

# Development Application Plan Set

BLAND  
6 LOCKHART PLACE, BELROSE  
LOT 21 DP 236849

## Planning Controls -

Warringah Local Environmental Plan 2011

LOCAL AUTHORITIES -  
Northern Beaches Council

SITE-  
The site is located at -  
with a lot size of - 792.5m<sup>2</sup> (Deed)  
Northern Boundary - Arc 9.615m Radius 12.19m  
Southern Boundary - 39.835m  
Eastern Boundary - 43.635m  
Western Boundary - 27.47m

Zoning: R2 Low Density Residential  
Minimum Lot Size: 600m<sup>2</sup>  
Maximum Building Height: 8.5m  
Maximum Floor Space Ratio: N/A  
Heritage: N/A  
Land reservation Acquisition: N/A  
Foreshore Building Line: N/A  
Landslide Risk Land: Area A - Slope <5

All work is to be carried out in a professional manner and in accordance with the requirements of the:  
Relevant Local Authority Development Control Plan (DCP),  
Land and Environment Plan (LEP)  
State Environmental Planning Policy (SEPP).

All works are to comply with the National Construction Code and the Building Code of Australia (BCA).

All work is to be carried out in accordance with the BASIX Commitments for the project and the relevant Bush fire Attack Level (BAL Rating).

Contour levels are to be checks to confirm that cut and fill is required to reach nominated building heights.

Footings to be dug as per AS 2870.

Storm water to be hooked into the existing drainage system.

All proposed work as indicated on these plans will comply with Council's Storm water Management Guidelines.

All proposed work as indicated on these plans in regard to design and detail will comply with Council's Erosion & Sediment Control Plan.

Concrete construction is to comply with AS 3600.

Masonry construction is to comply with AS 4100.

Timber Construction is to comply with AS 1720.1 & AS 1684.

Steel Framework Construction as per AS 4100.

Stairs and landings to comply with D2.13 & D2.14 of the BCA.

Damp-proofing & weatherproofing are to comply with F2.5 (d) of the BCA.

Termite protection must be in accordance with AS 3660.1.

All additions & alterations are to be made match the existing dwelling where possible.

## Project Location -



## Site Photo -

A3 Plan Set -	
Title Page -	00
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Site Area Calculations-	
Site Area -	792.5 m <sup>2</sup>
Existing Dwelling Footprint -	155.2m <sup>2</sup>
Area to be demolished -	46.6m <sup>2</sup>
Proposed Addition Footprint -	90.6m <sup>2</sup>
Existing Secondary Dwelling Footprint -	60m <sup>2</sup>
TOTAL FOOTPRINT AREA -	305.8m <sup>2</sup>
SITE COVERAGE -	32.7%
Landscaped Area -	
Primary Dwelling -	280 m <sup>2</sup>
Secondary Dwelling -	120m <sup>2</sup>

Project Name:

Bland

Address:

6 Lockhart Place,  
Belrose  
Lot 21 DP 236849

Project Description:

Alterations & Additions

Drawing Name:

Title Page

Drawing Number:

240617-00

Scale:

NTS

Version:

Development Application  
Plans

Date:

20-02-2025

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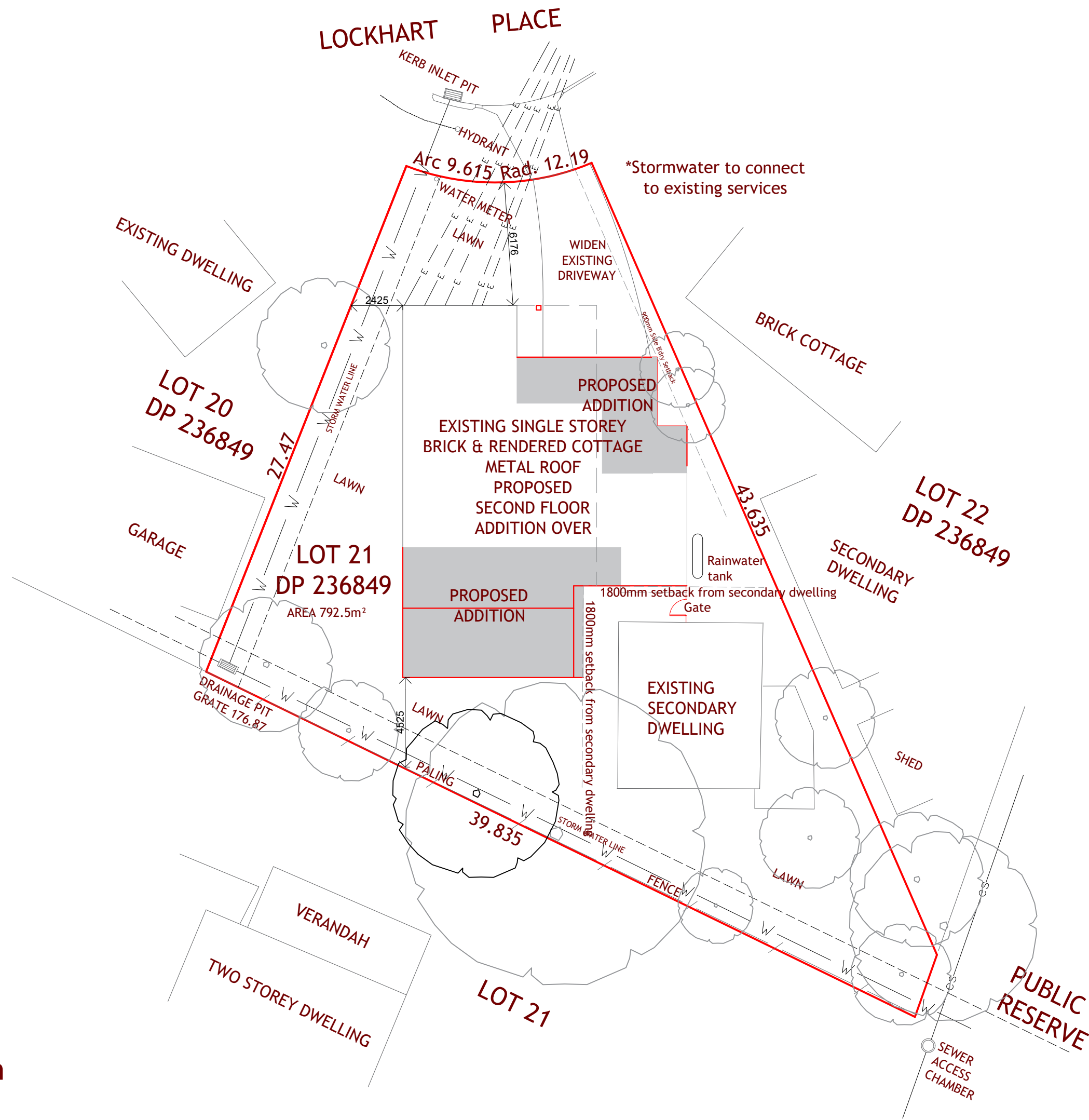
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All levels to be checked on site by a registered surveyor prior to commencement of works.

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Site Plan



Project Name:

Bland

Address:

6 Lockhart Place,  
Belrose  
Lot 21 DP 236849

Project Description:

Alterations & Additions

Drawing Name:

Site Plan

Drawing Number:

240617-01

Scale:

1:200 (A3)

Version:

Development Application  
Plans

Date:

20-02-2025

Orientation:



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Project Name:

Bland

Address:

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Belrose  
Lot 21 DP 236849

Project Description:

Alterations & Additions

Drawing Name:

Lower Floor Plan

Drawing Number:

240617-02

Scale:

1:100 (A3)

Version:

Development Application  
Plans

Date:

20-02-2025

Orientation:



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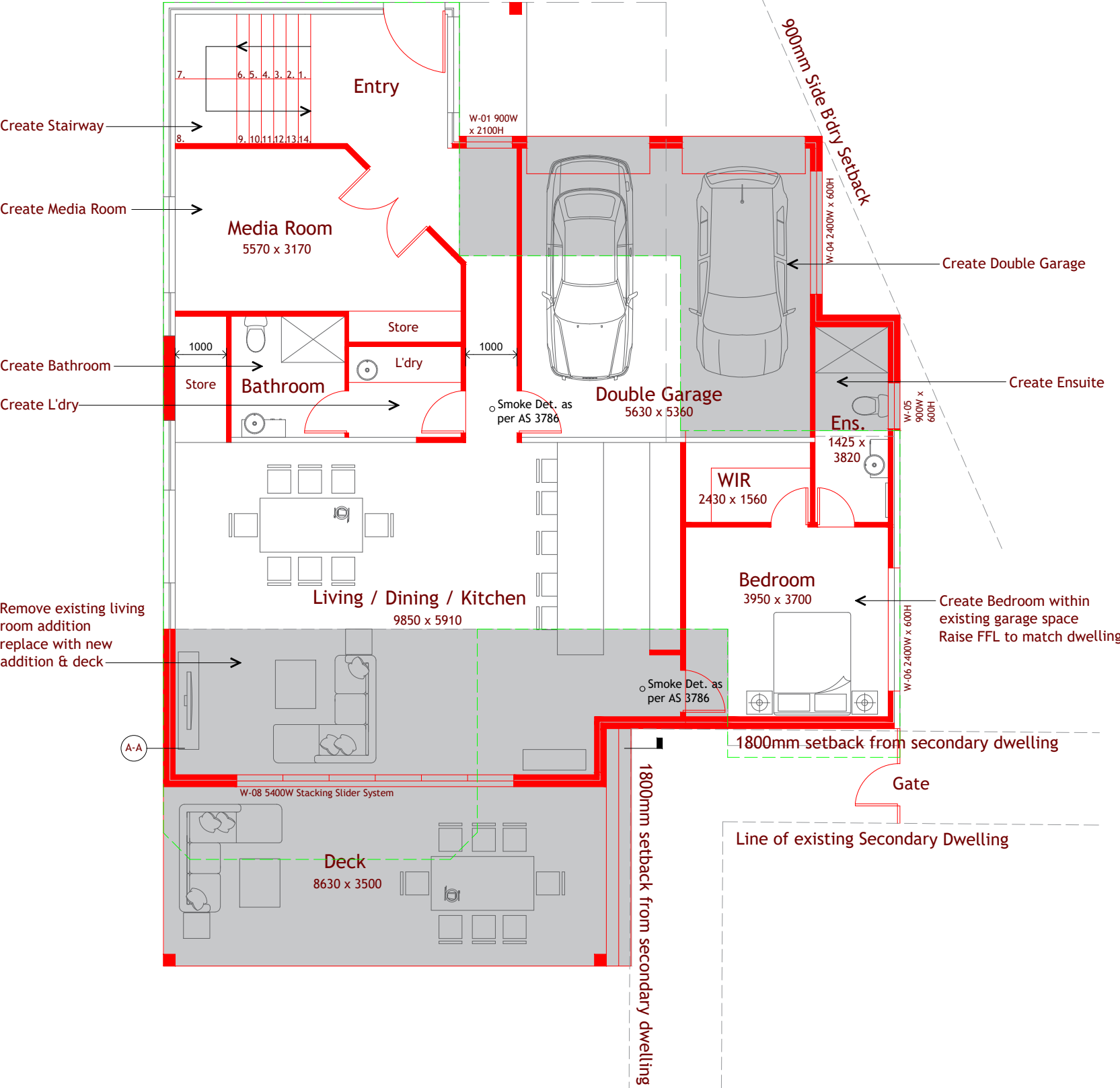


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### Lower Floor Plan

Existing Dwelling Area 155.2m<sup>2</sup>  
Footprint of sunroom to be demolished 28.4m<sup>2</sup>  
Footprint of area of Garage to be demolished 18.2m<sup>2</sup>  
Garage Addition Area 29.3m<sup>2</sup>  
Living / Dining Addition Area 31.1m<sup>2</sup>  
Deck Addition Area 30.2m<sup>2</sup>

Outline of existing dwelling - - - - -

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WEATHERTEK PRIMELOCK SMOOTH CLADDING OR SIMILAR IN 'SHALE GREY' OVER  
EXISTING BRICKWORK & AS PER AS1810, NCC 2022 & BCA

COLORBOND ROOF SHEETS IN 'WINDSPRAY' & AS PER AS 1562, NCC 2022 & BCA

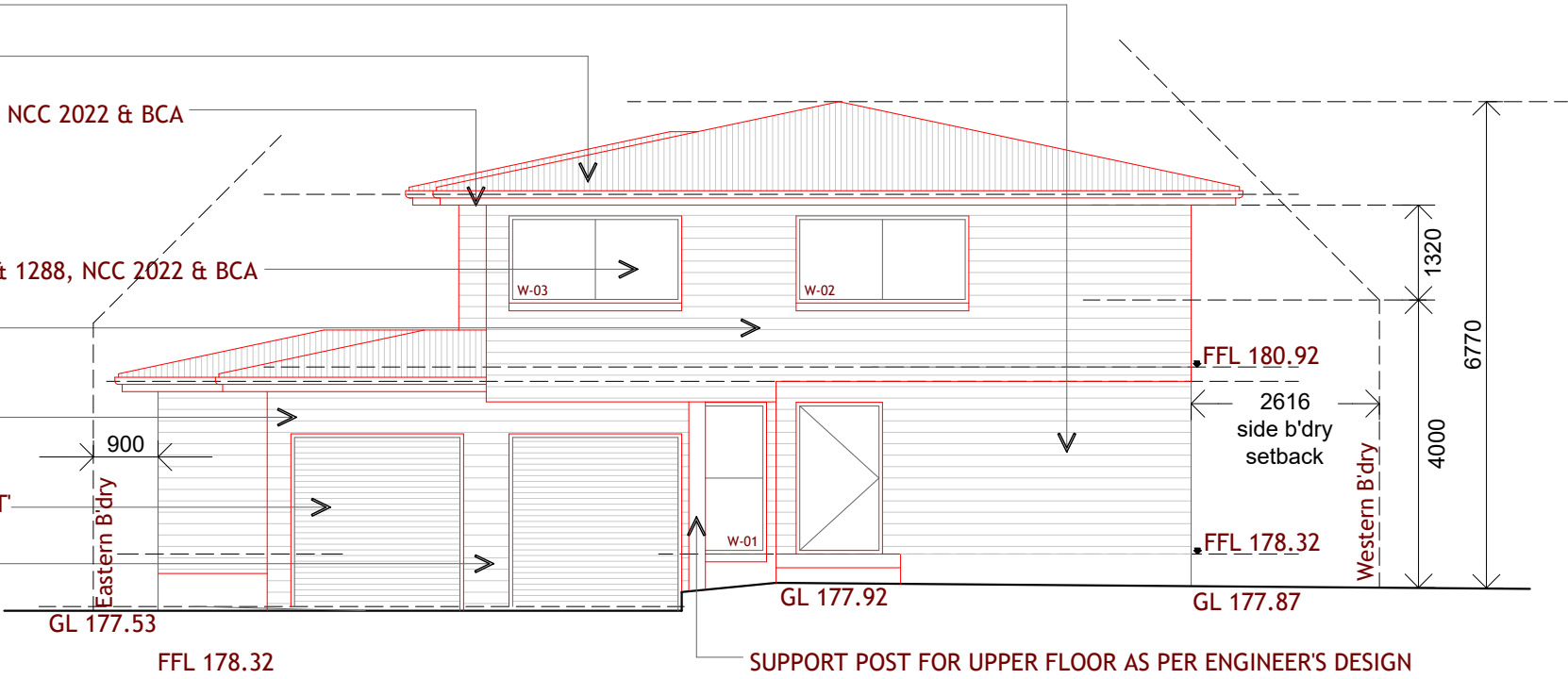
GUTTER, FASCIA & EAVES LINING IN 'WINDSPRAY' & AS PER AS 3500.3 & 3500.5, NCC 2022 & BCA

ALUMINUM FRAMED WINDOW IN COLOUR 'MONUMENT' & AS PER AS 2047, 2208 & 1288, NCC 2022 & BCA

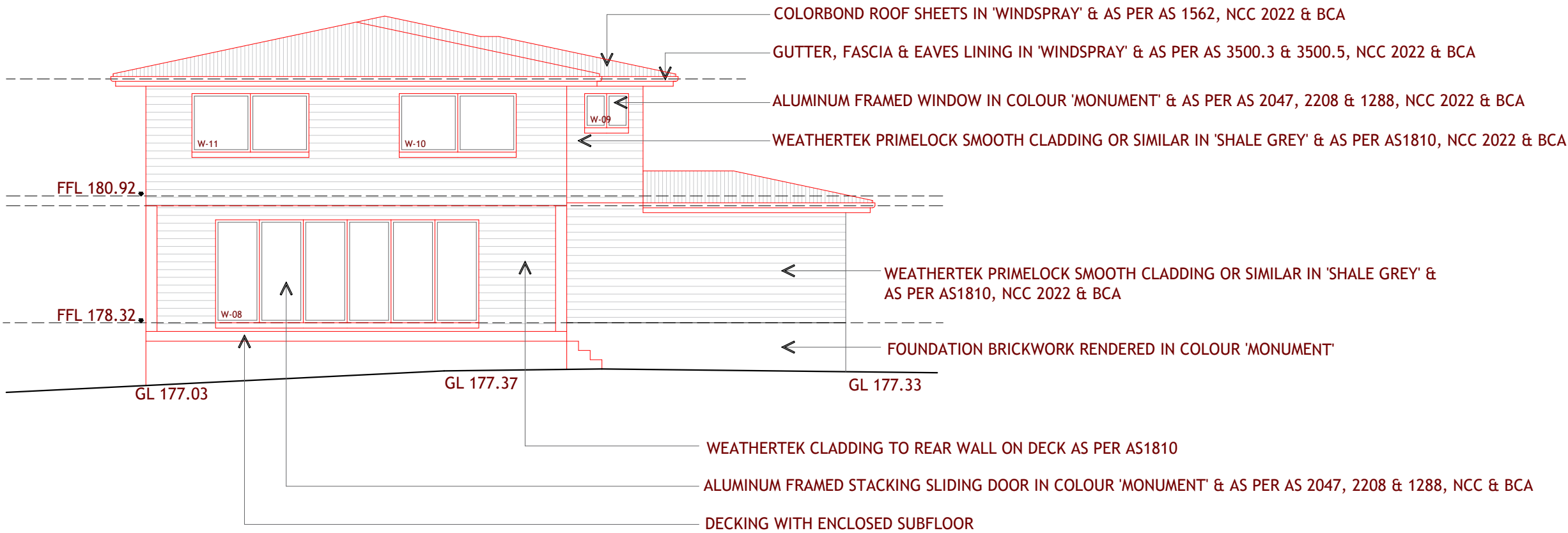
WEATHERTEK PRIMELOCK SMOOTH CLADDING OR SIMILAR IN 'SHALE GREY' &  
AS PER AS1810, NCC 2022 & BCA

WEATHERTEK PRIMELOCK SMOOTH CLADDING OR SIMILAR IN 'SHALE GREY' &  
AS PER AS1810, NCC 2022 & BCA

PROVIDE COLORBOND ROLLER DOORS -AS PER NCC 2022 IN COLOUR 'MONUMENT'  
UPPER FLOOR SUPPORT COLUMN BETWEEN DOORS  
AS PER ENGINEER'S DETAIL



North Elevation



South Elevation

Project Name:  
**Bland**

Address:  
**6 Lockhart Place,  
Belrose  
Lot 21 DP 236849**

Project Description:  
**Alterations & Additions**

Drawing Name:  
**North & South Elevations**

Drawing Number:  
**240617-04**

Scale:  
**1:100 (A3)**

Version:  
**Development Application  
Plans**

Date:  
**20-02-2025**

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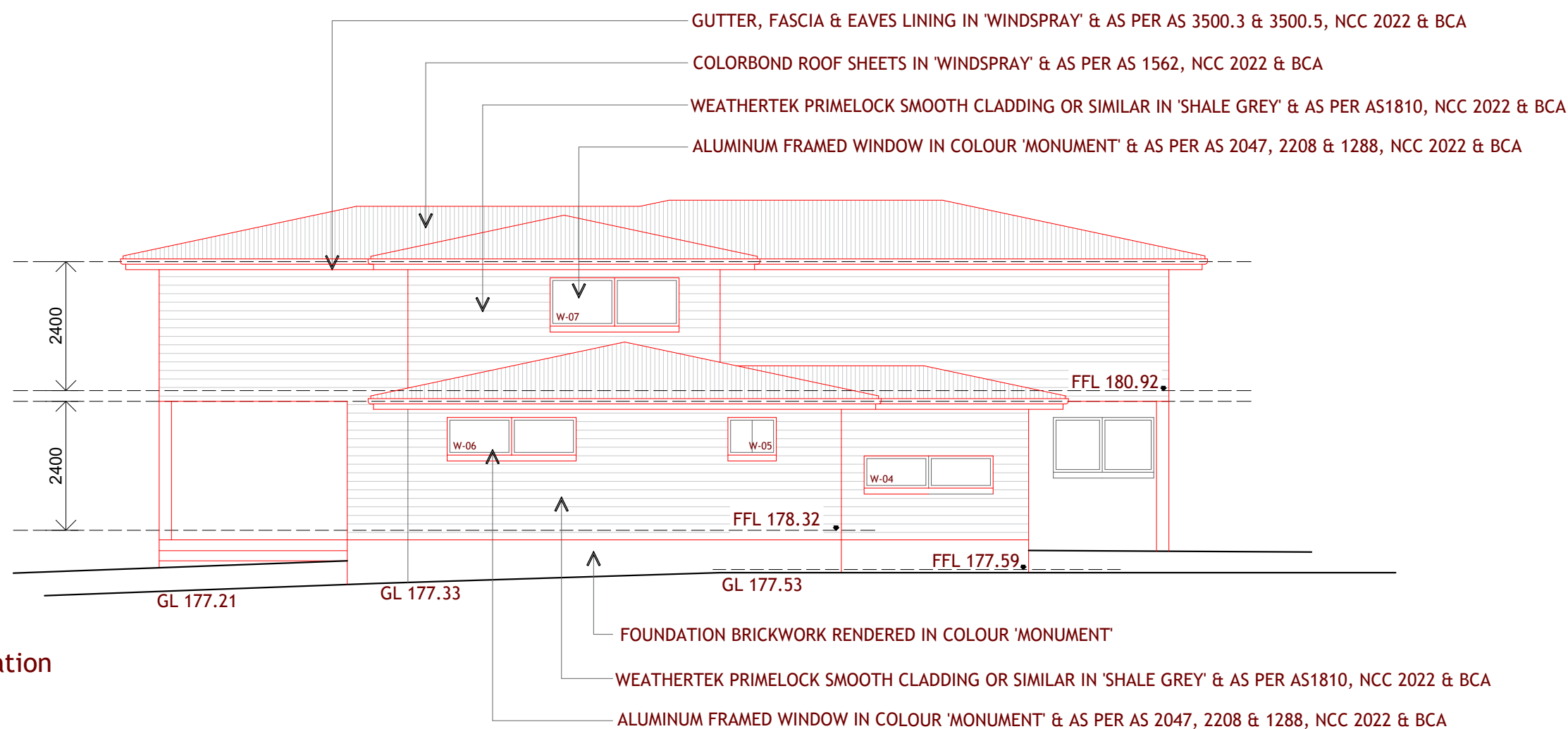


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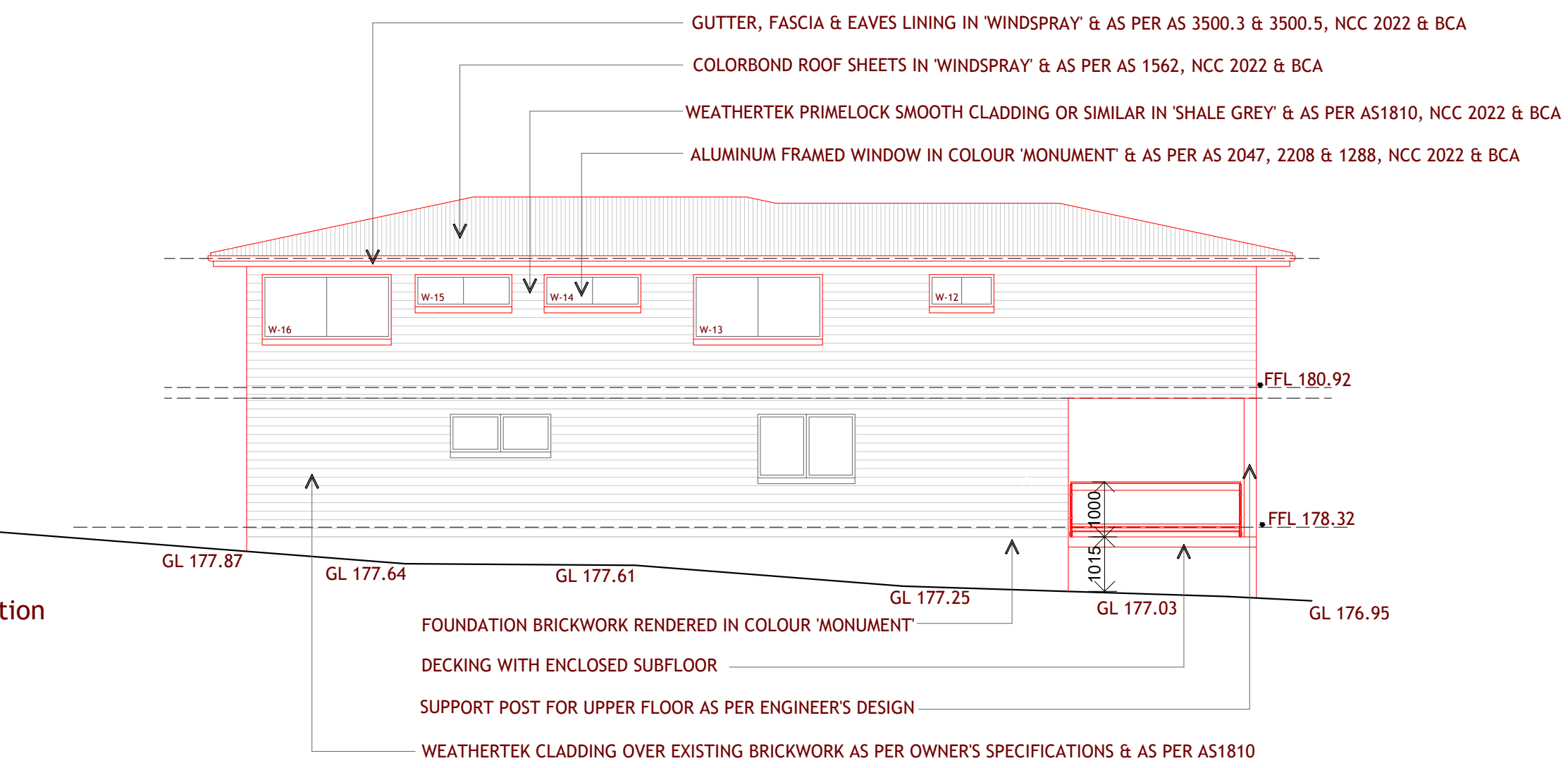
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East Elevation



West Elevation

Project Name:

**Bland**

Address:

**6 Lockhart Place,  
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Lot 21 DP 236849**

Project Description:

**Alterations & Additions**

Drawing Name:

**East & West Elevations**

Drawing Number:

**240617-05**

Scale:

**1:100 (A3)**

Version:

**Development Application  
Plans**

Date:

**20-02-2025**

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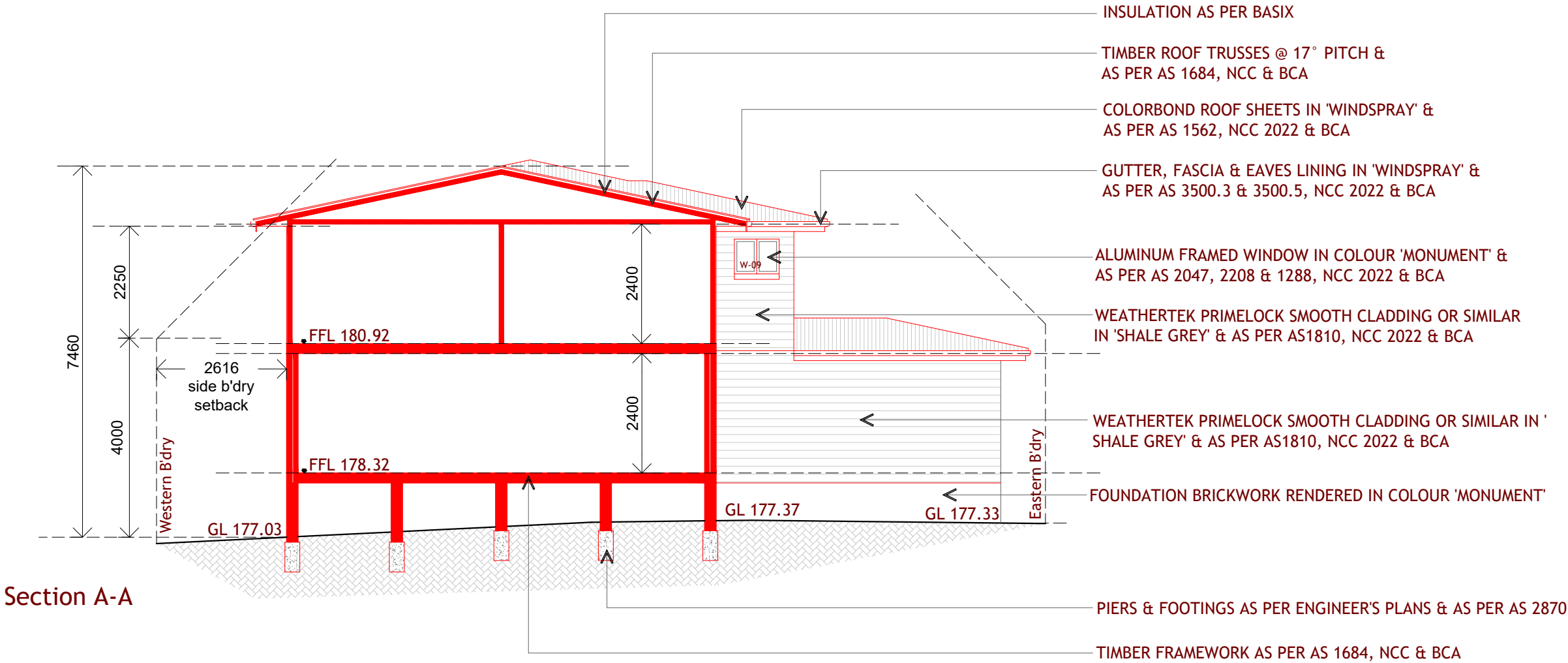


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Section A-A

Project Name:  
**Bland**

Address:  
**6 Lockhart Place,  
Belrose  
Lot 21 DP 236849**

Project Description:  
**Alterations & Additions**

Drawing Name:  
**Section A-A  
BASIX Commitment Table  
Window Schedule  
Finishes Schedule**

Drawing Number:  
**240617-06**

Scale:  
**1:100 (A3)**

Version:  
**Development Application  
Plans**

Date:  
**20-02-2025**

BASIX Commitment Table

Water Commitments:	Energy Commitments:	Thermal Comfort:	Lighting:
<b>FIXTURES</b> New / Altered Showerheads: Flow rate no greater than 9ltrs per minute or Minimum 3 Star Rating New / Altered Taps: Flow Rate no greater than 9ltrs per minute or Minimum 5 Star Rating New / Altered Toilets: Flow rate no greater than 4ltrs per flush or Minimum 5 Star Rating.  Hot Water System: Gas Instantaneous  <b>ALTERNATIVE WATER</b> A Rainwater tank of at least 2,000 ltrs capacity must be installed in accordance with the regulatory authority. Tank must be connected to at least one WC, Laundry and one outdoor tap.	Construction: Conc. Slab Suspended Floor: Framed (Enclosed Sub-Floor) R0.7 External Wall: Brick External Wall: Clad (weatherboard, fibro, metal) Internal Wall Shared with Garage .36 Flat Ceiling / Pitched Roof  Insulation must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.  <b>GLAZING</b>  WINDOW No.  1,4,5,6,8,10,11,15 & 16 2,3,7,12,13 & 14	Additional Insulation: Nil R0.6 (or R1.3 inc. construction)  R1.16 or (R1.7 inc construction) R1.3 or (R1.7 inc. construction)  Nil Ceiling: R 3.0 (up) Medium (Solar Apsorp. 0.475 - 0.70)  <b>REQUIREMENTS:</b>  Improved Aluminum Single Clear Improved Aluminum Single Clear (External Adjustable Louvre / Blind)	<b>VENTILATION</b> Kitchen must be fitted with an exhaust fan which is not ducted with operation to be manual on/off switch.  Laundry must be fitted with an exhaust fan which is not ducted with operation to be manual on/off switch.  Bathroom must be fitted with an exhaust fan which is not ducted with operation to be manual on/off switch.  <b>ARTIFICIAL LIGHTING</b> AREA Primarily lit by Fluorescent or LED Lamps Dedicated Fittings  Bedroom Living / Dining Kitchen Bath / WC Laundry Hallway YES YES YES YES YES YES YES  <b>NATURAL LIGHTING</b> A window and / or skylight must be installed in the kitchen of the dwelling. A window and / or skylight must be installed in the bathrooms & toilets of the dwelling. <b>OTHER REQUIREMENTS</b> A well ventilated refrigerator space must be provided.

Window Schedule

No.	Description	Orientation	No.	Description	Orientation
W-01	900W x 2100H Aluminum framed sliding window	North	W-09	900W x 2100H Aluminum framed sliding window	South
W-02	2400W x 1200H Aluminum framed sliding window - Fall Safe conditions applied +External Adj Louvre / Blind	North	W-10	2400W x 1200H Aluminum framed sliding window - Fall Safe conditions applied	South
W-03	2400W x 1200H Aluminum framed sliding window - Fall Safe conditions applied +External Adj Louvre / Blind	North	W-11	2400W x 1200H Aluminum framed sliding window - Fall Safe conditions applied	South
W-04	2400W x 600H Aluminum framed sliding window	East	W-12	1200W x 600H Aluminum framed sliding window +External Adj Louvre / Blind	West
W-05	900W x 600H Aluminum framed Sliding window	East	W-13	2400W x 1200H Aluminum framed Sliding window - Fall safe conditions applied +External Adj Louvre / Blind	West
W-06	2400W x 600H Aluminum framed sliding window	East	W-14	1800W x 600H Aluminum framed sliding window +External Adj Louvre / Blind	West
W-07	2400W x 900H Aluminum framed Sliding window - Fall safe conditions applied +External Adj Louvre / Blind	East	W-15	1800W x 600H Aluminum framed Sliding window	West
W-08	5400W x 2100H Aluminum framed stacking slider system	South	W-16	2100W x 1200H Aluminum framed sliding window - Fall safe conditions applied	West

Finishes Schedule

Item	Description
ROOF CLADDING	Standard Colorbond roof sheets in colour - 'Windspray'
GUTTER, FASCIA & DP	Standard Colorbond in colour - 'Windspray'
FOUNDATION WALL	Foundation Brickwork rendered in colour - 'Monument'
WALL CLADDING	Weathertek Primelock smooth cladding or similar in colour - 'Shale Grey'
WINDOWS	Aluminum framed sliding windows in colour - 'Monument'
STAKING DOORS	Aluminum framed sliding windows in colour - 'Monument'
ROLLER DOORS	Colorbond Roller Doors in colour - 'Monument'

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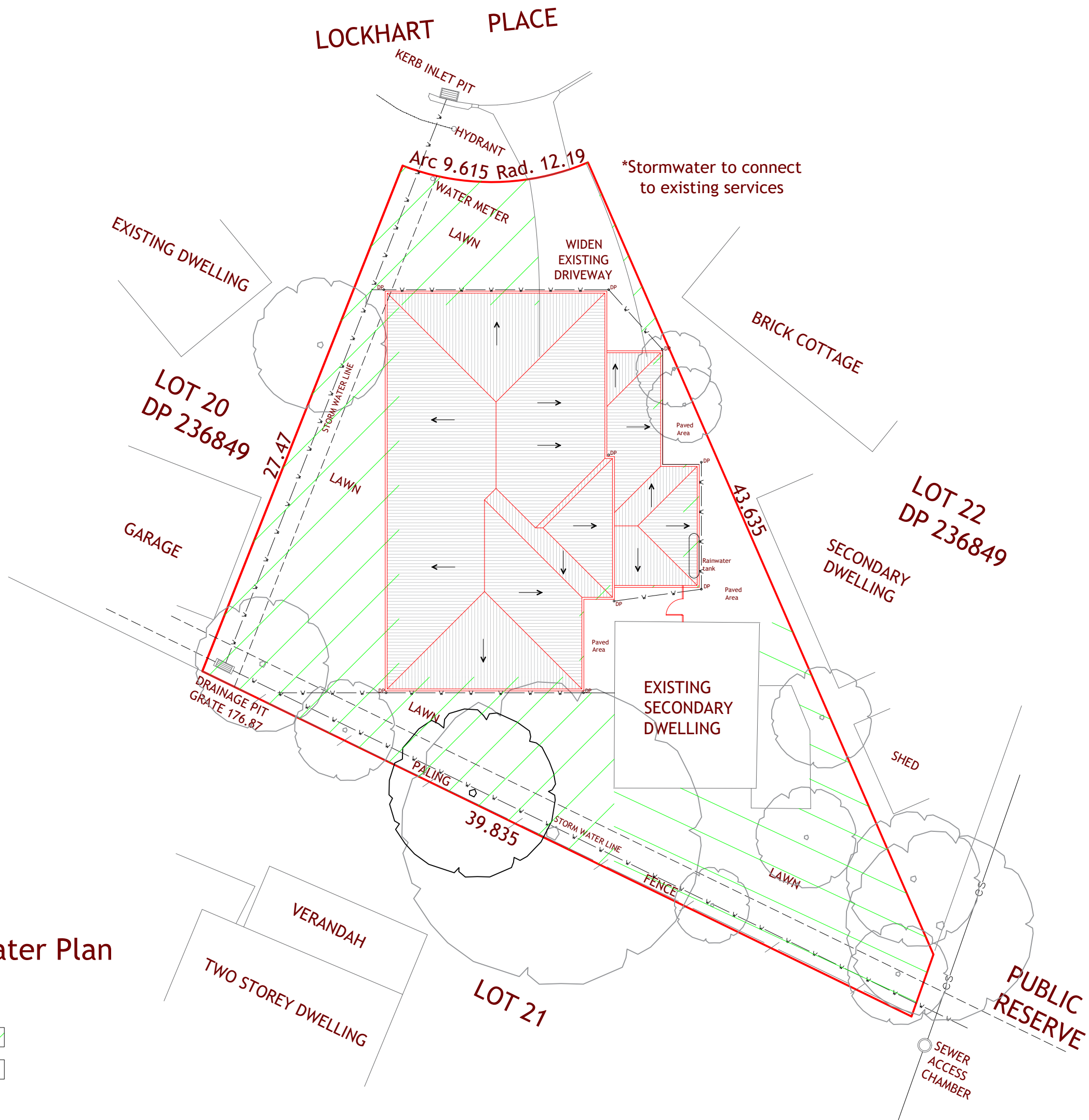
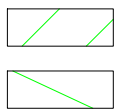


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# Roof & Stormwater Plan Landscape Area

Site Area 792.5m<sup>2</sup>  
Landscaped Area for  
Primary Dwelling 280m<sup>2</sup>  
Landscaped Area for  
Secondary Dwelling 120m<sup>2</sup>



Project Name:  
**Bland**

Address:  
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Belrose  
Lot 21 DP 236849**

Project Description:  
**Alterations & Additions**


Drawing Name:  
**Roof & Stormwater Plan  
Landscaped Areas**

Drawing Number:  
**240617-07**

Scale:  
**1:200 (A3)**

Version:  
**Development Application  
Plans**

Date:  
**20-02-2025**

Orientation:  
  
**North**

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