

ACTION PLANS

m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

PLANS PUBLISHED
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DEVELOPMENT APPLICATION

These plans are for Council Approval only.

NO.	DRAWING NAME
DA00	COVER
DA01	NOTATION
DA02	SAFTEY NOTES
DA03	SUB-DIVISION PLAN
DA04	SITE ANALYSIS
DA05	SITE / SEDIMENT EROSION / WASTE MANAGEMENT
DA06	PROPOSED BASEMENT FLOOR PLAN
DA07	PROPOSED GROUND FLOOR PLAN
DA08	PROPOSED FIRST FLOOR PLAN
DA09	PROPOSED SECOND FLOOR PLAN
DA10	PROPOSED ROOF PLAN
DA11	NORTH EAST ELEVATION
DA12	NORTH EAST - FRONT FENCE ELEVATION
DA13	SOUTH EAST ELEVATION
DA14	SOUTH WEST ELEVATION
DA15	NORTH WEST ELEVATION
DA16	LONG SECTION
DA17	CROSS SECTION
DA18	CROSS SECTION
DA19	AREA CALCULATIONS
DA20	SAMPLE BOARD
DA21	DRIVEWAY / STREET PARKING PLAN
DA22	LONG SECTION DRIVEWAY
DA23	CUT AND FILL PLAN
DA24	WINTER SOLSTICE 9 AM
DA25	WINTER SOLSTICE 12 PM
DA26	WINTER SOLSTICE 3 PM
DA27	WINDOW & DOOR SCHEDULE
DA28	BASIX COMMITMENTS
DA29	BASIX COMMITMENTS
DA30	VIEW ANALYSIS
DA31	VIEW ANALYSIS



35 Moore road, Freshwater, NSW 2096



SITE INFORMATION	
ADDRESS	35 Moore Road, Freshwater NSW 2096
LOT	15/1/DP7022
AREA	385.2m ²

WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011 CONTROLS		
	CONTROL	COMPLIANCE
ZONING	R2: LOW DENSITY RESIDENTIAL	YES* State Environmental Planning Policy (Housing) 2021 overrules this LEP, allowing dual occupancies to be constructed on land zoned R2
BUILDING HEIGHT	8.5m	
MINIMUM LOT SIZE	450m	NO: Torrens title subdivision YES: Strata subdivision
LANDSLIDE RISK LAND	AREA A – SLOPES <5 AREA B - FLANKING SLOPES 5 TO 25	Geotechnical report not required.

WARRINGAH DEVELOPMENT CONTROL PLAN 2011		
	CONTROL	COMPLIANCE
FRONT SETBACK	6.5m	NO
SIDE SETBACK	0.9m	YES
REAR SETBACK	6.5m	YES
SIDE BOUNDARY ENVELOPE	5m	YES
MAXIMUM WALL HEIGHT	7.2m	YES
MINIMUM LANDSCAPED AREA	40% OF SITE AREA = 154.08m ² or 77.04m ² per lot	YES
MINIMUM PARKING SPACES	2 per lot	YES

IMPORTANT NOTATION FOR BUILDERS

- All dimensions are to be confirmed on-site by the builder/subcontractor, any incongruencies must be reported to the Designer in writing before the commencement of any work.
- No Survey has been made on the boundaries. All bearings, distances, and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the approved boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- In the event of encountering any discrepancies on these drawings, specification, or subsequent instructions issued, the Builder/Subcontractor shall contact the designer in writing before proceeding further with any work.
- The builder/subcontractor is responsible to ensure that all materials installed on-site are fit for purpose and comply with the NCC and relevant Australian Standards. The builder is to obtain written confirmation of material selection by the Client prior to ordering.
- All construction, control joints, and expansion joints in the walls, floors, and other locations shall be in strict accordance with the structural engineering details. No joints or breaks other than specified are allowed without written permission from the Engineer.
- Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components, and the like, are not to be taken from these documents. Measurements must be taken on-site to suit the work as constructed.
- All structural components shall be in strict accordance with details and specifications as prepared by a suitably qualified structural engineer.
- All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

SPECIFICATION

- "Approval" - obtained by either an 'Accredited Certifying Authority' or 'Local Council'.
- The Owner will directly pay all fees associated with the following: - Building approval from council or accredited certifier, any footpath and kerb deposits with the local council, insurance fees to Building Services Corporation, Long Service Leave levy fees and approval fees by water and sewerage authority. All other fees are to be paid by the builder. The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments due to the builder.
- The Builder is to provide at his/her own expense adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the Works, facilities available and difficulties entailed in the works as Variations will not be allowed due to work arising owing to neglect of this clause.
- These drawings shall be read in conjunction with all structural and other consultant's drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on this drawing shall be verified by the builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings, use figured dimensions. All dimensions are in millimetres.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- Any detailing additional to that which is supplied shall be resolved between the Owner and the Builder, to the Owner's approval. Except for any structural details or design, which is to be supplied by the Engineer.
- All work to be carried out in a tradesman like manner and in accordance with the standards, codes and regulations of Standards Australia, the National Construction Code and any statutory authority having jurisdiction over the works.
- All structural work is to be in accordance with the structural details prepared by a suitably qualified structural engineer, including but not limited to all piers, footings, concrete slabs, retaining walls, steelworks, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain prior to finalising the tender, unless previously obtained by owners.
- All brickwork is to be selected by the Owner, and is to comply with AS 1640.
- All masonry is to comply with AS 3700.
- Provide all metalwork and flashings necessary to satisfactorily complete the works.
- All timber construction to be in accordance with AS 1684 - Residential timber-framed construction. Level and grade where necessary under timber floors to provide a minimum clearance of 300mm under bearers or 400mm under joists. Adequate precautions shall be taken to ensure that the surface and/or seepage water does not collect or remain under floor area.
- Sustainable timbers, and not rainforest or old growth timber will be used. Recycled timber or second hand timbers are to be sourced and used in preference to plantation timbers, if available and suitable.
- All glazing installation is to comply with AS 1288, AS 2047 and in accordance with manufacturers recommendations.
- All wall and ceiling linings in wet areas to be plasterboard and villaboard, or equal. A breathable wall wrap is to be provided to all external walls. Timber cladding is to be battened out from timber frame to provide an 'air' gap to prevent condensation. Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications. All bathrooms and wet areas to be waterproofed with a flexible membrane to manufacturer's specifications and to AS 3740, Part H4D2 and Section 10; Part 10.2 of the 2022 NCC.
- All Architraves and skirtings to the profile as selected by owner, and painted or stain finish as selected.
- All plumbing and drainage work to be installed and completed by a licensed tradesman and in accordance with the statutory body having authority over the works. Connect all waste to Sydney Water sewer line.
- Connect all stormwater to existing system or street drainage system in accordance with AS 3500, Part H2D2 and Section 3; Part 3.3 of the 2022 NCC.
- Smoke detector alarms are to be installed in accordance with AS 3786, Part H3D6 and Section 9; Part 9.5 of the 2022 NCC.
- If a member which provides structural support to the works is subject to termite attack, management measures are to comply with AS 3660 and Section 3; Part 3.4 of the 2022 NCC. Termite management system to be installed to manufacturer's specifications.
- Stairs and Balustrades to comply with Part H5D2, H5D3 and Section 11; Part 11.2 and 11.3 of the 2022 NCC. Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of the NCC. No horizontal elements to facilitate climbing between 150mm and 760mm where floor to level below is more than 4m.
- Electrical works to be in accordance with SAA wiring rules and be done by a licenced tradesperson. Obtain electrical layout prior to proceeding. All electrical power (GPO's) and light outlets to be determined by the Owner.
- Painting: All paints or other coatings shall be of the best quality materials & of approved manufacture. All priming materials shall be of an approved brand acceptable to the manufacturer of the finishing coats to be used. External joinery intended to be painted shall be primed on all faces at the place of assembly. Where new work or alteration work adjoins existing painted surfaces allow for repainting existing surfaces to provide uniform appearance.
- ZERO-VOC or LOW-VOC paints and primers only are to be used.
- Any work indicated on the plans but not specified and any item not shown on the plans which is obviously necessary as part of proper construction and/or finish, is to be considered as shown and specified and is to be undertaken as part of the contract. Variations will not be permitted without prior written approval by the owners.
- The Builder shall provide sediment and siltation control measures as required by Council, and maintain them throughout the duration of the works.
- A legible copy of the plans bearing approval stamps, must be maintained on the job site at all times. Hours of construction shall be restricted to the times as required by the building approval.
- The Builder is to arrange for all inspections required by the relevant authorities and/or lending institutions, to their requirements.

- The Builder is to obtain approval for interruptions to existing services and minimise the duration and number of interruptions. Any interruptions to existing services and equipment is to be undertaken by appropriately qualified tradespersons.
- The Builder shall restore, reinstate or replace any damage to existing structures or landscaping caused by the construction works or workmen.
- Provide protection to existing trees to remain, or as required by the Approval Conditions.

GENERAL NOTATION

- Approved means by the 'relevant local authority' or council?
- All work and materials to comply with the current Australian standards at the time of commencement, where applicable.
- The builder is to comply with all ordinances, local authority regulations and the requirements of all services supply authorities having jurisdiction over the works.
- All new downpipes are to be connected to the existing stormwater system.
- All timber sizes and concrete details to be confirmed by the builder prior to commencement of any work.
- All gutters, downpipes to be colorbond.
- All wall and ceiling linings to be plasterboard or cement render as selected, and villa board in wet areas. To comply with relevant Australian standards, and installed in accordance with manufacturers specification.

NCC 2022 & AS COMPLIANCES SPECIFICATIONS

- Structure - Part H1 & Section 2 of NCC
- Structural Provisions - PART H1D2 & PART 2.2 of NCC

- Site Preparation - Part H1D3 & Section 3 of NCC
- Earthworks - Part 3.2 of NCC
- Drainage - Part 3.3 of NCC
- Termite Risk Management - Part 3.4 of NCC

- Footings & Slabs - Part H1D4 & Section 4 of NCC
- Footings, Slabs & Associated Elements - Part 4.2 of NCC

- Masonry - Part H1D5 & Section 5 of NCC
- Masonry Veneer - Part 5.2 of NCC
- Cavity Masonry - Part 5.3 of NCC
- Unreinforced Single Leaf Masonry - Part 5.4 of NCC
- Isolated Piers - Part 5.5 of NCC
- Masonry Components & Accessories - Part 5.6 of NCC
- Waetherproofing of Masonry - Part 5.7 of NCC

- Framing - Part H1D6 & Section 6 of NCC
- Sub Floor Ventilation - Part 6.2 of NCC
- Structural Steel Members - Part 6.3 of NCC

- Roof & Wall Cladding - Part H1D7 & Section 7 of NCC
- Sheet Roofing - Part 7.2 of NCC
- Roof Tiles & Shingles - Part 7.3 of NCC
- Gutters & Downpipes - Part 7.4 of NCC
- Timber & Composite Wall Cladding - Part 7.5 of NCC

- Glazing - Part H1D8 & Section 8 of NCC
- Windows & External Glazed Doors - Part 8.2 of NCC
- Glass - Part 8.3 of NCC
- Glazing Human Impact - Part 8.4 of NCC

- Damp & Weatherproofing - Part H2 of NCC

- Fire Safety - Part H3 & Section 9 of NCC
- Fire Separation of External Walls - Part 9.2 of NCC
- Fire Protection of Separating Walls & Floors - Part 9.3 of NCC
- Fire Protection of Garage Top Dwellings - Part 9.4 of NCC
- Smoke Alarms & Evacuation Lighting - Part 9.5 of NCC

- Health & Amenity - Part H4 & Section 10 of NCC
- Wet Area Waterproofing - Part 10.2 of NCC
- Room Heights - Part 10.3 of NCC
- Facilities - Part 10.4 of NCC
- Light - Part 10.5 of NCC
- Ventilation - Part 10.6 of NCC
- Sound Insulation - Part 10.7 of NCC
- Condensation Management - Part 10.8 of NCC

- Safe Movement & Access - Part H5 & Section 11 of NCC
- Stairway & Ramp Construction - Part 11.2 of NCC
- Barriers & Handrails - Part 11.3 of NCC

- Ancillary Provisions - Part H7 & Section 12 of NCC
- Construction in Alpine Areas - Part 12.2 of NCC
- Attachment of Framed Decks & Balconies to External Walls of Buildings Using a Waling Plate - Part 12.3 of NCC
- Heating Appliances, Fireplaces, Chimneys & Flues - Part 12.4 of NCC

- Swimming Pools - Part H7P1 & NSW H7D2 of NCC

- Construction in Bushfire Prone Areas - Part NSW H7D4 of NCC

- Energy Efficiency - Part H6 & Section 13 of NCC
- Building Fabric - Part 13.2 of NCC
- External Glazing - Part 13.3 of NCC
- Building Sealing - Part 13.4 of NCC
- Ceiling Fans - Part 13.5 of NCC
- Whole of Home Energy Usage - Part 13.6 of NCC
- Services - Part 13.7 of NCC

- Pool Fencing & other provisions - Regulations, & AS 1926
- Demolition Works to comply with AS 2601-2001 The Demolition of Structures.
- Waterproofing of Wet Areas to comply with AS 3740:2021
- All plumbing & drainage work to comply with AS 3500:2021
- All plasterboard work to comply with AS 2588:2018
- All structural steel work to comply with AS 4100:2020 & AS 1554.1:2014
- All concrete work to comply with AS 3600:2018
- All roof sheeting work to comply with AS 1562.1:2018
- All skylights to comply with AS 4285:2019
- All ceramic tiling to comply with AS 3958.1-2007 & 3958.2-1992
- All glazing assemblies to comply with AS 2047-2014 & AS 1288:2021
- All timber retaining walls to comply with AS 1720, AS 1170
- All retaining walls to comply with AS 3700:2018 & AS 3600:2018
- All construction in bushfire-prone areas to comply with AS 3959:2018

THIS SET OF DRAWING SHOULD BE READ & KEPT IN ITS ENTIRETY. NO INDIVIDUAL PAGE SHOULD BE SEPARATED FROM THE REST OF THE SET. EACH NOTATION LISTED ON THIS PAGE APPLY TO ALL PAGES OF THIS SET.



SAFTEY NOTES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/ feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes. the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/ NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/ or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/ unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/ unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/ unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these ore identified on the plans but the excel location and extent of services may vary from that indicated. Services should be located using on appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, culling, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building con cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated limber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

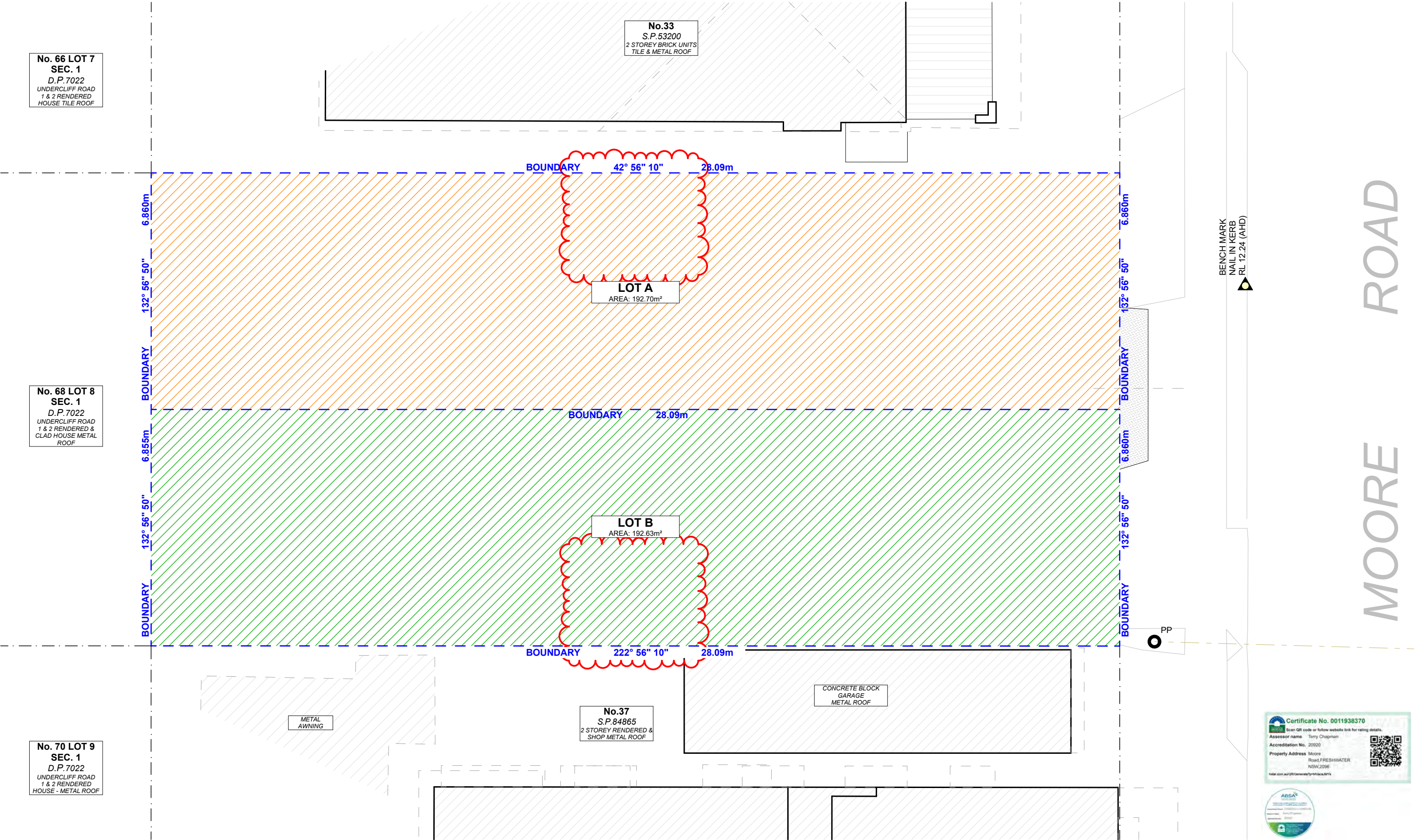
NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:This building has been designed to requirements of the classification identified on the drawings. The specific, use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user. For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later dale a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/ NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.





1 SUB-DIVISION PLAN

Scale 1:100



ACTION PLANS

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e:operations@actionplans.com.au
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REV.	DATE	COMMENTS	DRWN
	05.06.2025	DEVELOPMENT APPLICATION	AP

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.

Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions. The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.

All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL
PROPOSED RL

CLIENT
Bill Derrin

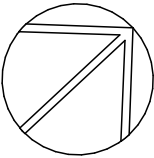
PROJECT ADDRESS
35 Moore road,
Freshwater, NSW 2096

DRAWING NO.
DA03

DATE
Thursday, 5 June,
2025

DRAWING NAME
SUB-DIVISION PLAN

SCALE
1:100 @A3



Certificate No. 0011938370

Scan QR code or follow website link for rating details.

Assessor name Terry Chapman

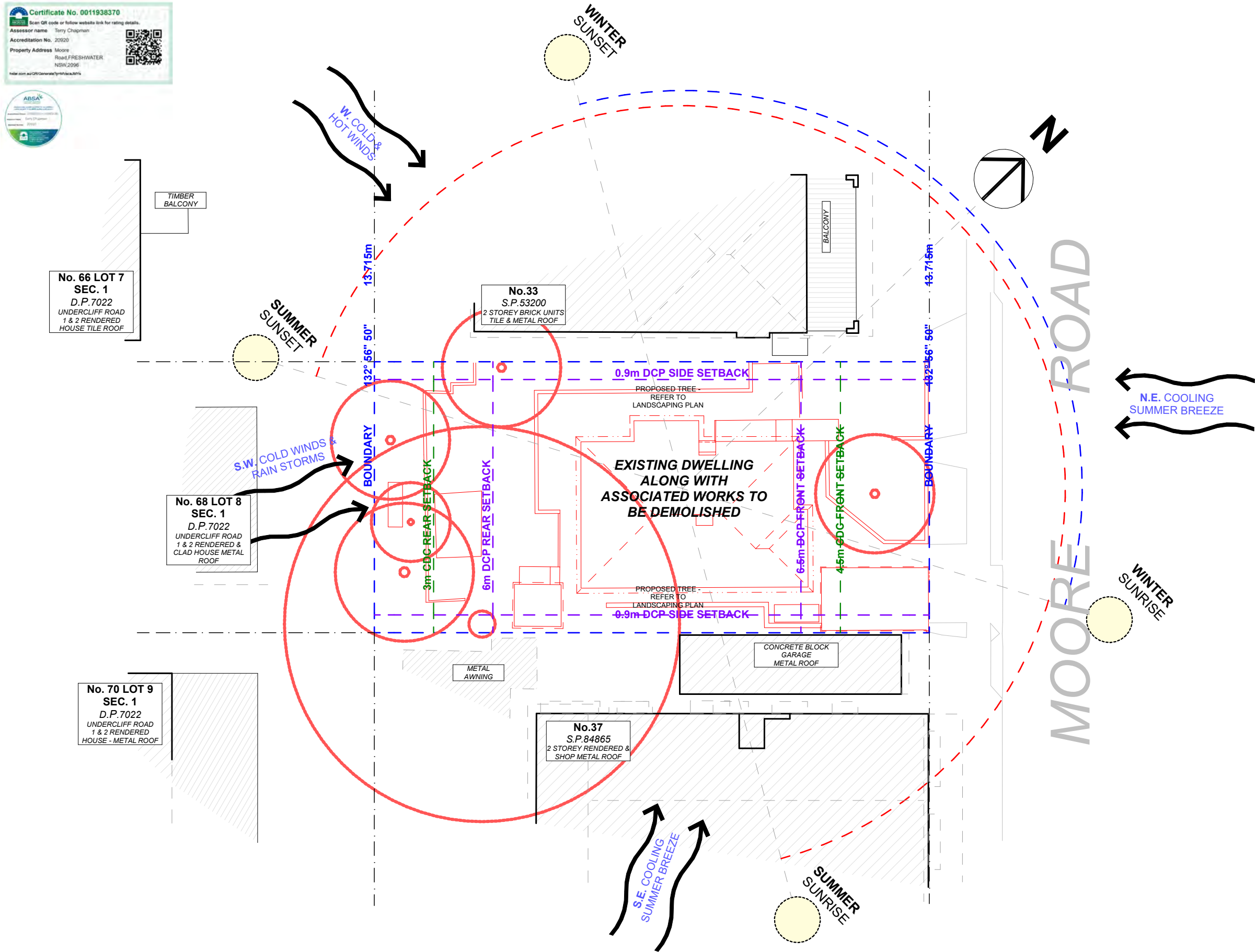
Accreditation No. 20920

Property Address Moore Road, FRESHWATER NSW 2096

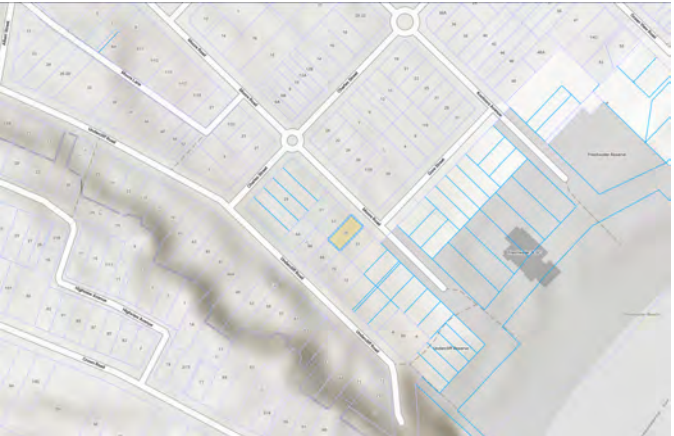
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STREET VIEW



LOCATION VIEW




AERIAL MAP

1 SITE ANALYSIS PLAN

Scale 1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001





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e:operations@actionplans.com.au
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REV.	DATE	COMMENTS	DRWN	NOTES
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LEGEND

 EXISTING

 DEMOLISHED

 PROPOSED

 EXISTING RL

 PROPOSED RL

CLIENT
Bill Derrin

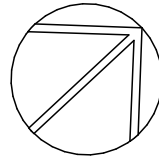
PROJECT ADDRESS
35 Moore road,
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DRAWING NO.
DA04

DATE
Thursday, 5 June,
2025

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A3



NOTE: SITE BOUNDARY IS TO BE IDENTIFIED BY A REGISTERED SURVEYOR AND CLEARLY MARKED ON SITE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORKS.



NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

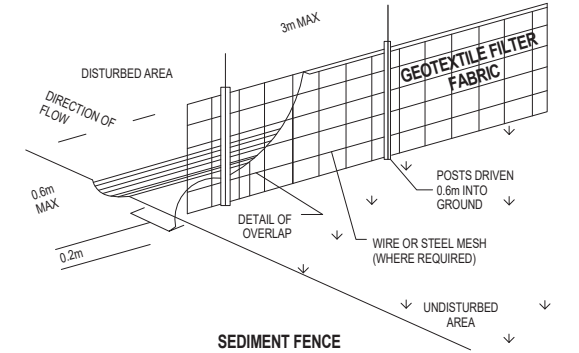
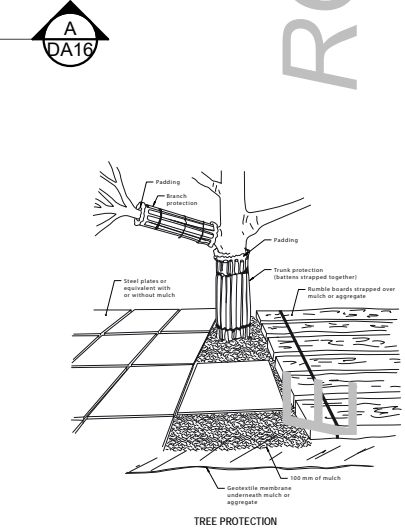
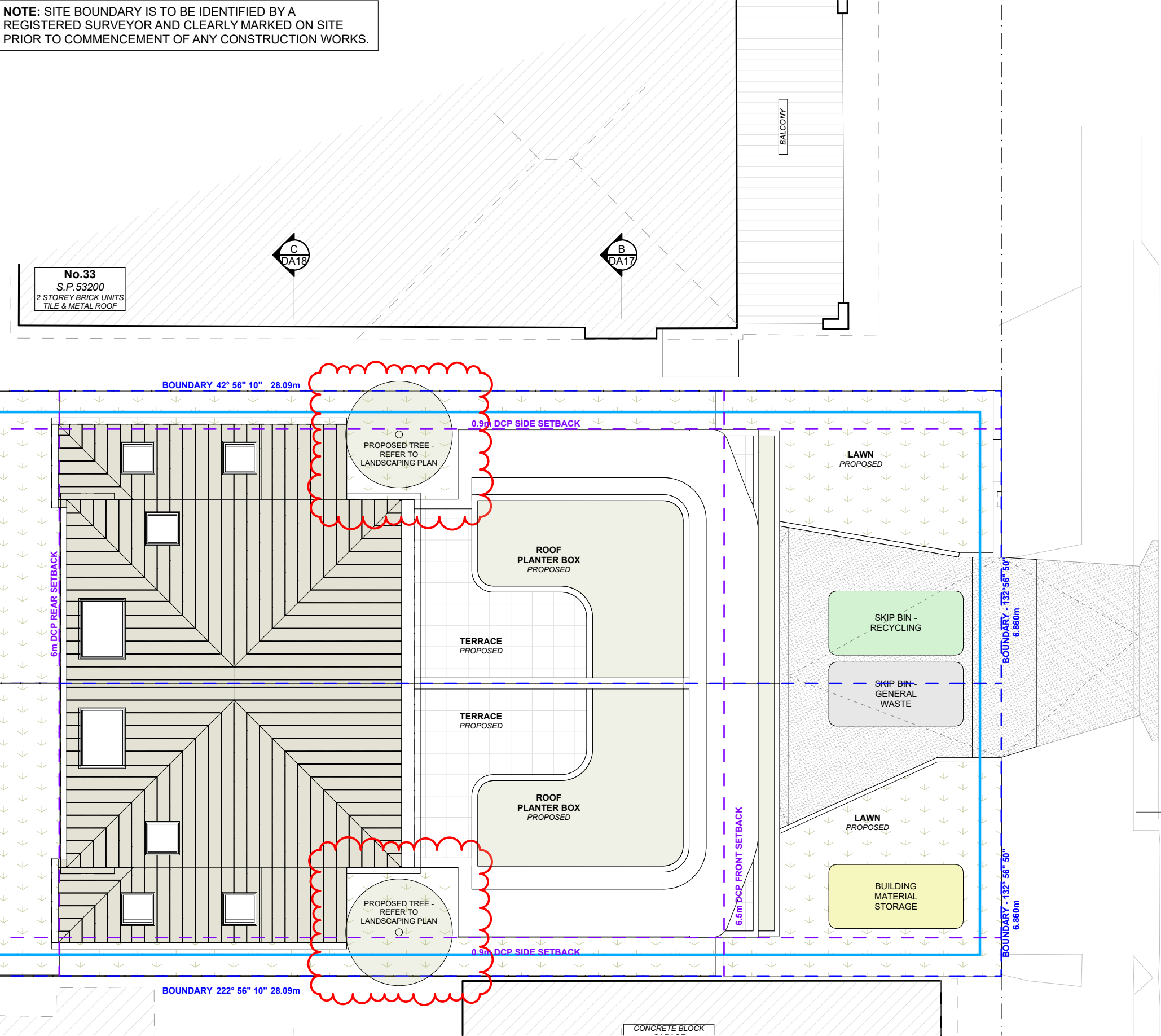
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION. ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES. IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



1 SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN
Scale 1:100

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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL
PROPOSED RL

CLIENT
Bill Derrin

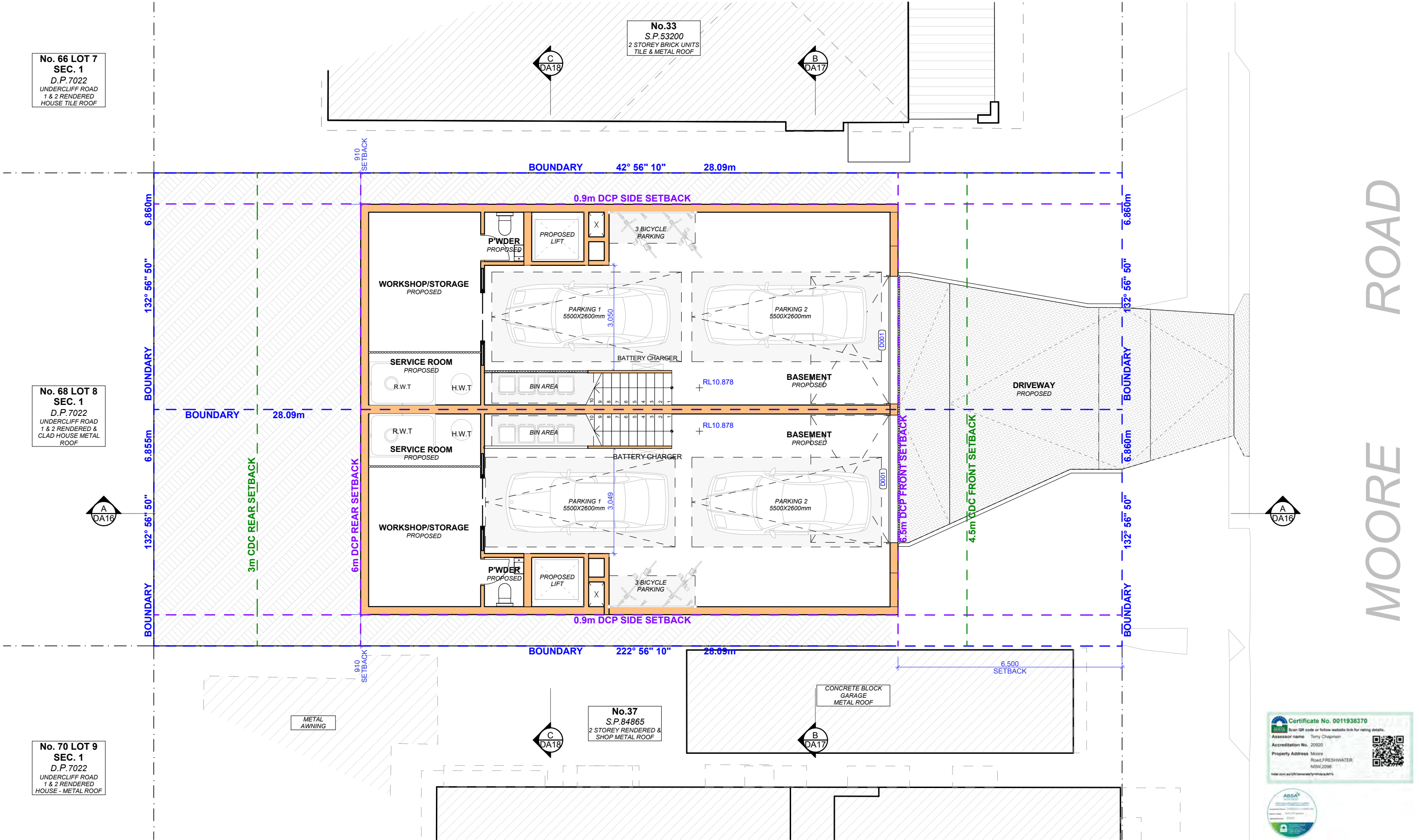
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DA05

DATE
Thursday, 5 June, 2025

DRAWING NAME
SITE / SEDIMENT EROSION / WASTE MANAGEMENT


SCALE
1:100 @A3



1

PROPOSED BASEMENT FLOOR PLAN

Scale 1:100



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LEGEND

EXISTING

DEMOLISHED

PROPOSED

EXISTING RL

PROPOSED RL

CLIENT

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DA06

DATE

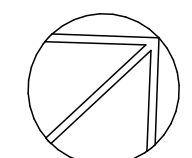
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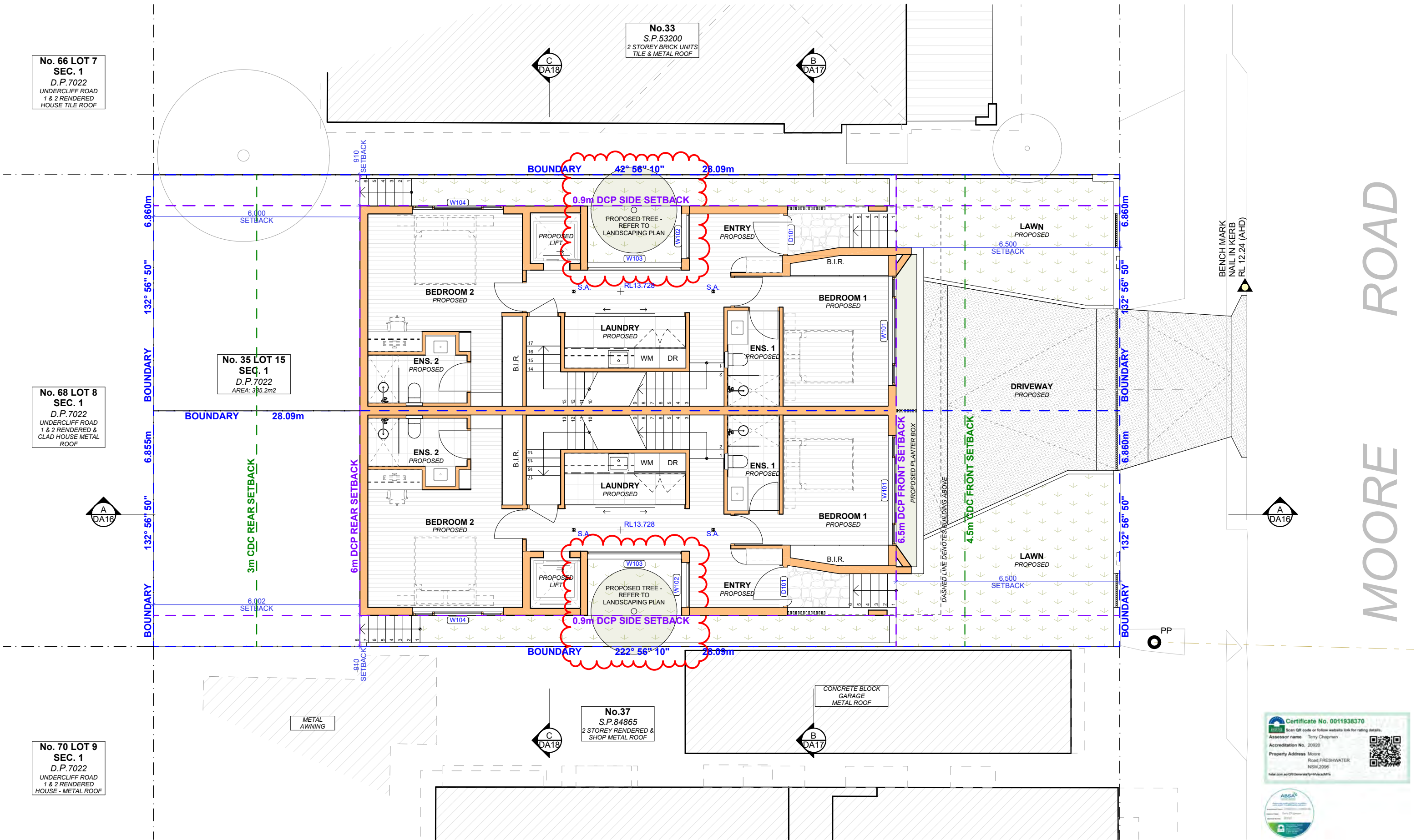
DRAWING NAME

PROPOSED BASEMENT FLOOR
PLAN

SCALE

1:100 @A3





1 PROPOSED LOWER GROUND FLOOR PLAN
Scale 1:100

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LEGEND

EXISTING
DEMOLISHED
PROPOSED

EXISTING RL
PROPOSED RL

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Bill Derrin

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DA07

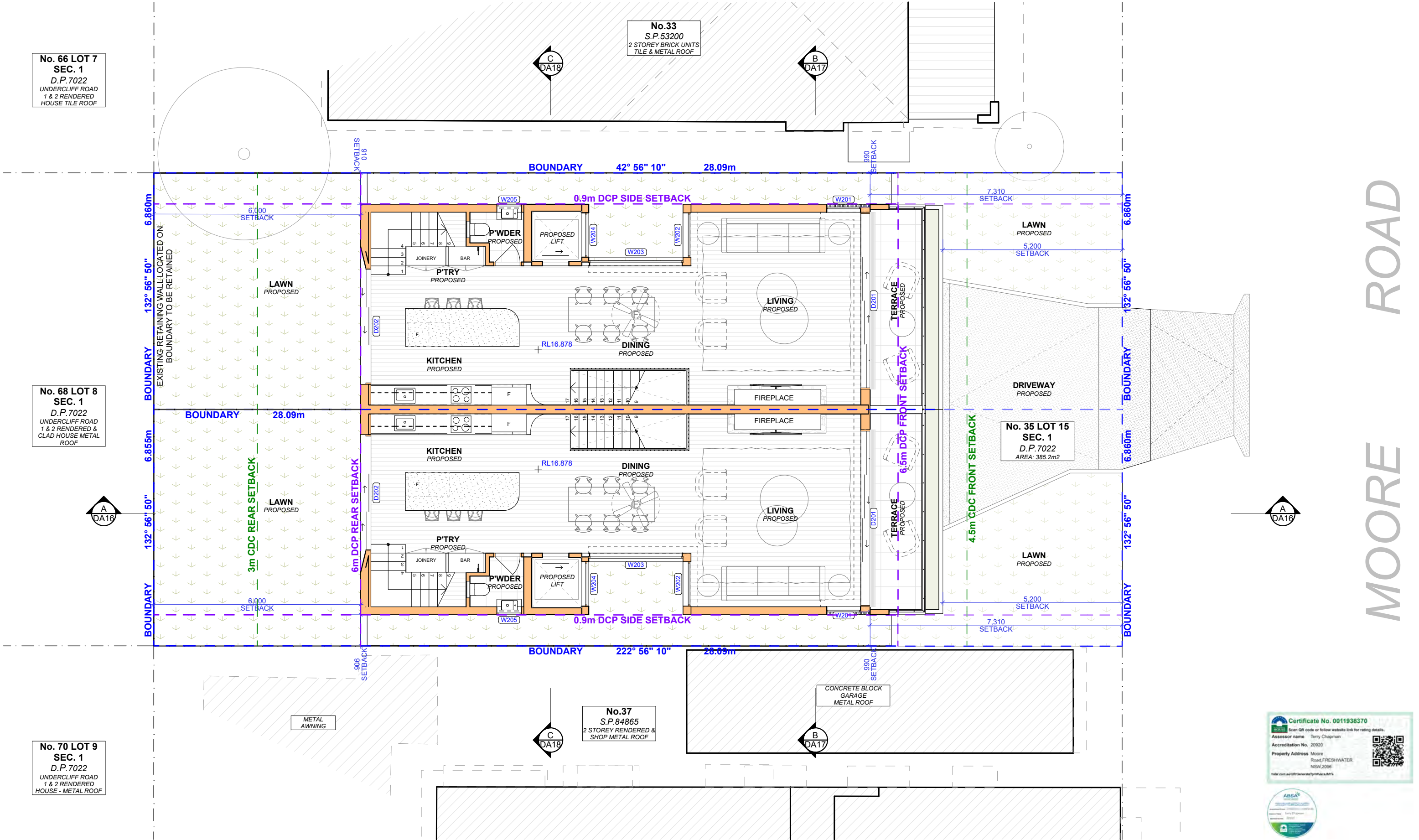
DATE
Thursday, 5 June,
2025

DRAWING NAME
PROPOSED GROUND FLOOR
PLAN

SCALE
1:100 @A3

Certificate No. 0011938370
Assessor name: Terry Chapman
Accreditation No. 20920
Property Address: Moore Road, FRESHWATER, NSW, 2096
NSW 2096

ABSA
Australian Building Surveyors Association
Member since 2010



1 PROPOSED GROUND FLOOR PLAN
Scale 1:100

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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL
PROPOSED RL

CLIENT
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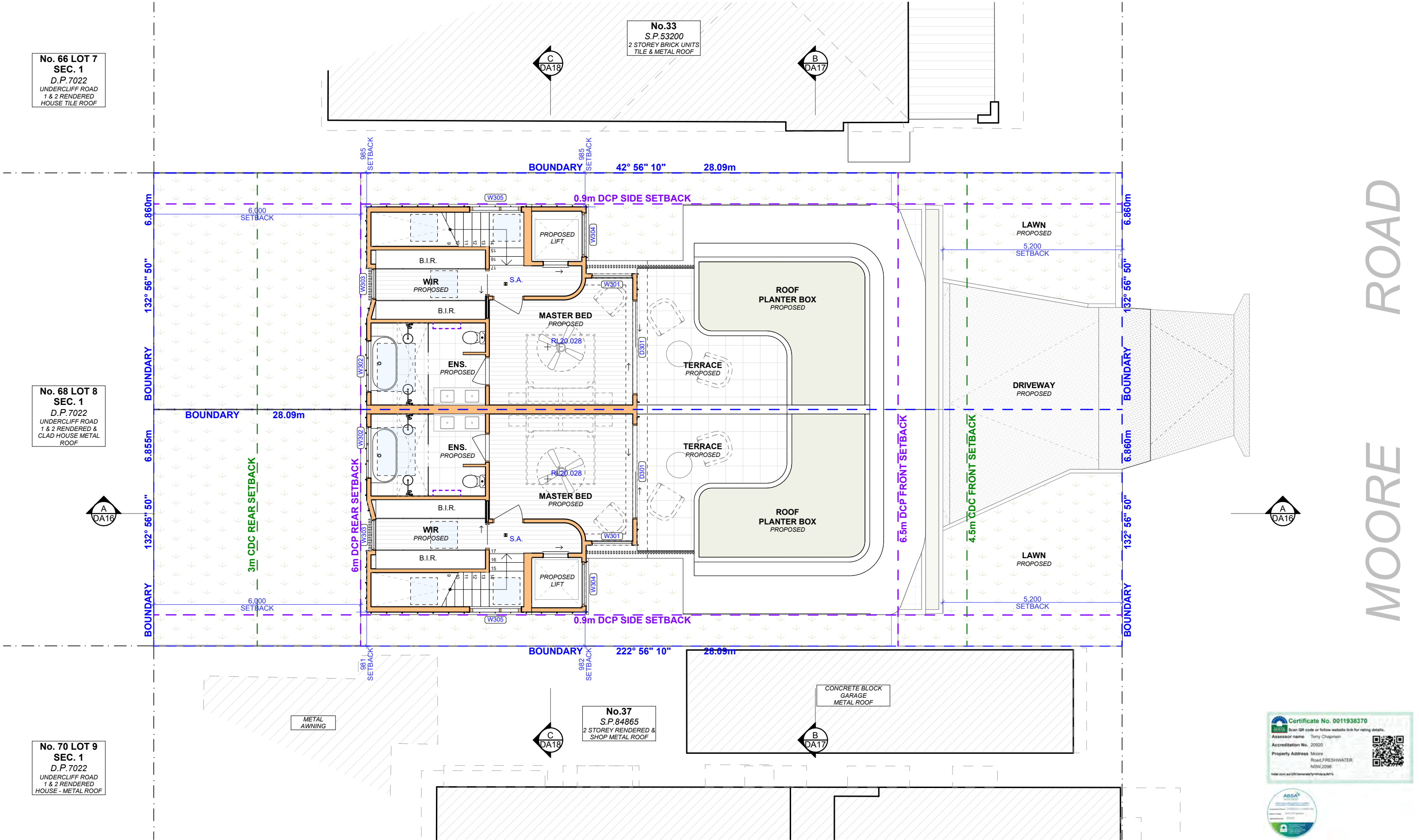
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DRAWING NO.
DA08

DATE
Thursday, 5 June,
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DRAWING NAME
PROPOSED FIRST FLOOR
PLAN

SCALE
1:100 @A3



1 PROPOSED FIRST FLOOR PLAN

Scale 1:100



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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL
PROPOSED RL

CLIENT
Bill Derrin

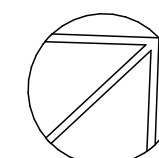
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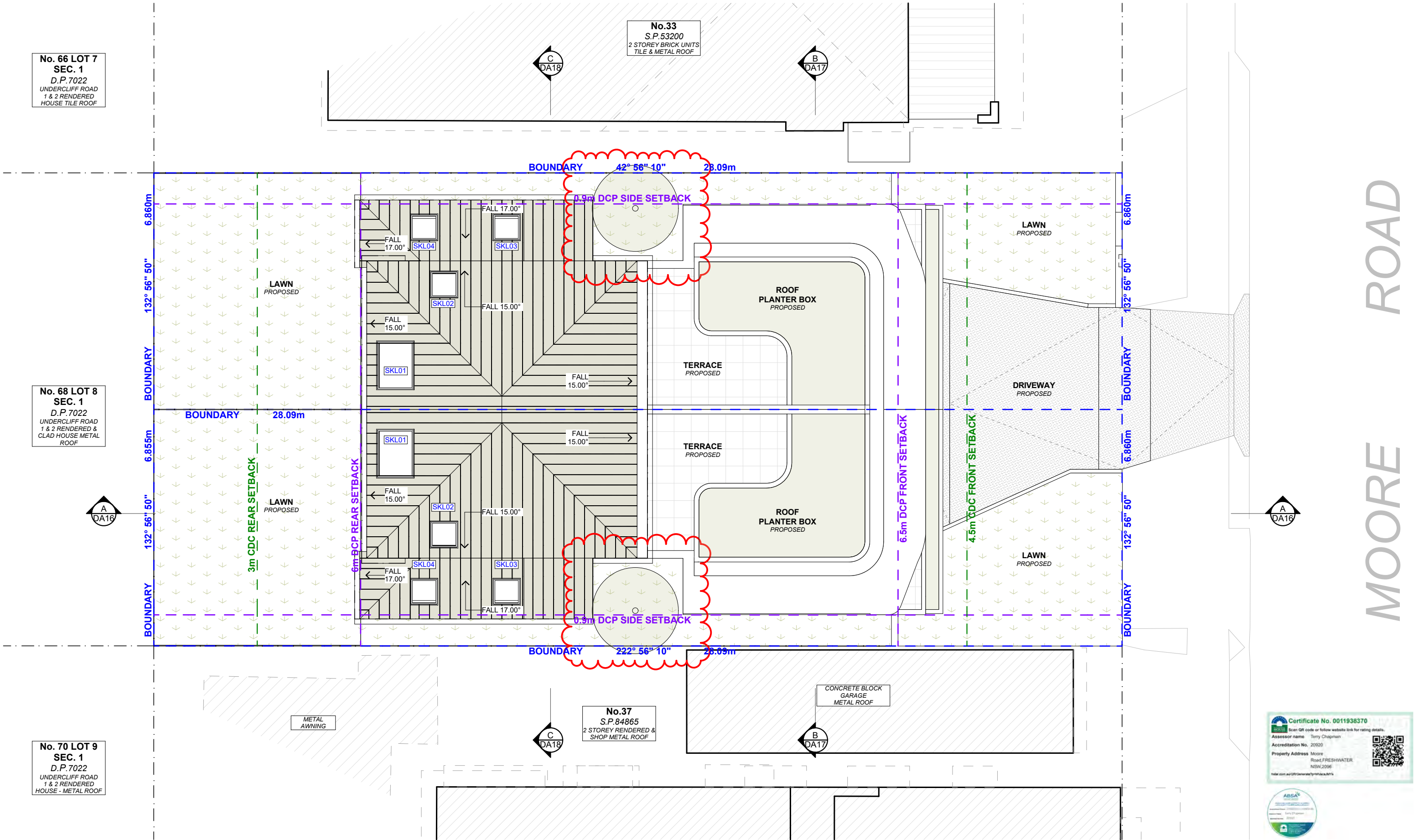
DRAWING NO.
DA09


DATE
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2025

DRAWING NAME
PROPOSED SECOND FLOOR
PLAN

SCALE
1:100 @A3









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
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LEGEND

 EXISTING

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 EXISTING RL

 PROPOSED RL

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DA10

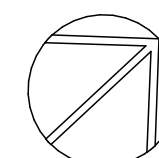
DATE
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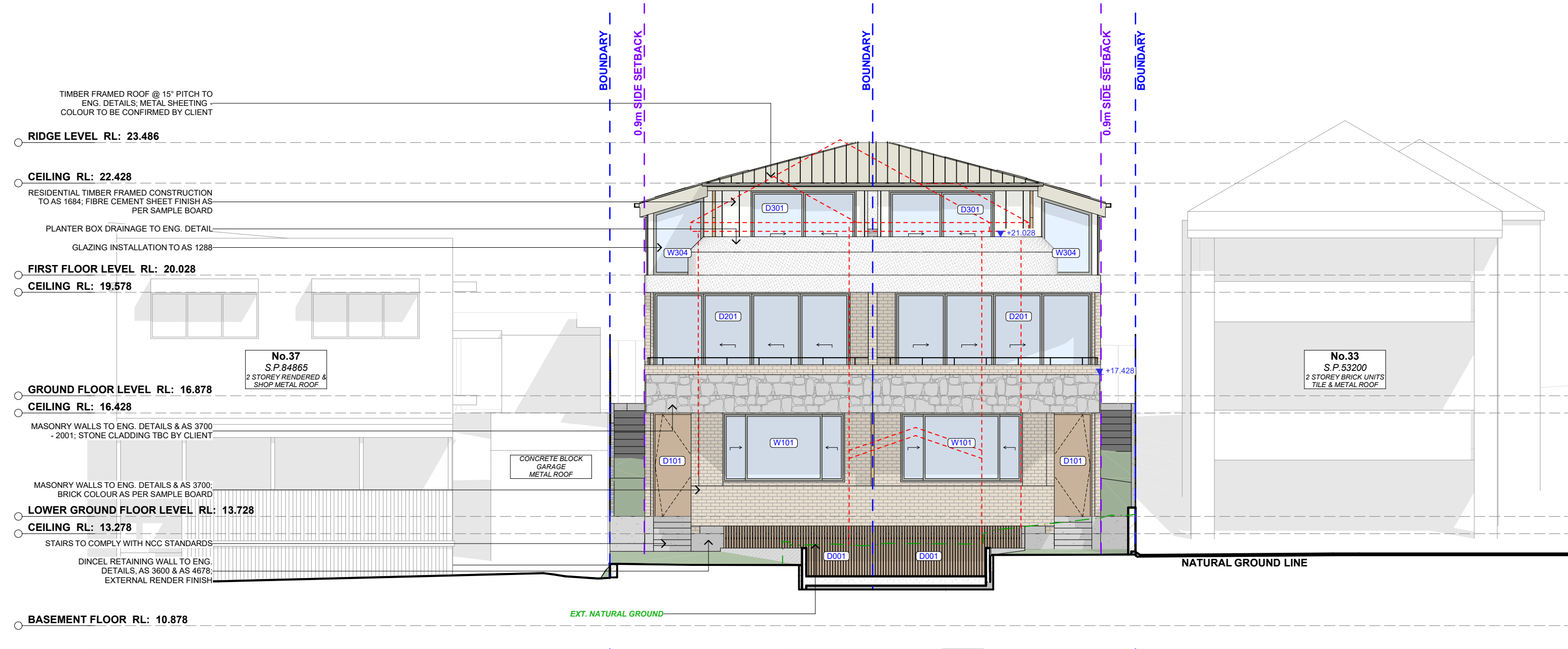
DRAWING NAME
PROPOSED ROOF PLAN

SCALE
1:100 @A3



PROPOSED ROOF PLAN





NORTH EAST ELEVATION

Scale 1:100



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LEGEND
EXISTING
DEMOLISHED

EXIST. RL
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PROP. RL

CLIENT
Bill Derrin

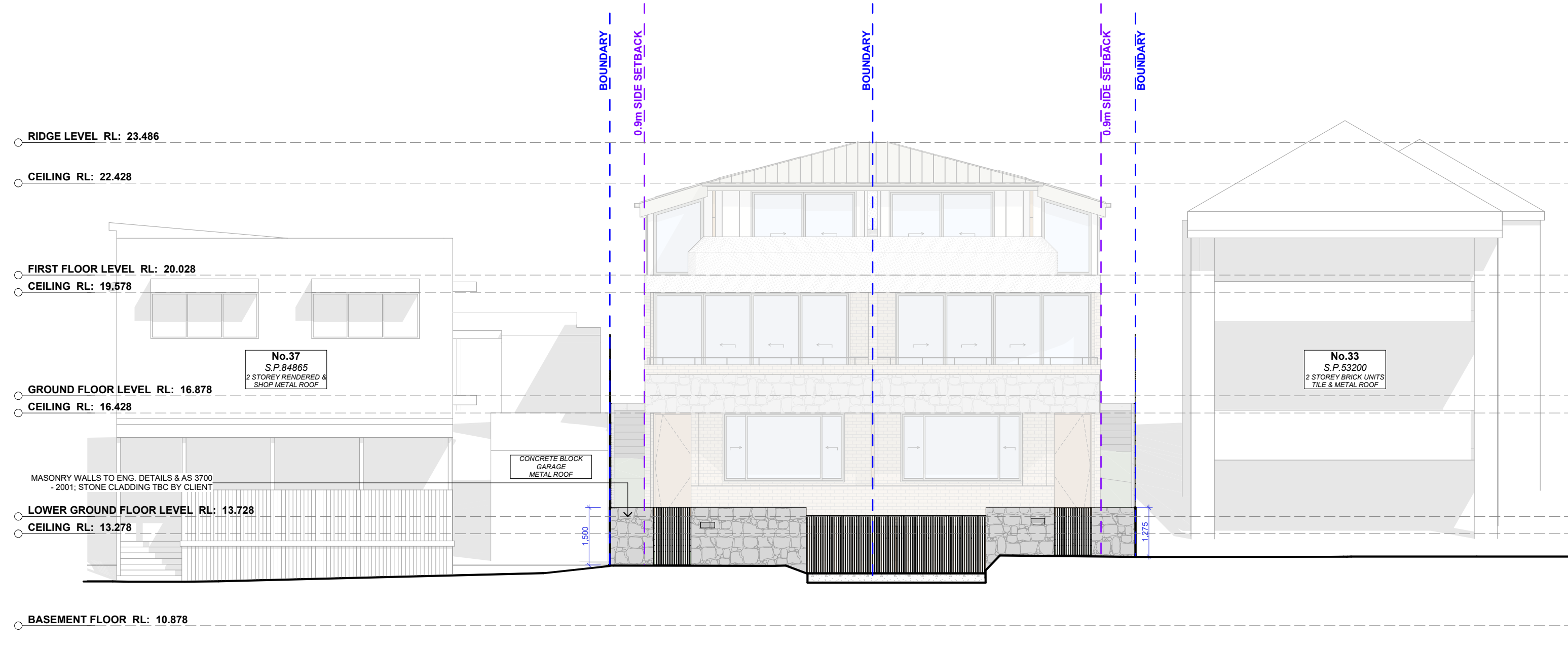
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DRAWING NO.
DA11

DATE
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2025

DRAWING NAME
NORTH EAST ELEVATION

SCALE
1:100 @A3



NORTH EAST - FRONT FENCE ELEVATION
Scale 1:100



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LEGEND
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[Dashed red box] DEMOLISHED

EXIST. RL
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[Blue box with text] PROP. RL

CLIENT
Bill Derrin

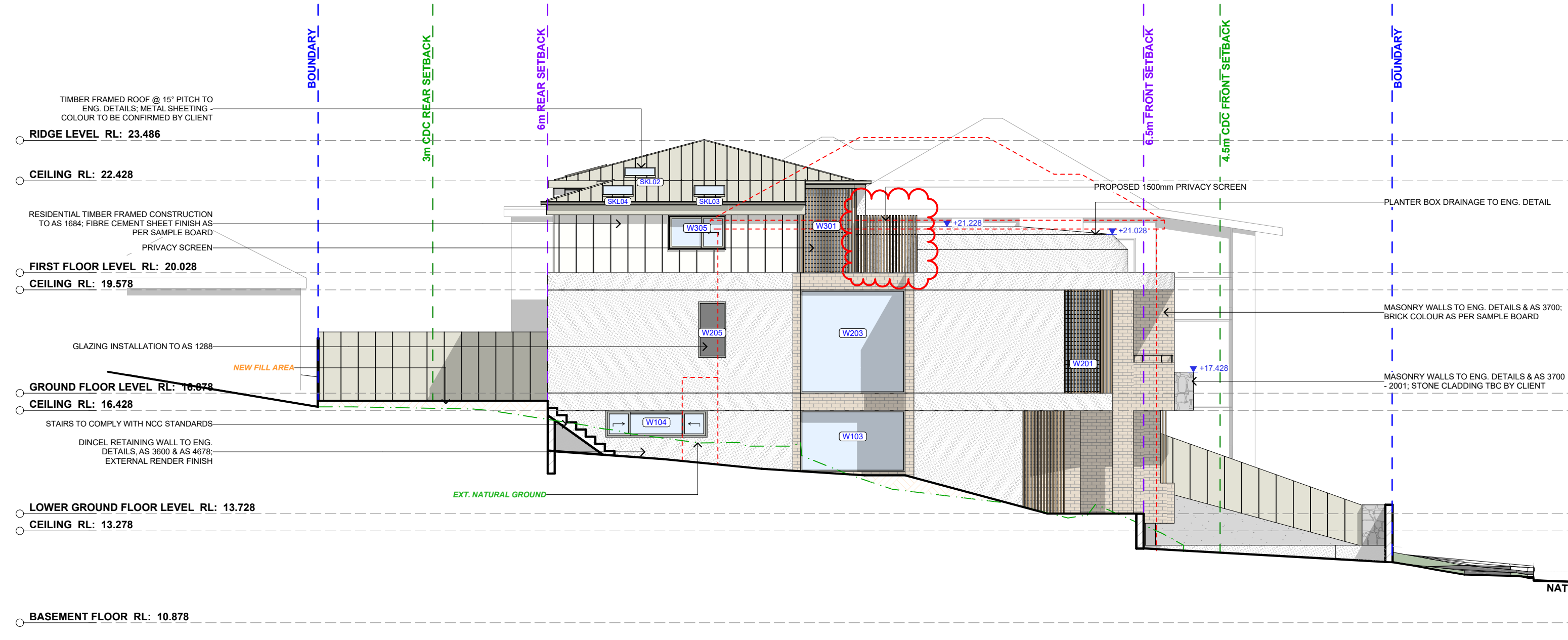
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DRAWING NO.
DA12

DATE
Thursday, 5 June,
2025

DRAWING NAME
NORTH EAST - FRONT FENCE
ELEVATION

SCALE
1:100 @A3





SOUTH EAST ELEVATION

Scale 1:100

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LEGEND
 EXISTING
 DEMOLISHED

EXIST. RL
↓
PROP. RL

CLIENT
Bill Derrin

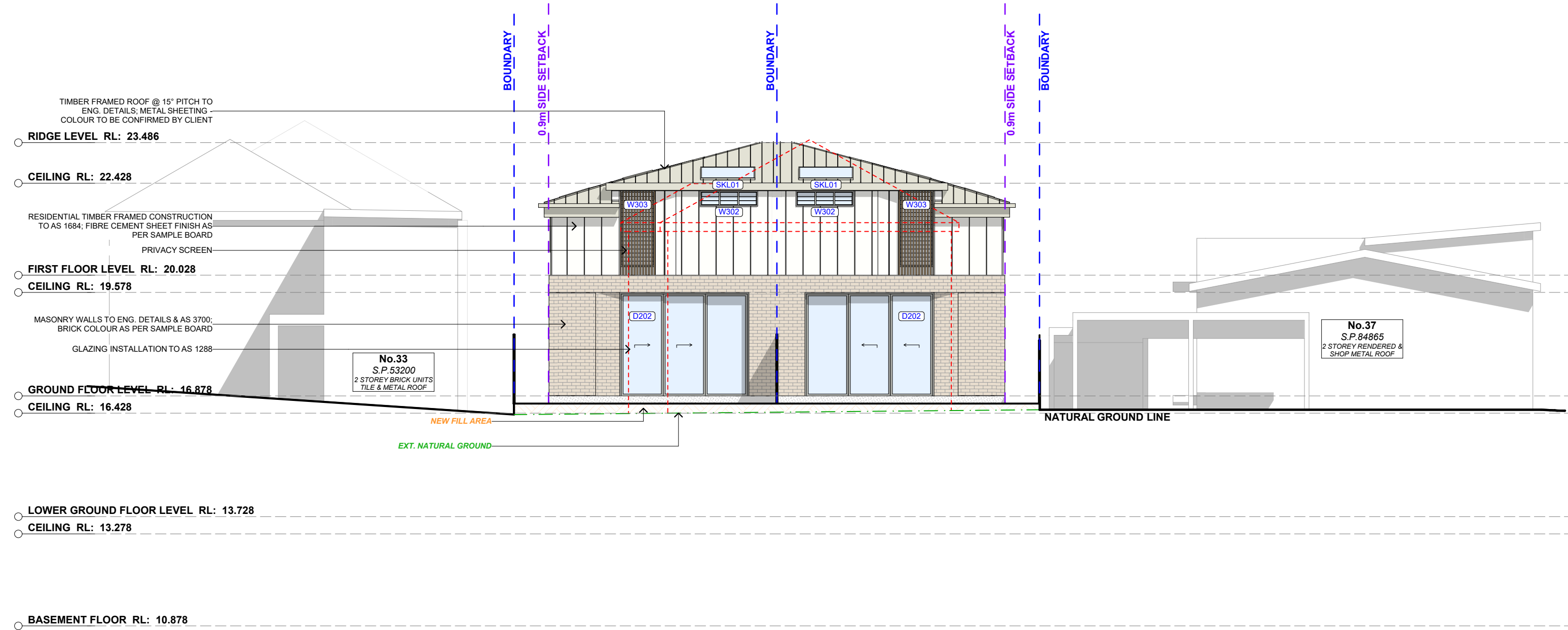
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DRAWING NO.
DA13

DATE
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2025

DRAWING NAME
SOUTH EAST ELEVATION

SCALE
1:100 @A3



SOUTH WEST ELEVATION

Scale 1:100



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LEGEND
EXISTING
DEMOLISHED

EXIST. RL
↓
PROP. RL

CLIENT
Bill Derrin

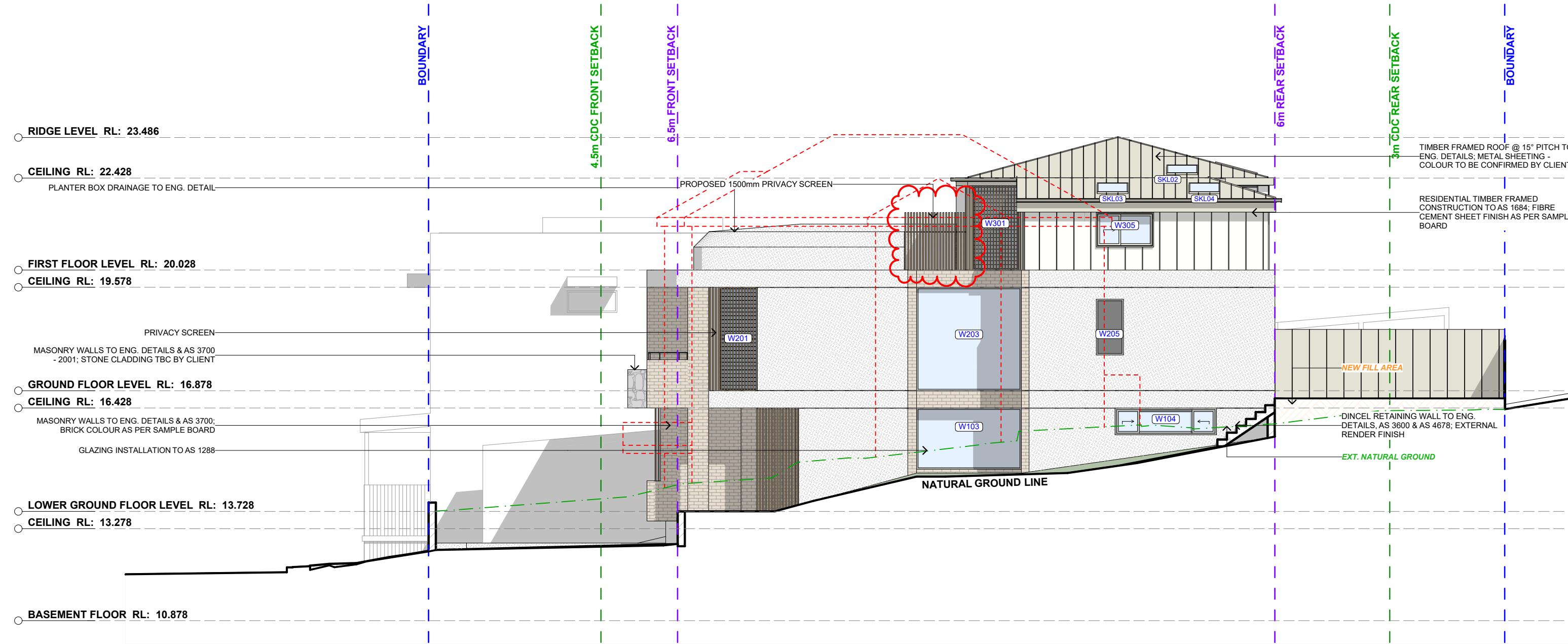
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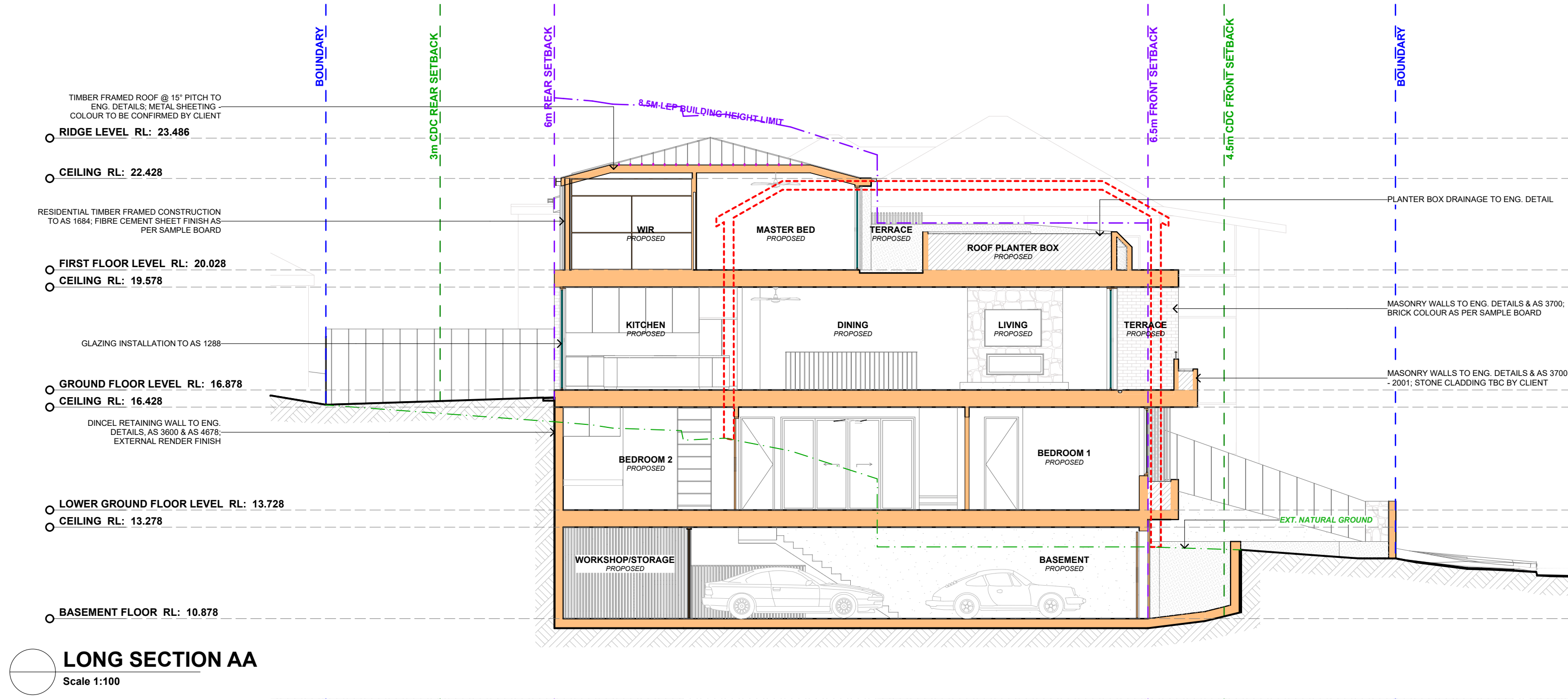
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2025

DRAWING NAME
SOUTH WEST ELEVATION

SCALE
1:100 @A3



NORTH WEST ELEVATION
Scale 1:100



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

EXIST. RL
↓
PROP. RL

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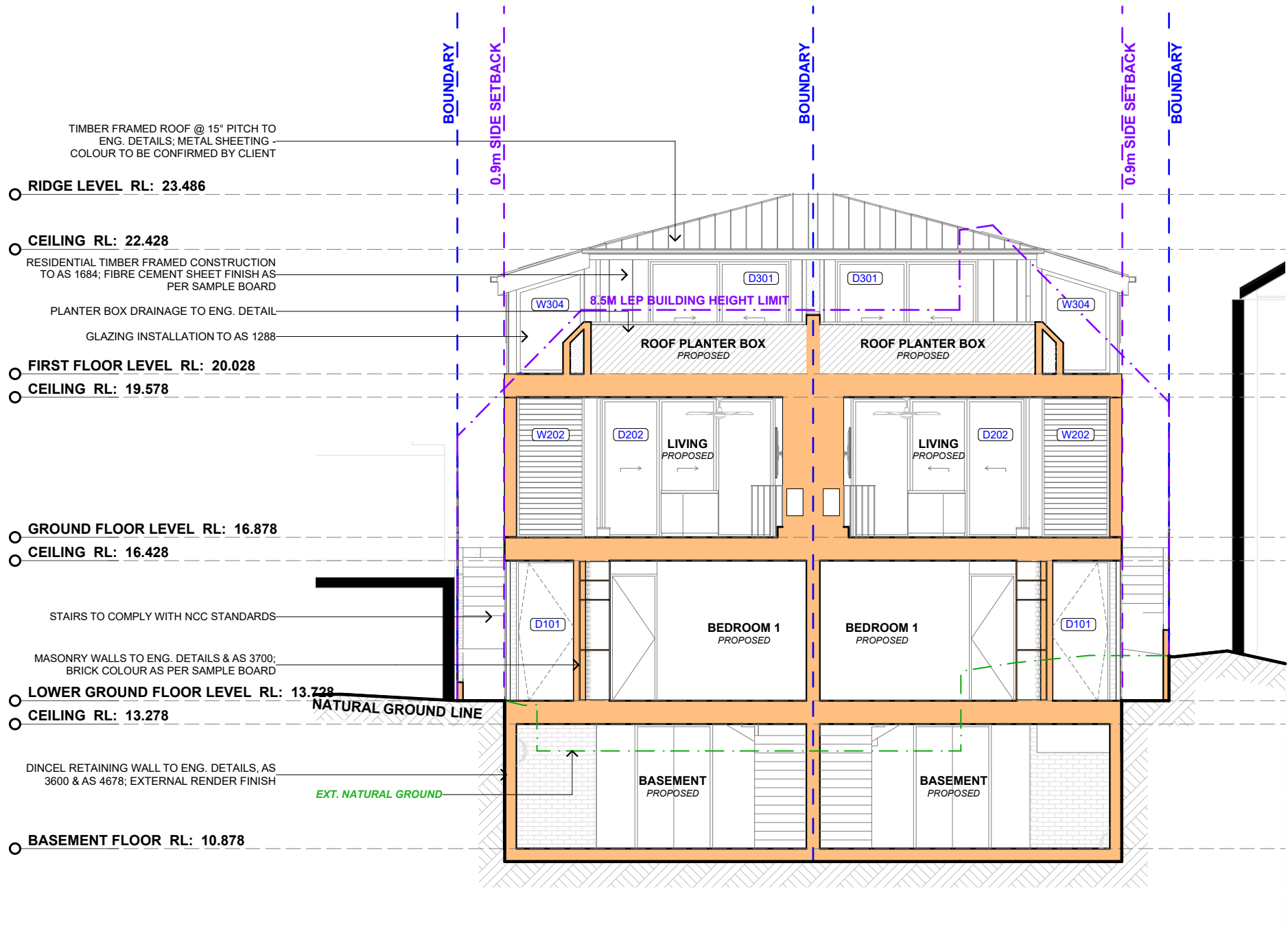
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DA16

DATE
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DRAWING NAME
LONG SECTION

SCALE
1:100 @A3



CROSS SECTION B-B
Scale 1:100



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LEGEND
EXISTING
PROPOSED
DEMOLISHED

EXIST. RL
↓
PROP. RL

CLIENT
Bill Derrin

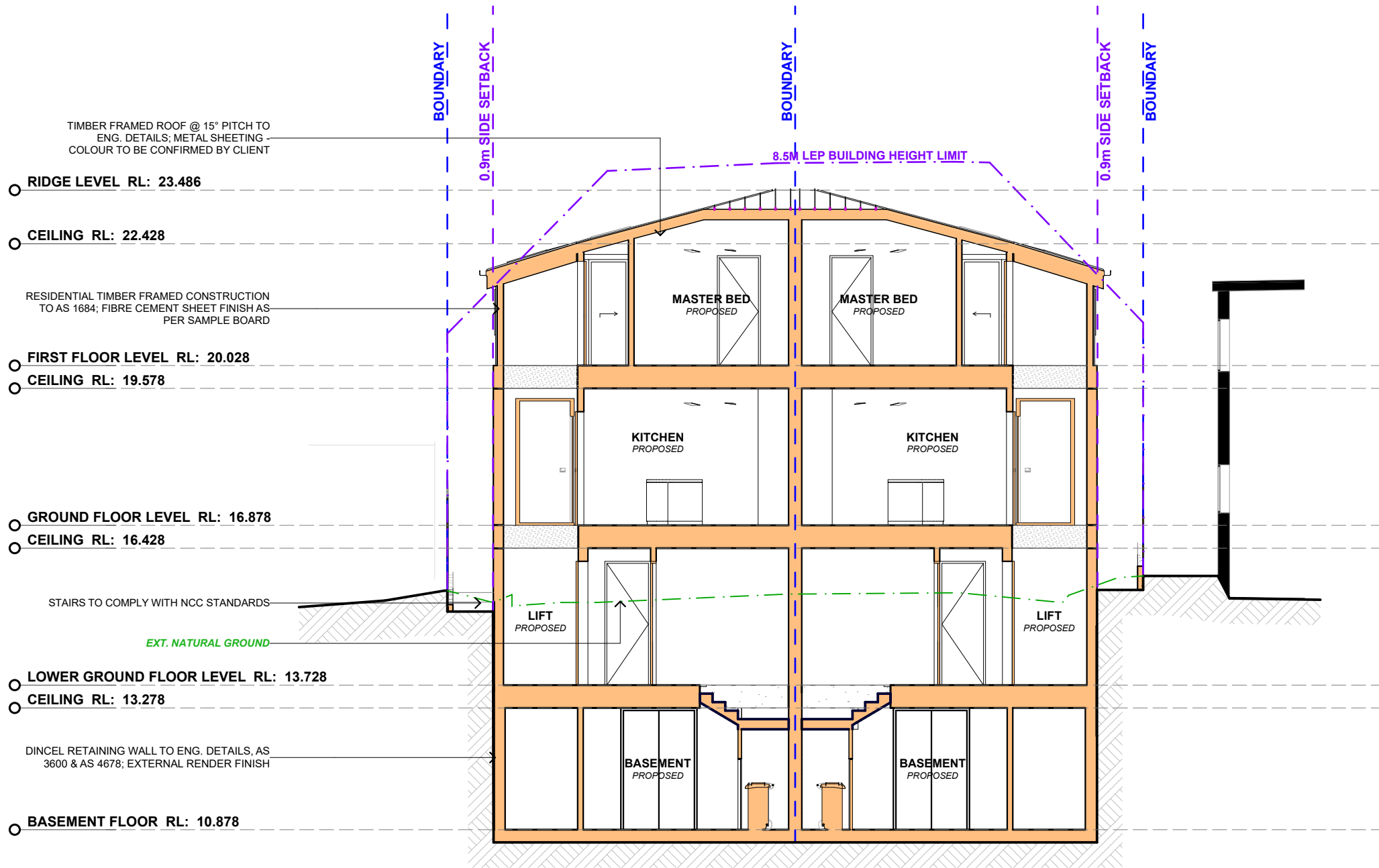
PROJECT ADDRESS
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DA17

DATE
Thursday, 5 June,
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DRAWING NAME
CROSS SECTION

SCALE
1:100 @A3



CROSS SECTION C-C
Scale 1:100



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LEGEND
EXISTING
PROPOSED
DEMOLISHED

EXIST. RL
↓
PROP. RL

CLIENT
Bill Derrin

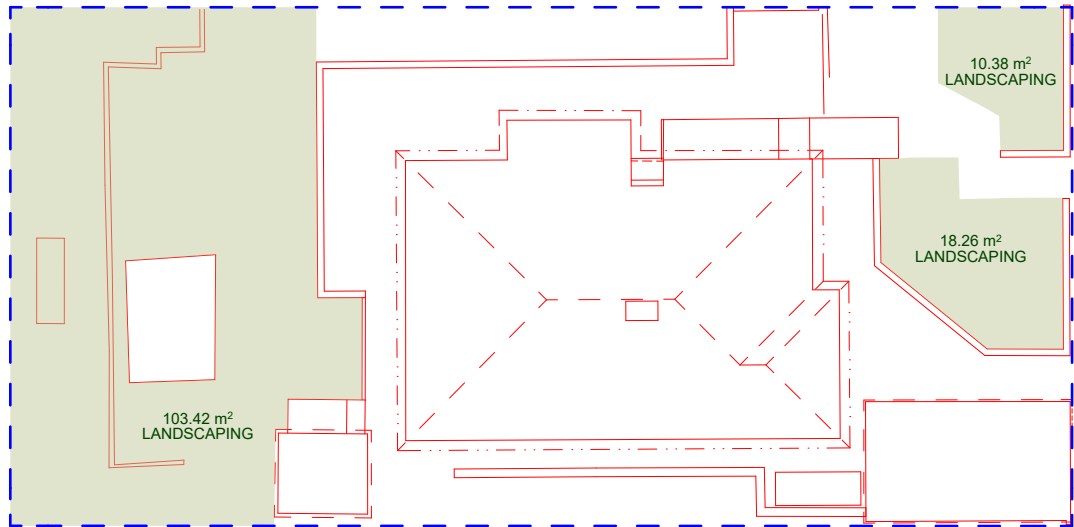
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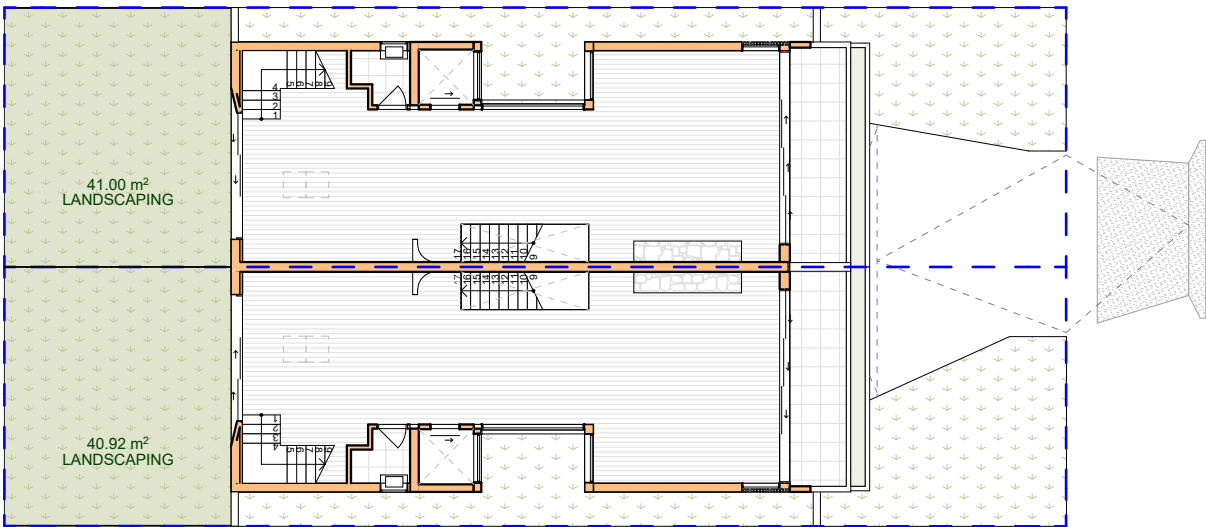
DATE
Thursday, 5 June,
2025

DRAWING NAME
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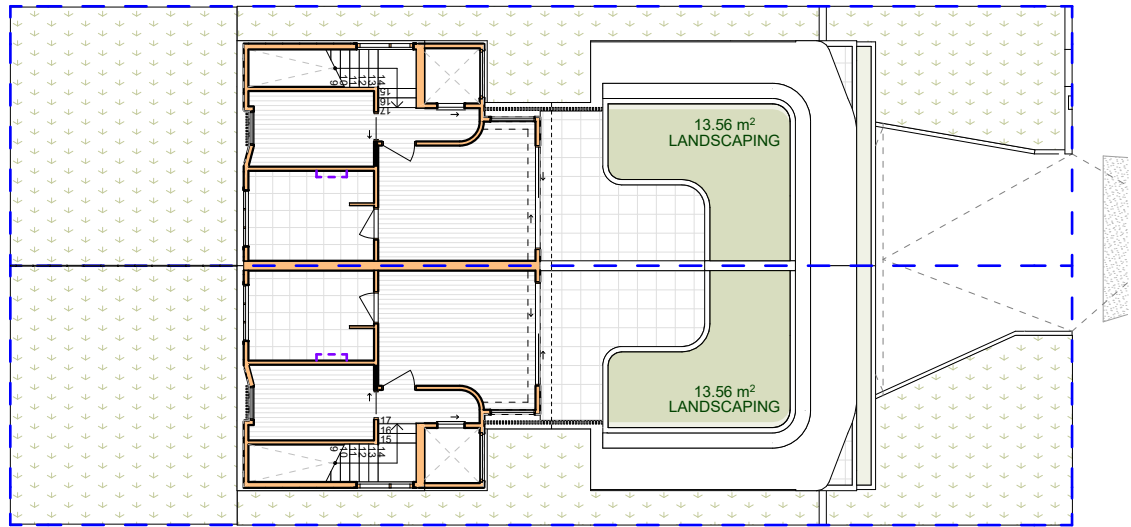
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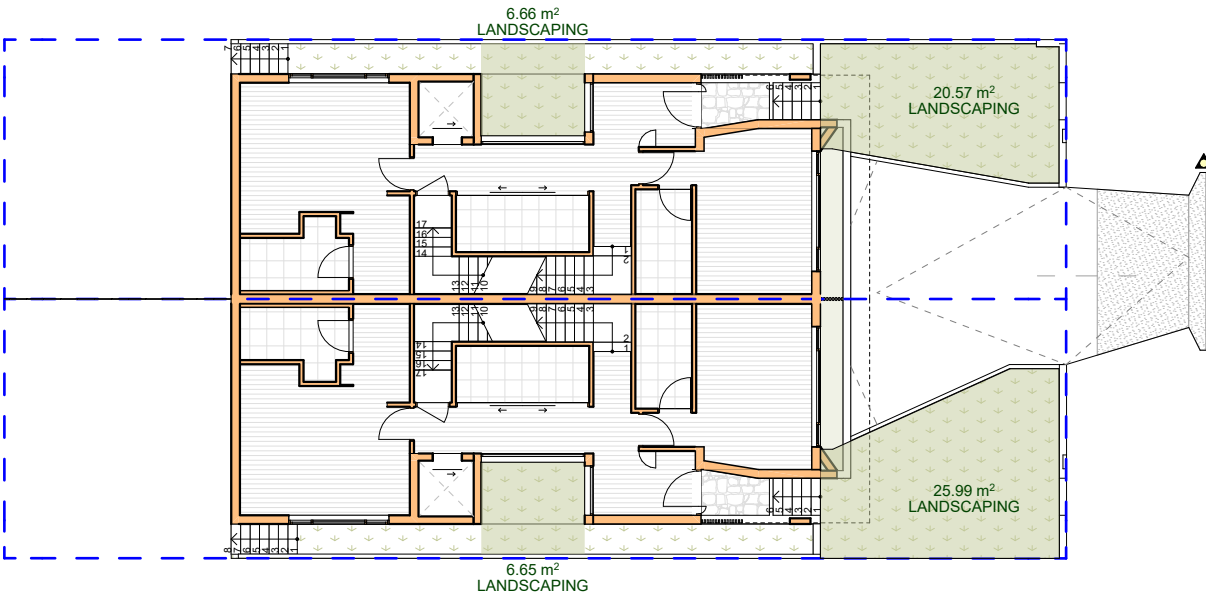
1 EXISTING AREA CALCULATIONS
Scale 1:200



PROPOSED AREA CALCULATIONS - FIRST FLOOR PLAN
Scale 1:200



PROPOSED AREA CALCULATIONS - SECOND FLOOR LEVEL
Scale 1:200



PROPOSED AREA CALCULATIONS - GROUND FLOOR PLAN
Scale 1:200

SITE AREA: 385.2m²
LANDSCAPE AREA CONTROL: 40% OF SITE AREA (154.08m²)

EXISTING LANDSCAPED AREA = 132.06m² (34.28%)

PROPOSED LANDSCAPED AREA = 168.91m² (43.84%)



ACTION PLANS

m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
	05.06.2025	DEVELOPMENT APPLICATION	AP

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LEGEND
 LANDSCAPED AREA

CLIENT
Bill Derrin

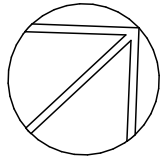
PROJECT ADDRESS
35 Moore road,
Freshwater, NSW 2096

DRAWING NO.
DA19

DATE
Thursday, 5 June,
2025

DRAWING NAME
AREA CALCULATIONS

SCALE
1:200 @A3





METAL FRAMED WINDOWS AND DOORS



TIMBER CLAD GARAGE DOORS



LIGHT COLOURED BRICKWORK



STONE CLADDING



LIGHT COLOURED EXTERNAL RENDER



LIGHT PAINTED BOARD & BATTEN FIBRE CEMENT SHEETING



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REV.	DATE	COMMENTS	DRWN
	05.06.2025	DEVELOPMENT APPLICATION	AP

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LEGEND

CLIENT
Bill Derrin

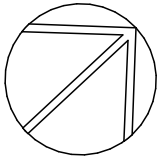
PROJECT ADDRESS
35 Moore road,
Freshwater, NSW 2096

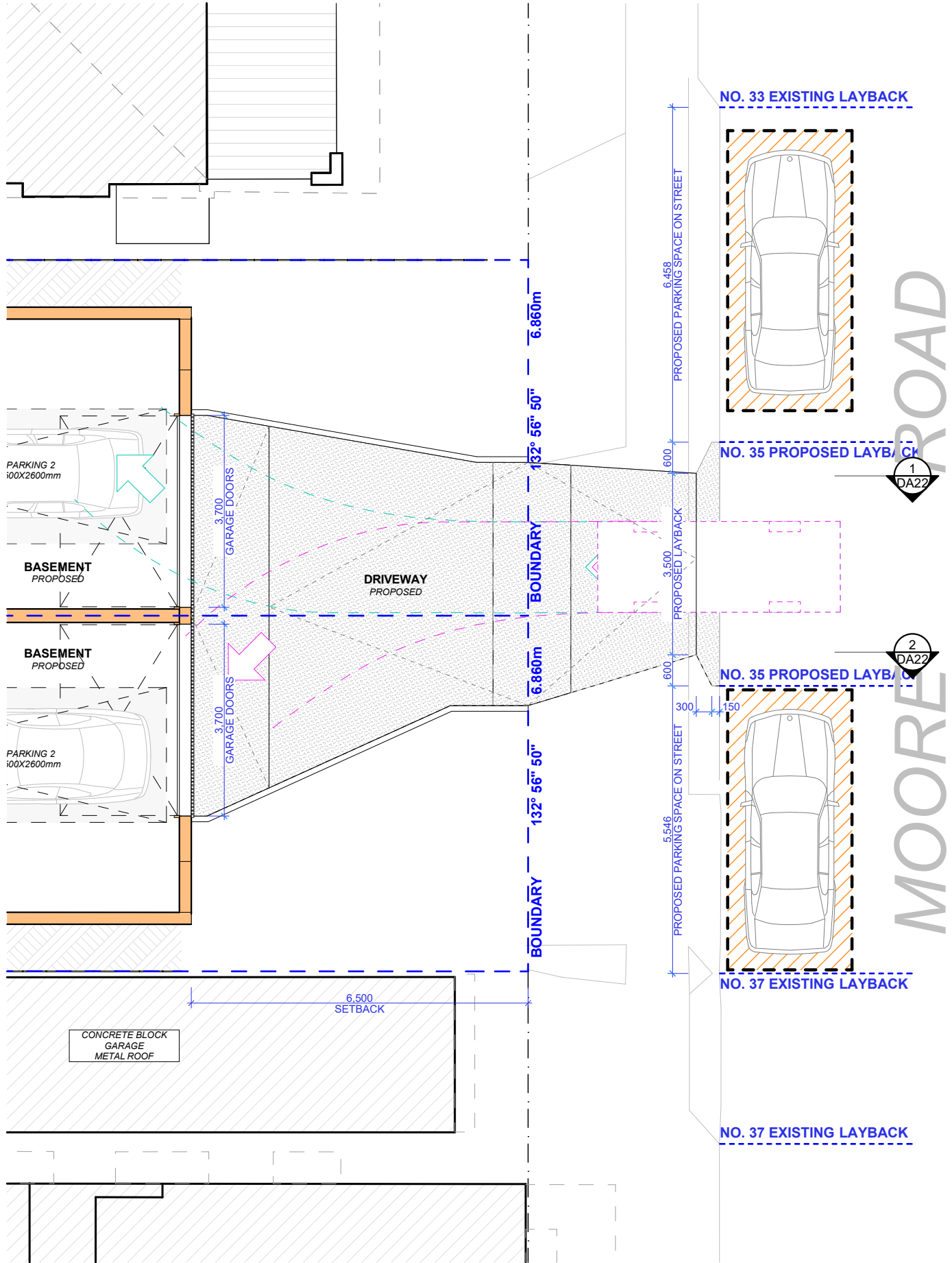
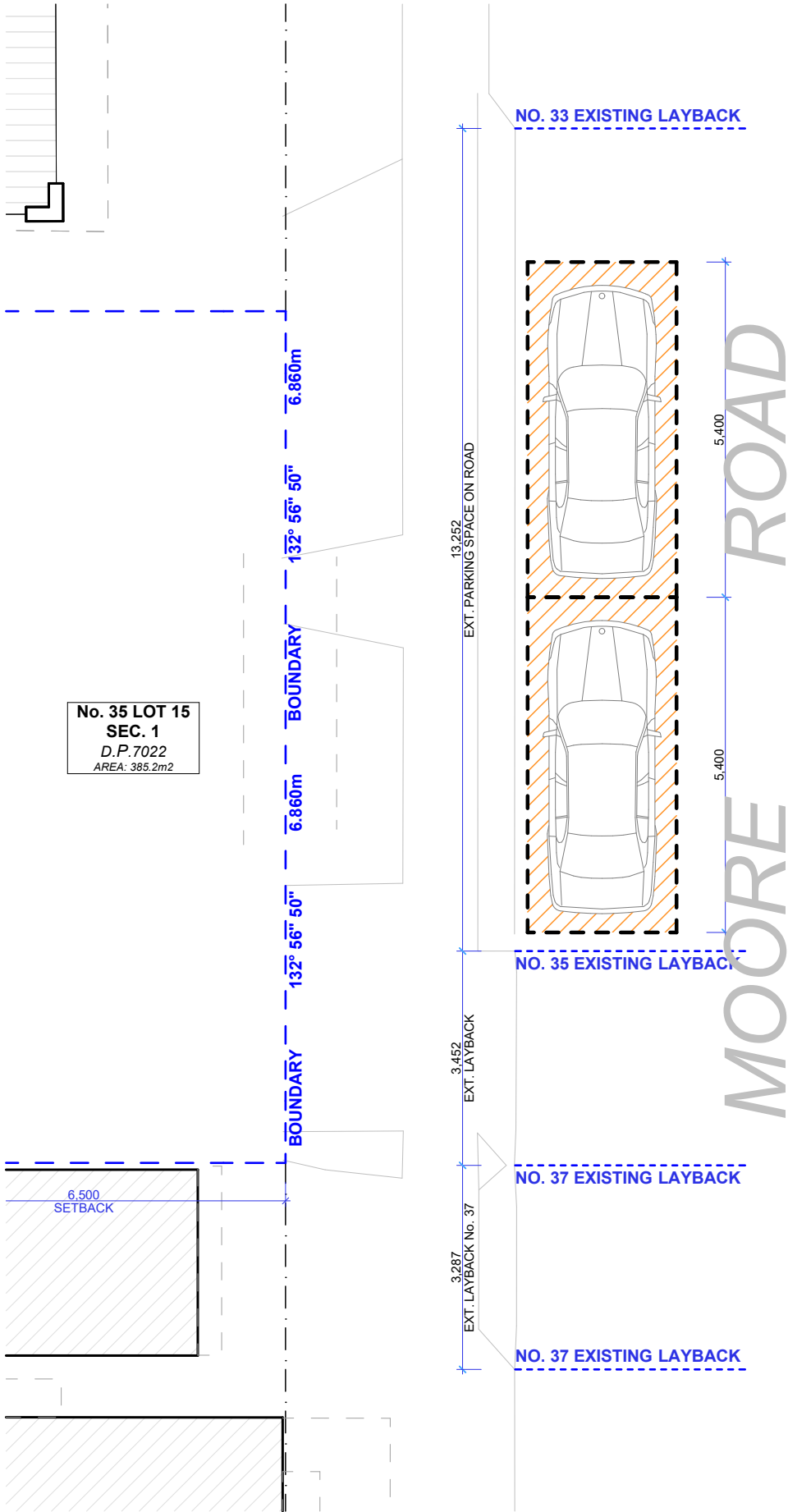
DRAWING NO.
DA20

DATE
Thursday, 5 June,
2025

DRAWING NAME
SAMPLE BOARD

SCALE
@A3





**NEW DRIVEWAY
LOCATION RESULTS IN
NO NET GAIN OR LOSS
IN AVAILABLE STREET
PARKING**

EXISTING DRIVEWAY PLAN
Scale 1:100

PROPOSED DRIVEWAY PLAN
Scale 1:100



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REV.	DATE	COMMENTS	DRWN
	05.06.2025	DEVELOPMENT APPLICATION	AP

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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL

PROPOSED RL

CLIENT

Bill Derrin

PROJECT ADDRESS

35 Moore road,
Freshwater, NSW 2096

DRAWING NO.

DA21

DATE

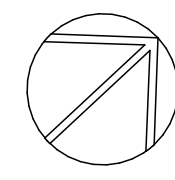
Thursday, 5 June,
2025

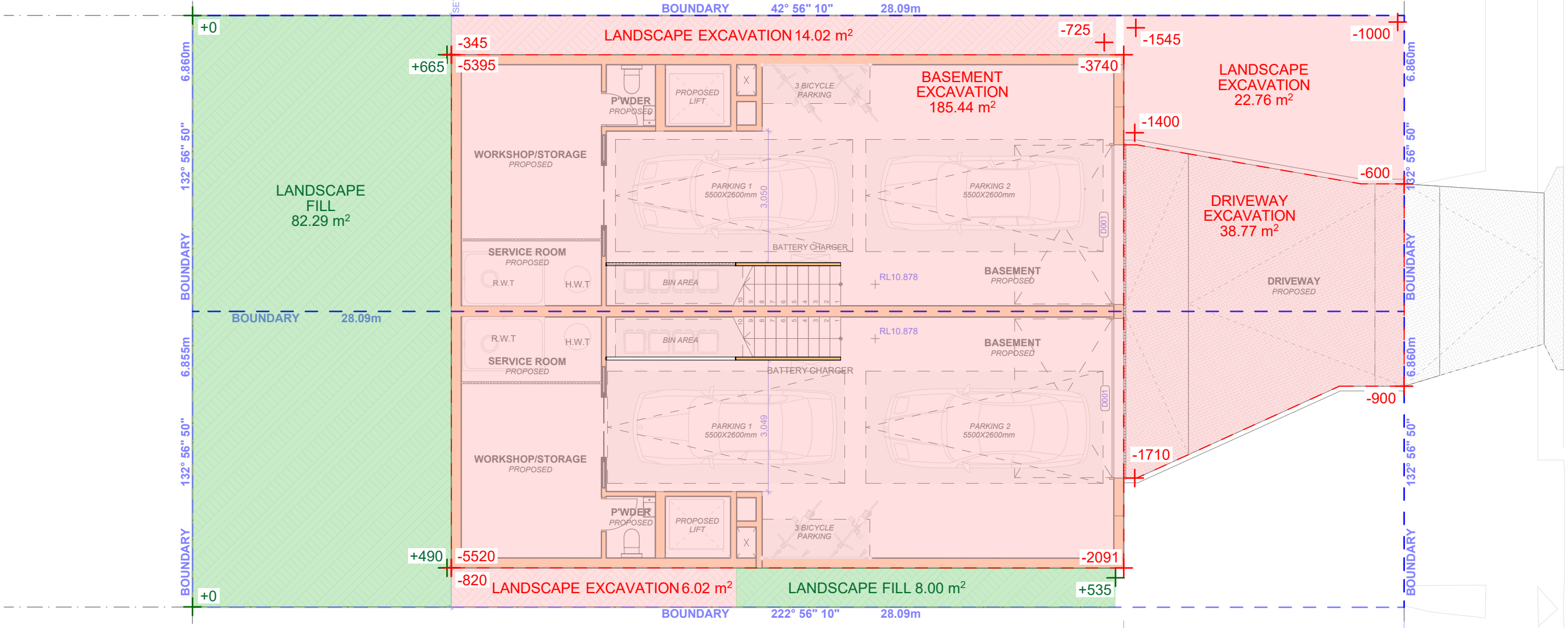
DRAWING NAME

DRIVEWAY / STREET PARKING
PLAN

SCALE

1:100 @A3

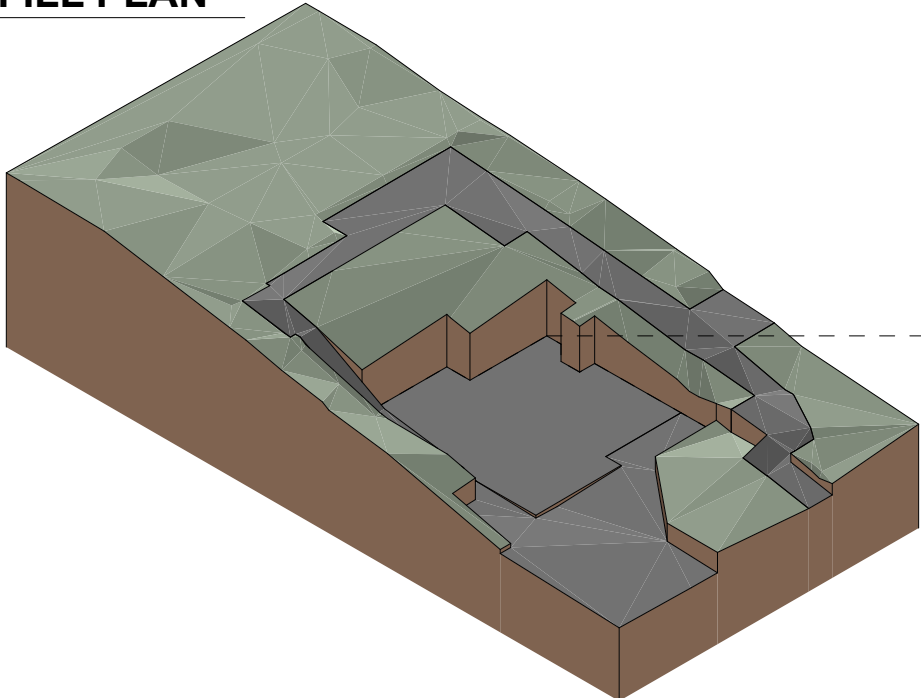




CUT AND FILL	
Element	Volume m3
FILL	
	2.80
	10.49
	12.43
	25.72 m³
CUT	
	26.72
	204.10
	426.04
	31.80
	96.80
	785.46 m³

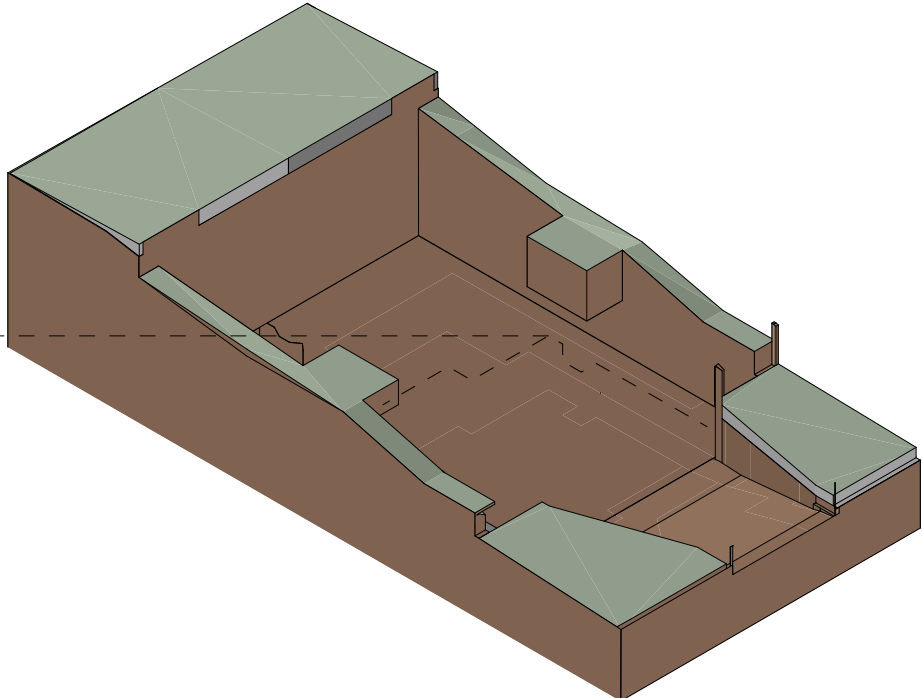
1 CUT & FILL PLAN

Scale 1:100



EXISTING SITE WITH EXISTING RESIDENCE DEMOLISHED

Scale



PROPOSED EXCAVATION DIAGRAM

Scale

Certificate No. 0011938370

Scan QR code or follow website link for rating details.

Assessor name: Terry Chapman

Accreditation No. 20920

Property Address: Moore Road, FRESHWATER NSW 2096

holder.com.au/QR/Generate?pin=MkicpL8N7s

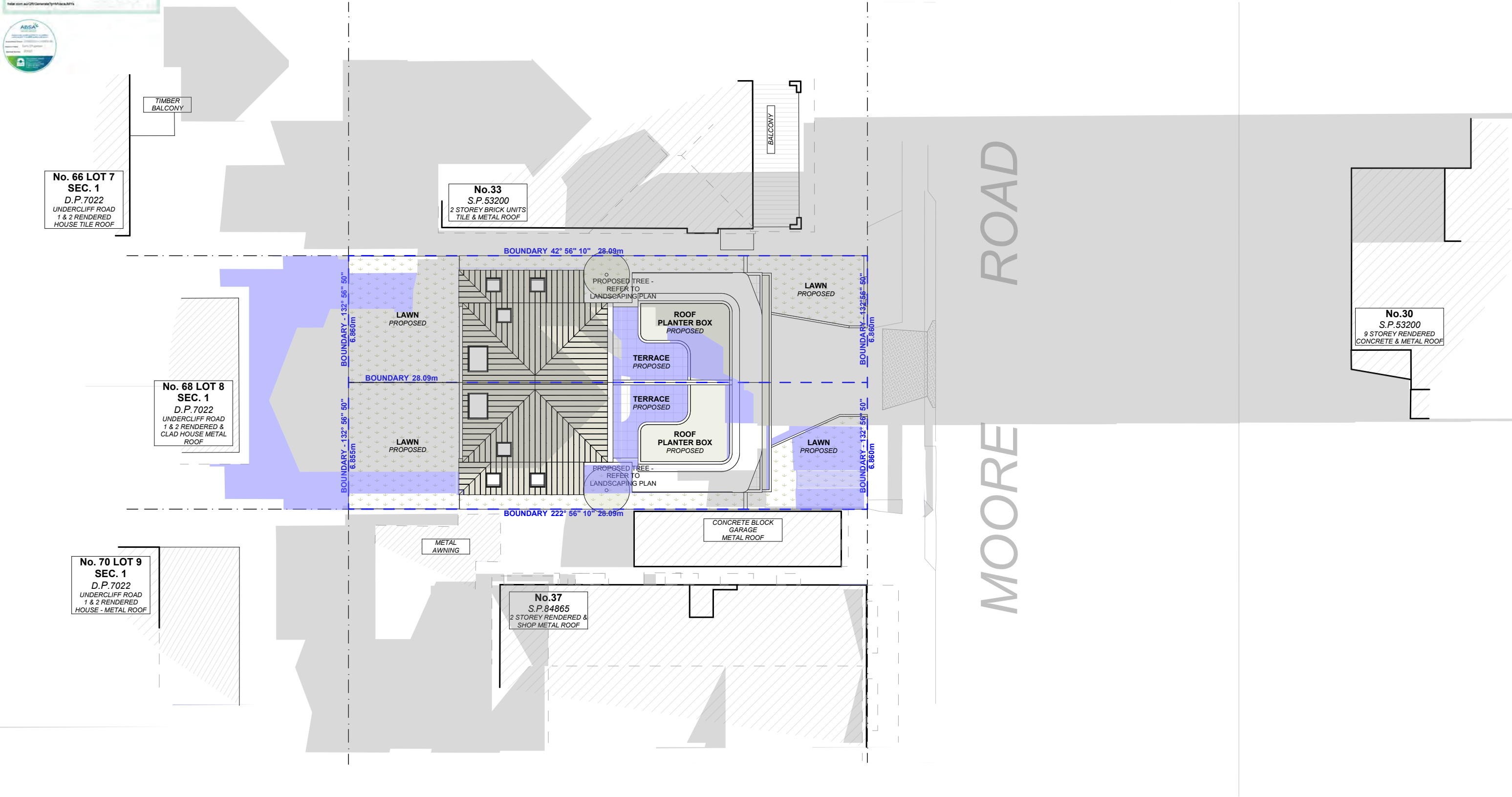


ABSA

Accredited

Surveyor

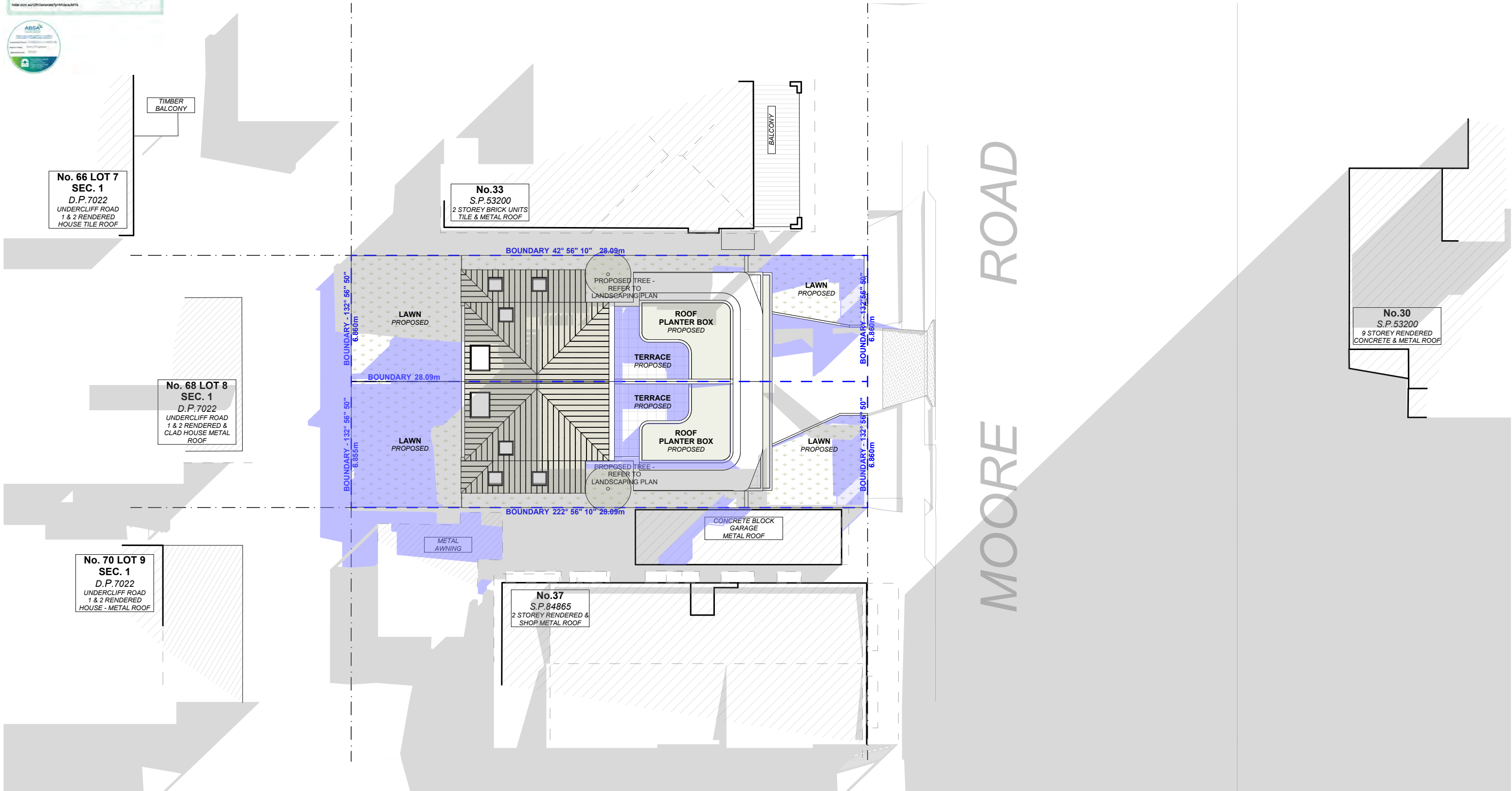
2019/20



1

9AM SHADOW DIAGRAM

Scale 1:200



1 12PM SHADOW DIAGRAM

Scale 1:200



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	05.06.2025	DEVELOPMENT APPLICATION	AP	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
				Do not scale measure from drawings. Figured dimensions are to be used only.
				The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
				The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
				All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND



EXISTING SHADOWS



PROPOSED SHADOWS

CLIENT
Bill Derrin

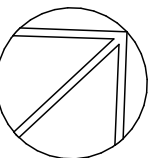
PROJECT ADDRESS
35 Moore road,
Freshwater, NSW 2096

DRAWING NO.
DA25

DATE
Thursday, 5 June,
2025

DRAWING NAME
WINTER SOLSTICE 12 PM

SCALE
1:200 @A3



Certificate No. 0011938370

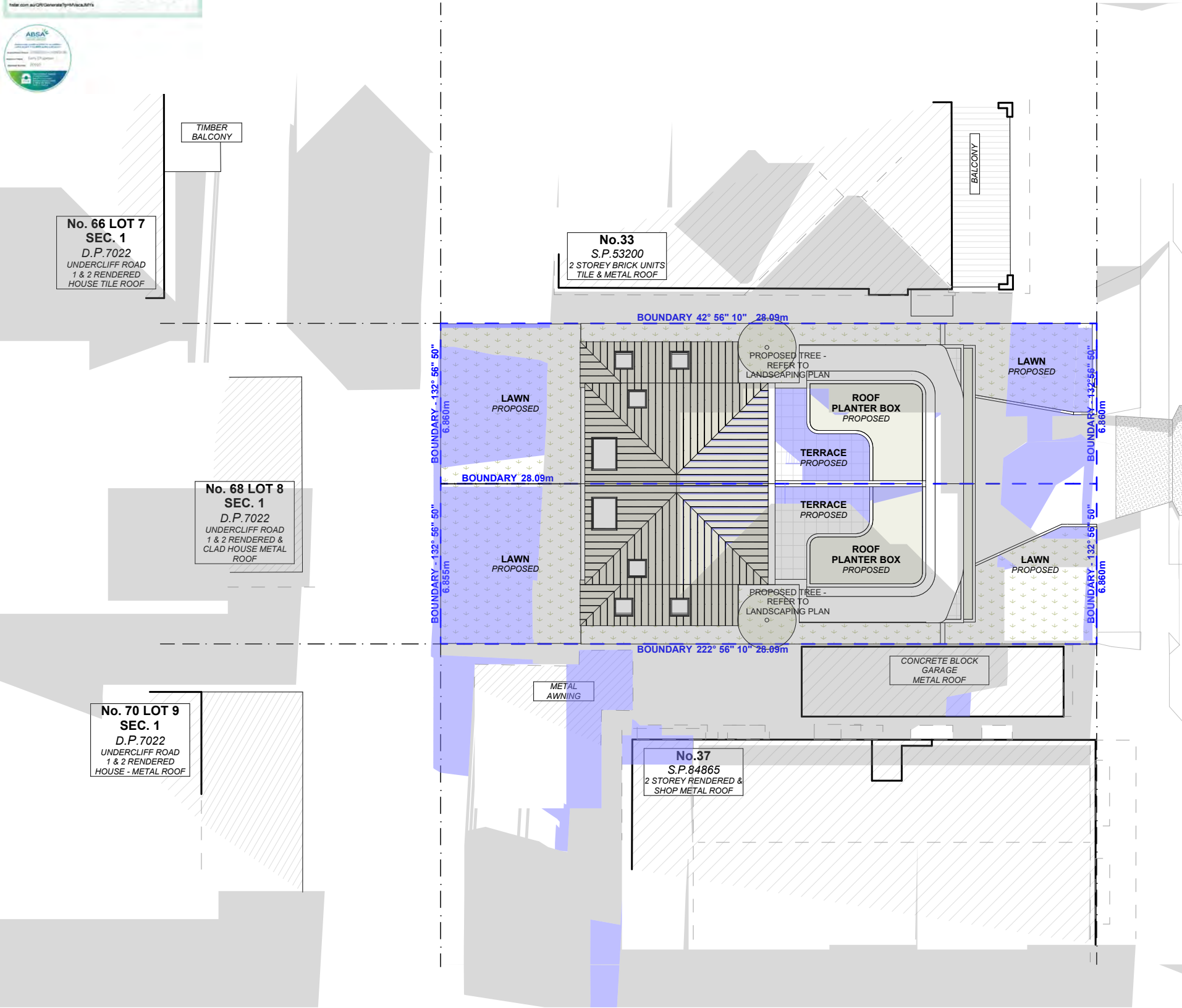
Scan QR code or follow website link for rating details.

Assessor name: Terry Chapman

Accreditation No. 20920

Property Address: Moore Road, FRESHWATER NSW 2096

holder.com.au/QR/Generate?pin=Mkicak3M7s



1

3PM SHADOW DIAGRAM

Scale 1:200



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	05.06.2025	DEVELOPMENT APPLICATION	AP

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- LEGEND**
- EXISTING SHADOWS
 - PROPOSED SHADOWS

CLIENT
Bill Derrin

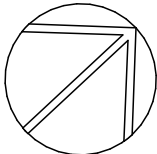
PROJECT ADDRESS
35 Moore road,
Freshwater, NSW 2096

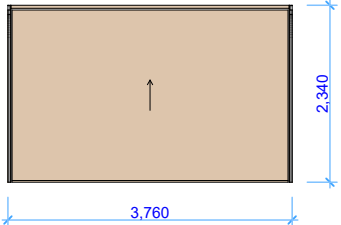
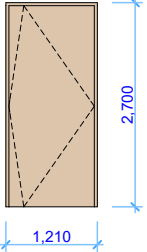
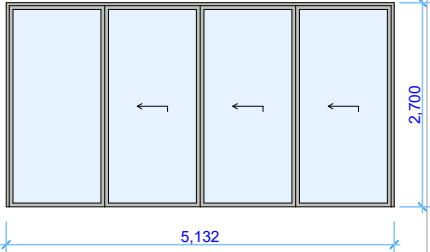
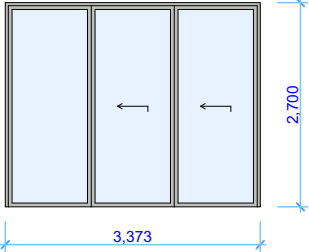
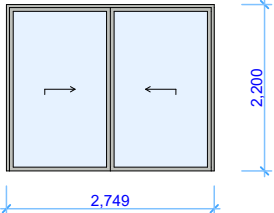
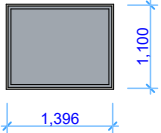
DRAWING NO.
DA26

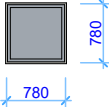
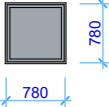
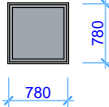
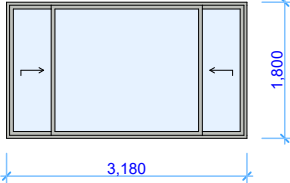
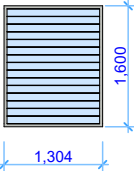
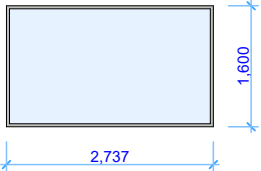
DATE
Thursday, 5 June,
2025

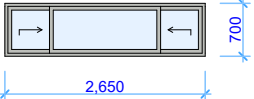
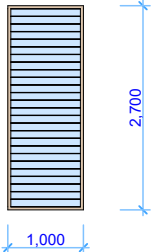
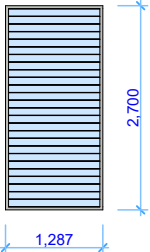
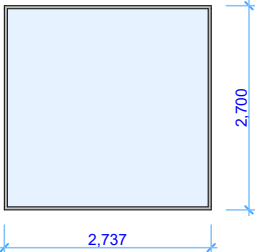
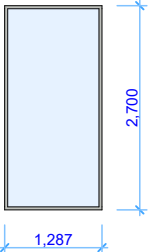
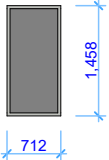
DRAWING NAME
WINTER SOLSTICE 3 PM

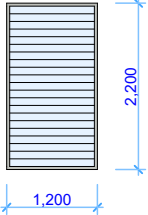
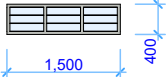
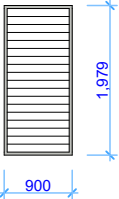
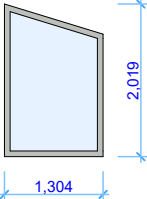
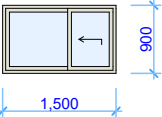
SCALE
1:200 @A3




ID	D001	D101	D201	D202	D301	SKL01
WIDTH (M)	3.70	1.21	5.13	3.37	2.75	---
HEIGHT (M)	2.30	2.70	2.70	2.70	2.20	---
SILL HEIGHT (MM)	0	0	0	0	0	---
ELEVATION						

ID	SKL02	SKL03	SKL04	W101	W102	W103
WIDTH (M)	---	---	---	3.18	1.30	2.74
HEIGHT (M)	---	---	---	1.80	1.60	1.60
SILL HEIGHT (MM)	---	---	---	900	1,100	1,100
ELEVATION						

ID	W104	W201	W202	W203	W204	W205
WIDTH (M)	2.65	1.00	1.29	2.74	1.29	0.71
HEIGHT (M)	0.70	2.70	2.70	2.70	2.70	1.46
SILL HEIGHT (MM)	2,000	0	0	0	0	922
ELEVATION						

ID	W301	W302	W303	W304	W305
WIDTH (M)	1.20	1.50	0.90	1.30	1.50
HEIGHT (M)	2.20	0.40	1.98	2.02	0.90
SILL HEIGHT (MM)	0	1,800	221	0	600
ELEVATION					



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LEGEND

CLIENT
Bill Derrin

PROJECT ADDRESS
35 Moore road,
Freshwater, NSW 2096

DRAWING NO.
DA27



DATE
Thursday, 5 June,
2025

DRAWING NAME
WINDOW & DOOR SCHEDULE

SCALE
@A3

NOTE: DIMENSIONS TAKEN FROM OPENING. CONFIRM BEFORE ORDERING

NOTE: ALL WINDOW & DOOR DIMENSIONS, ORIENTATION, GLAZING MATERIAL, OPENING TYPE, FRAME TYPE IS TO BE CONFIRMED BY A SUITABLY QUALIFIED PERSON PRIOR TO THE ORDERING OF ANY SUCH MATERIALS ARE TO TAKE PLACE. U-VALUE TAKES PREFERENCE TO GLAZING TYPE/COLOUR IN ALL CASES.



Certificate No. 0011938370
Scan QR code or follow website link for rating details.
Assessor name Terry Chapman
Accreditation No. 20020
Property Address Moore Road, FRESHWATER NSW, 2096
Issue date 04/06/2025

Certificate No. 0011938370

Scan QR code or follow website link for rating details.

Assessor name: Terry Chapman


Accreditation No. 20920

Property Address: Moore Road, FRESHWATER NSW 2096


holder.com.au/QR/Generate?pin=Mkpcu3R7%





Basix Requirements Summary - Multi Dwelling											
Dual Occupancy 35 Moore Road Freshwater			NSW	2096	Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914						
Water Target		40	Water Score		43						
Energy Target		72	Energy Score		72						
Basix Commitments											
Landscaping		Total area of garden & lawn (m²) 78.5 ea			Area of indigenous/low water use plants (m²) 0						
Fixtures		Shower heads 4 star (> 6 but <= 7.5 L/min)			Toilets 4 star		All taps 4 star				
Alternative Water		Minimum Rainwater tank size (L) 2000 ea			Collect run off from roof area of at least (m²) 43.6 ea						
		Toilet connection Yes		Laundry connection Yes		Landscape connection Yes		Pool top up n/a		Spa top up n/a	
Energy		Hot water system		Gas instantaneous			Rating		6 star		
		Bathroom ventilation		Individual fan, ducted to facade or roof			with		Manual switch on/off		
		Kitchen ventilation		Individual fan, ducted to facade or roof			with		Manual switch on/off		
		Laundry ventilation		Individual fan, ducted to facade or roof			with		Manual switch on/off		
		Cooling - living areas		1-phase airconditioning			Rating		EER 3.0 - 3.5		
		Cooling - bedrooms		1-phase airconditioning			Rating		EER 3.0 - 3.5		
		Heating - living areas		1-phase airconditioning			Rating		EER 3.0 - 3.5		
		Heating - bedrooms		1-phase airconditioning			Rating		EER 3.0 - 3.5		
		Alternate Energy		Photovoltaic system able to generate at least			n/a		peak kilowatts of electricity		
		Gas cooktop & electric oven		Outdoor clothesline required			No indoor clothesline required				
Thermal Performance Assessment Based on the Following Requirements											
Floor Types		Concrete slab on ground			with		No insulation required				
		Suspended concrete slab			with		R2.3 underslab insulation				
Floor Coverings		Tiles Wet Areas			Timber		Living Areas/ Bedrooms				
		Carpet n/a			Concrete		Garage				
External Walls		Dintel (200mm) - Basement Level			with		No insulation required		Colour	Light	
		Dintel (200mm) - Timber Framed - Ground & 1st Floor			with		R2.5 bulk insulation		Colour	Light	
		Cavity brick			with		R1.1 cavity board		Colour	Light	
		Timber framed Fibro clad on battens			with		Sarking and R2.5 bulk insulation		Colour	Light	
Internal Walls		Plasterboard			with		No insulation required				
Party Walls		Dintel (200mm) with plasterboard									
Ceiling (floor over)		Concrete above plasterboard			with		R2.3 underslab insulation - All basement level internal ceilings				
Ceilings (roof over)		Concrete above plasterboard			with		R2.3 underslab insulation - Exclude garage only				
		Timber above plasterboard.			with		R6.0 bulk insulation				
Roof		Metal			with		R1.3 roof blanket		Colour	Medium	
		Concrete			with		Waterproof membrane only		Colour	Medium	
Windows and Doors - Unit A		AF single glazed Comfort Plus to all windows and glazed doors unless noted otherwise			Fixed Glass		BRD-041-001-001 U-Value 6.15 or less SHGC 0.74 +/- 5%				
					Louvres		BRZ-006-009-001 U-Value 4.90 or less SHGC 0.46 +/- 5%				
					Sliding Windows		BRD-149-005-001 U-Value 4.60 or less SHGC 0.60 +/- 5%				
					Sliding Doors		BRD-033-010-001 U-Value 4.30 or less SHGC 0.59 +/- 5%				
		AF double glazed clear Sliding Door - D201 & D202 only Fixed Window - W103 only			Sliding Doors		BRD-141-014-001 U-Value 3.00 or less SHGC 0.50 +/- 5%				
					Fixed Glass		BRD-153-040-001 U-Value 2.70 or less SHGC 0.53 +/- 5%				
		AF = Aluminium Framed			TB = Thermally Broken Aluminium Framed			TF = Timber Framed			
Windows and Doors - Unit B		AF single glazed Comfort Plus to all windows and glazed doors unless noted otherwise			Fixed Glass		BRD-041-001-001 U-Value 6.15 or less SHGC 0.74 +/- 5%				
					Louvres		BRZ-006-009-001 U-Value 4.90 or less SHGC 0.46 +/- 5%				
					Sliding Windows		BRD-149-005-001 U-Value 4.60 or less SHGC 0.60 +/- 5%				
					Sliding Doors		BRD-033-010-001 U-Value 4.30 or less SHGC 0.59 +/- 5%				
		AF double glazed clear Sliding Door - D201 & D202 only Fixed Window - W103 & W203 only			Sliding Doors		BRD-035-029-001 U-Value 2.70 or less SHGC 0.51 +/- 5%				
					Fixed Glass		BRD-153-040-001 U-Value 2.70 or less SHGC 0.53 +/- 5%				
		AF = Aluminium Framed			TB = Thermally Broken Aluminium Framed			TF = Timber Framed			
<i>If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent</i> <i>Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed</i> <i>All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA</i> <i>If there is a discrepancy between this document and the Natthers Certificate, then the Natthers Certificate shall take precedence</i>											
Notes		Ceiling Fans (1400mm) required in the Dining Living Area x 2 & Master Bed									

This document to be read in conjunction with the Basix Certificate and Natthers Universal Certificate



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e:operations@actionplans.com.au
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REV.	DATE	COMMENTS	DRWN	NOTES
	05.06.2025	DEVELOPMENT APPLICATION	AP	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions. The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

CLIENT
Bill Derrin

PROJECT ADDRESS
35 Moore road,
Freshwater, NSW 2096

DRAWING NO.
DA28

DRAWING NAME
BASIX COMMITMENTS

SCALE
@A3

DRAWING NO.
DA28

DATE
Thursday, 5 June,
2025

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Multi Dwelling

Certificate number: 1796655M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 22 May 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate 0011938370.

Project summary			
Project name	35 Moore Road		
Street address	35 MOORE ROAD FRESHWATER 2096		
Local Government Area	NORTHERN BEACHES		
Plan type and plan number	Deposited Plan: 7022		
Lot no.	15		
Section no.	1		
No. of residential flat buildings	0		
Residential flat buildings: no. of dwellings	0		
Multi-dwelling housing: no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✓ 43	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	✓ 72	Target 72	
Materials	✓ -42	Target n/a	

Certificate Prepared by	
Name / Company Name:	CHAPMAN ENVIRONMENTAL SERVICES PTY LTD
ABN (if applicable):	

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(i) Dwellings			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	✓
(c) If a rating is specified in the table below for a feature or appliance to be installed in the dwelling, the applicant must ensure that each such feature and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on-demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa in the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	✓
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	✓
(g) The pool or spa must be located as specified in the table.	✓	✓	✓
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and that divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

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Description of project

Project address		Common area landscape	
Project name	35 Moore Road	Common area lawn (m²)	0
Street address	35 MOORE ROAD FRESHWATER 2096	Common area garden (m²)	0
Local Government Area	NORTHERN BEACHES	Area of indigenous or low water use species (m²)	0
Plan type and plan number	Deposited Plan: 7022	Assessor details and thermal loads	
Lot No.	15	Assessor number	20920
Section no.	1	Certificate number	0011938370
Project type		Climate zone	56
No. of residential flat buildings	0	Project score	
Residential flat buildings: no. of dwellings	0	Water	✓ 43 Target 40
Multi-dwelling housing: no. of dwellings	2	Thermal Performance	✓ Pass Target Pass
No. of single dwelling houses	0	Energy	✓ 72 Target 72
Site details		Materials	✓ -42 Target n/a
Site area (m²)	365.3		
Roof area (m²)	145		
Non-residential floor area (m²)	0		
Residential car spaces	4		
Non-residential car spaces	0		

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Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses									
Dwelling no.	No. of bedrooms	Uncovered floor area (m²)	Uncovered floor area (m²)	Uncovered floor area (m²)	Uncovered floor area (m²)	Uncovered floor area (m²)	Uncovered floor area (m²)	Uncovered floor area (m²)	Uncovered floor area (m²)
A	3	185.2	2.3	78.5	0				
B	3	185.2	2.3	78.5	0				

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling housing

- (a) Dwellings
(i) Water
(ii) Energy
(iii) Thermal Performance and Materials

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (b) Common areas and central systems/facilities
(i) Water
(ii) Energy

		Fixtures		Appliances		Individual pool		Individual spa	
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover
All dwellings	4 star (> 6 L/min)	4 star	4 star	4 star	-	-	-	-	-

Alternative water source						
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection	Laundry connection
All dwellings	Individual water tank (No. 1)	Tank size (m³) 2000 litres	To collect run-off from at least: 43.6 square metres of roof area; 0 square metres of impervious area; 0 square metres of garden and lawn area; and 0 square metres of plaster box area.	yes	yes	yes

(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system(s) specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zone" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "Primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1796655M Thursday, 22 May 2025 page 3/16

(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer to control the pool's pump; and		✓	✓
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	✓
(h) The applicant must install in the dwelling:			
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below.		✓	✓
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		✓	✓
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous - 6 star	individual fan, ducted to facade or roof	manual switch on/off to facade or roof	individual fan, ducted to facade or roof	manual switch on/off to facade or roof	individual fan, ducted to facade or roof	manual switch on/off to facade or roof

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Individual pool		Individual spa		Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer
All dwellings	-	-	-	-	-	gas cooking & electric oven	-	-

Alternative energy			
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation inputs
All dwellings	-	-	-

(ii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			✓
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.			✓
(g) Where there is an in-slab heating or cooling system, the applicant must:			✓
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1796655M Thursday, 22 May 2025 page 3/16

(ii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.			
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓	✓	✓
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

Thermal loads			
Dwelling no.	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)	Area adjusted total load (in MJ/m²/yr)
A	16.5	12.7	29.200

Thermal loads				
Dwelling no.	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)	Area adjusted total load (in MJ/m²/yr)	
All other dwellings	17.3	11.6	28.900	

Construction of floors and walls				
Dwelling no.	Concrete slab on ground (m²)	Suspended floor with open subfloor (m²)	Suspended floor above enclosed subfloor (m²)	Suspended floor above garage (m²)
All dwellings	87.6	3	87.1	no

Floor types									
Dwelling no.	Area (m²)	Insulation	Low emissions option	Dematerialisation type	Construction type	Area (m²)	Insulation	Construction type	Area (m²)
All dwellings	87.6	-	-	conventional slab	-	-	-	concrete - suspended	3

Floor types									
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation
All dwellings	concrete - suspended	117.8	-	concrete - suspended	87.1	polystyrene	concrete slab on ground	87.6	-

External walls									
External wall type 1									
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option	Dematerialisation type
All dwellings	concrete panel/ plasterboard, frame - timber	50.2	-	none	concrete panel/ plasterboard, frame - timber	62	fibreglass batts or roll	none	conventional slab

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1796655M Thursday, 22 May 2025 page 11/16

External walls							
External wall type 1				External wall type 2			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation
				- H2 treated softwood			

External walls				External wall type 3				External wall type 4			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation
All dwellings	cavity brick	30.3	polystyrene	none	framed (fibre cement sheet or boards), frame - timber - H2 treated softwood	62	fibreglass batts or roll	none			

Internal walls							
Internal walls shared with garage				Internal wall type 1			
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	Wall type
All dwellings	-	-	-	plasterboard, frame - timber - H2 treated softwood	117.8	-	-

Ceiling and roof							
Flat ceiling / pitched roof				Raked ceiling / pitched or skillion roof			
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type
All dwellings	framed - metal roof, frame - timber - H2 treated softwood	43.6	Ceiling: fibreglass batts or roll, Roof: foil backed blanket	-	-	Ceiling: Roof: concrete - plasterboard internal	28.9

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1796655M Thursday, 22 May 2025 page 12/16

		Glazing type			Frame types				
Dwelling no.	Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)	
All dwellings	46	23	-	69	-	-	-	-	

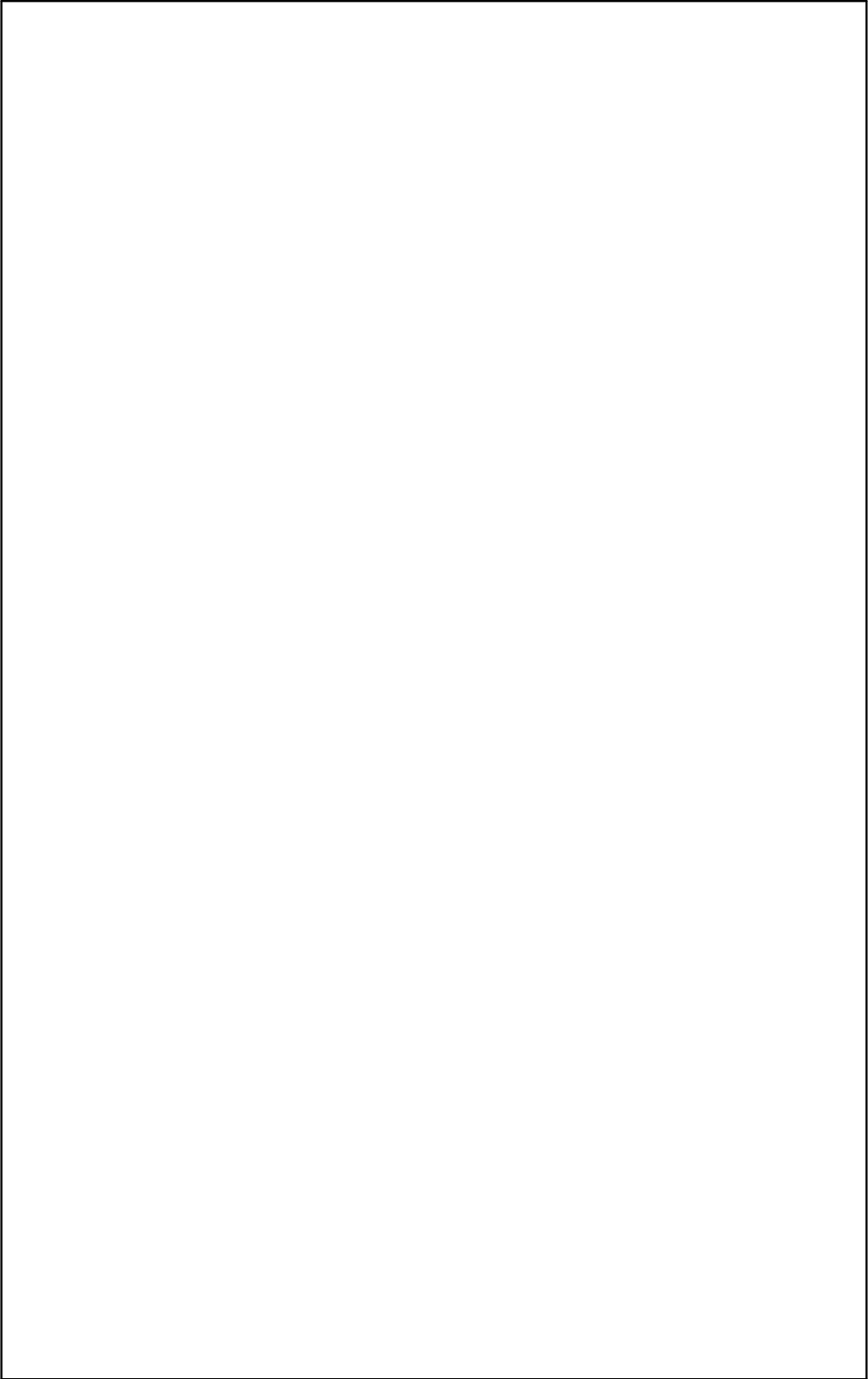
2. Commitlments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

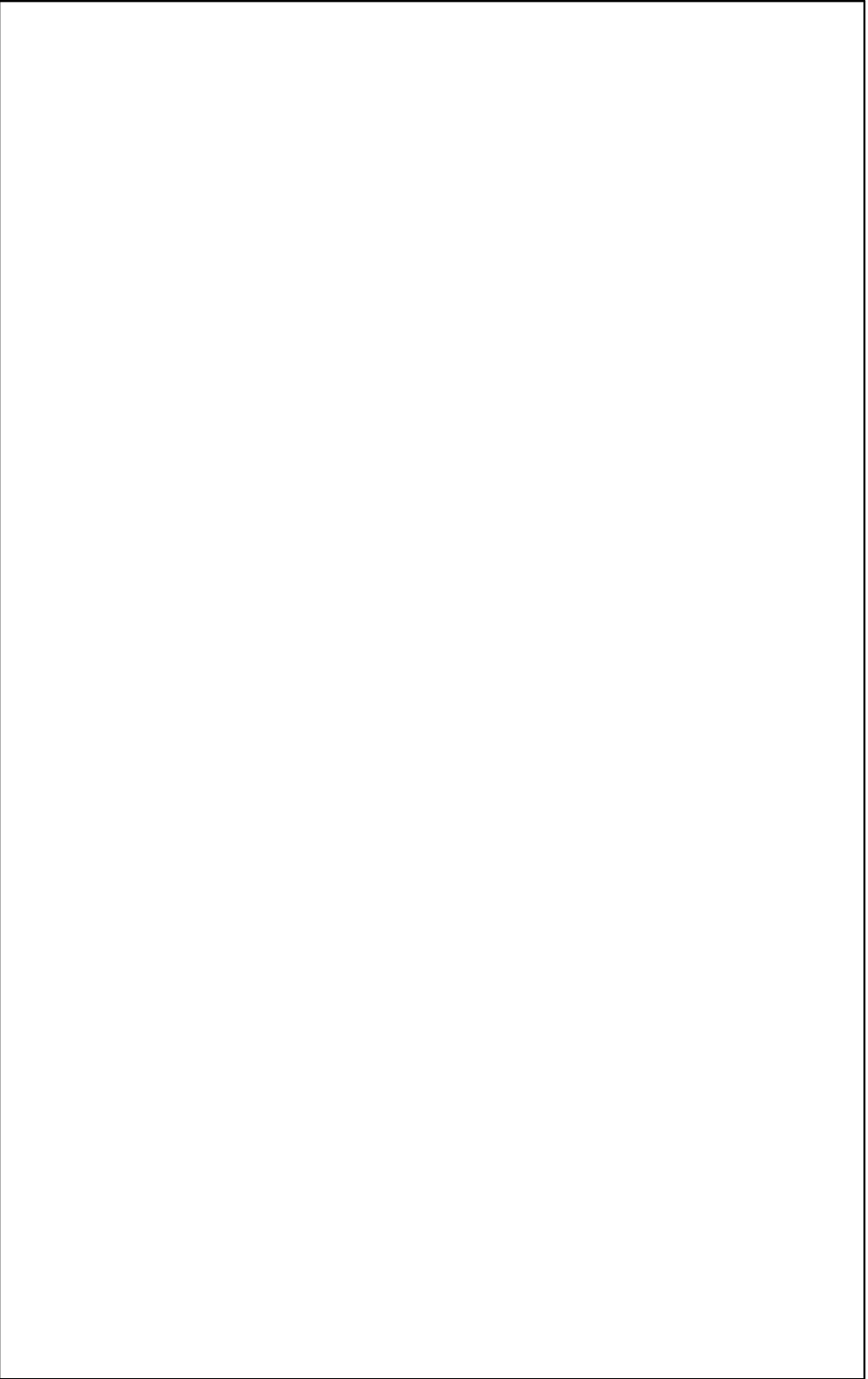
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.			✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓		
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

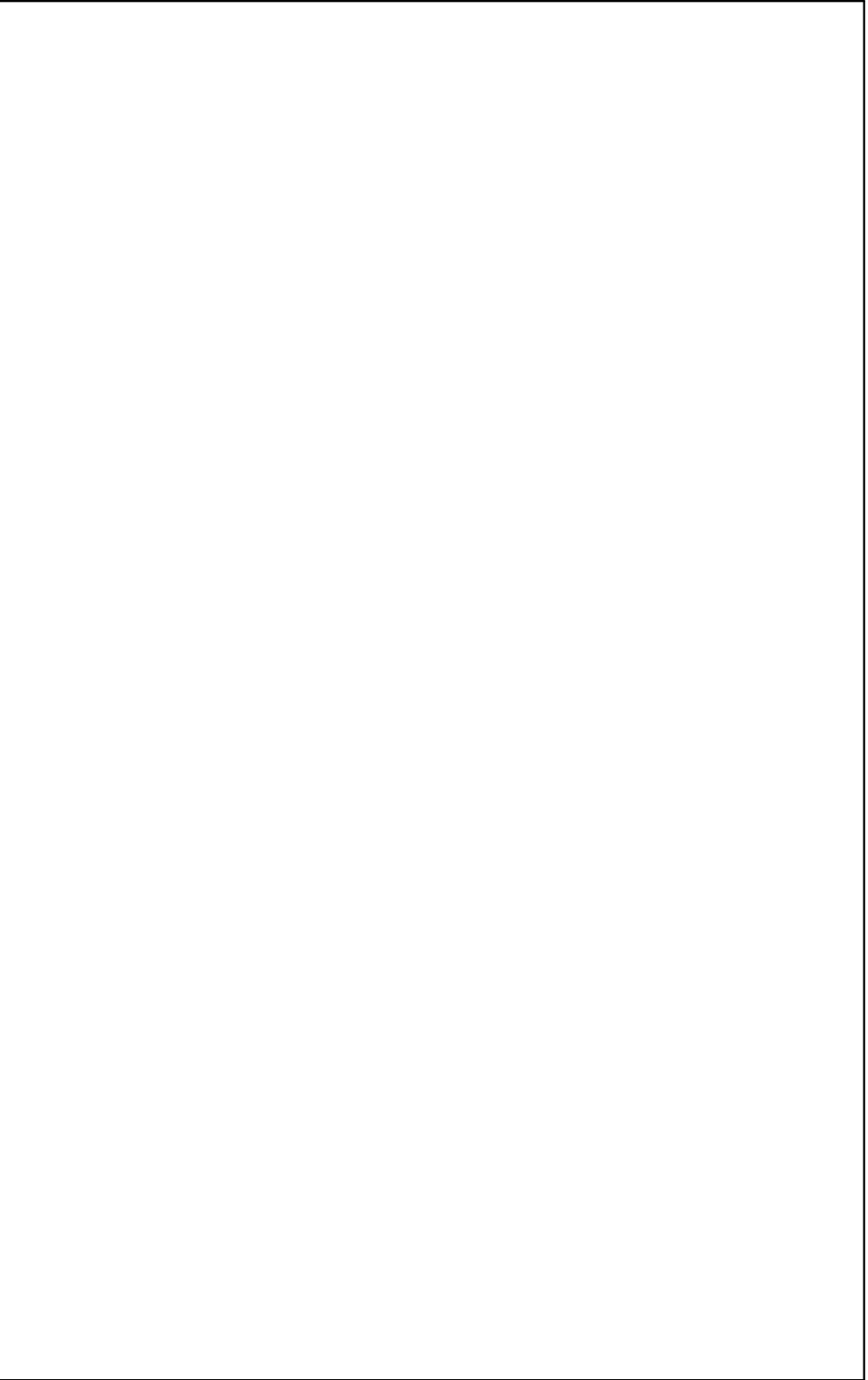
(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓



EXISTING VIEW FROM THE MOST SOUTH EASTERN
NEIGHBOURING WINDOW AT NO.33



PROPOSED VIEW FROM THE MOST SOUTH EASTERN
NEIGHBOURING WINDOW AT NO.33



VIEW IMPACT CAUSED BY A POTENTIAL COMPLYING
DEVELOPMENT PROJECT FROM THE MOST SOUTH EASTERN
NEIGHBOURING WINDOW AT NO.33



REV.	DATE	COMMENTS	DRWN
	05.06.2025	DEVELOPMENT APPLICATION	AP

NOTES
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The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works. All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place. U value takes precedence over glazing type/colour in all cases. all new glazing must meet the BASiX specified frame and glass type, *QR* meet the ecified U value and SHGC value.

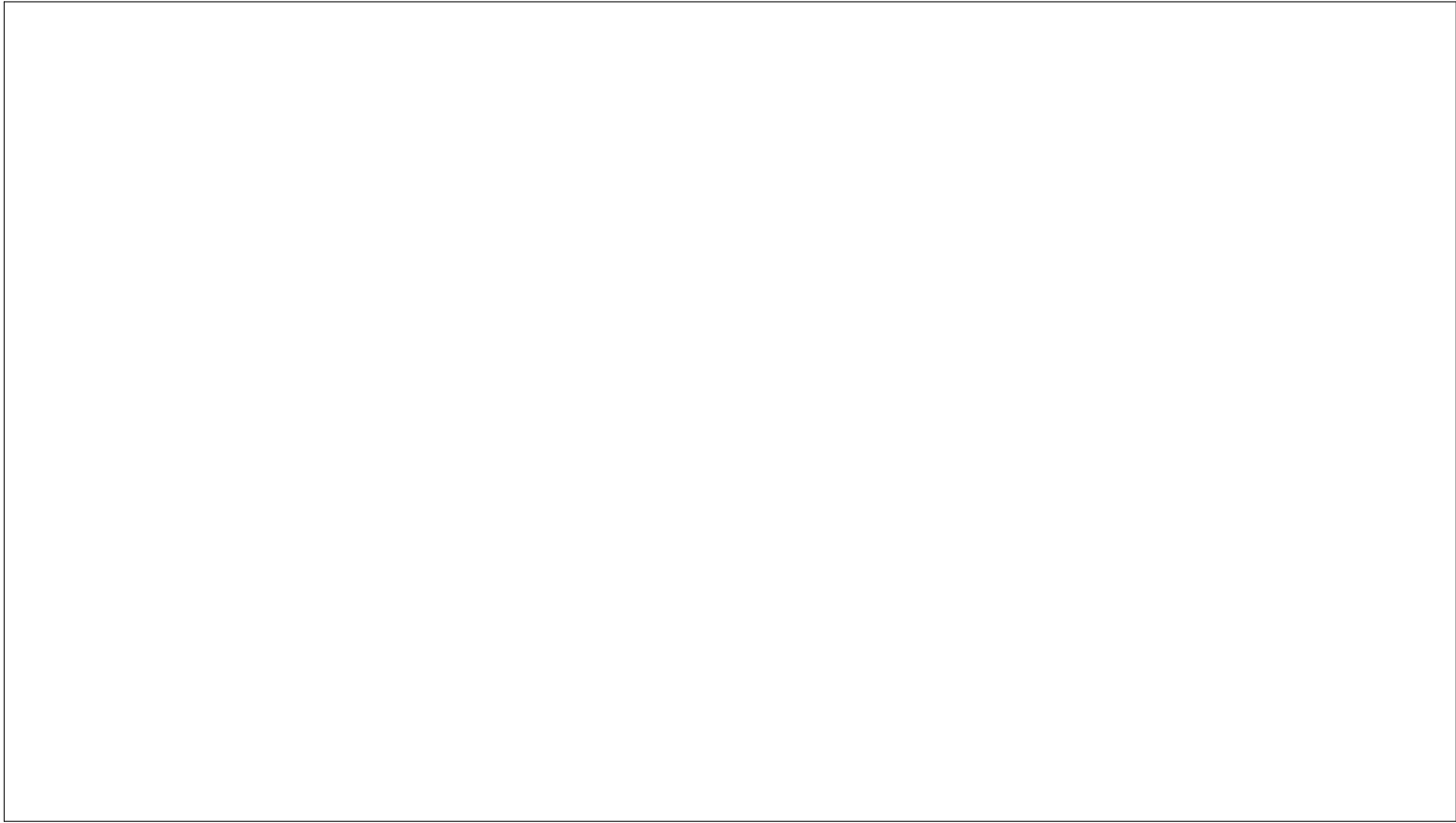
CLIENT Bill Derrin	DRAWING NO. DA30	DRAWING NAME VIEW ANALYSIS
PROJECT ADDRESS 35 Moore road, Freshwater, NSW 2096	DATE Thursday, 5 June, 2025	



EXISTING VIEW FROM THE HIGHEST FRONT BALCONY AT NEIGHBOURING NO.33



PROPOSED VIEW FROM THE HIGHEST FRONT BALCONY AT NEIGHBOURING NO.33



VIEW IMPACT CAUSED BY A POTENTIAL COMPLYING DEVELOPMENT PROJECT FROM THE HIGHEST FRONT BALCONY AT NEIGHBOURING NO.33

