

POOL OVERFLOW TO BE PUMPED
TO SEWER TO COUNCIL'S &
SYDNEY WATER'S REQUIREMENTS

SITE CALCULATIONS	
SITE AREA -	1813.6m ²
ACCESS HANDLE 'A' -	192.4m ²
ACCESS HANDLE 'B' -	261m ²
SITE AREA LESS ACCESS HANDLES -	1360.2m ²

PROPOSED WORKS	
Approved driveway within site (DA 2020/0537) -	147.7m ²
Proposed additional driveway within site -	11.5m ²
Approved paving (DA 2020/0537) -	62.9m ²
Proposed Paving, steps and landings -	70.4m ²
Proposed Pool -	44m ²
Proposed Pool Coping -	33.3m ²

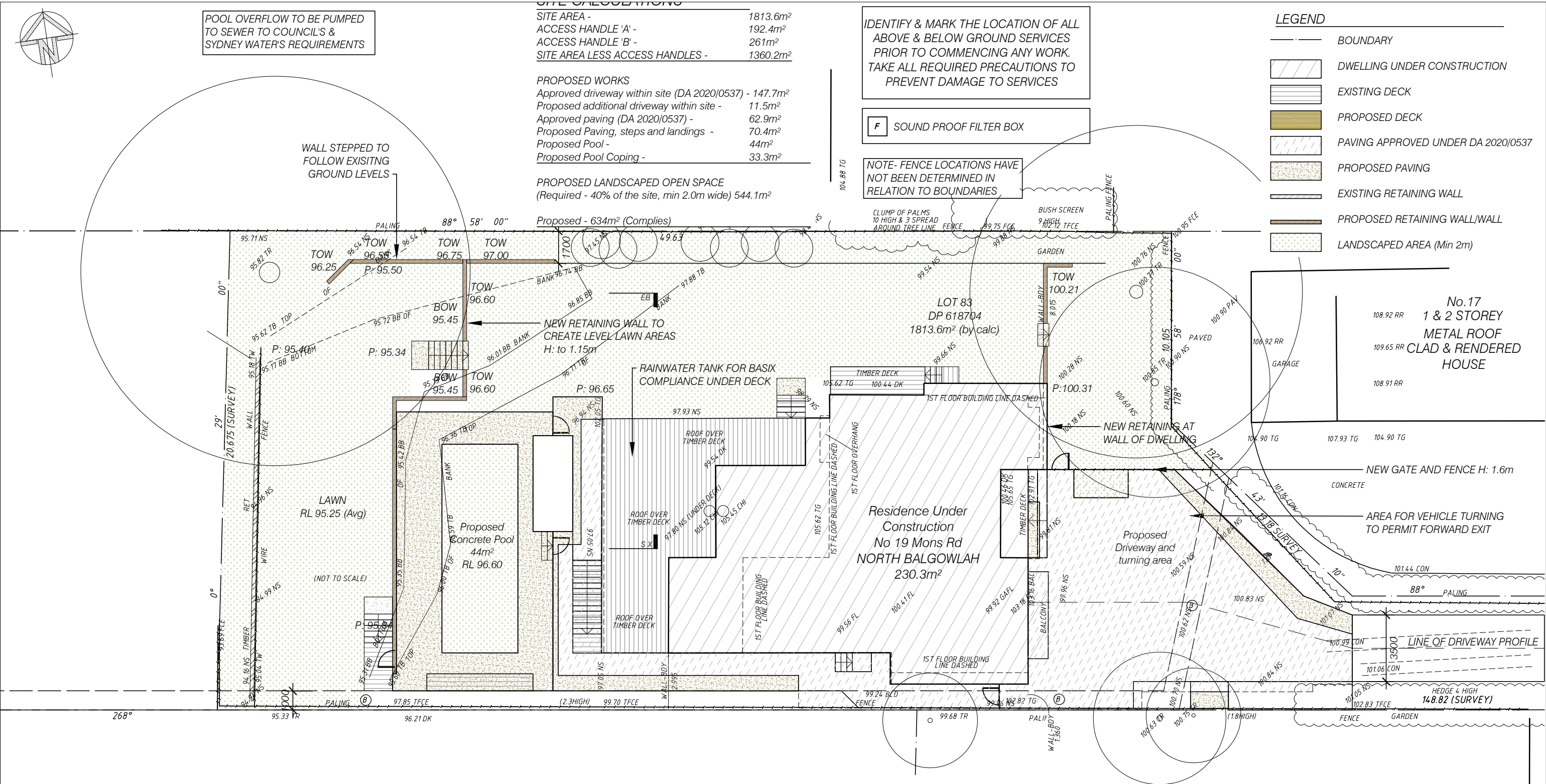
PROPOSED LANDSCAPED OPEN SPACE
(Required - 40% of the site, min 2.0m wide) 544.1m²

IDENTIFY & MARK THE LOCATION OF ALL
ABOVE & BELOW GROUND SERVICES
PRIOR TO COMMENCING ANY WORK.
TAKE ALL REQUIRED PRECAUTIONS TO
PREVENT DAMAGE TO SERVICES

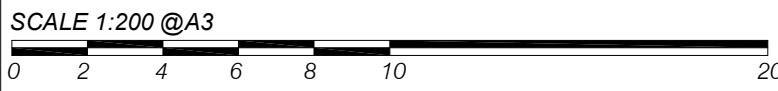
F SOUND PROOF FILTER BOX

NOTE- FENCE LOCATIONS HAVE
NOT BEEN DETERMINED IN
RELATION TO BOUNDARIES

LEGEND	
	BOUNDARY
	DWELLING UNDER CONSTRUCTION
	EXISTING DECK
	PROPOSED DECK
	PAVING APPROVED UNDER DA 2020/0537
	PROPOSED PAVING
	EXISTING RETAINING WALL
	PROPOSED RETAINING WALL/WALL
	LANDSCAPED AREA (Min 2m)



173
D.P.873902
Site information based on survey by CMS Surveyors
dated 20/09/21
REFER TO SURVEY FOR FULL SITE DETAILS



TITLE INDICATES THAT LOT 83 IN D.P.618704 IS SUBJECT TO:

- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- DP610372 EASEMENT FOR SEWERAGE PURPOSES AFFECTING THE EXISTING LINE OF PIPES SHOWN SO BURDENED IN DP618704
- DP610372 RESTRICTION(S) ON THE USE OF LAND
- DP610372 EASEMENT FOR SERVICES AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- DP618704 RIGHT OF CARRIAGEWAY AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- DP618704 RESTRICTION(S) ON THE USE OF LAND
- DP618704 EASEMENT TO DRAIN WATER AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM

DRAWN BY Unit 20 12 Phillip Mall West Pymble 2073 Phone 9440 5451 Facsimile 9402 6499 ABN 97 077 163 663 Fellow of Australian Institute of Landscape Designers and Managers	 NOTES TO THE PLAN THIS PLAN IS TO BE READ AS PART OF A COMPLETE SET OF DRAWINGS RELATING TO THE PROPOSED DEVELOPMENT THIS PLAN RELATES TO A SPECIFIC DEVELOPMENT INFORMATION RELATING TO THE DEVELOPMENT NEEDS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE INDICATED	CLIENT PHILIPSZ RESIDENCE SITE 19 MONS ROAD NORTH BALGOWLAH	DRAWING LANDSCAPE AREA CALCULATIONS PROJECT PROPOSED SWIMMING POOL & LANDSCAPING	Date of Issue A 16.03.22 B 12.05.22	JOB No 22-13
					ISSUE B
					DWG No 16