

**SITE RATIOS - EXISTING:**

SITE AREA	950.80m <sup>2</sup>
BUILDING FOOTPRINT	89.01m <sup>2</sup>
FRONT PORCH	14.77m <sup>2</sup>
REAR TERRACE	49.59m <sup>2</sup>
CARPORT	27.19m <sup>2</sup>
SHEDS	9.56m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	135.63m <sup>2</sup>
AREAS UNDER 2m WIDE	45.25m <sup>2</sup>

SUM TOTAL 371.00m<sup>2</sup>

EXISTING LANDSCAPED AREA 579.80m<sup>2</sup>  
60.9%

**SITE RATIOS - PROPOSED:**

SITE AREA	950.80m <sup>2</sup>
BUILDING FOOTPRINT	116.20m <sup>2</sup>
FRONT PORCH	14.77m <sup>2</sup>
REAR TERRACE	49.59m <sup>2</sup>
CARPORT	31.92m <sup>2</sup>
COURTYARD	46.58m <sup>2</sup>
SHEDS	9.56m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	85.76m <sup>2</sup>
AREAS UNDER 2m WIDE	49.62m <sup>2</sup>

SUM TOTAL 404.00m<sup>2</sup>

EXISTING LANDSCAPED AREA 546.80m<sup>2</sup>  
57.5%

HYNDES PLACE

1.9km TO  
GLENROSE  
SHOPPING CENTRE

VEHICLE &  
PEDESTRIAN  
ENTRY POINT

650m TO PUBLIC  
PRIMARY SCHOOL

450m TO PUBLIC  
TRANSPORT

Note- Proposed stormwater will  
connect to the existing system  
which drains to the street

No.12  
ADJOINING TWO  
STOREY BRICK &  
TIMBER RESIDENCE

SECTION 160  
DP 242868

BOUNDARY 46.54m

PROPOSED  
INFILL OF  
CARPORT &  
FIRST FLOOR  
OVER

No.13  
EXISTING TWO  
STOREY BRICK  
RESIDENCE

PROPOSED  
CARPORT

BOUNDARY 45.72m

No.14  
ADJOINING SINGLE  
STOREY RENDERED  
RESIDENCE

SECTION 160  
DP 242868  
950.8m<sup>2</sup>

ADJOINING PRIVATE  
OPEN SPACE



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0106

1 SITE PLAN 1:200  
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

**NOTES**

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All figured dimensions to be checked on site.

**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

**WATER COMMITMENTS:**  
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating.

**INSULATION REQUIREMENTS:**  
External walls: The external walls shall meet minimum R1.70 (including construction)  
Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)  
Ceilings: The new flat ceiling/pitched roof ceilings shall meet minimum R3.00 (up).  
Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption >0.70)

**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and doors schedule correspond to matching window / door numbers shown in the Basix certificate.  
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate  
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Client  
**TALBOT FAMILY**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS  
13 HYNDES PLACE  
LOT 7, SECTION 160, DP 242868  
DAVIDSON NSW 2085**

**JAH**  
DESIGN SERVICES  
ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 04 10 410 064 EMAIL: jah@jahdesignservices.com.au

Drawing Title:  
**SITE PLAN**

Scale: 1:200 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No: 1905	Drawing No.: DA01
Plot Date:	26/01/2020

### WINDOW / DOOR SCHEDULE

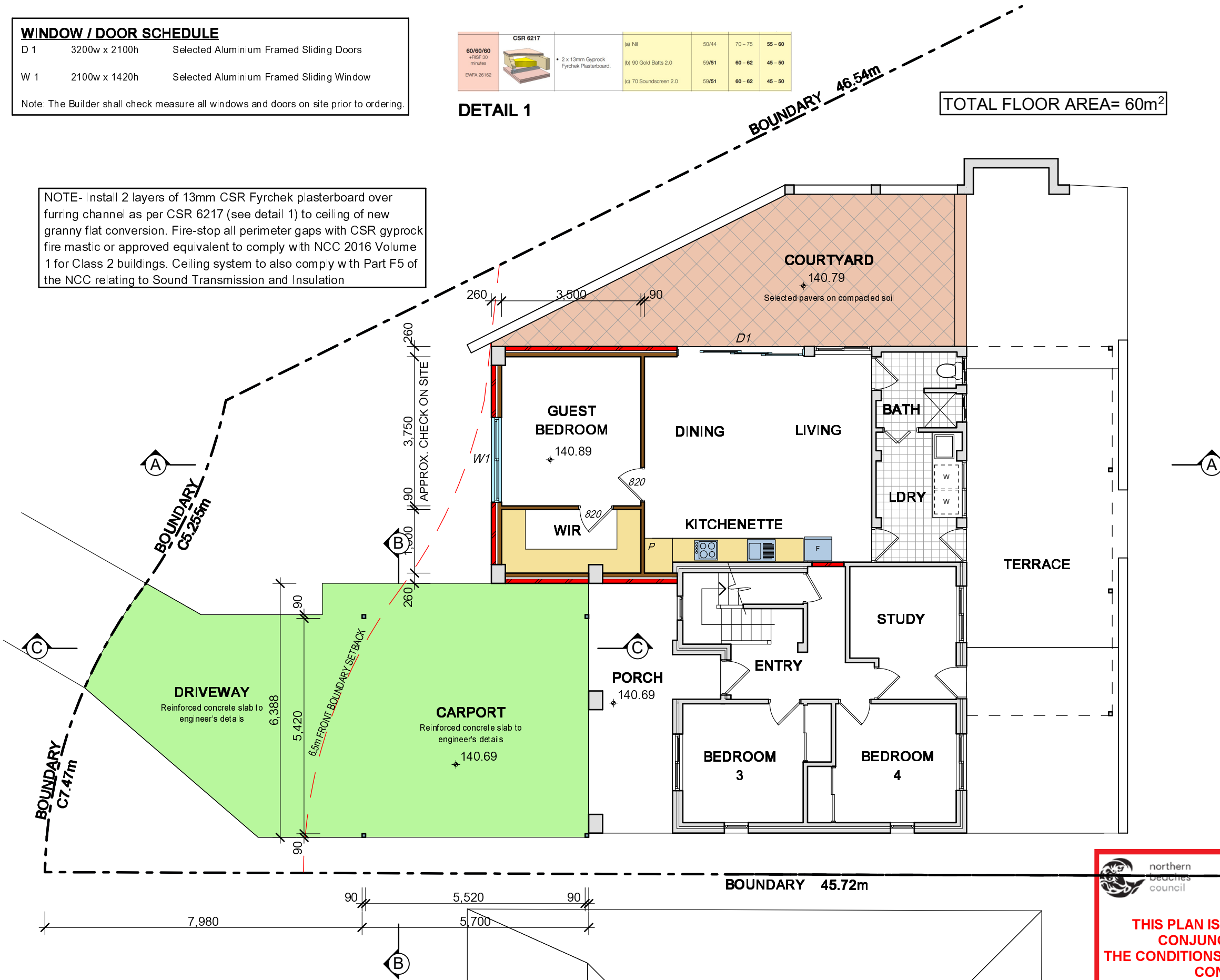
D 1	3200w x 2100h	Selected Aluminium Framed Sliding Doors
W 1	2100w x 1420h	Selected Aluminium Framed Sliding Window

Note: The Builder shall check measure all windows and doors on site prior to ordering.

60/60/60 +RSP 30 minutes EWFA 26162	CSR 6217 	(a) Nil (b) 90 Gold Batts 2.0 (c) 70 Soundscreen 2.0	50/44 59/51 59/51	70 - 75 60 - 62 60 - 62	55 - 60 45 - 50 45 - 50
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DETAIL 1

NOTE- Install 2 layers of 13mm CSR Fyrchek plasterboard over furring channel as per CSR 6217 (see detail 1) to ceiling of new granny flat conversion. Fire-stop all perimeter gaps with CSR gyprock fire mastic or approved equivalent to comply with NCC 2016 Volume 1 for Class 2 buildings. Ceiling system to also comply with Part F5 of the NCC relating to Sound Transmission and Insulation



1

PROPOSED GROUND FLOOR PLAN

1:100

DA2020/0106

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#### WATER COMMITMENTS:

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#### INSULATION REQUIREMENTS:

External walls: The external walls shall meet minimum R1.70 (including construction)

Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)

Ceilings: The new flat ceiling/pitched roof ceilings shall meet minimum R3.00 (up).

Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption >0.70)

#### WINDOWS & GLAZED DOORS:

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Client

TALBOT FAMILY

Project Name

PROPOSED ALTERATIONS + ADDITIONS

13 HYNDES PLACE

LOT 7, SECTION 160, DP 242868

DAVIDSON NSW 2085



ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 04 10 410 064 EMAIL: jah@jahdesignservices.com.au

Drawing Title:

PROPOSED GROUND FLOOR

Scale: 1:100 @ A3 Date: JANUARY 2020

Status: DA SUBMISSION Drawn By: JAH

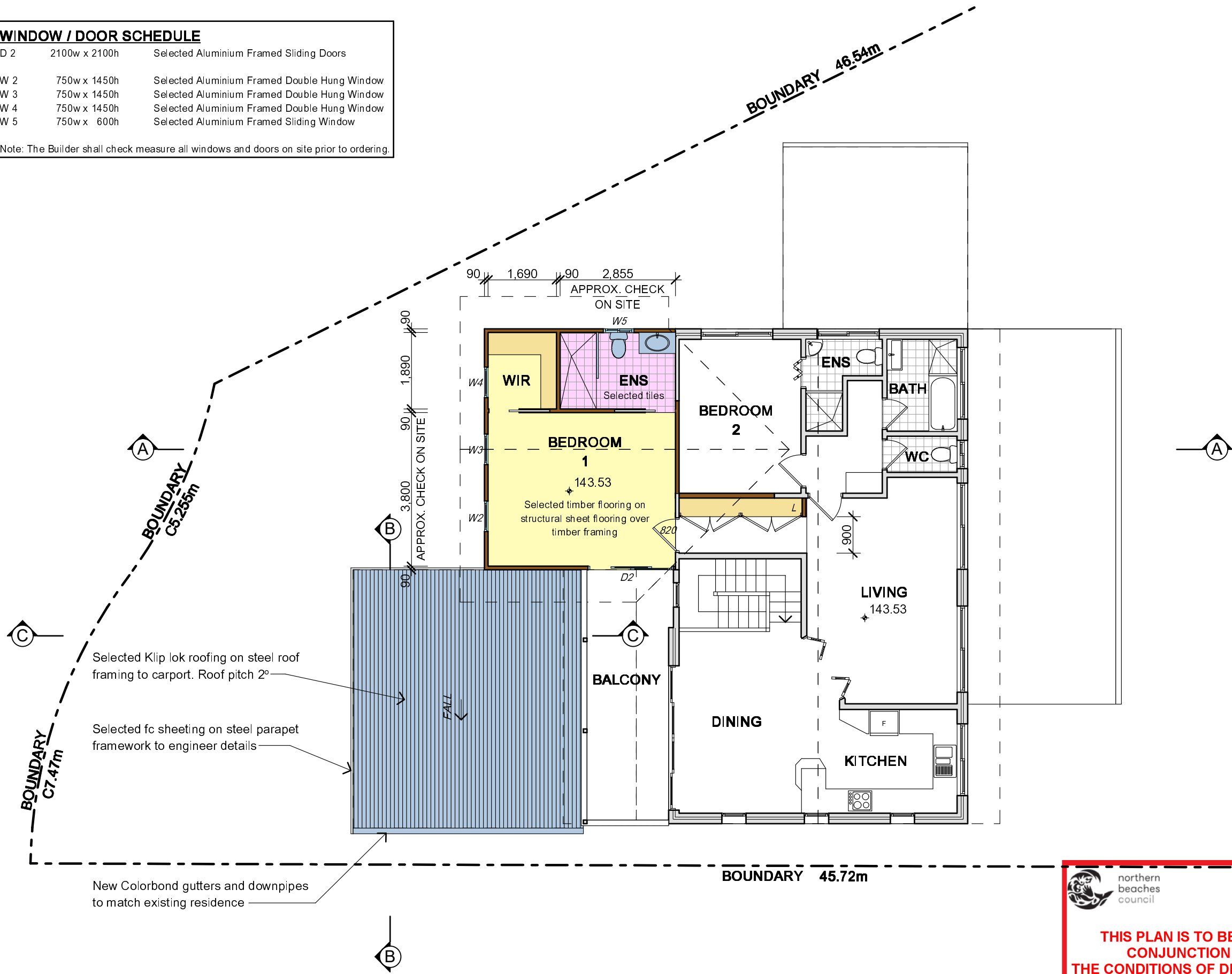
Project No: 1905 Drawing No.: DA04

Plot Date: 26/01/2020



THIS PLAN IS TO BE READ IN  
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THE CONDITIONS OF DEVELOPMENT  
CONSENT

WINDOW / DOOR SCHEDULE		
D 2	2100w x 2100h	Selected Aluminium Framed Sliding Doors
W 2	750w x 1450h	Selected Aluminium Framed Double Hung Window
W 3	750w x 1450h	Selected Aluminium Framed Double Hung Window
W 4	750w x 1450h	Selected Aluminium Framed Double Hung Window
W 5	750w x 600h	Selected Aluminium Framed Sliding Window
Note: The Builder shall check measure all windows and doors on site prior to ordering.		



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Project North

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**PROPOSED ALTERATIONS + ADDITIONS**  
**13 HYNDES PLACE**  
**LOT 7 , SECTION 160, DP 242868**  
**DAVIDSON NSW 2085**

**JAH**  
DESIGN SERVICES

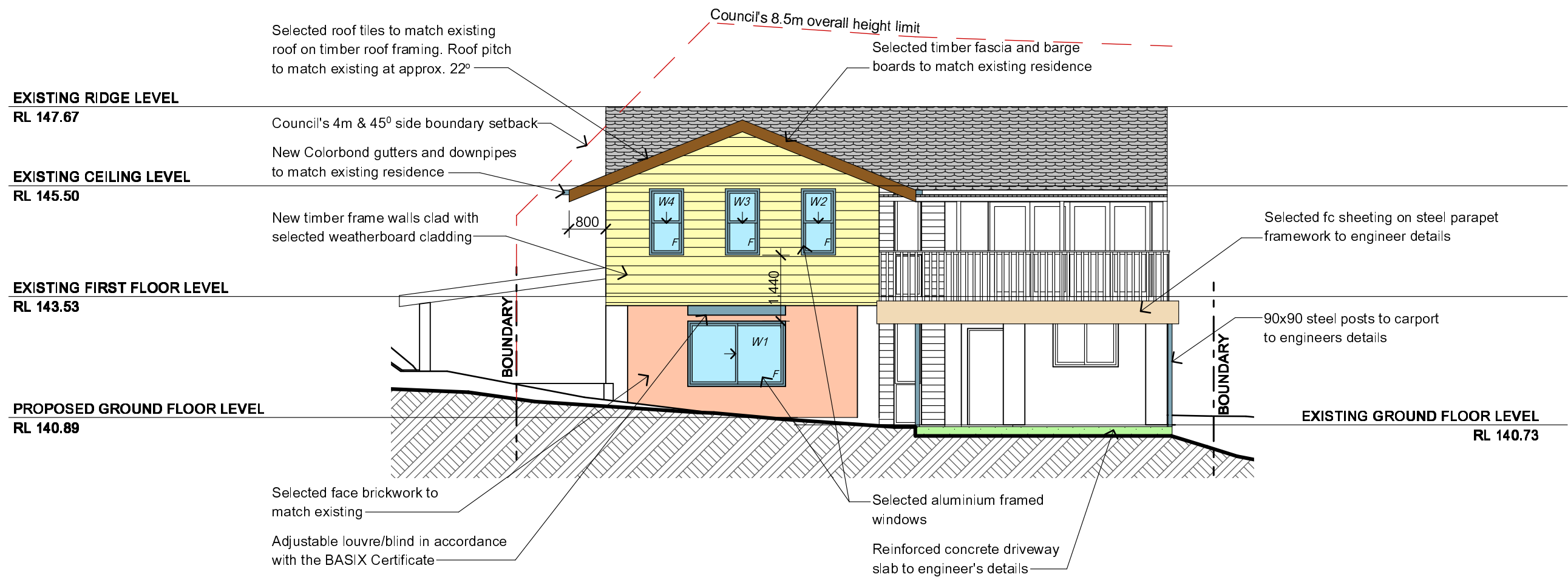
ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 04 10 410 064 EMAIL: jah@jahdesignservices.com.au

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0106**

# 1 PROPOSED FIRST FLOOR PLAN 1:100

Drawing Title:	
<b>PROPOSED FIRST FLOOR</b>	
Scale: 1:100 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No: 1905	Drawing No.: DA05
Plot Date: 26/01/2020	



1 NORTH-WEST ELEVATION 1:100



2 SOUTH-EAST ELEVATION 1:100

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LOT 7 , SECTION 160, DP 242868  
DAVIDSON NSW 2085**

ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 04 10 410 064 EMAIL: jah@jahdesignservices.com.au

Drawing Title:  
**ELEVATIONS 1**

Scale: 1:100 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No.: 1905	Drawing No.: DA06
Plot Date: 26/01/2020	

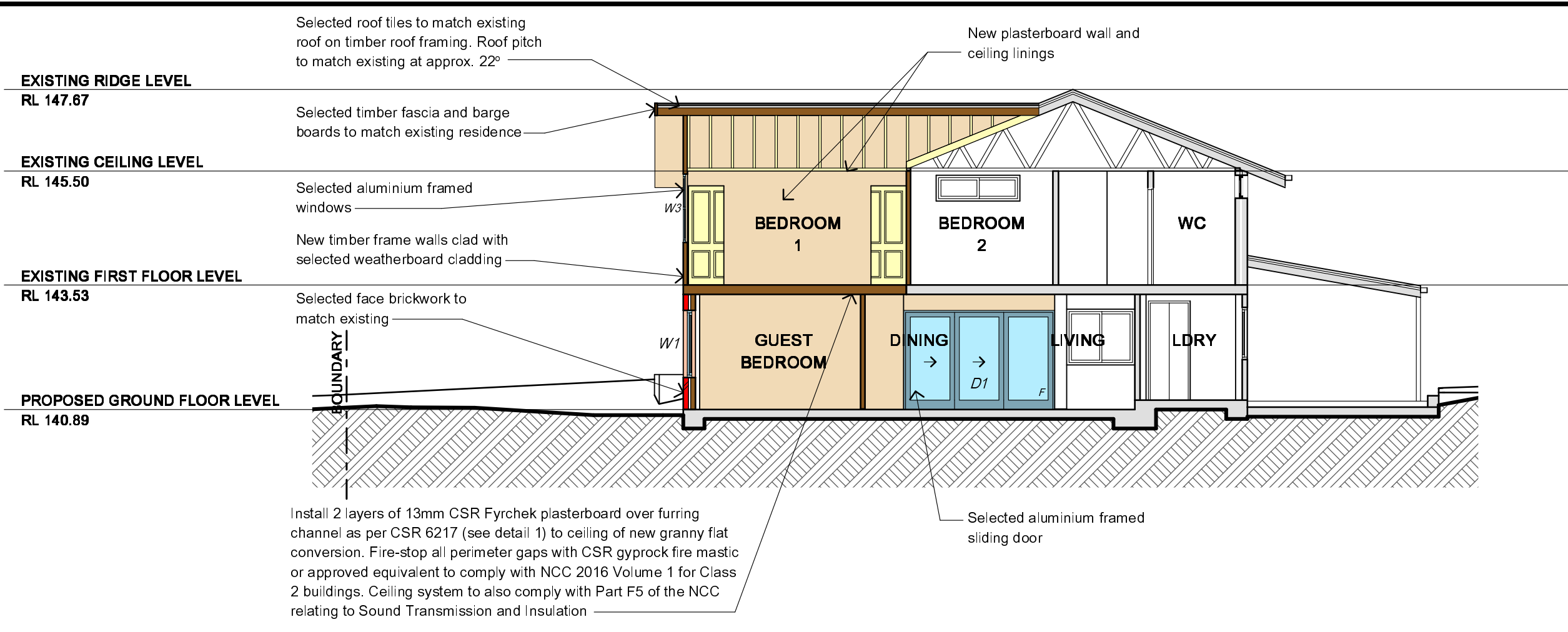
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**DA2020/0106**

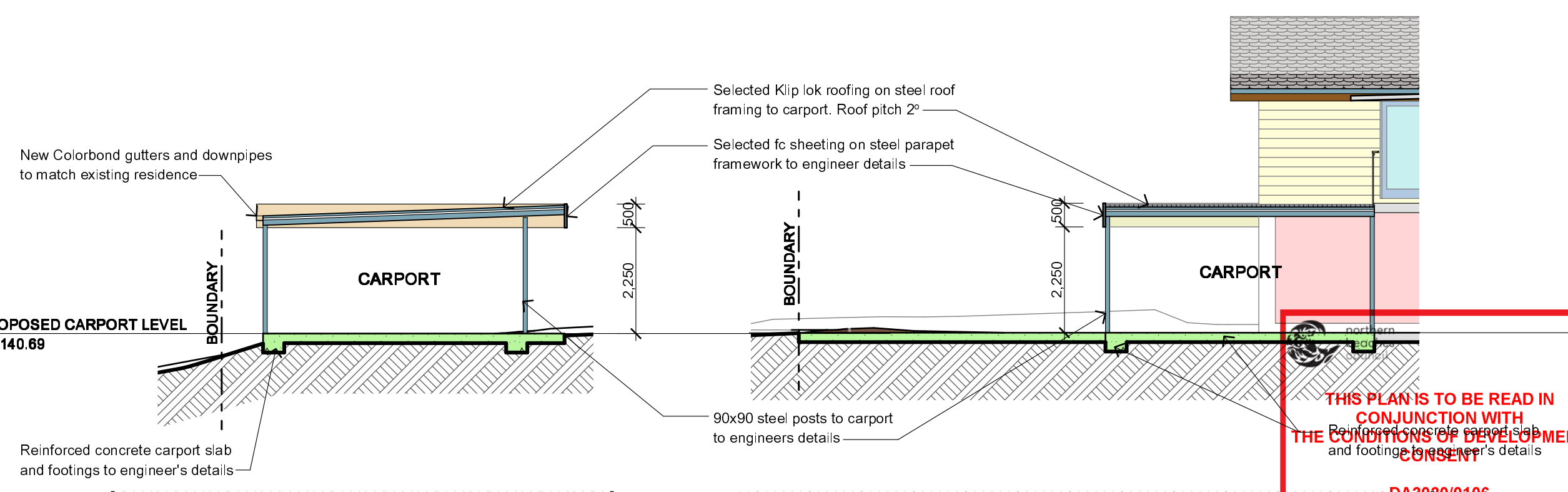




Drawing Title:	
<b>ELEVATIONS 2</b>	
Scale:	Date:
1:100 @ A3	JANUARY 2020
Status:	Drawn By:
DA SUBMISSION	JAH
Project No:	Drawing No.:
<b>1905</b>	<b>DA07</b>
Plot Date:	26/01/2020



1 SECTION A-A 1:100



2 SECTION B-B 1:100 3 SECTION C-C 1:100

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**13 HYNDES PLACE**  
**LOT 7 , SECTION 160, DP 242868**  
**DAVIDSON NSW 2085**

**JAH**  
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ABN 22 630 690 834  
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Drawing Title:  
**SECTIONS**

Scale: 1:100 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No: 1905	Drawing No.: DA08
Plot Date: 26/01/2020	