

Denotes New Works

Denotes Demolished Item

ON SHOWN ON THIS PLAN OF THE PROPERTY  
EN FROM THE TITLE  
EN PLOTTED AS REQUIRED  
19.11) OF THE SURVEYING  
REGULATION 2017, AND IS  
N. IT HAS NOT BEEN  
ATE BOUNDARY SURVEY.  
S NOT A "LAND SURVEY" AS  
S AND SPATIAL INFORMATION  
TION OR DESIGN WORK  
SETBACKS FROM THE  
PLANNED. IT WOULD BE  
FURTHER SURVEY WORK TO  
' DIMENSIONS.  
ON WORK SURVEY MARKS  
VE THE PROPERTY  
DATIVE ONLY. POSITIONS  
ICATOR(S) LOCATED  
FORMATION OF THE EXACT  
PRIOR TO ANY EXCAVATION  
Y EXIST WHICH ARE NOT  
TRALIAN HEIGHT DATUM  
L TO 706 (AHD).  
AVE BEEN OBTAINED BY  
ACCURATE TO ± 0.05m.  
THE TOPOGRAPHY, EXCEPT  
EY DO NOT REPRESENT THE  
GULAR POINT, THE SPOT  
R POSITION, AND ARE  
Y REPRESENT THE GENERAL  
TAKEN IF EXTRAPOLATING.

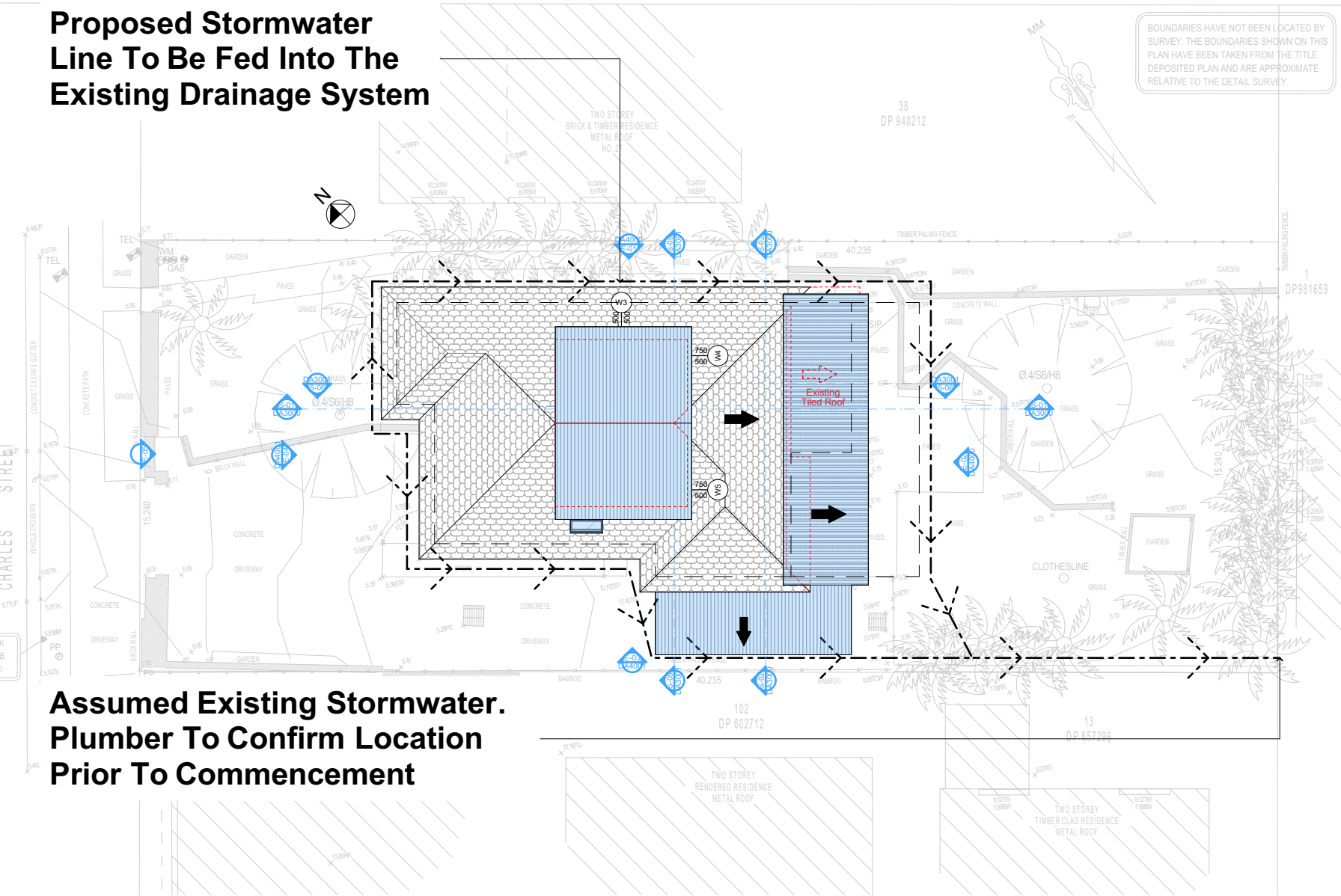
- TEL
- LP
- PP
- SP
- SIP
- SEWER
- MH
- SMH
- SV

4

## Proposed Stormwater Line To Be Fed Into The Existing Drainage System

## Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement

STORMWATER PLAN  
1:200



BOUNDARIES HAVE NOT BEEN LOCATED BY SURVEY. THE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential  
2/25 Charles Street, Freshwater 2096 is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
Construction  
Timber Frame Floor, Timber Frame Clad Walls  
Roof Timber Frame to have R1.24 insulation  
Insulation to External Timber Frame Clad Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1864  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certification**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.  
Basic Certificate Number A383346  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m <sup>2</sup> )	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 31/08/2020  
Project NO.: RPD320R0S  
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE:  
SITE AND LOCATION  
**Stormwater Plan**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	REVISION NO.
-	31-8-2020

DRAWING NO.  
**DA1017**

Sheet Size: A3