

L.G.A. : NORTHERN BEACHES  
 PARISH : NARRABEEN  
 COUNTY : CUMBERLAND

LEGEND	
WATER MAIN	SEWER VENT
TELSTRA PILLAR	SEWER LAMP/POLE
TELSTRA MARKER POST	SEWER INSPECTION POINT
TELSTRA PIT	SUBSOIL DRAIN
TELEGRAPH POLE	STORMWATER PIT
POWER POLE	STORMWATER GRATE
ELECTRICAL PILLAR	SURFACE INLET PIT
POWER LIGHT POLE	INTEL-KERB INLET PIT
LIGHT POLE	INTEL-KERB INLET PIT WITH GRATE
HYDRANT	STORMWATER PIPE INCLUDING PIPE SIZE
RECYCLED WATER	HEADWALL
WATER METER	CLOTHES LINE
STOP VALVE	TREE: Ø DIAMETER S SPREAD H HEIGHT
WATER TAP	SEWER MANHOLE
GAS METER	STREET SIGN
GAS DIRECTION MARKER	PRAM CROSSING
GAS INSPECTION POINT	VEHICLE CROSSING
SEWER MANHOLE	E OVERHEAD ELECTRICITY LINE
STREET SIGN	T OVERHEAD TELECOM LINE
PRAM CROSSING	S SEWER LINE
VEHICLE CROSSING	

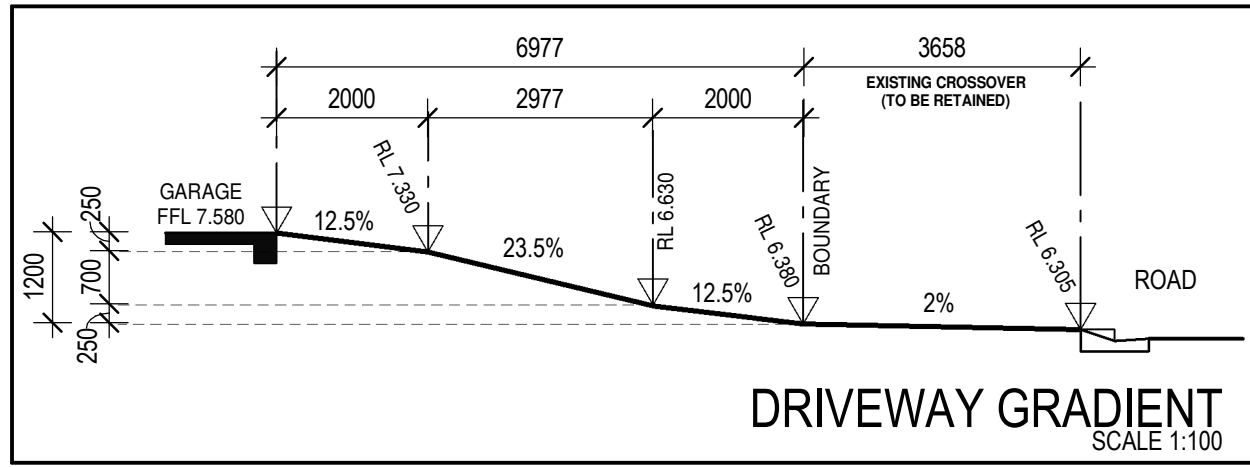
ORIGIN OF LEVELS:  
 SSM 24845 RL=12.835 (AHD) FOUND NEAR  
 THE INTERSECTION OF WARRIEWOOD  
 ROAD & ALMEDA WAY.  
 ACCURACY OF ORIGIN: ± 0.001m

(BE) ~ PROPOSED RESTRICTION ON LAND VIDE UNREGISTERED DP271139 (BUILDING ENVELOPE)  
 (H) ~ PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE VIDE UNREGISTERED DP271139  
 - PLEASE NOTE THAT BECAUSE THE DEPOSITED PLAN IS UNREGISTERED AND WE DO NOT HAVE A COPY OF THE LATEST 'DRAFT' 88B INSTRUMENT, THEREFORE THE SUBJECT LOT MAY BE AFFECTED BY ADDITIONAL RESTRICTION(S), POSITIVE COVENANT(S) OR EASEMENT(S) NOT NOTED ON THE 'DRAFT' LINEN PLAN.

SOLAR PANELS TO BE INSTALLED  
 AS PER MANUFACTURES  
 RECOMMENDATIONS AND GUIDELINES

MARINE CLASSIFICATION  
**SL1**

ALL TRADES & SUPPLIERS TO COMPLY  
 WITH THE BCA AND ALL RELEVANT AUST STANDARDS



**STORMWATER TO  
 HYDRAULIC ENG'S DETAILS**

SITE DETAILS  
 LOT NUMBER: 13  
 DP NUMBER: 271139

AREAS  
 SITE AREA: 270.00m2

GROUND FLOOR	91.23 m <sup>2</sup>
FIRST FLOOR	77.44 m <sup>2</sup>
GARAGE	21.20 m <sup>2</sup>
PORCH	1.03 m <sup>2</sup>
<b>Grand total</b>	<b>190.89 m<sup>2</sup></b>

DRIVEWAY: 21.67m2

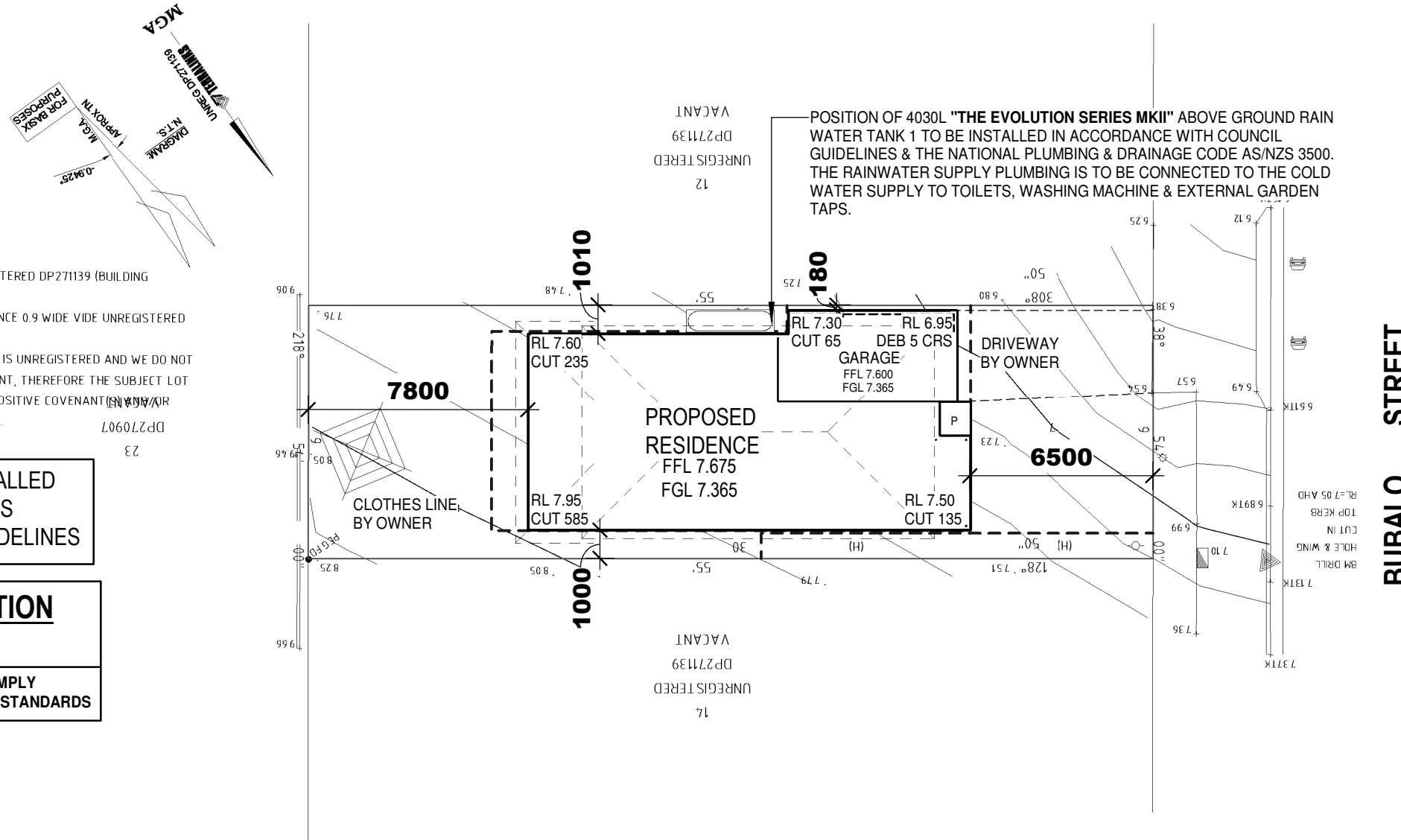
PRIVATE OPEN SPACE: 70.19m2  
 LANDSCAPE AREA: 129.07 - 47.80%

PROJECT DETAILS:  
 GROUND & FIRST FLOOR LIVING TOTAL: 217.08m2  
 ROOF AREA: 189.58m2  
 NO. OF BEDROOMS: 4

STORMWATER:  
 RAINWATER TANK SIZE: = 4030litre  
 -(ABOVE GROUND / UNDER GROUND)  
 ROOF AREA CONNECTED TO RAINWATER TANK: (31) % MIN MIN- 60.00m2 (to eng's details)  
 RAINWATER USES: GARDEN/TOILET/LAUNDRY

SITE NOTES & CONDITIONS:  
 -HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.  
 -EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER  
 -EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION AND TO REMAIN OUTSIDE OF BUILDING PLATFORM.  
 -EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.  
 -WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.  
 -DIMENSIONS SHOWN ARE TO FRAME, UNDERSIDE OF ROOF TRUSSES AND FROM WINCREST FFL (CONCRETE) TO UNDERSIDE OF FLOOR JOIST  
 -FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY AND WILL VARY ON SITE  
 -ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER

- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS



BUBALO STREET

**SITE PLAN**

ISSUE	AMENDMENT	DATE
A	PFD (EC)	17.08.18
B	VARY B (EB)	27.09.18
C	VARY D (EB)	07.03.19
D	VARY CS (EB)	08.04.19
E	VARY F (EC)	31.07.19
F	FFD (EB)	09.08.19

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**WINCREST**  
 BESPOKE  
 Wincrest Group Pty Ltd.  
 ACN 135 562 873  
 Builders License No. 213 442C  
 18 Pitt St, Paramatta NSW 2150  
 Ph:(02) 9635 1644 Fax:(02) 9633 4806

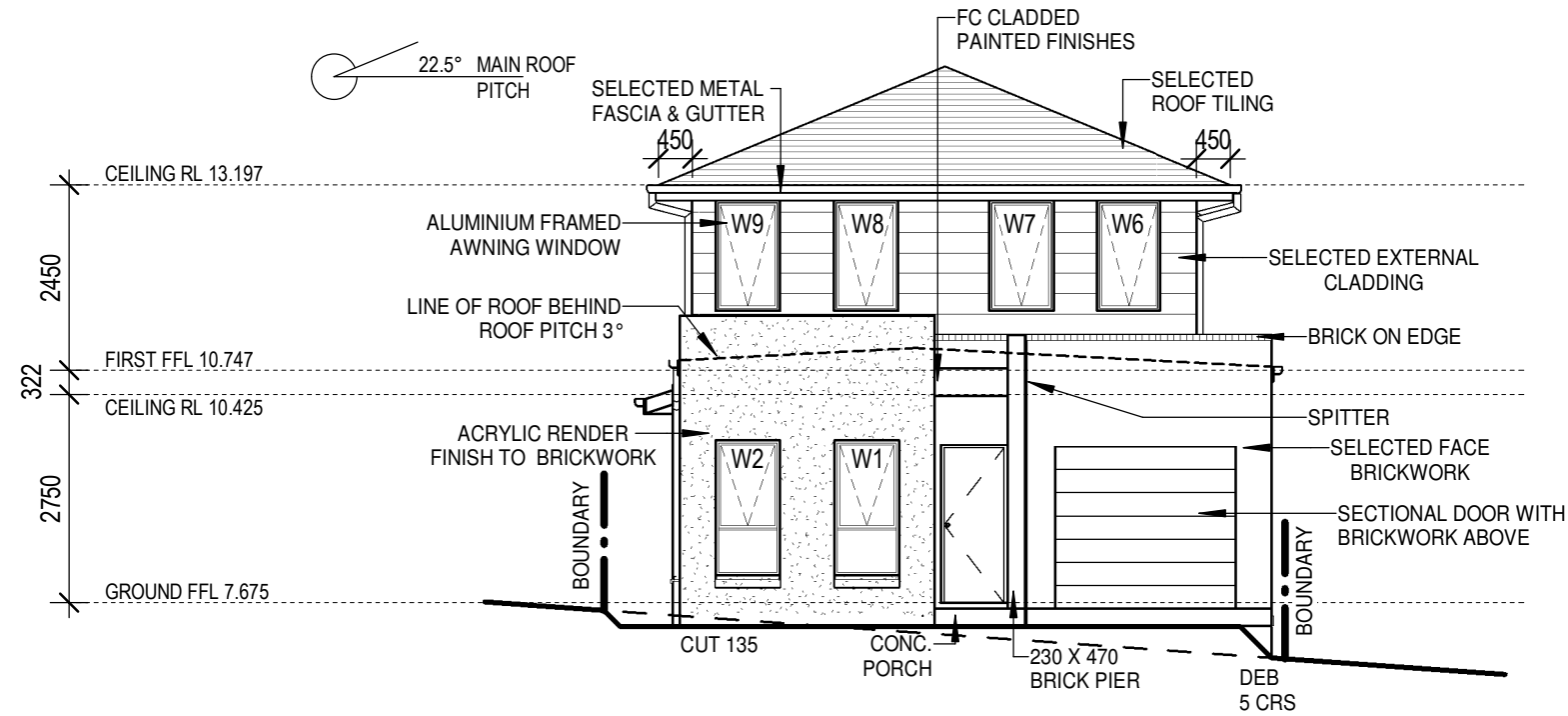
PROPOSED RESIDENCE FOR:  
 CLIENT: MR & MRS POWER  
 ADDRESS:  
**LOT 13 BUBALO STREET  
 WARRIEWOOD  
 NORTHERN BEACHES COUNCIL**

AFFINITY INCLUSIONS	
JOB NO: 17264	DATE: 31.07.19
DRAWN: EC	CHECKED:
SCALE: As indicated	SHEET NO: 01
PLEASE DISCARD ALL OTHER PLANS	
<b>DO NOT SCALE DRAWING</b>	

LOCATION: T:\First draft\17264\_POWER\Drawings\17264\_POWER.rvt

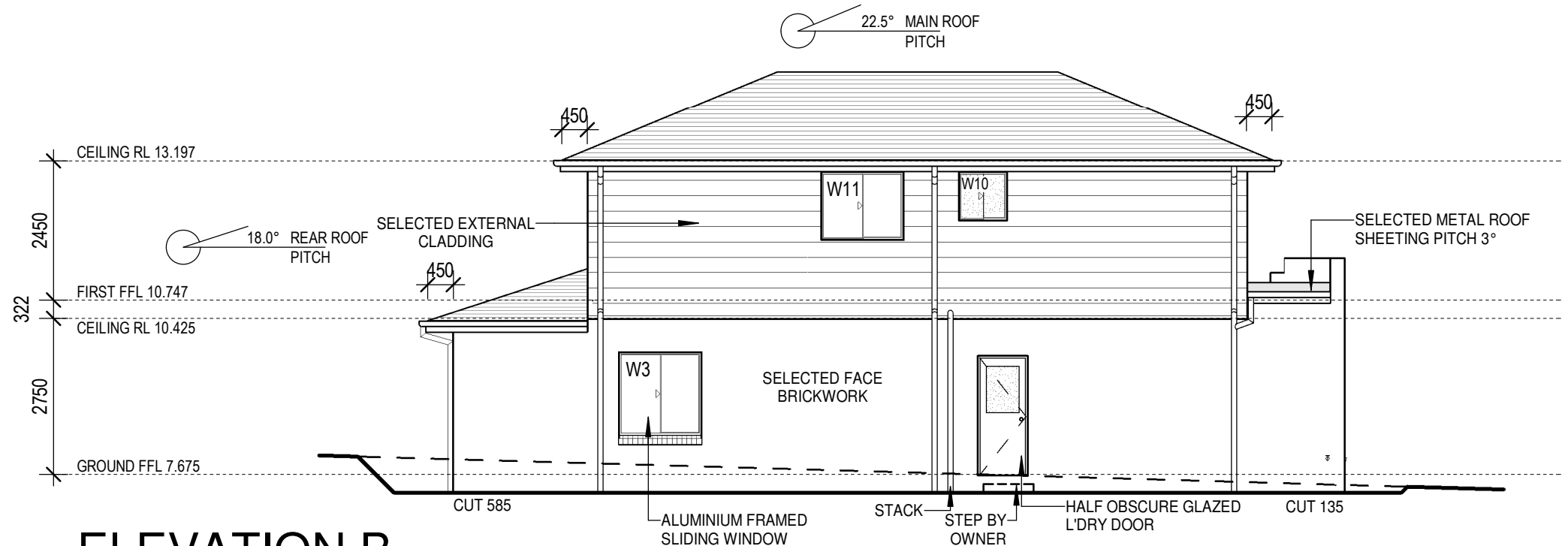
**NOTE:**

- FIRST FLOOR WINDOW HEADS TO BE PLACED DIRECTLY UNDER EAVES OR AT EQUAL HEIGHT
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL TO U/S STEEL ARCH BAR EXCEPT W5 TO BE PLACED AT HEAD HEIGHT 2400
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.



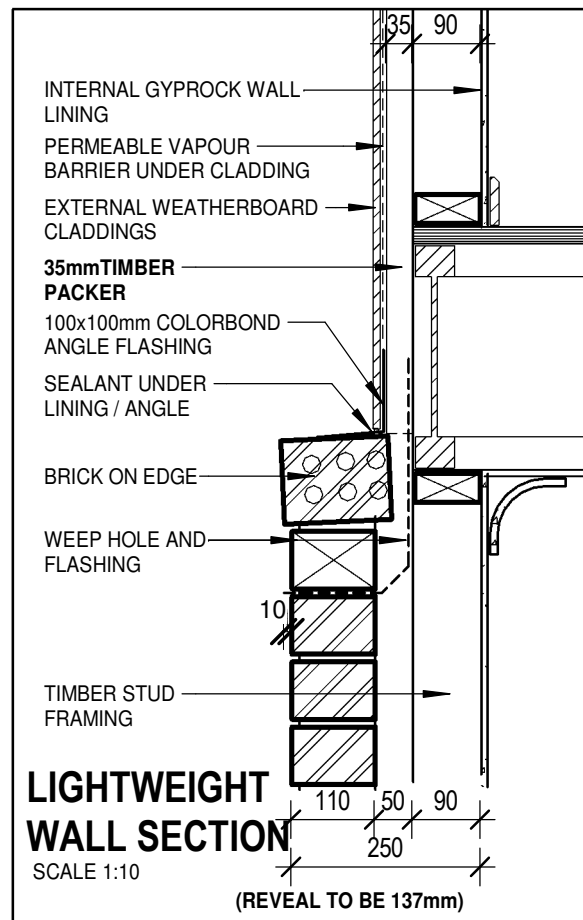
**ELEVATION A**

1 : 100



**ELEVATION B**

1 : 100



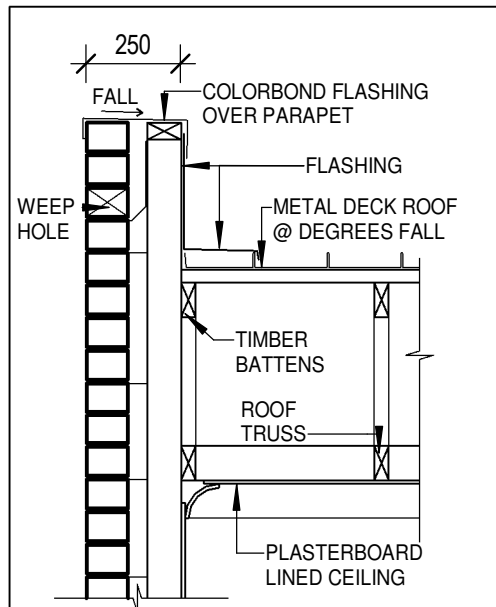
**LIGHTWEIGHT WALL SECTION**

SCALE 1:10

(REVEAL TO BE 137mm)

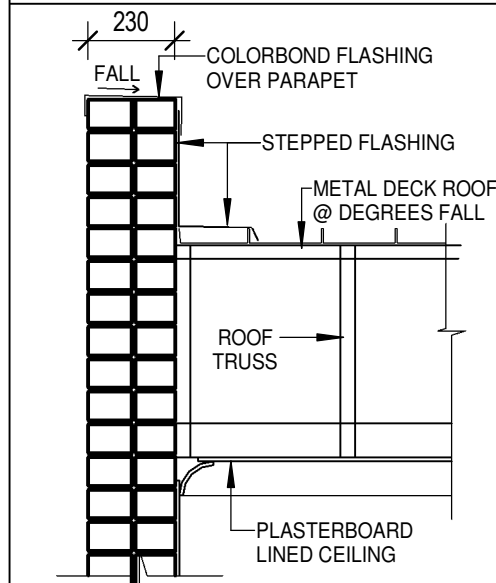
**ELEVATIONS**

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A	PFD (EC)	17.08.18			CLIENT: MR & MRS POWER		JOB NO: 17264	DATE: 31.07.19		
B	VARY B (EB)	27.09.18			ADDRESS: LOT 13 BUBALO STREET WARRIEWOOD NORTHERN BEACHES COUNCIL		DRAWN: EC	CHECKED:		
C	VARY D (EB)	07.03.19					SCALE: As indicated	SHEET NO: 04		
D	VARY CS (EB)	08.04.19			PLEASE DISCARD ALL OTHER PLANS					
E	VARY F (EC)	31.07.19			<b>DO NOT SCALE DRAWING</b>					
F	FFD (EB)	09.08.19								



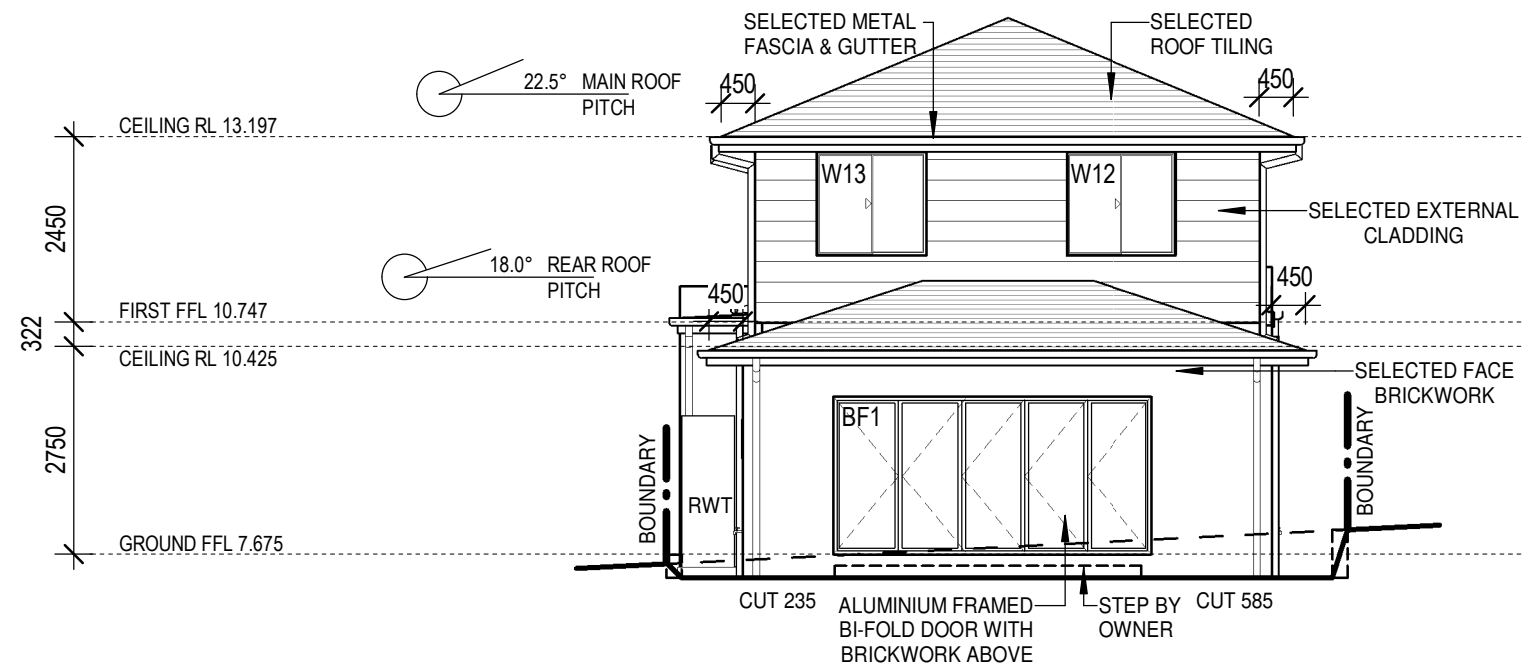
### BRICK VENEER PARAPET DETAIL

SCALE 1:20



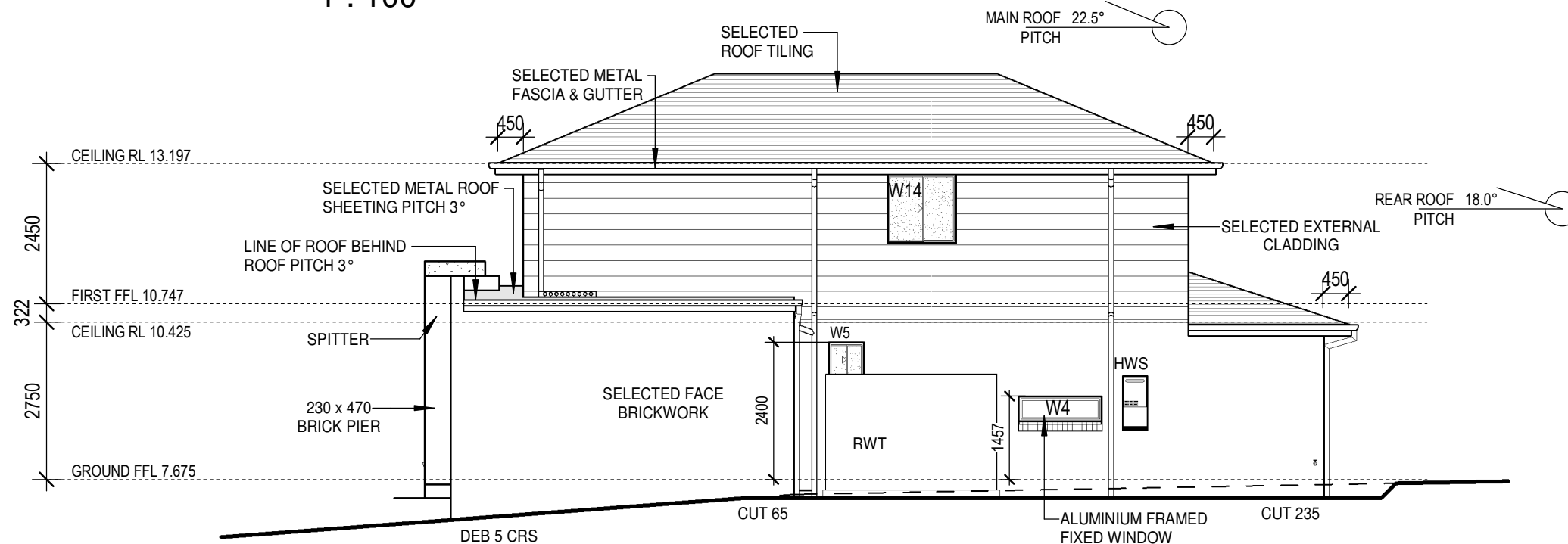
### 230mm BRICK PARAPET DETAIL

SCALE 1:20



## ELEVATION C

1 : 100



## ELEVATION D

1 : 100

**NOTE:**

- FIRST FLOOR WINDOW HEADS TO BE PLACED DIRECTLY UNDER EAVES OR AT EQUAL HEIGHT
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL TO U/S STEEL ARCH BAR EXCEPT W5 TO BE PLACED AT HEAD HEIGHT 2400
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

# ELEVATIONS

ISSUE	AMENDMENT	DATE
A	PFD (EC)	17.08.18
B	VARY B (EB)	27.09.18
C	VARY D (EB)	07.03.19
D	VARY CS (EB)	08.04.19
E	VARY F (EC)	31.07.19
F	FFD (EB)	09.08.19

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**WINCREST**

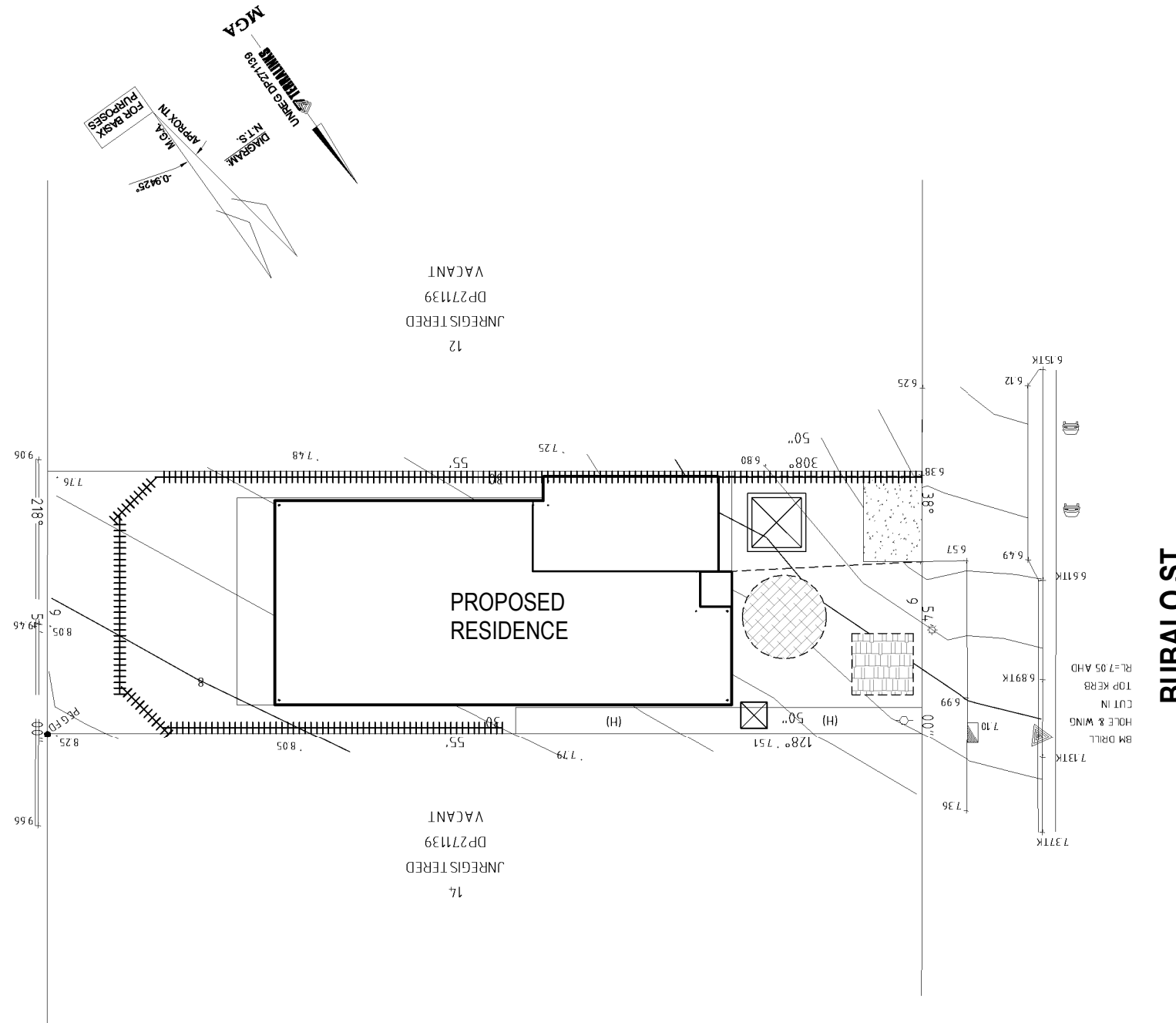
BESPOKE  
Wincrest Group Pty Ltd.  
ACN 135 562 873  
Builders License No. 213 442C  
18 Pitt St, Paramatta NSW 2150  
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:  
CLIENT: MR & MRS POWER

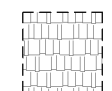
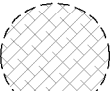



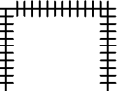

ADDRESS:  
LOT 13 BUBALO STREET  
WARRIEWOOD  
NORTHERN BEACHES COUNCIL

AFFINITY INCLUSIONS	
JOB NO: 17264	DATE: 31.07.19
DRAWN: EC	CHECKED:
SCALE: As indicated	SHEET NO: 05
PLEASE DISCARD ALL OTHER PLANS	
<b>DO NOT SCALE DRAWING</b>	

LOCATION: T:\First draft\17264\_POWER\Drawings\17264\_POWER.rvt



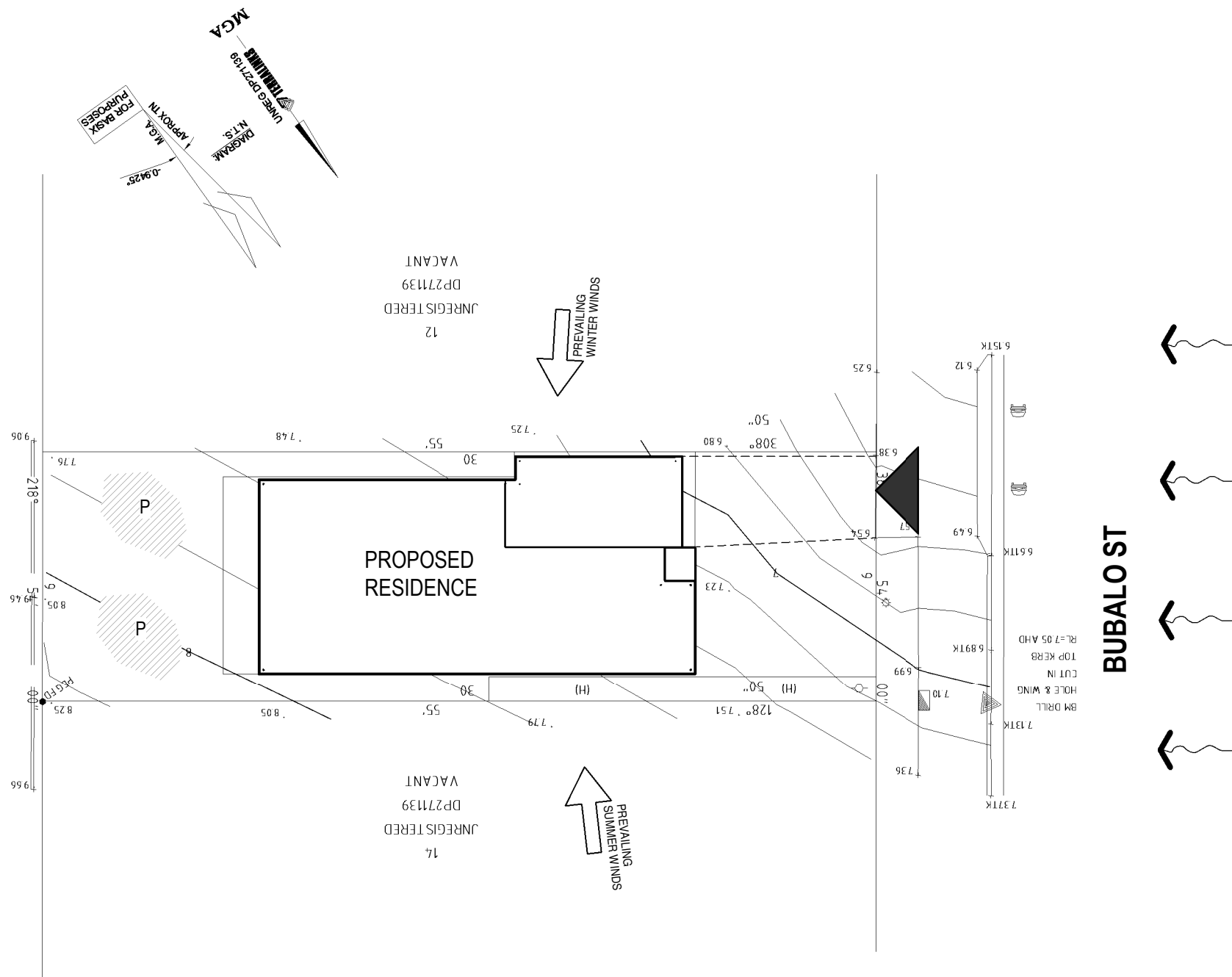
### LEGEND

-  Material Stockpile area.
-  Waste stockpile & material sorting area.
-  Storage recycling bins for segregated waste.
-  Chemical toilets.
-  Temporary builders d/way to E.P.A. requirements.
-  Fit standard 600 high green silt fence (refer to detail).
-  Trees to be removed.

**NOTE:** All waste materials to be taken to an approved waste disposal site.

# SOIL & SEDIMENT CONTROL PLAN

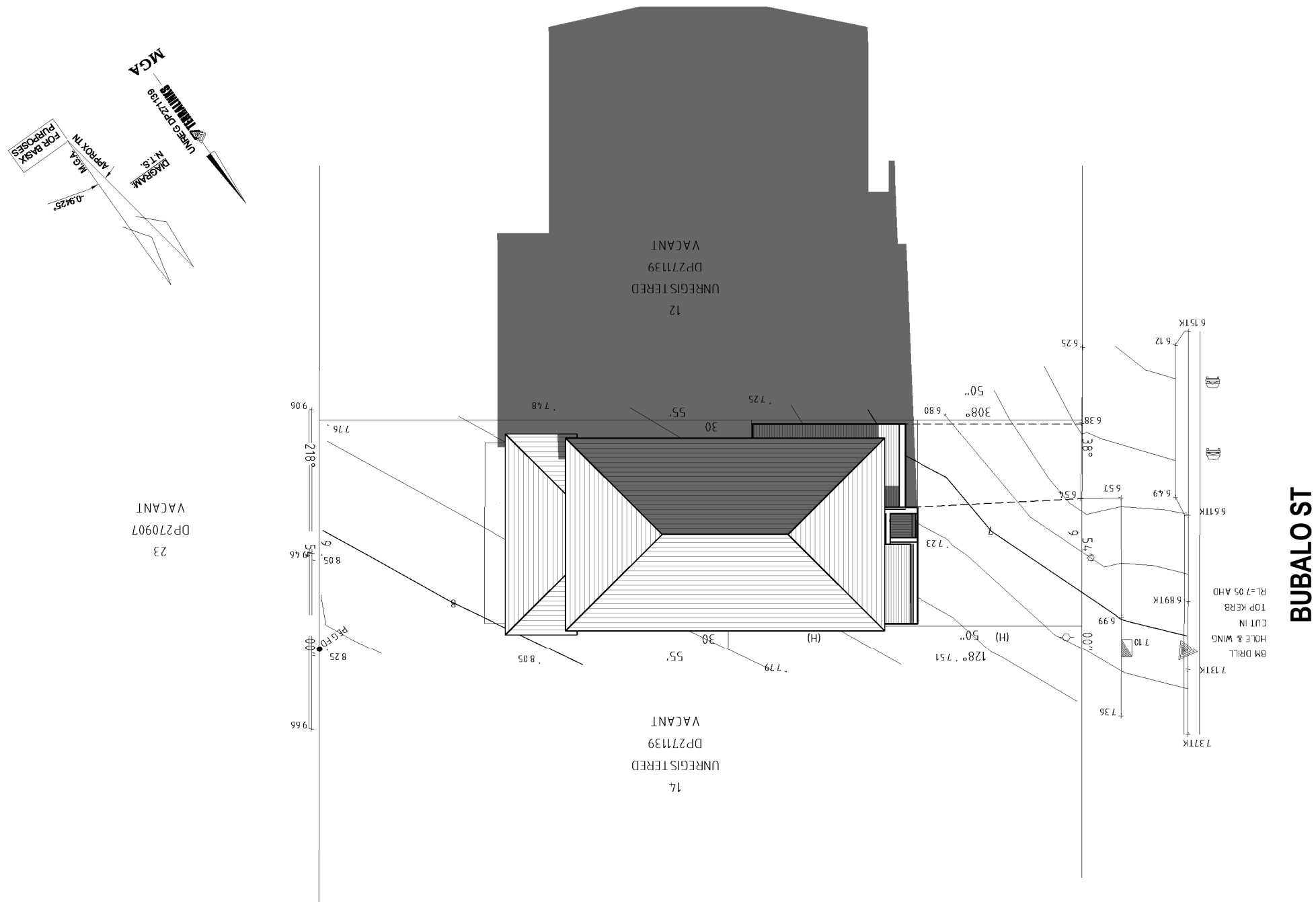
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A	PFD (EC)	17.08.18			CLIENT: MR & MRS POWER	JOB NO: 17264	DATE: 31.07.19
B	VARY B (EB)	27.09.18	ADDRESS: <b>LOT 13 BUBALO STREET WARRIEWOOD NORTHERN BEACHES COUNCIL</b>	DRAWN: EB	CHECKED: Checker		
C	VARY D (EB)	07.03.19		SCALE: 1 : 200	SHEET NO: 13		
D	VARY CS (EB)	08.04.19		PLEASE DISCARD ALL OTHER PLANS			
E	VARY F (EC)	31.07.19		<b>DO NOT SCALE DRAWING</b>			
F	FFD (EB)	09.08.19					



LEGEND	
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO BE RETAINED
	PROPOSED RESIDENCE.
	EXISTING ADJOINING RESIDENCE.
	EXISTING BUILDINGS TO BE DEMOLISHED.
	SITE BOUNDARY
	CONTOURS
	PRIVATE OPEN SPACE
	VIEWS
	VEHICULAR SITE ENTRY
	PREVAILING WINDS
	NOISE
	OVERLOOKING

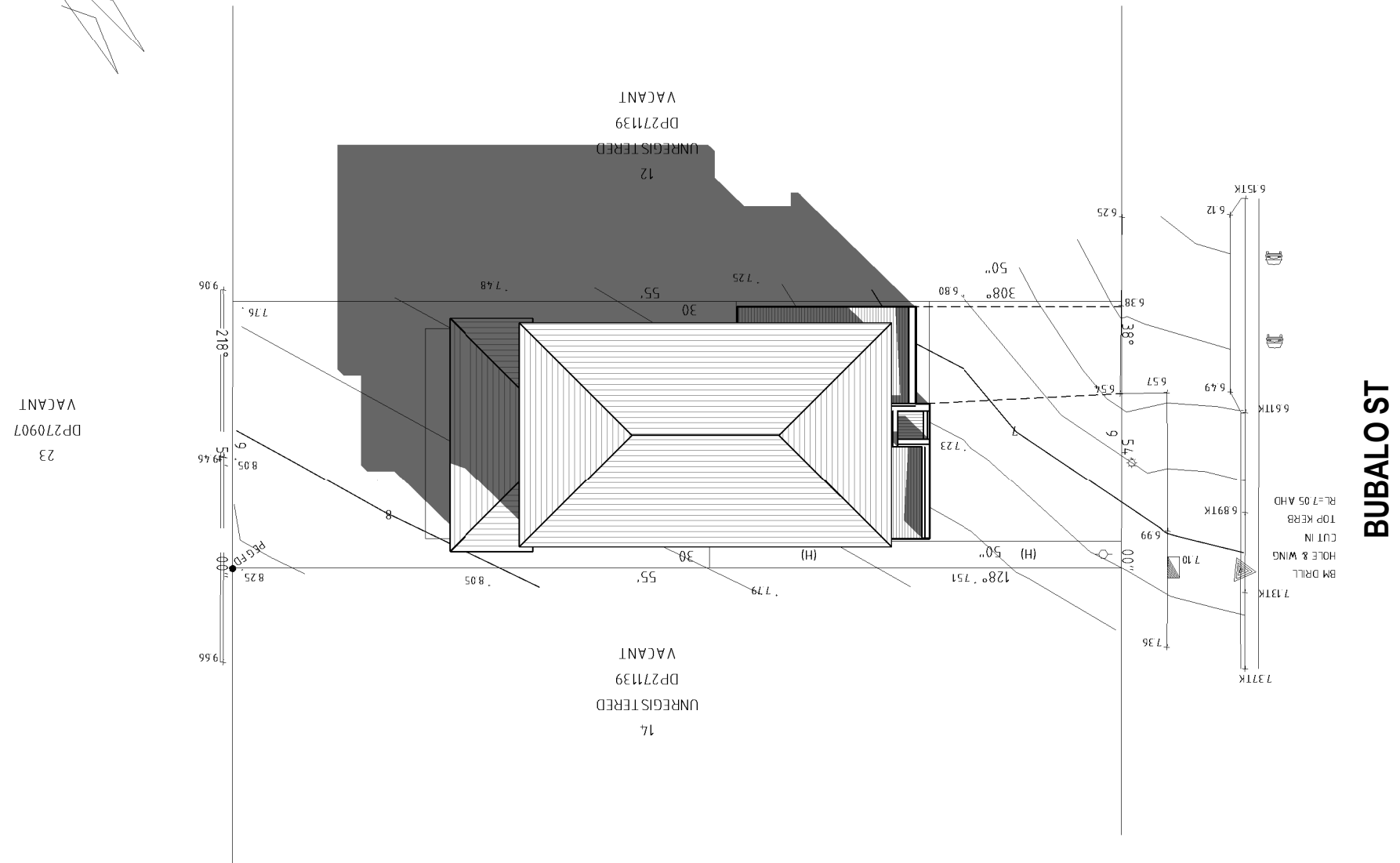
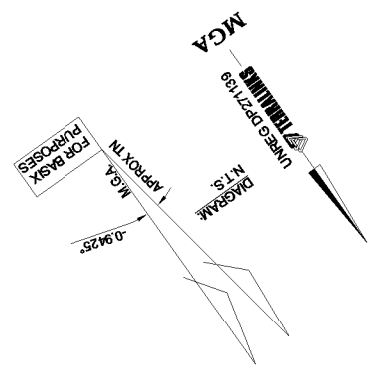
# SITE ANALYSIS

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A	PFD (EC)	17.08.18			CLIENT: MR & MRS POWER	JOB NO: 17264	DATE: 31.07.19
B	VARY B (EB)	27.09.18	ADDRESS: <b>LOT 13 BUBALO STREET WARRIEWOOD NORTHERN BEACHES COUNCIL</b>	DRAWN: EB	CHECKED: Checker		
C	VARY D (EB)	07.03.19		SCALE: 1 : 200	SHEET NO: 14		
D	VARY CS (EB)	08.04.19		PLEASE DISCARD ALL OTHER PLANS			
E	VARY F (EC)	31.07.19		<b>DO NOT SCALE DRAWING</b>			
F	FFD (EB)	09.08.19					



# SHADOW DIAGRAM JUNE 21st 9AM

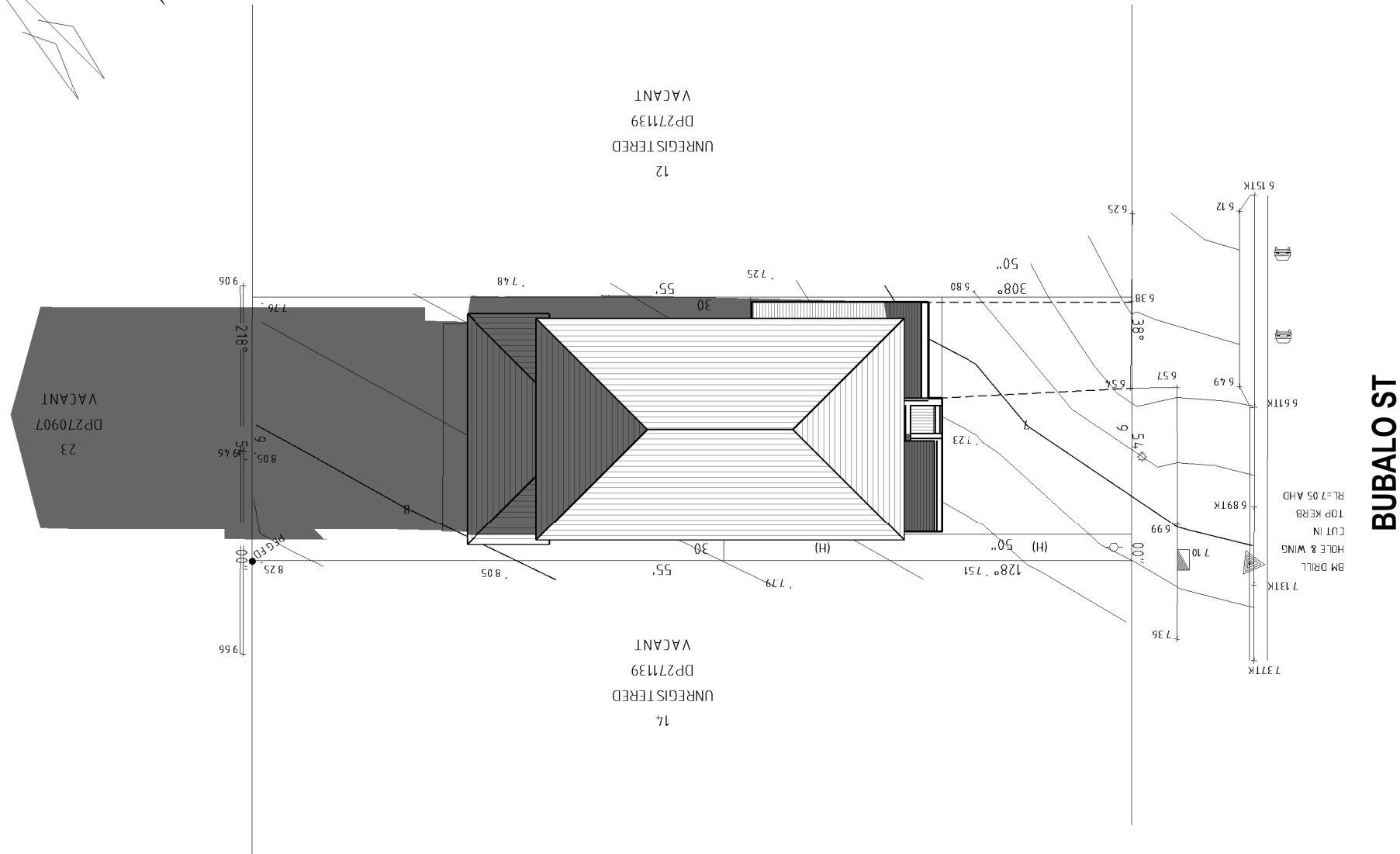
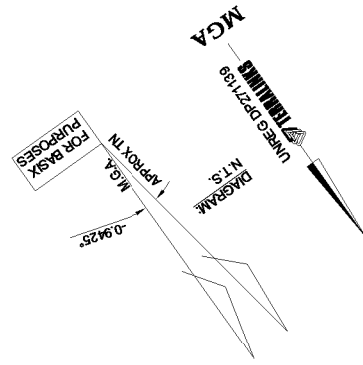
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A	PFD (EC)	17.08.18			CLIENT: MR & MRS POWER	JOB NO: 17264	DATE: 31.07.19
B	VARY B (EB)	27.09.18			<p>ADDRESS: <b>LOT 13 BUBALO STREET WARRIEWOOD NORTHERN BEACHES COUNCIL</b></p>	DRAWN: EB	CHECKED: Checker
C	VARY D (EB)	07.03.19				SCALE: 1 : 200	SHEET NO: 15
D	VARY CS (EB)	08.04.19				PLEASE DISCARD ALL OTHER PLANS	
E	VARY F (EC)	31.07.19				<b>DO NOT SCALE DRAWING</b>	
F	FFD (EB)	09.08.19					



# SHADOW DIAGRAM JUNE 21st 12PM

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A	PFD (EC)	17.08.18			CLIENT: MR & MRS POWER	JOB NO: 17264	DATE: 31.07.19
B	VARY B (EB)	27.09.18			<p>ADDRESS: <b>LOT 13 BUBALO STREET WARRIEWOOD NORTHERN BEACHES COUNCIL</b></p>	DRAWN: EB	CHECKED: Checker
C	VARY D (EB)	07.03.19				SCALE: 1 : 200	SHEET NO: 16
D	VARY CS (EB)	08.04.19				PLEASE DISCARD ALL OTHER PLANS	
E	VARY F (EC)	31.07.19				<b>DO NOT SCALE DRAWING</b>	
F	FFD (EB)	09.08.19					

LOCATION: T:\First draft\17264\_POWER\Drawings\17264\_POWER.rvt



# SHADOW DIAGRAM JUNE 21st 3PM

ISSUE A B C D E F	AMENDMENT	DATE	Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.	 BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806	PROPOSED RESIDENCE FOR:	AFFINITY INCLUSIONS		
						CLIENT: MR & MRS POWER	JOB NO: 17264	DATE: 31.07.19
						ADDRESS:	DRAWN: EB	CHECKED: Checker
						LOT 13 BUBALO STREET WARRIEWOOD NORTHERN BEACHES COUNCIL	SCALE: 1 : 200	SHEET NO: 17
							PLEASE DISCARD ALL OTHER PLANS	
							<b>DO NOT SCALE DRAWING</b>	

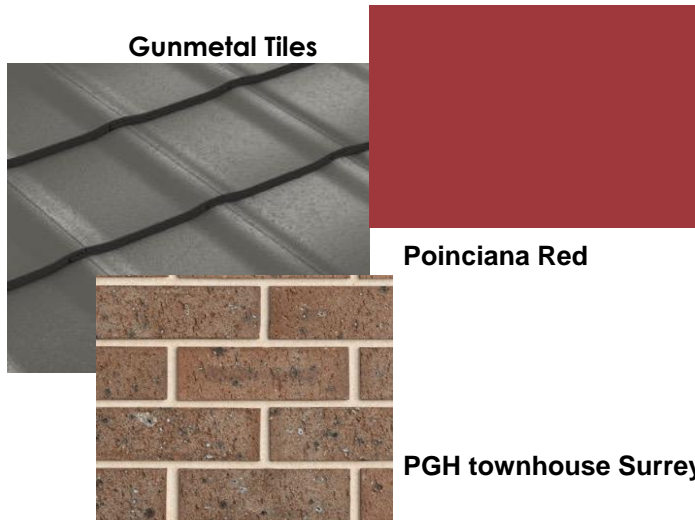


# External Colour Selection Schedule



BESPOKE

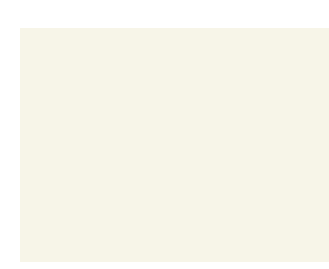
for: Lot 13 Bubalo Street, Warriewood



EXTERNAL COLOR SELECTIONS Ref 17264	
Details	Selections
Tiled Roof	Gunmetal
Fascia	Ironstone
Gutters/dowpipes	Ironstone
Rainwater tank	Ironstone
Garage door	Shale Grey
Front door	Poinciana Red
Cladding	Shale Grey
Brickwork	PGH townhouse Surrey
Windows	Ironstone



Ironstone



Cottonball

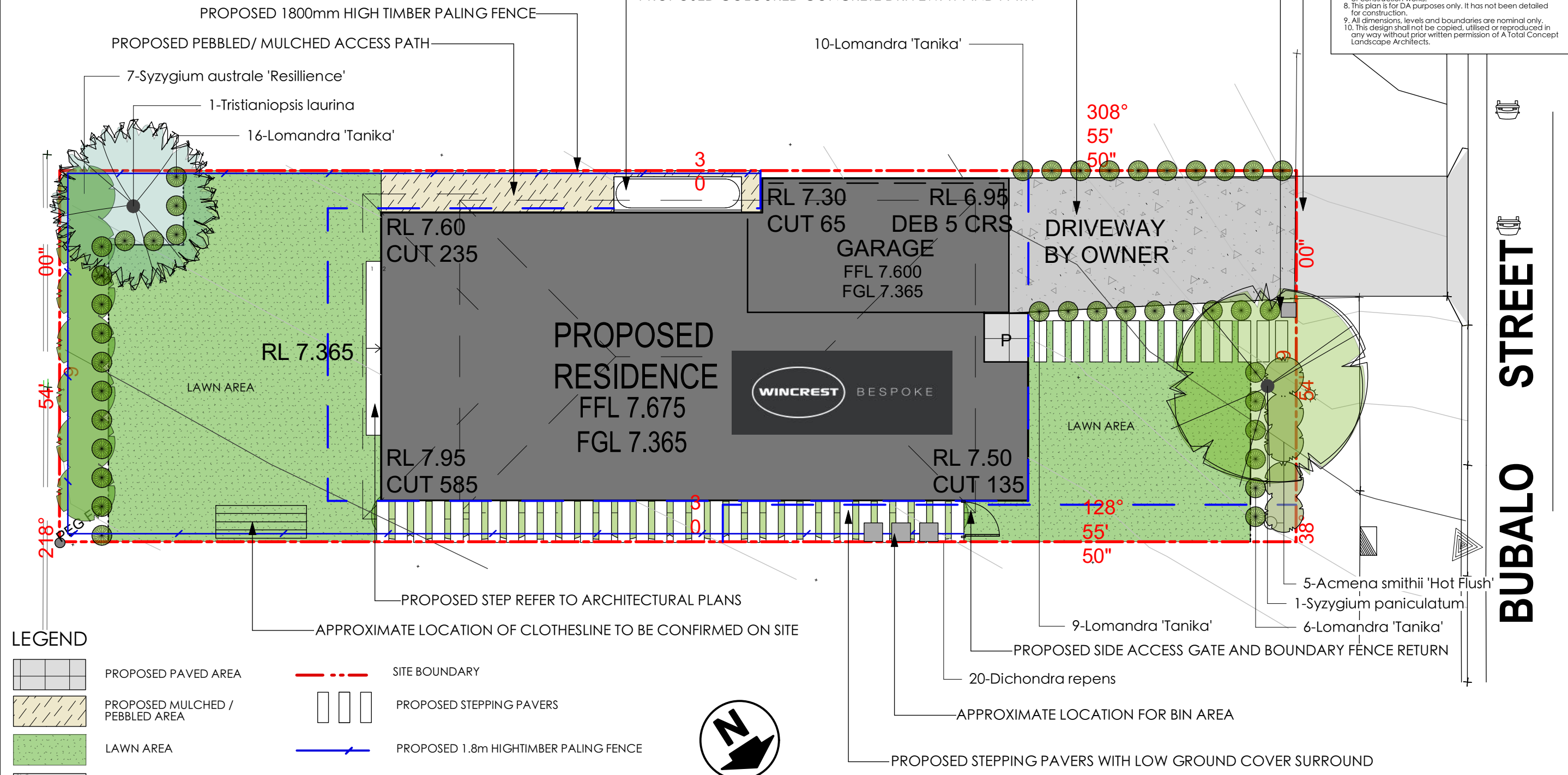


Shale Grey

POSITION OF 4030L 'THE EVOLUTION SERIES MKII' ABOVE GROUND RAINWATER TANK 1 TO BE INSTALLED IN ACCORDANCE WITH COUNCIL GUIDELINES AND THE NATIONAL PLUMBING AND DRAINAGE CODE AS/NZ 3500. THE RAINWATER SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER SUPPLY TO TOILETS AND EXTERNAL GARDEN TAPS

PLAIN CONCRETE CROSSOVER TO COUNCIL SPECIFICATIONS  
 PROPOSED LOCATION FOR BRICK PIER WITH INSERT LETTERBOX

- Notes:
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
  2. All detailing of drainage to paved areas shall be by others.
  3. All levels shall be determined by others and approved on site by client.
  4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
  5. Do not scale from drawings.
  6. If in doubt contact the Landscape Architect.
  7. All boundaries shall be surveyed prior to commencement of construction works.
  8. This plan is for DA purposes only. It has not been detailed for construction.
  9. All dimensions, levels and boundaries are nominal only.
  10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.



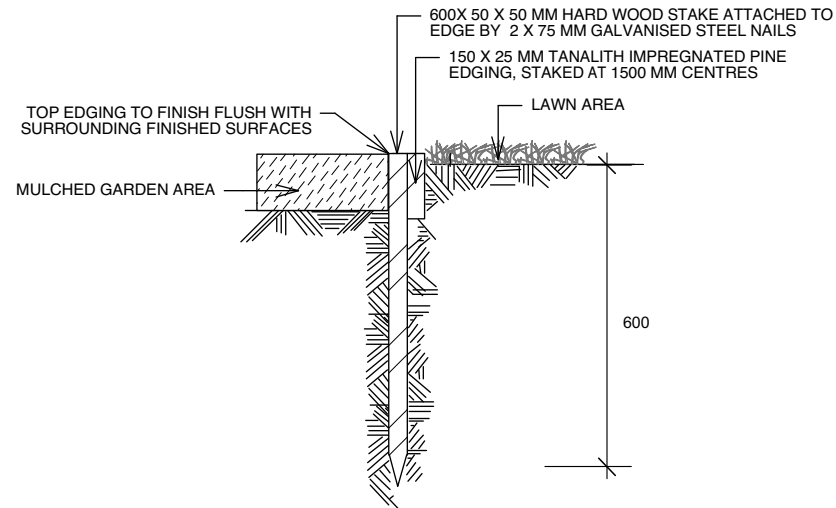
PLANTING SCHEDULE NOTE: ALL PROPOSED PLANT SPECIES ARE AUSTRALIAN NATIVE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Acmena smithii 'Hot Flush'	Lillypilly	5	200mm	1000	1000
Dichondra repens	Kidney Weed	20	Tube	1200	100
Lomandra 'Tanika'	Dwarf Lomandra	41	Tube	500	500
Syzygium australe 'Resilience'	Lillypilly	7	250mm	1500	2500
Syzygium paniculatum	Brush Cherry	1	45lt	5000	10000
Tristaniopsis laurina	Water Gum	1	45lt	4000	8000

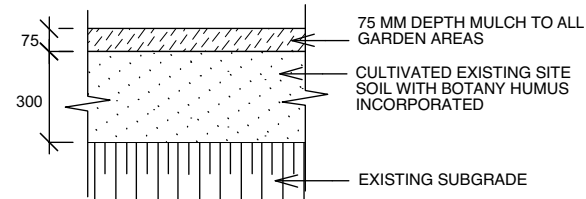
Note: Landscape Contractor shall undertake minor earthworks after handover by builder as required to achieve maximum gradient to all lawn and mulched areas of 1:50, and 1:4 to all garden areas. Should retaining walls be required to achieve these falls they shall be designed by an engineer and be a maximum height compliant with council and/or developer policies.

DATE	REVISION		
DRAWING <b>PROPOSED LANDSCAPE PLAN</b>			
ADDRESS <b>LOT 13 BUBALO STREET, WARRIEWOOD.</b>		PROJECT # <b>WINCREST HOMES</b>	
CLIENT <b>MR. &amp; MRS. POWER</b>		DATE # <b>14/08/19</b>	DWG # <b>L/01</b>
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		DRAWN <b>JC</b>	REVISION
		CHKD <b>SW</b>	

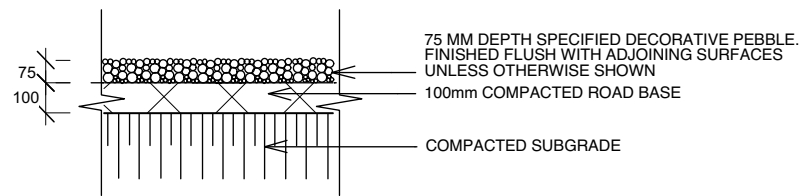
atc  
a total concept  
landscape architects & swimming pool designers



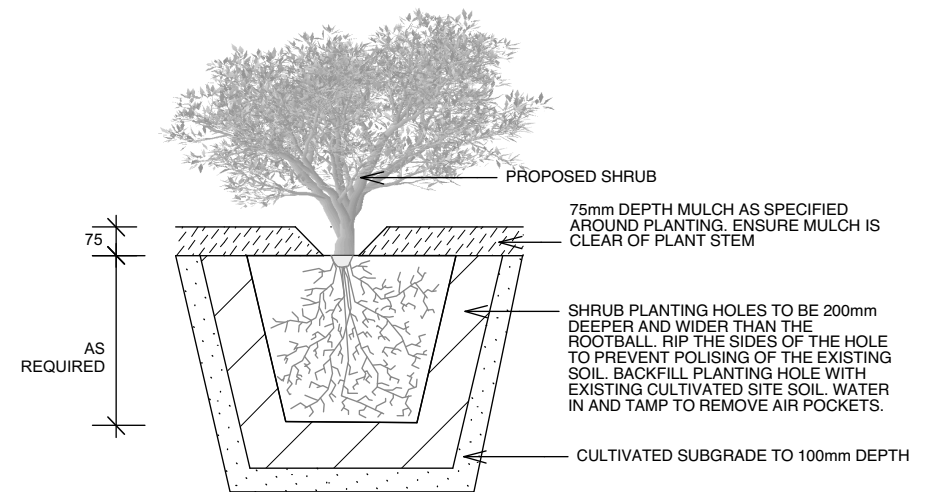
**TYPICAL TIMBER EDGE DETAIL**  
SCALE 1:10  
DO NOT SCALE



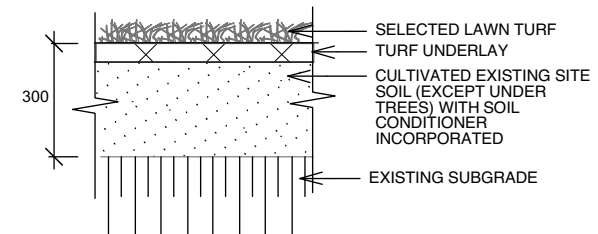
**SOIL TO GARDEN AREAS**  
SCALE 1:20



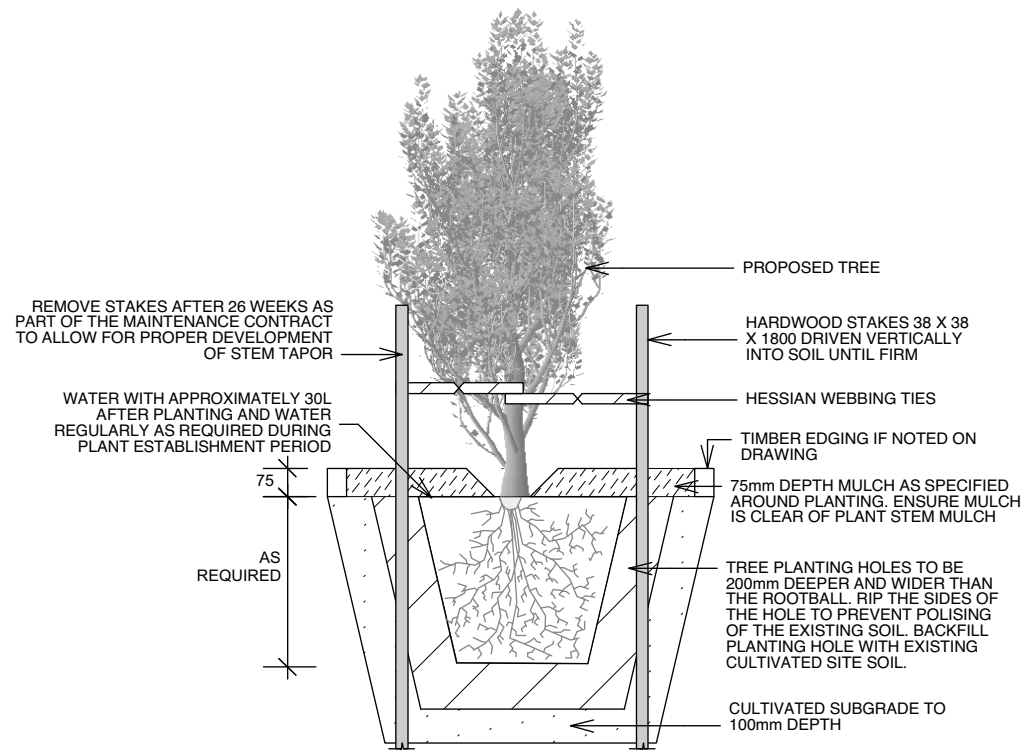
**PEBBLE PATHWAY**  
SCALE 1:10



**PLANTING DETAIL**  
SCALE 1:20



**TYPICAL TURF DETAIL**  
SCALE 1:20



**TREE PLANTING & STAKING DETAIL**  
SCALE 1:20

- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
  2. All detailing of drainage to paved areas shall be by others.
  3. All levels shall be determined by others and approved on site by client.
  4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
  5. Do not scale from drawings.
  6. If in doubt contact the Landscape Architect.
  7. All boundaries shall be surveyed prior to commencement of construction works.
  8. This plan is for DA purposes only. It has not been detailed for construction.
  9. All dimensions, levels and boundaries are nominal only.
  10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DATE	REVISION		
DRAWING	<b>LANDSCAPE DETAILS</b>		
ADDRESS	LOT 13 BUBALO STREET, WARRIEWOOD.		PROJECT # WINCREST HOMES
CLIENT	MR. & MRS. POWER	DATE # 14/08/19	DWG # L/02
		SCALE @ A3 1:200	
		DRAWN JC	
	CHKD SW	REVISION	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922			

## OUTLINE LANDSCAPE SPECIFICATION

**Preparation by Builder:** Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

**Initial Preparation:** Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

**Tree Protection:** Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

**Soil Preparation:** Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

**Lawn Edging and Stepping Stones:**(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

**Retaining Walls:** Positions, detail and heights of retaining walls shall be by others.

**Planting:** Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

**Staking:** All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

**Mulching:** Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

**Turfing:** Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and return councils nature strip as required.

**Fencing:** Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

**Paving:** Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

**Irrigation:** Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

**Clotheslines:** Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

**Completion:** Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

**Maintenance Period:** A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

**(a) Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

**(b) Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

**(c) Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

**(d) Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

**(e) Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

**(f) Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

**(g) Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

**(h) Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

**(i) Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

**(j) Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

### Notes:

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- All detailing of drainage to paved areas shall be by others.
- All levels shall be determined by others and approved on site by client.
- Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
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DATE	REVISION		
DRAWING	LANDSCAPE SPECIFICATION		
ADDRESS	LOT 13 BUBALO STREET, WARRIEWOOD.		PROJECT # WINCREST HOMES
CLIENT	MR. & MRS. POWER	DATE # 14/08/19	DWG # L/03
		SCALE @ A3 1:200	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		DRAWN JC	
	CHKD SW	REVISION	
			



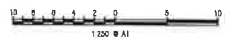
- LEGEND**
- PRINCIPAL OPENSPACE (4x5m+20m) FOR FRONTAGE BETWEEN 9-14m
  - PRINCIPAL OPENSPACE (4x6m+24m) FOR FRONTAGE >14m
  - PRIVATE OPEN SPACE
  - PREFERRED GARAGE LOCATION
  - SINGLE STOREY BUILDING
  - 2 STOREY BUILDING
  - DRIVEWAY
  - ZERO LOT BOUNDARY
  - RETAINING WALLS

**NOTE:**

LOT AREAS & DIMENSIONS ARE APPROXIMATE ONLY AND SUBJECT TO FINAL SURVEY'S REGULATORY APPROVALS & PLAN REGISTRATION AT LPI NSW.

BUILDING ENVELOPES SHOW MIN SETBACKS ONLY. SITE COVERAGE HAS NOT BEEN CALCULATED & IS TO BE PART OF THE ARCHITECTURAL DESIGN PROCESS.

PRELIMINARY BUILDING ENVELOPES ARE INDICATIVE ONLY & SUBJECT TO ARCHITECTURAL DESIGN & COUNCIL APPROVAL.



- "A" - EASEMENT FOR SEWER PURPOSES 5' WIDE (VIDE 6390113)
- "B" - EASEMENT TO DRAIN WATER VARIABLE WIDTH (B)
- "C" - EASEMENT TO DRAIN WATER 1.5' WIDE (C)
- "D" - POSITIVE EASEMENT No. 3
- "E" - EASEMENT FOR ACCESS (FOOTPATH) 3' WIDE (E)
- "F" - RESTRICTION ON USE OF LAND No. 3
- "G" - EASEMENT FOR ACCESS & MAINTENANCE 0.5' WIDE (H)
- "J" - EASEMENT FOR ACCESS VARIABLE WIDTH (J)

BEP

DATE	BY	CHKD	APP'D	REVISION
2017/04/12	G.W.E.			ISSUED FOR PRELIMINARY APPROVAL
2017/04/12	G.W.E.			ISSUED FOR PRELIMINARY APPROVAL
2017/04/12	G.W.E.			ISSUED FOR PRELIMINARY APPROVAL
2017/04/12	G.W.E.			ISSUED FOR PRELIMINARY APPROVAL

	INDICATIVE BUILDING ENVELOPE PLAN OVER PROPOSED SUBDIVISION OF LOTS 32 SECTION C D.P. 5464		<b>WOOLWICH PTY LTD</b> 41 WARRIEWOOD ROAD, WARRIEWOOD	
	Scale: 1:200	Date: 12 APRIL 2017	Client: AHD	Loc: NORTHERN BEACHES
Drawn: G.W.E.	Checked: G.W.E.	Project No: 17001	EC: 17001	

**CRAIG & RHODES**

ARCHITECTS

17001

17001

17001

17001

17001

17001

17001

**90th**

ANNIVERSARY

1921 - 2011

**APPROVED COMPANY**

063-16

063-16P L06 [04]

- BEP

INDICATIVE BUILDING ENVELOPE PLAN

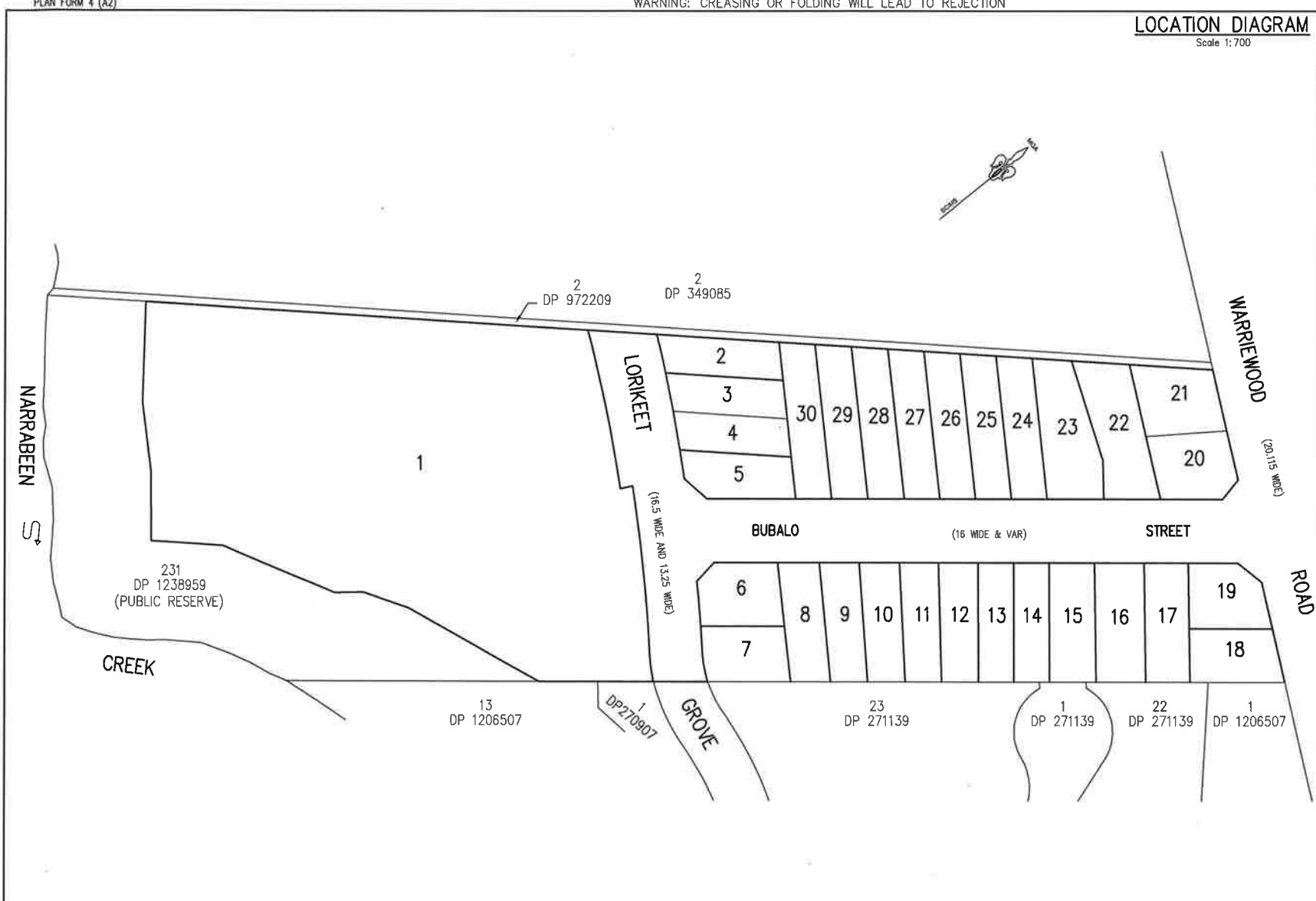
**LOCATION DIAGRAM**

Scale 1:700

THIS SHEET IS BEING CONTINUALLY UPDATED TO SHOW THE CURRENT SUBDIVISION PATTERN OF THE SCHEME. FOR DETAILS OF UPDATES AND ADDITIONAL AND REPLACEMENT SHEETS SEE SCHEDULE BELOW

**SCHEDULE OF CHANGES TO THE SCHEME**

LOT No	DETAILS	SHEET No
--------	---------	----------



Subdivision Certificate No: .....  
Date: .....

Surveyor: William L Harner  
Surveyors Ref: 181610-2

REGISTERED:

~~COMMUNITY/PRECINCT/NEIGHBOURHOOD PLAN~~

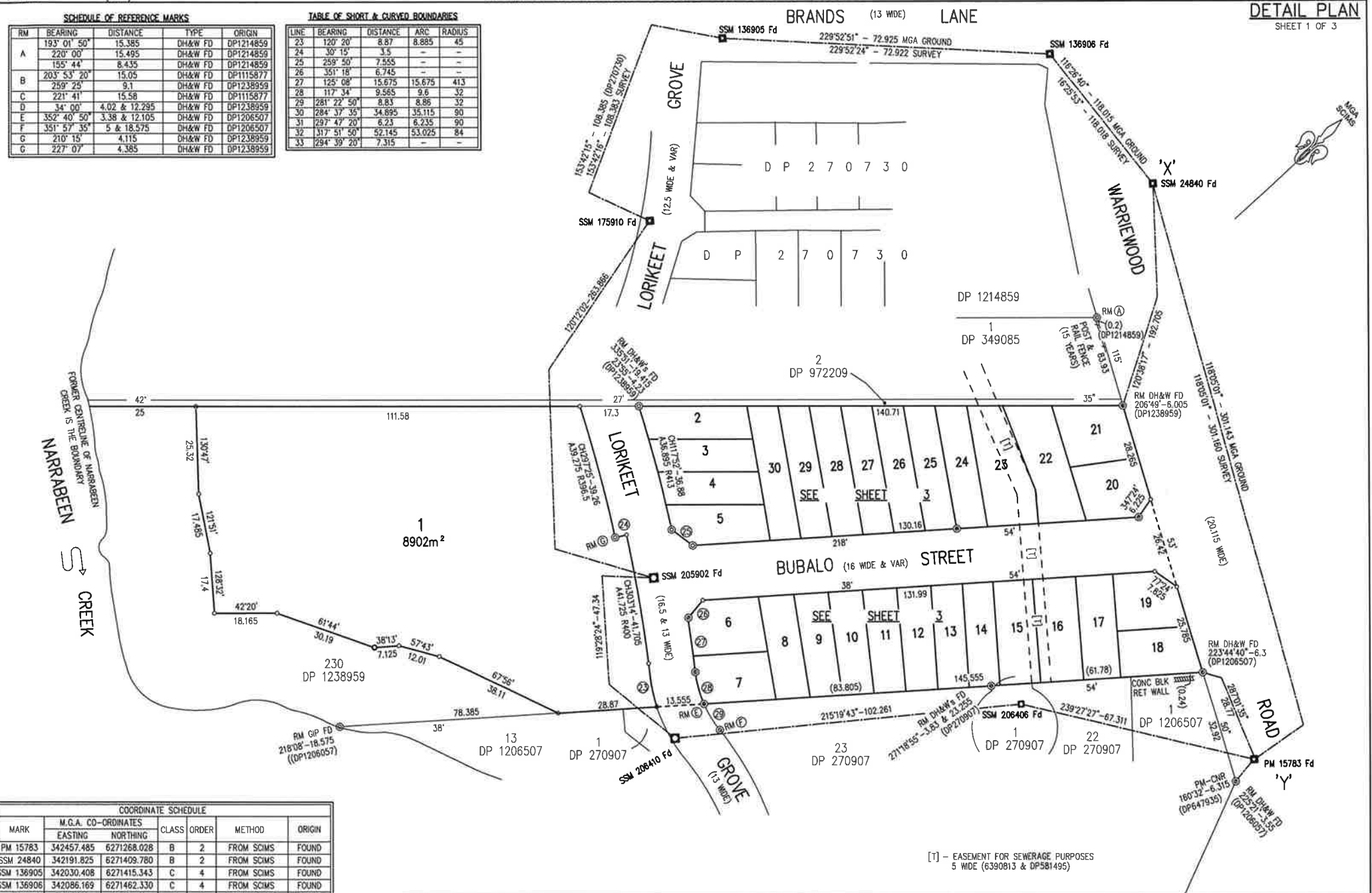
**DP 271139**

**SCHEDULE OF REFERENCE MARKS**

RM	BEARING	DISTANCE	TYPE	ORIGIN
A	193° 01' 50"	15.385	DH&W FD	DP1214859
	220° 00'	15.495	DH&W FD	DP1214859
	155° 44'	8.435	DH&W FD	DP1214859
B	203° 53' 20"	15.05	DH&W FD	DP1115877
	259° 25'	9.1	DH&W FD	DP1238959
C	221° 41'	15.58	DH&W FD	DP1115877
D	34° 00'	4.02 & 12.295	DH&W FD	DP1238959
E	352° 40' 50"	3.38 & 12.105	DH&W FD	DP1206507
F	351° 57' 35"	5 & 18.575	DH&W FD	DP1206507
G	210° 15'	4.115	DH&W FD	DP1238959
H	227° 07'	4.385	DH&W FD	DP1238959

**TABLE OF SHORT & CURVED BOUNDARIES**

LINE	BEARING	DISTANCE	ARC	RADIUS
23	120° 20'	8.87	8.885	45
24	30° 15'	3.5	-	-
25	259° 50'	7.555	-	-
26	351° 18'	6.745	-	-
27	125° 08'	15.675	15.675	413
28	117° 34'	9.565	9.6	32
29	281° 22' 50"	8.83	8.86	32
30	284° 37' 35"	34.895	35.115	90
31	797° 47' 20"	6.23	6.235	90
32	317° 51' 50"	52.145	53.025	84
33	294° 39' 20"	7.315	-	-



**COORDINATE SCHEDULE**

MARK	M.G.A. CO-ORDINATES		CLASS	ORDER	METHOD	ORIGIN
	EASTING	NORTHING				
PM 15783	342457.485	6271268.028	B	2	FROM SCIMS	FOUND
SSM 24840	342191.825	6271409.780	B	2	FROM SCIMS	FOUND
SSM 136905	342030.408	6271415.343	C	4	FROM SCIMS	FOUND
SSM 136906	342086.169	6271462.330	C	4	FROM SCIMS	FOUND
SSM 175910	342078	6271318	U	U	FROM SCIMS	FOUND
SSM 206406	342399.5	6271233.8	U	U	DP1206507	FOUND
SSM 206410	342340.4	6271150.4	U	U	DP1206507	FOUND
SSM 205902	342299.2	6271173.5	U	U	CAD TRAV	PLACED

DATE OF SCIMS CO-ORDINATES: 13/12/2018 MGA ZONE: 56 MGA DATUM: GDA94  
COMBINED SCALE FACTOR 0.999901 (SSM24840)

Surveyor: William L Hamer  
Date of Survey: 27/9/2018  
Surveyor's Ref: 181610-2

PLAN OF SUBDIVISION OF  
LOT 230 DP1238959

LGA: NORTHERN BEACHES  
Locality: WARRIWOOD  
Subdivision No:  
Lengths are in metres. Reduction Ratio 1:700

Registered

DP 271139

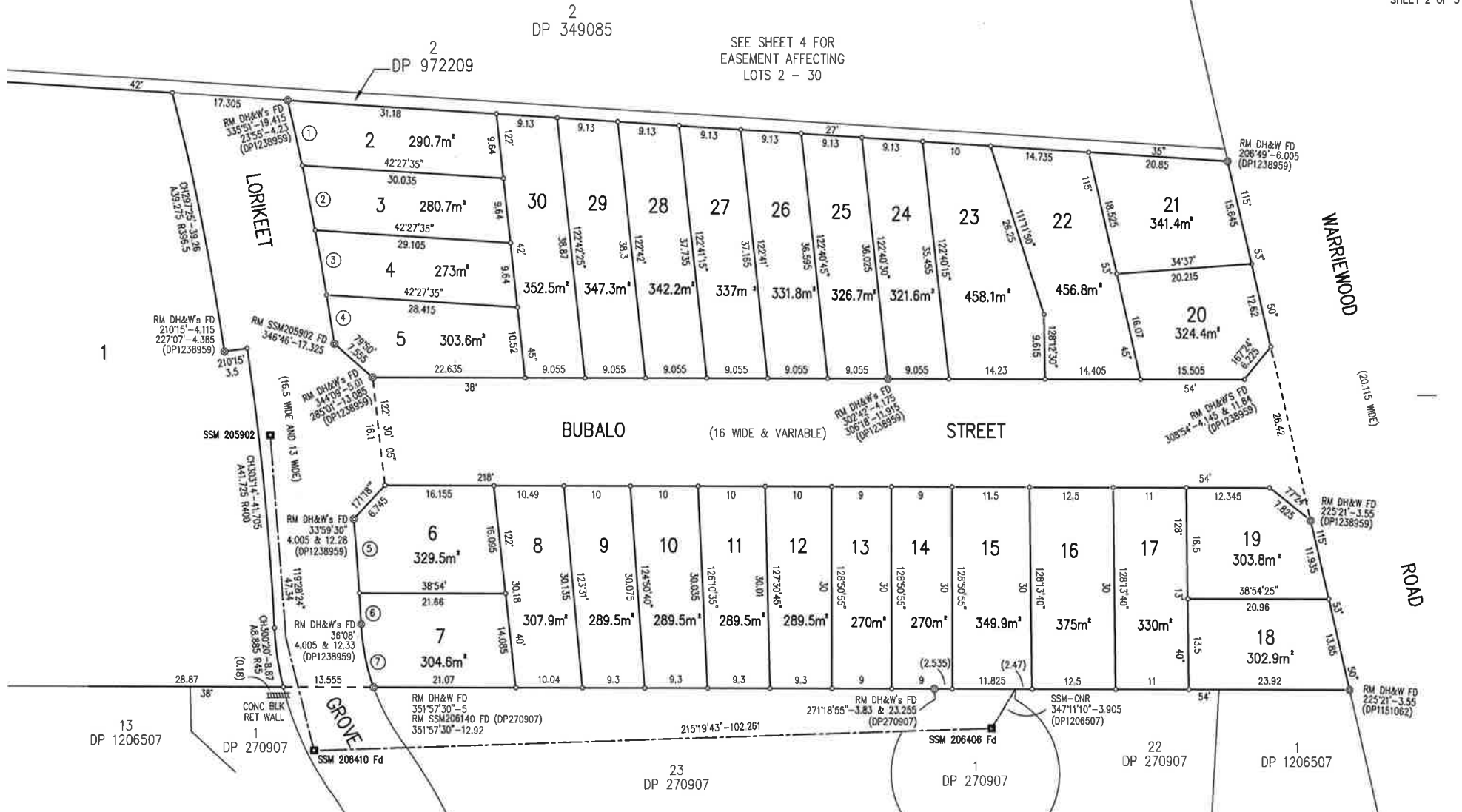


TABLE OF CURVED & SHORT BOUNDARIES

LINE	BEARING	CH DIST	ARC DIST	RADIUS
1	115° 58'	9.91	9.915	413
2	117° 20'	9.84	9.84	413
3	118° 42'	9.78	9.78	413
4	119° 53'	7.365	7.365	413
5	124° 51'	11.05	11.05	413
6	125° 51'	4.625	4.625	413
7	117° 34'	9.565	9.6	32

Surveyor: William L Homer  
 Date of Survey: 27/9/2018  
 Surveyor's Ref: 181610-2

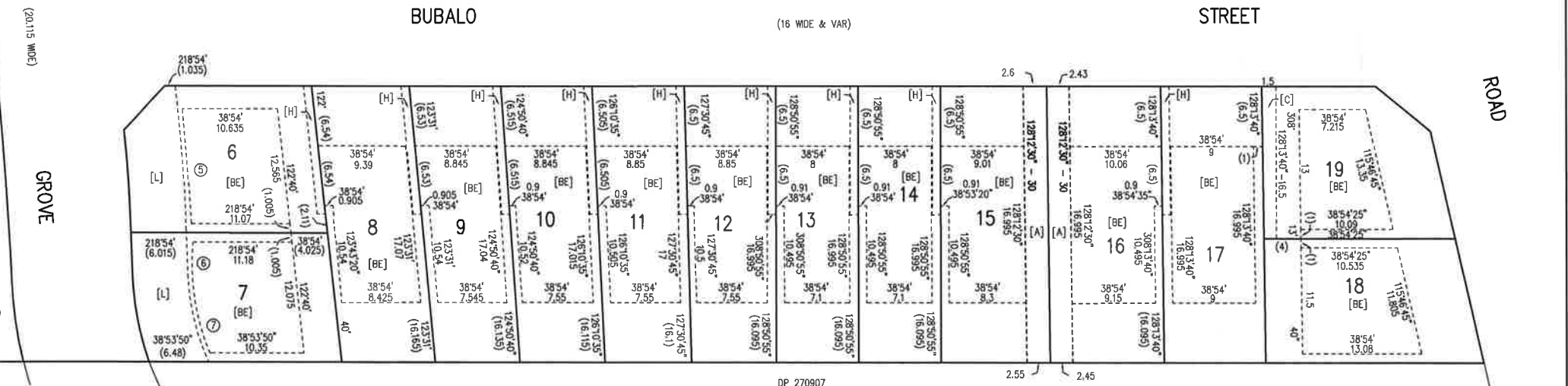
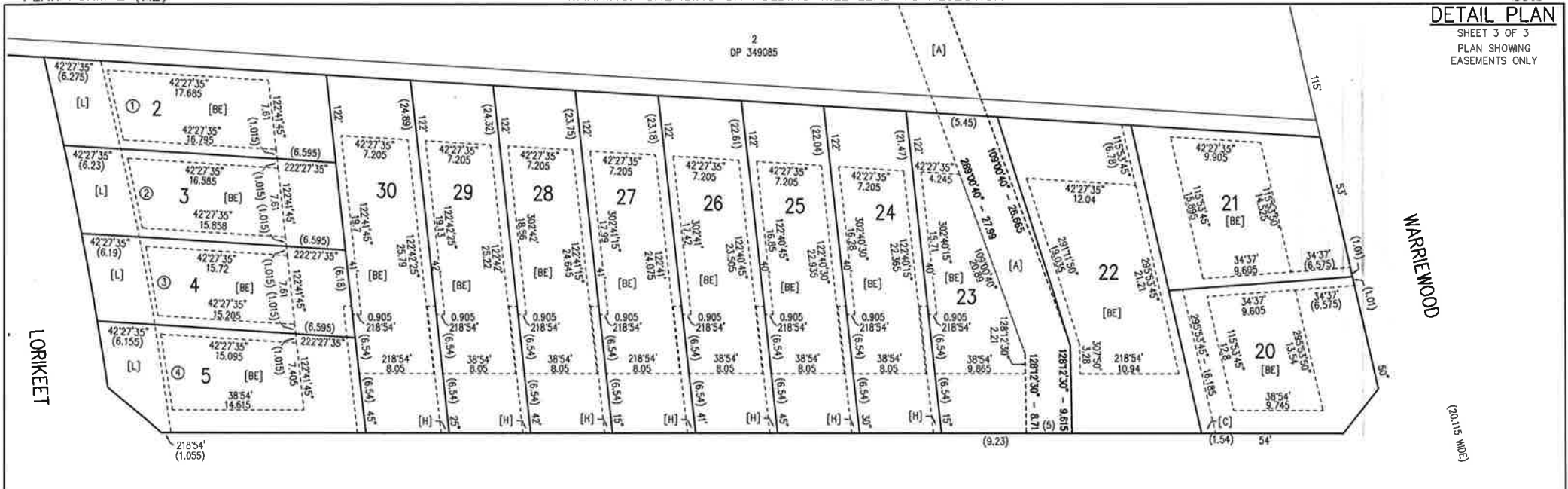
PLAN OF SUBDIVISION OF  
 LOT 230 DP1238959

LGA: NORTHERN BEACHES  
 Locality: WARREWOOD  
 Subdivision No:  
 Lengths are in metres. Reduction Ratio 1:400

Registered

DP 271139





**EASEMENTS:**  
 [C] - EASEMENT TO DRAIN WATER 1.5 WIDE  
 [H] - EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
 [L] - POSITIVE COVENANT - VEGETATION MANAGEMENT PLAN 6 WIDE  
 [BE] - RESTRICTION ON THE USE OF LAND

**EXISTING EASEMENTS:**  
 [A] - EASEMENT FOR SEWAGE PURPOSES 5 WIDE (VIDE 6771995)

**TABLE OF CURVED & SHORT LINES**

LINE	BEARING	CH DIST	ARC DIST	RADIUS
1	116°15'	7.81	7.81	419.5
2	117°38'	7.76	7.76	419.5
3	118°57'	7.69	7.69	419.5
4	120°19'	8.39	8.39	419.5
5	124°38'	12.535	12.535	419.5
6	128°00'	3.315	3.315	419.5
7	116°08'	8.91	8.985	25.5

Surveyor: William L Homer Date of Survey: 27/9/2018 Surveyor's Ref: 181610-2	<b>PLAN OF SUBDIVISION OF LOT 230 DP1238959</b>	LGA: NORTHERN BEACHES Locality: WARRIEWOOD Subdivision No: Lengths are in metres. Reduction Ratio 1:300	Registered	<b>DP 271139</b>
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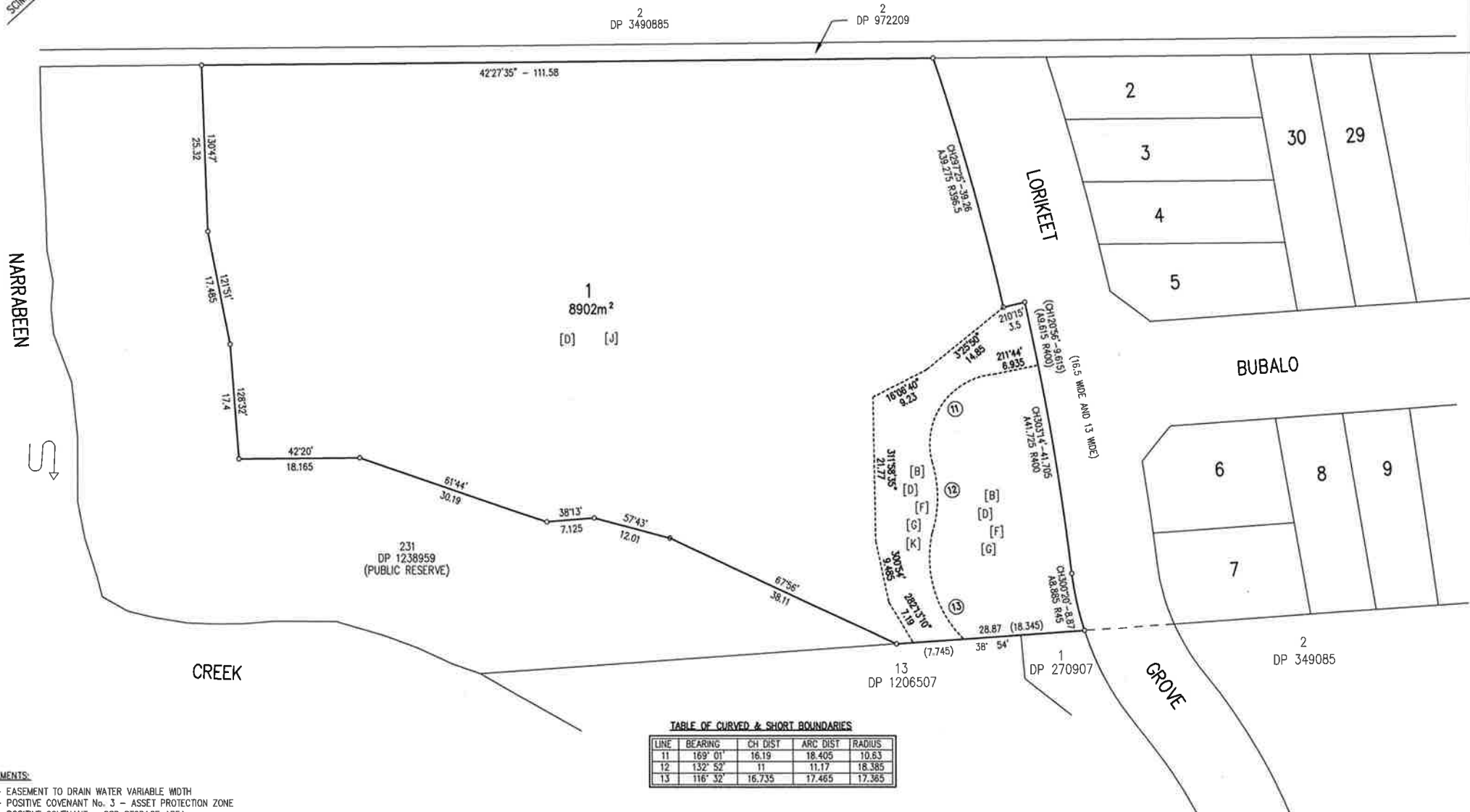
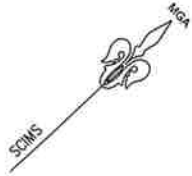


TABLE OF CURVED & SHORT BOUNDARIES

LINE	BEARING	CH DIST	ARC DIST	RADIUS
11	169° 01'	16.19	18.405	10.63
12	132° 52'	11	11.17	18.385
13	116° 32'	16.735	17.465	17.365

EASEMENTS:

- [B] - EASEMENT TO DRAIN WATER VARIABLE WIDTH
- [D] - POSITIVE COVENANT No. 3 - ASSET PROTECTION ZONE
- [F] - POSITIVE COVENANT - OSD STORAGE AREA
- [G] - RESTRICTION ON THE USE OF LAND - OST STORAGE AREA
- [H] - EASEMENT FOR ACCESS & MAINTENANCE 0.9 MIDE
- [J] - POSITIVE COVENANT - VEGETATION MANAGEMENT PLAN
- [K] - EASEMENT FOR FOOTPATH VARIABLE WIDTH

Surveyor: William L Hamer Date of Survey: 27/9/2018 Surveyor's Ref: 181610-2	PLAN OF SUBDIVISION OF LOT 230 DP1238959	LGA: NORTHERN BEACHES Locality: WARRIEWOOD Subdivision No: Lengths are in metres. Reduction Ratio 1:400	Registered  <b>DP 271139</b>
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