Plans reserves all rights to this drawing property of Rapid Plans and may not be copie content including intellectual, remain the prope this drawing will be returned to Rapid Plans up The builder shall check and verify all dimensio omissions to the Designer. Do not scale the do	rty of Rapid Plans on request. ns and verify all er awings. Drawings	, all copies of rors and shall not be
	.a	used for construction purposes until issued by NOTES 9 Hyde Avenue, Killarney Heights is zoo Residential 9 Hyde Avenue, Killarney Heights is no All Plans to be read in conjunction with B New Works to be constructed shown in Construction	ned R2-Low De t considered a h asix Certificate	nsity neritage item
2		New Works to be constructed shown in <u>Construction</u> . Frame-Walls Framed, Frame-Walls The Construction of the Construction of the Con- regulation to be theme R Construction and anorsh to Engineers drawings for structu- dation of the Construction of the Construction and the Construction of the Construction of the Construction of the Construction (submit) to have engineering of 40% News Updating to have engineering of 40% All workmanist shall be requirements of Building Codes of Aust Cartifyling to the Codes of Aust Cartifyling to the Codes of Aust	.70 ral details BCA 660.1	
		New Lighting to have minimum of 40%. All workmaship and materials shall be requirements of Building Codes of Aust Certifying The DA Application Only plans are for DA Ap plans are not to be used for the construction Certifying Authority without the within permi- supply of authorised Construction Certificate	compact fluores in accordance ralia. plication purpose certificate applica ssion of Rapid Pla drawings by Rag	scent lamps with the s only. These tion by any ins or the id Plans
, k	4	Basix Certificate Number A483346_02 All Plans to be read in conjunction with The applicant must construct the new or (s), walls, and ceilings/roofs) in accords listed in the table below, except that a), required where the area of new constru- insulation specified is not required for p where insulation already exists. The anoticant must instal the windnew. of	Basix Certificat r altered constr ince with the sp additional insula ction is less tha arts of altered o lazed doors and	e uction (floor ecifications ation is not in 2m2, b) construction shading
		devices, in accordance with the specifical Relevant overshadowing specifications m window and glazed door. For projections described in millimetres eave, porgola, verandah, balcony or aw than 300 mm 2400 mh about 9 m allow of the specification of the specification of one phane balling so vegetation m distance from the contre and the base of	ust be satisfied	for each
AIL IN KERB		Site Information	Prop.	Comp.
8(AHD)		Site Area	695.6m2	2 Yes
		Housing Density (dwelling/m2) Max Ceiling Ht Above Nat. GL		Yes Yes
1	E.	Max Bldg Ht Above Nat. GL		Yes
		Front Setback (Min.)	6.5m	Yes
		Rear Setback (Min.)	6.0m	Variation
		Min. side bdy setback (Min.)		Variation
			4m@ 45Deg 43%	Variation Yes
		(40% min)	43%	Tes
		Impervious area (m2)	57%	Yes
		Maximum cut into gnd (m) Maximum depth of fill (m)	1.9m 0.75m	Yes Yes
		No. of car spaces provided	2	Yes
	eg.	Builder to Check an Measurements Commencement of Immediately Report an to Rapid P	Prior to f any wor y Discrep	ks.
		Project North	1	
		Drawn Checked GBJ Plot Date: 17/05/2023 Project NO. RP1022MAC Project Status DA Rev1 Client Matt Maclennan		
		Site: 9 Hyde Avenue, H	Killamey H	eights
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w Timber	Floor Frame	© Copyright Rapic	1 Plans 2	2022
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w Timber	Framed Sheet Metal	BUILDING DES	IGNERS	
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ROUND FL	LOOR	All Plans to be read in conjunction with B New Works to be constructed shown in Construction Framed, Framed Walls		
		Roof Framed to have R0.95 insulation Insulation to External Framed Walls R1. Refer to Engineers drawings for structu All work to Engineers Specification and	70 ral details BCA	
		Framed, Framed Walls Roof Framed Dhave R0.55 Insulation Insulation to External Framed Walls R1 All with the Depreses Smoothacts on and all with the Depreses Smoothacts on and Timber framing to BCA and AS 1684 Termite Management to BCA and AS 35 Glazing to BCA and AS01282-2047 Waterproteing to BCA and AS01282-2047 Waterproteing to BCA and AS01282-2047 All workmanship and materials shall be requirements of Building Codes of Austi	360.1	
		Cortifuing		
		The DA Application Only plans are for DA Ap plans are not to be used for the construction Certifying Authority without the written permis supply of authorised Construction Certificate	plication purpose certificate applicat ssion of Rapid Pla	s only. These tion by any ns or the
		Basix Certificate Number A483346 02		
		All Plans to be read in conjunction with The applicant music construct the new or- listed in the table below, except that a) - resulted where the area of new constru- ments of the table below, except that a) - the applicant music install the windows, g) the applicant music install the windows, g) the applicant music install the windows. Given the applicant music install the windows. Given the applicant solution already exists. The applicant solution already exists. The applicant solution already exists. The applicant solution already exists. For projections discribed in millimetres than 500 mm above the hald of the win no more than 2400 mm above the fails distance form the centre and the base of	r altered constru nce with the sp additional insula ction is less that	ecifications tion is not n 2m2 b)
		insulation specified is not required for p where insulation already exists. The applicant must install the windows, gl dwider, in accentiance with the procifical	arts of altered o azed doors and	shading
		Relevant overshadowing specifications m window and glazed door. For projections described in milimetres,	ust be satisfied f	or each ge of each
he site. This rainw	ater tank must meet, and be installed in accordance	that 500 mm above the head of the win no more than 2400 mm above the sell. Overshadowing buildings or vegetation m dioteces from the centre cent the head the head	dow or glazed o	door and ght and
	st 50 square metres of roof area. e edge of the pool.	distance from the centre and the base of t Site Information	Prop.	Comp.
in to metres of the	e cage of the poor.	Site Area	695.6m2	Yes
		Housing Density (dwelling/m2)		Yes
es.		Max Ceiling Ht Above Nat. GL		Yes
		Max Bldg Ht Above Nat. GL Front Setback (Min.)	8.5m 6.5m	Yes Yes
ming pool that is p	part of this development: electric heat pump.	Rear Setback (Min.)		Variation
		Min. side bdy setback (Min.)		Variation
		Building envelope	4m@	Variation
t fixtures are fitter	with fluorescent, compact fluorescent, or	% of landscape open space	45Deg 43%	Yes
in initial co une inite	a mar neorescent, compact neorescent, or	(40% min)	4370	163
rate no greater th	han 9 litres per minute or a 3 star water rating.	Impervious area (m2)	57%	Yes
8-3-	res per average flush or a minimum 3 star water rating.	Maximum cut into gnd (m) Maximum depth of fill (m)	1.9m 0.75m	Yes Yes
greater than 9 litre	es per minute or minimum 3 star water rating.	No. of car spaces provided	2	Yes
		Builder to Check an	-	
		Measurements		ke
s), walls, and ceili	ngs/roofs) in accordance with the specifications listed in	Commencement of Immediately Report an	•	
where the area of r ady exists.	new construction is less than 2m2, b) insulation specified	to Rapid P	ans	
on required (R-vali	ue) Other specifications		2	
cluding constructi				
		Drawn Checked GBJ Plot Date: 17/05/2023 Project NO. RP1022MAC		
, roof: foil backed	blanket medium (solar absorptance 0.475 - 0.70)	Project Status DA Rev1		
	<u>,</u>	Client Matt Maclennan	<i></i>	
		o nyao manao, n	-	eignts
		DRAWING TITLE :		
		SECTION		
		PROJECT NAME :		
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		Sheet Size: A3	Macleman-22-DA Final	Rev1.pin



Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

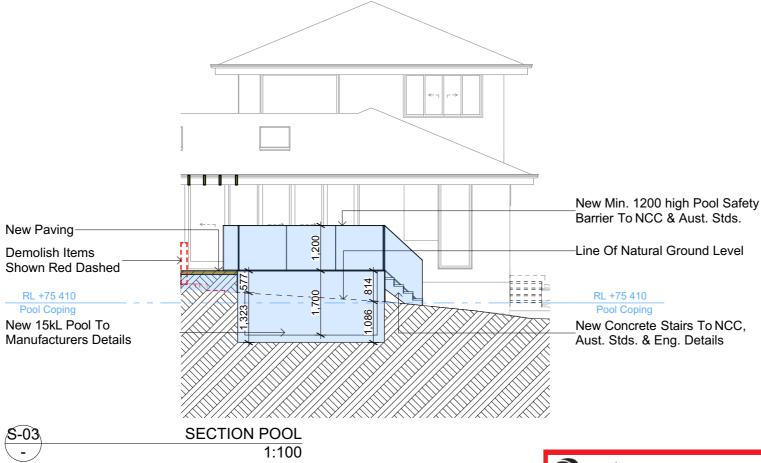
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. Construction Additional insulation required (R-value) Other specifications

Construction

floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)





Denotes New Works

Wall Legend

Denotes New Timber Framed Wall Denotes New Concrete Block Wall Denotes New Concrete Denotes Existing Wall Denotes Demolished Item

DA APPLICATION

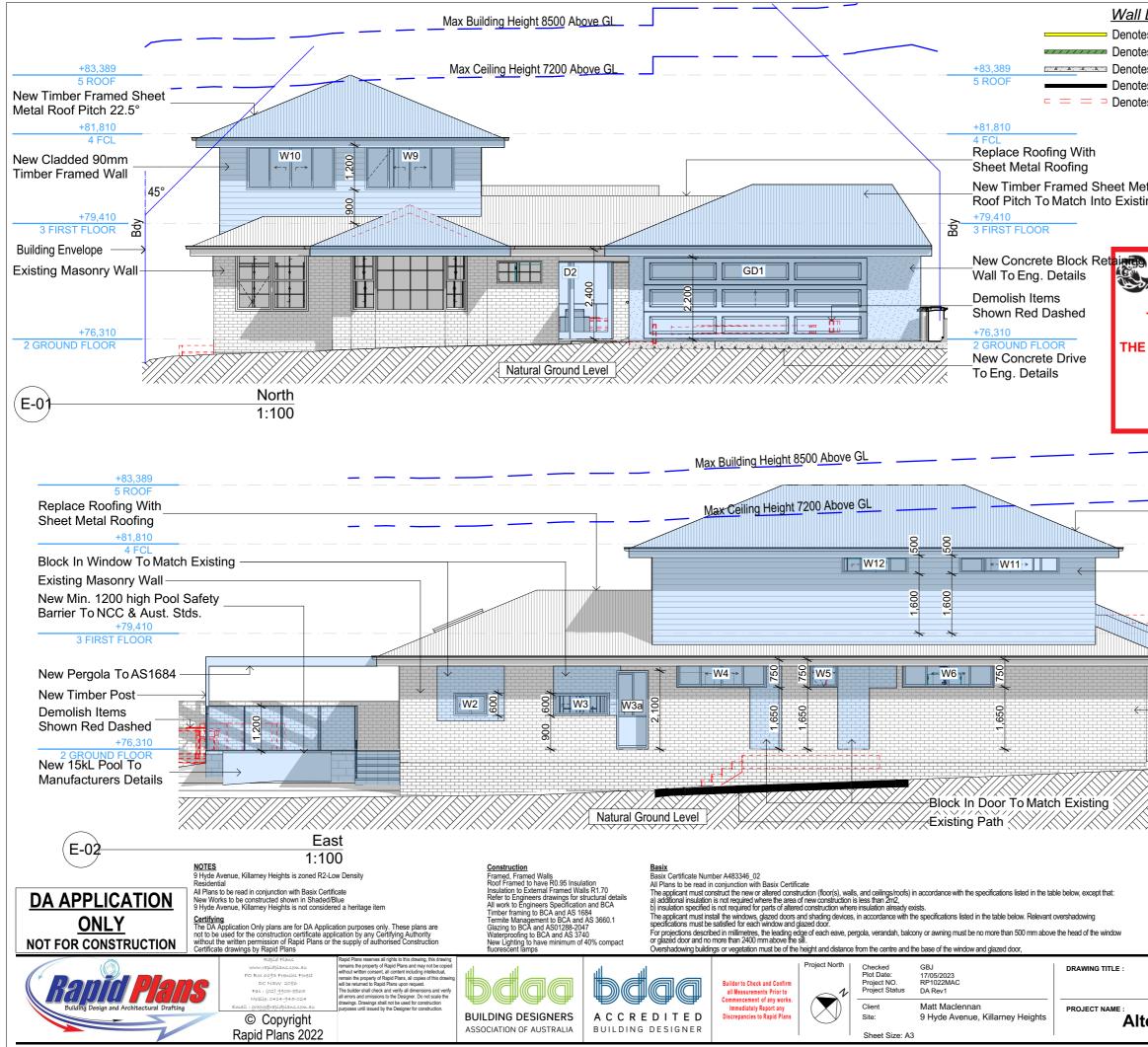
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tes New Co		Glazing requ							
		Windows and	d glazed doo	rs					
tes Existing		The applicant Relevant over	must install the shadowing sper	windows, glazed (cifications must be				ecifications listed in the	table below.
tes Demolis	sneu item					ach window and gl w-e glass, or clear sater than that liste		ing, or toned/air gap/de w. Total system U-valu description is provided f	ear glazing must es and SHGCs
		must be calcul only. Alternativ For projections	ated in accorda re systems with s described in n	ince with National complying U-valu tillimetres, the lea	Fenestration Rati ie and SHGC may ding edge of each	ing Council (NFRC y be substituted. n eave, pergola, ve	andah, balcony o	description is provided t r awning must be no m	or information
								indow or glazed door si	
		Pergolas with	polycarbonate i	oof or similar tran	slucent material n	nust have a shadin	g coefficient of les		
			nd glazed d	w. The spacing b oors glazing re	equirements	ust not be more th ading device		ne and glass type	
etal		no.		glass Height inc. (m) frame	Distance (m)	aulig device	riai	ie and glass type	
ting		W1	SW	(m2) 2.34 0	>=7	re/verandah/pergo 750 mm	6.44	oved aluminium, single , SHGC: 0.75)	
		W2 W3		0.54 0	>=) 0 eav	ve/verandah/pergol 750 mm ve/verandah/pergol 750 mm	la/balcony impr 6.44 la/balcony impr	oved aluminium, single , SHGC: 0.75) oved aluminium, single , SHGC: 0.75)	clear, (U-value: clear, (U-value:
		W4	SE	1.8 0	0 eav	/e/verandah/pergol 750 mm	la/balcony impr 6.44	oved aluminium, single , SHGC: 0.75)	clear, (U-value:
northe		W5 W6	SE	0.56 0 1.84 0	0 eav >=1 0 eav >=1	reiverandah/pergoi 750 mm reiverandah/pergoi	la/balconv impr	oved aluminium, single , SHGC: 0.75) oved aluminium, single	
beach		W7		5.04 0	0 eav	ve <mark>rve</mark> randah/pergoi 7 <mark>50 m</mark> m	la/balcony impr (U-v	, SHGC: 0.75) oved aluminium, single alue: 4.48, SHGC: 0.46	pyrolytic low-e,)
counci	il	W8 W9		1.8 0 2.88 0	0 eav >=1	75 <mark>0 mm</mark> /e <mark>/ve</mark> randah/pergoi	la/balcony impr (U-v la/balcony impr	oved aluminium, single alue: 4.48, SHGC: 0.46 oved aluminium, single alue: 4.48, SHGC: 0.46	pyrolytic low-e,) pyrolytic low-e,
		W10		2.88 0	0 eav	ve <mark>rve</mark> randah/pergoi 75 <mark>0 m</mark> m	la/balcony impr (U-v	oved aluminium, single alue: 4.48, SHGC: 0.46	pyrolytic low-e,
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E CONDI				[®] PM		je <mark>cti</mark> on/height abov 2. <mark>29</mark>	ve sill ratio impr (U-v	, SHGC: 0.75) oved aluminium, single alue: 4.48, SHGC: 0.46	pyrolytic low-e,
	CONS			7.92 0 6.48 0	0 eav >=5 0 pro	ve <mark>lve</mark> randah/pergo 900 mm	la/balcony impr 6.44	oved aluminium, single , SHGC: 0.75) oved aluminium, single	clear, (U-value:
	DA000	W3a 20	SE	1.8 0	0 pro >=(0 eav >=j	0. <mark>29</mark>	6.44	, SHGC: 0.75) oved aluminium, single , SHGC: 0.75)	
	DA2023		Ö	skylights in accord			n the table below.	,	
		The following	requirements m	ust also be satisfi	ed in relation to ea	a <mark>ch</mark> skylight:		(SHGC) no greater that	a that listed in
			lazing requi	ch the description,					
		Skylight numb	er Area of gl inc. frame 1.1	azing Shading : (m2) no shadi			Frame and glass timber, low-E inte	type mal/argon fil/clear exte 3C: 0.456)	mal, (or
		52	1.1	no shadi	ing		U-value: 2.5, SH timber, low-E inte U-value: 2.5, SH	3C: 0.456) mal/argon fill/clear exte 3C: 0.456)	rnal, (or
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	Site Information	/ ^	Prop.	Comp.		Site Inform	ation	Prop.	Comp.
5	Site Area		695.6m	2 Yes	Building er	nvelope		4m@45Deg	Variation
H	Housing Density (dwe	elling/m2)	are	Yes	% of landso	cape open sp	ace (40% mi	n)43%	Yes
1	Max Ceiling Ht Above	e Nat. GL	7.2m	Yes	Impervious	s area (m2)	haal	57%	Yes
1	Max Bldg Ht Above	Nat. GL	8.5m	Yes	Maximum	cut into gnd	(m)	1.9m	Yes
F	Front Setback (Min.	puol	6.5m	Yes	Maximum	depth of fill (m)	0.75m	Yes
F	Rear Setback (Min.)	<u>en p</u>	6.0m	Variation	No. of car	spaces prov	ided an	2	Yes
1	Min. side bdy setba	ck (Min.)	0.9m	Variation					
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ws and glazed door

install the windows, glazed doors and shading devices, in accor wing specifications must be satisfied for each window and alaz

he following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gapiclear glazing, or toned/a have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater han that listed in the table below. Total syster must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is p only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirem

Area of Overshadowini glass Height Dista inc. (m) (m) frame eave/verandah/pergola/balcony improved aluminium, >=750 mm 6.44, SHGC: 0.75) improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) 0.54 eave/verand >=750 mm pergola/balcony 0.9 1.8 0 0.56 0 1.84 improved aluminium 6.44, SHGC: 0.75)

²-r20 uma perveiverandah/pergola/balcomy eserveiverandah/pergola/balcomy eserveiverandah/per , single clear, (U-value

N7	NW	5.04	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	7.92	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SW	7.92	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SW	6.48	0	0	projection/height above sill ratio	improved aluminium, single clear, (U-value:
					>=0.29	6.44, SHGC: 0.75)

Skylights The applican

The following requi nents must also be satisfied in relation to each skylight

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Skylights gla rea of glazing Shading d no shading

pergola/balcony improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Fixtures and systems

Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

onstruction

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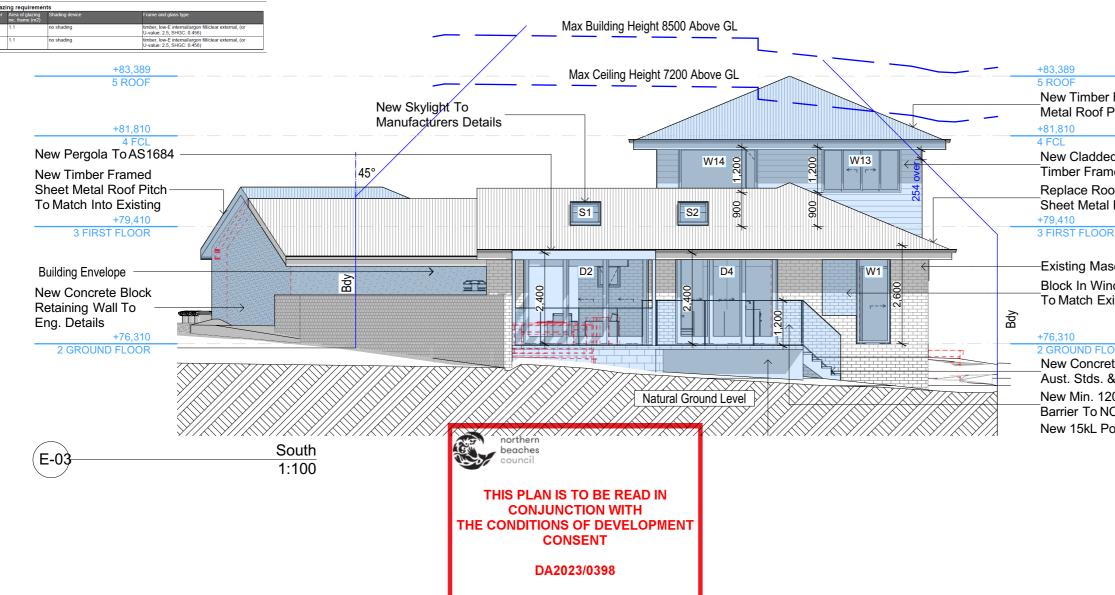
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Insulation requirements

The applicant must construct the new or altered construction (floor(s), we the table below, except that a) additional insulation is not required where is not required for parts of altered construction where insulation already or the table below.

Construction	Additional insulation re
floor above existing dwelling or building.	nil
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 includi
flat ceiling, pitched roof	ceiling: R0.95 (up), roo (75 mm)

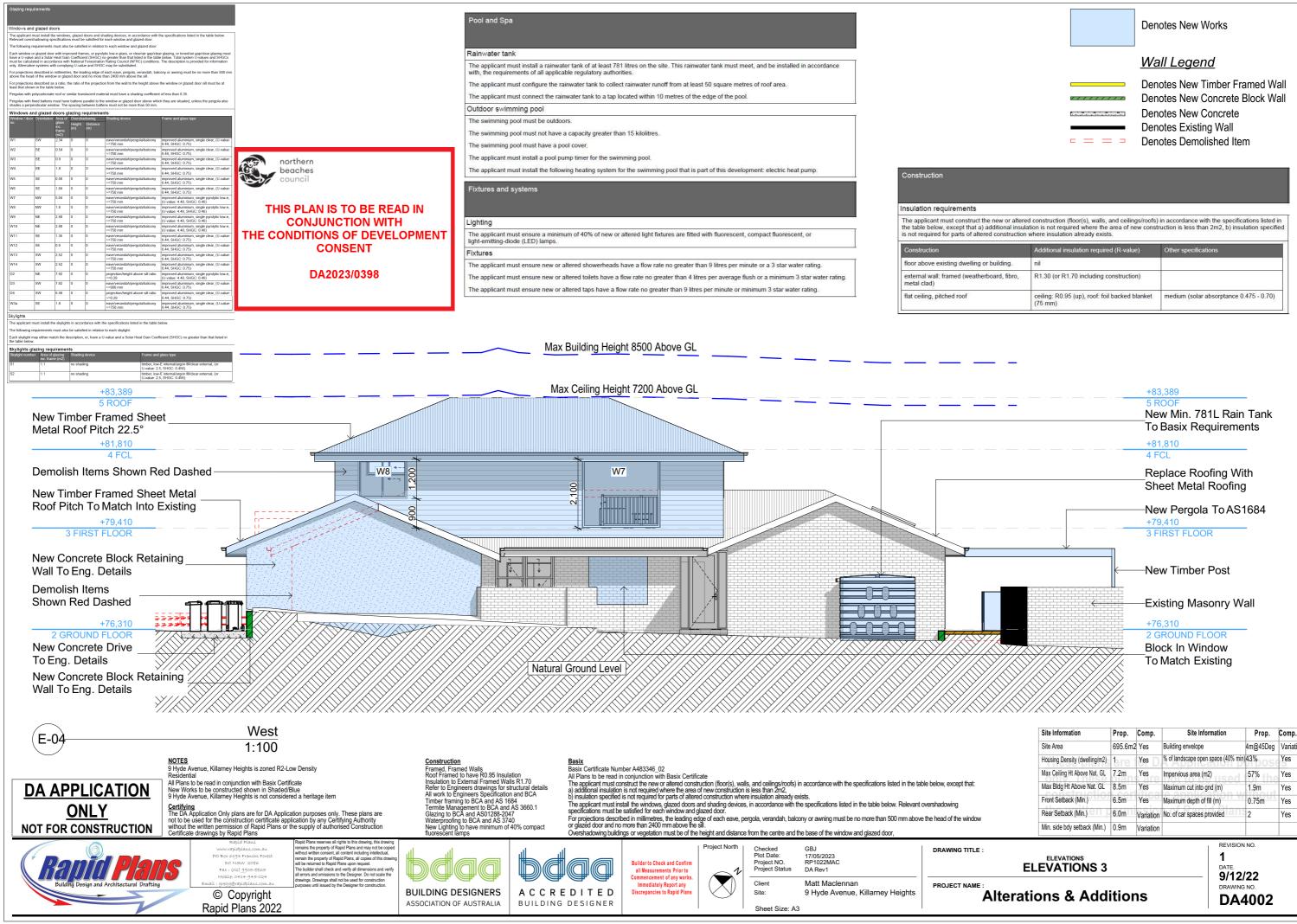


	Dei	notes New Works	Rapide Building Design and Archi	PR1 tectural Draftin	1 5
	W	all Legend	Rapid Plans www.rapidslans.co	V	
		•	PO Box 6193 Frenchs Forest Fax : (c2) 9905-8865 Mokily Email : gregg@rapidplan	ЪС NSW 2084 : 0414-945-024	
		notes New Timber Framed Wall notes New Concrete Block Wall	© Copyright Rapid		2022
		notes New Concrete	<i>bde</i>	10	
		notes Existing Wall	BUILDING DES		
= = =		notes Demolished Item	ASSOCIATION OF A		
			BUILDING DE Rapid Plans reserves all rights to this drawing, prometry of Panid Plans and may not be conte	this drawing rema	ins the
		n accordance with the specifications listed in action is less than 2m2, b) insulation specified	property of Rapid Plans and may not be copie content including intellectual, remain the prope this drawing will be returned to Rapid Plans up The builder shall check and verify all dimensio omissions to the Designer. Do not scale the dr used for construction purposes until issued by	on request. ns and verify all er awings. Drawings	rors and shall not be
quired (R-value)		Other specifications	NOTES 9 Hyde Avenue, Killarney Heights is zo Residential 9 Hyde Avenue, Killarney Heights is no	considered a h	nsity eritage item
			New Works to be constructed shown in Construction	Shaded/Blue	
ing construction)			Roof Framed to have R0.95 Insulation Insulation to External Framed Walls R1 Refer to Engineers drawings for structu All work to Engineers Specification and	70 ral details BCA	
f: foil backed blar	nket	medium (solar absorptance 0.475 - 0.70)	Framed, Framed Walls Roof Frame to have R0.95 Insulation Insulation to External Framed Walls R1 Refer to Engineers Specification and Timber framing IB GCA and AS 1684 Termite Management to BCA and AS 3 Gazing to BCA and AS 30740 Waterproofing to BCA and AS 374 Waterproofing to BCA and AS 374 Waterproofing to BCA and AS 374 All workmanship and materials shall be requirements of Building Codes of Aust		cent lamps vith the
			Certifying The DA Application Only plans are for DA Ap plans are not to be used for the construction Certifying Authority without the written permis supply of authorised Construction Certificate	plication purpose certificate applica	s only. These ion by any ns or the
			Basix Basix Certificate Number A483346_02		
			All Plans to be read in conjunction with The applicant music construct the new or (s), walls, and ceilings/roofs) in accords itsed in the table below, except that a), required where the area of new constru- insulation specified is not required for p where insulation already exists. The applicant musis install the windows, g devices, in accordance with the specifica-	nce with the sp additional insula ction is less tha arts of altered c	ecifications tion is not n 2m2, b) onstruction
			where insulation already exists. The applicant must install the windows, g devices, in accordance with the specifical Relevant overshadowing specifications m window and glazed door.	azed doors and ions listed in the ust be satisfied f	shading table below. or each
			window and glazed doo7. For projections described in millimetres eave, pergola, verandah, balcony or aw than 500 mm above the head of the wir no more than 2400 mm above the sill. Overshadowing buildings or vegetablon m distance from the centre and the base of	, the leading ed ning must be n dow or glazed o	ge of each more loor and
				-	•
			Site Information Site Area	Prop. 695.6m2	Comp. Yes
			Housing Density (dwelling/m2)		Yes
			Max Ceiling Ht Above Nat. GL	7.2m	Yes
Framed		et	Max Bldg Ht Above Nat. GL		Yes
Pitch 22.5)°		Front Setback (Min.)	6.5m	Yes
			Rear Setback (Min.) Min. side bdy setback (Min.)	6.0m 0.9m	Variation Variation
d 90mm				4m@	Variation
ned Wall				45Deg	
ofing With	۱		% of landscape open space (40% min)	43%	Yes
Roofing			Impervious area (m2)	57%	Yes
२			Maximum cut into gnd (m)	1.9m	Yes
			Maximum depth of fill (m) No. of car spaces provided	0.75m 2	Yes Yes
sonry Wa	II		Builder to Check an		
ndow			Measurements Commencement of		ka
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DOR			Project North	2	
te Stairs & Eng. De			Drawn Checked GBJ Plot Date: 17/05/2023		
200 high F			Plot Date: 17/05/2023 Project NO. RP1022MAC Project Status DA Rev1		
CC & Aus		-	Client Matt Maclennan		
ool To			Site: 9 Hyde Avenue, H	-	eights
		se plans are for DA Applic	DRAWING TITLE :		
		<u>. These plans are not to b</u>	ELEVATIO		
		struction certificate applic written permission of Rap	PROJECT NAME : Alteratio		
	DA	APPLICATION	Additio	ons	
	<u></u>	ONLY	1 9/12 DRAWING NO.	/22	
	NOT	FOR CONSTRUCTION	DA4001		

7/05/2023

D'Archi jobs on the golMaclennan Maclennan-22-DA Final Rev1 pin

Plot Date: Sheet Size: A3







	Additional insulation required (R-value)	Other specifications
ilding.	nil	S
rd, fibro,	R1.30 (or R1.70 including construction)	
	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m2	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m2)	are f	Yes	% of landscape open space (40% min)	43%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	57%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			