

# **ACTION PLANS**

## **STATEMENT OF ENVIRONMENTAL EFFECTS**

**DEVELOPMENT APPLICATION FOR ALTERATIONS AND ADDITIONS  
AT 68 PLATEAU ROAD, COLLAROY PLATEAU NSW 2097**



No. 68 Plateau Road, Collaroy Plateau  
Street View

Client: Barry & Jenny Morgan  
January 2020

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# 01 Property Description

The subject property legally identified as Lot B within DP 385810 and is known as 68 Plateau Road, Collaroy Plateau NSW 2097. The site is zoned R2 Low Density Residential pursuant to Warringah Local Environmental Plan 2011. The site is not identified as containing any items of environmental heritage nor is the site affected by any identified hazards other than being within Area D (Flanking Slopes 5° to 15°) on the Landslip risk map.

# 02 Site Description

The site is legally identified as Lot B within DP 385810 and is known as 68 Plateau Road, Collaroy Plateau NSW 2097. The site is located on the eastern side of Plateau road. The site has an area of 560m<sup>2</sup> and is rectangular in shape with a street frontage (front boundary) of 13.41 metres to Plateau Road. The southern boundary (side boundary) has a length of 41.76 metres, the western boundary (rear boundary) has a length of 13.41 metres and the northern boundary (side boundary) has a length of 41.76 metres.

The site slopes from west to east.



Fig 1: Subject site outlined in red (Google maps 2020).

The property currently accommodates a one storey dwelling. The existing house is of timber construction, clad in weatherboards and finished with a metal roof.

Other site works include a concrete driveway along the northern side boundary, a concrete front porch and a covered deck off the rear of the dwelling.



Fig 2: 68 Plateau road as seen from the street. (*Action Plans 2019*).



Fig 3: Drone image of subject site. (*Action Plans 2019*).



Fig 4: Location of proposed carport shown approximately in red. (*Action Plans 2019*).



## 03 Adjoining Property

The surrounding area predominantly consists of single or two storeys residential dwellings. The adjoining property to the south, 66 Plateau Road, is a two-storey clad residence with a tiled roof and vehicular access from Plateau Road. To the north, 70 Plateau Road, is a two-storey residence with a metal roof. The property is a battle axe block and has vehicular access from Plateau Road.



Fig 5: No. 64 Plateau Road as seen from Plateau Road (*Action plans 2020*).



Fig 6: No. 70,70a & 70b as seen from Plateau Road (*Google maps 2020*).

## 04 Description of proposed Works

The proposal seeks consent for alterations and additions to the existing dwelling at No. 68 Plateau Road.

The proposed works include:

### Ground floor:

- The establishment of a two-car carport in the north east corner of the property. The carport is to have a pitched roof finished in metal to match the existing residence
- The existing concreted area in the north east corner of the property is to be enlarged to allow room for two cars to park onto.
- The establishment of a new concrete driveway from the property boundary to the street.

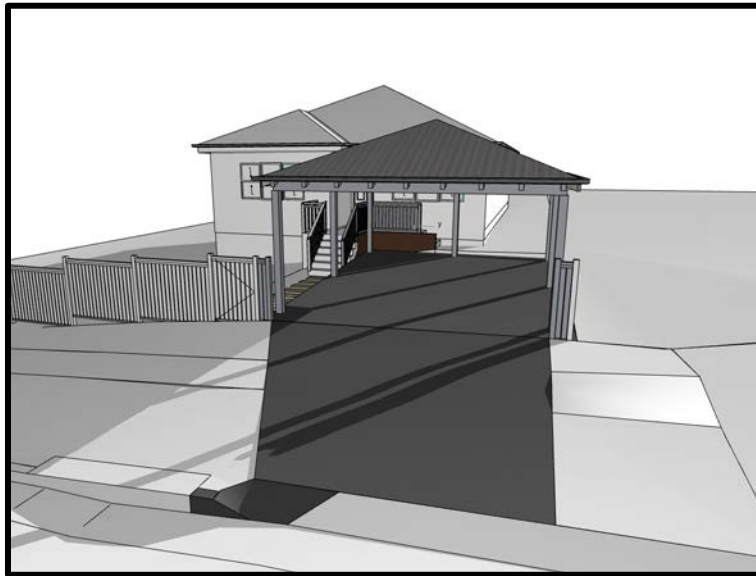


Fig 7: Proposed works at No. 68 Collaroy Plateau shown in colour. (*Action Plans 2020*).



Fig 8: Proposed works at No. 68 Collaroy Plateau shown in colour. (*Action Plans 2020*).

## 05 Area and Compliance Summary

Site Information and Building Controls	Control	Existing	Proposed
Zoning	Zone R2	Zone R2	Unchanged
Site area	600m <sup>2</sup>	560m <sup>2</sup>	Unchanged
Number of stories	N/A	One storey	Unchanged
Maximum building height	8.50 metres	6.25 metres	Unchanged
Front Building Setback	6.5m	7.155m	0.2m
Rear Building Setback	6.0m	14.77m	Unchanged
Min. side boundary setback (North)	0.9m	2.4m	0.0m
Min. side boundary setback (South)	0.9m	1.25 m	Unchanged
Landscaping Open Space:	40% (224m <sup>2</sup> )	54.79% (306.85m <sup>2</sup> )	49.93% (279.66m <sup>2</sup> )
Private Open Space	60m <sup>2</sup>	235.17m <sup>2</sup>	Unchanged

## 06 Planning Assessment

### STATUTORY PROVISIONS

#### Warringah Environmental Plan (WLEP) 2011

##### Permissibility

The site is zoned R2 Low Density Residential pursuant to the land use table of The Warringah Local Environmental Plan 2011. The proposed works being alterations and additions to the existing dwelling are permissible with development consent.

The proposal satisfies the objectives of R2 Low Density Residential as the proposal for alterations and additions to a single dwelling which maintains the low density residential environment and does not adversely affect adjoining properties, the landscape setting of the existing dwelling or the streetscape.

### 6.1 Principal Development Standards

#### 6.1.1. Height of Buildings (WLEP Clause 4.3)

Pursuant to Clause 4.3 the maximum height requirement is 8.5 metres. The proposal does not alter the height of the existing building, which is compliant with the development standard.

##### Response to the objectives of this clause:

The proposal is an appropriate form of development, which is compatible with the height and scale of the surrounding development. The proposal does not result in any significant visual impacts upon adjoining neighbouring properties and does not adversely affect visual privacy of adjoining properties. The proposal is consistent with the objectives of Clause 4.3 of the Warringah LEP 2011.

## 6.2. Additional Local Provisions

### 6.2.1 Acid Sulphate Soils (LEP Clause 6.1)

The site is not identified as having acid sulphate soils on the Acid Sulphate Soils map.

### 6.2.2 Earthworks (LEP Clause 6.2)

The proposal does not require extensive earthworks. Minimum excavation is required to allow for the formwork of the proposed concrete driveway on the north eastern corner of the property.

### 6.2.3 Flood Planning (LEP Clause 6.3)

Not applicable.

### 6.2.4 Development on Sloping Land (LEP Clause 6.4)

The subject site is identified as a landslide risk on the Landslide Risk Map as Area D – Flanking Slopes between 5° and 15°. As a result of this identification a Geotechnical required for this proposal and will be provided along with this report.

### 6.2.5 Coastline Hazards (LEP Clause 6.5)

Not applicable.

# 07 RESPONSE TO THE WARRINGAH DCP 2011

## 7.1 Compliance table

Existing Site Area = 560m <sup>2</sup>		
DCP COMPLIANCE TABLE SECTION A - Part 4 Dwelling houses		
Development control	Proposed	Complies
Part B – Built Form Controls		
<b>B1 – Wall Heights</b> Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	There are no new walls proposed in the development.	Yes
<b>B2 – Number of Storeys</b>	Not identified on map.	Not applicable.
<b>B3 – Side Boundary Envelope</b> Buildings must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres as identified on the map.	Proposed elements within the permissible building envelope.	Yes
<b>B4 – Site Coverage</b>	Not applicable.	Not applicable.



<b>B5 – Side Boundary Setbacks</b> Minimum 0.9 metres	North Existing: 2.4 metres Proposed: 0.0m	<b>No</b> The setback along the Northern side boundary is breached by the proposed carport however given the next three adjoining lots are battle axe lots which all have their access lanes stemming from plateau road. This means the proposed carport will abut against no residence and that the closest residence will be 72 plateau road which is approximately 14 metres away from the proposed carport. Given the context to the north it would be fair to say the proposal manages to provide adequate separation between buildings and ensures a reasonable level of privacy, amenity and solar access is maintained satisfying the clauses objective.
	South Existing: 1.25 metres Proposed: unchanged	<b>Yes</b> The setback along the Southern side boundary is unchanged with this proposal.
<b>B6 – Merit assessment of Side Boundary Setbacks</b>	Not applicable.	<b>Not applicable.</b>
<b>B7 –Front Boundary Setback</b> Minimum 6.5 metres	Existing: 7.155 metres Proposed: 0.2 metres	<b>No</b> Although the proposed carport does encroach into the front setback a sense of openness is still maintained given its width in comparison to the width of the site in total and the fact that the proposed carport is to be open. Given that the carport is to be open on all four sides, their will minimal to no impact on the visual quality of the street due to this proposal therefore satisfying this clauses objectives.
<b>B8 – Merit assessment of front boundary setbacks</b>	Not applicable.	<b>Not applicable.</b>
<b>B9 – Rear Boundary Setbacks</b> Minimum 6.0 metres	Existing: 14.77 metres Proposed: Unchanged	<b>Yes</b>
<b>B10 – Merit Assessment of Rear Setbacks</b>	Not applicable.	<b>Not applicable.</b>
<b>B11 – Foreshore Building Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>B12 – National Parks Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>B13 – Coastal Cliffs Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>B14 – Main Roads Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>Part C – Siting Factors</b>		

<b>C1 – Subdivision</b> 1.R2 Low Density Residential zone requirements: Proposed new allotments: a) Minimum width: 13 metres b) Minimum depth: 27 metres; and c) Minimum building area: 150m <sup>2</sup>	Not applicable	Not applicable
<b>C2 – Traffic, Access and Safety</b> Vehicular crossing to be provided in accordance with Council's Vehicle Crossing Policy. Vehicle crossing construction and design is to be in accordance with Council's Minor works specification.	Existing: vehicle crossing (layback) present  Proposed: widening of existing layback and creation of concrete driveway.	<b>Yes</b> The vehicle crossing proposed in this application is provided in accordance with Council's Vehicle Crossing Policy.
<b>C3 – Parking Facilities</b> Garage doors and carports are to be integrated into the house design and to not dominate the façade. Parking is to be located within buildings or on site. Parking is to be located so that views of the street from front windows are not obscured; and where garages and carports face the street, the garage or carport opening must not exceed 6 metres or 50% of the building width, whichever is the lesser.	Existing: No parking facilities Proposed: Carport	<b>No</b> The proposed carport opening does not exceed 5.5m in width which is slightly more than 50% (4.9m) of the building width which approximately measures 9.8m. In saying this the subject site does have a suitable width of 13.41m to accommodate the designed carport. The proposed carport has been placed so to allow some views from a front window and to also not dominate the façade.
<b>C4 – Stormwater</b> To be provided in accordance with Council's Stormwater Drainage Design Guidelines for Minor Developments & Minor Works Specification.	All collected stormwater within the proposal to drain to the existing drainage system.	<b>Yes</b>
<b>C5 – Erosion and Sedimentation</b>	Soil and Water Management required.	<b>Yes</b> A Soil Erosion Management Plan has been prepared and is included in the submission to Council.
<b>C6 - Building over or adjacent to Constructed Council Drainage Easements</b> The objective of this policy is to ensure efficient construction, replacement, maintenance or access for emergency purposes to constructed public drainage systems located within private property.		<b>Yes</b> The proposed layback has been located a suitable distance away from a council stormwater drain and as such will be unaffected by the proposal.
<b>C7 - Excavation and Landfill</b> Land excavation or fill work should not have an adverse effect upon the visual and natural environment or adjoining and adjacent properties, or create airborne pollution. The integrity of the physical environment should be preserved, as well as the visual and scenic quality.	The proposal does not require extensive earthworks.	<b>Yes</b> Minimum excavation is required to allow for the formwork of the proposed concrete driveway on the north eastern corner of the property.

<b>C8 – Demolition and Construction</b> Waste management plan required.	Refer to the Site/Sediment Erosion, Waste management and materials handling Plan DA03.	<b>Yes</b>
<b>C9 – Waste Management</b> Waste storage area to be provided.	Refer to the Site/Sediment Erosion, Waste management and materials handling Plan DA03.	<b>Yes</b>

**Part D – Design**

<b>D1 – Landscaped Open Space and Bushland</b> Min 40% (224m <sup>2</sup> ) Landscaped Area to be maintained.	The existing landscaped open space measures 54.79% (306.85m <sup>2</sup> ). The proposal reduces this by amount 4.86% (27.19m <sup>2</sup> ) and measures 49.93% (279.66m <sup>2</sup> ).	<b>Yes</b> After the proposed works have been completed the subject site will still exceed the required amount of landscaped open space.
<b>D2 - Private Open Space</b> Dwelling houses with 3 or more bedrooms Min 60m <sup>2</sup> with minimum dimension = 5m.	The proposal maintains the existing amount of Private Open Space Area of 235.17m <sup>2</sup>	<b>Yes</b>
<b>D3 - Noise</b>	Mechanical noise is to be attenuated to maintain adjoin unit amenity. Compliance with NSW Industrial Noise Policy Requirements	<b>Not applicable.</b>
<b>D4 – Electromagnetic Radiation</b>	Not applicable.	<b>Not applicable.</b>
<b>D6 – Access to sunlight</b> The controls require that sunlight to at least 50% of the private open space of both the subject and adjoining properties private open space receives not less than three hours sunlight between 9am – 3pm on 21 June winter solstice.	The proposal does not result in any additional over shadowing. Refer to Shadow Diagrams included in DA package. DA08-DA10	<b>Yes</b> Shadow diagrams have been prepared which depict the existing and proposed shadowing.
<b>D7 – Views</b> View sharing to be maintained.	The proposal does not result in loss of views for any of the adjoining neighbouring buildings.	<b>Yes</b>
<b>D8 – Privacy</b> This clause specifies that development is not to cause unreasonable overlooking of habitable rooms and principle private open space of adjoining properties.	The proposed works do not result in any loss of privacy.	<b>Yes</b>

<b>D9 – Building Bulk</b> This clause requires buildings to have a visual bulk and architectural scale that is consistent with structures on nearby properties & not to visually dominate the street.	The additions are well articulated and do not result in any unreasonable bulk or scale.	<b>Yes</b>
<b>D10 – Building Colours and materials</b> External finishes and colours sympathetic to the natural and built environment.	The external finishes selected will be compatible with the existing dwelling.	<b>Yes</b>
<b>D11 – Roofs</b> The LEP requires that roofs should not dominate the local skyline. Roofs should complement the roof pitch and forms of the existing buildings in the streetscape. Roofing materials should not cause excessive glare and reflection.	The proposed roof over the carport is of an appropriate form & scale to that of the existing building.	<b>Yes</b>
<b>D12 – Glare and Reflection</b> Glare impacts from artificial illumination minimised. Reflective building materials to be minimized.	The proposal will not result in unreasonable glare or reflection.	<b>Yes</b>
<b>D13 - Front Fences and Front Walls</b> Fences located within the street setback area are to be compatible with the existing streetscape character.	Any proposed segment of remediated front fence will be built to match the existing front fence.	<b>Yes</b>
<b>D14 – Site Facilities</b> Site facilities including garbage and recycling enclosures, mail boxes and clothes drying facilities are to be adequate and convenient for users and services and are to have minimal visual impact from public places	Garbage storage areas and other facilities maintained.	<b>Yes</b>
<b>D15 – Side and Rear Fences</b> Side and rear fences to be maximum 1.8m and have regard for Dividing Fences Act 1991.	Existing side fences compliant and retained as they are.	<b>Yes</b>
<b>D16 – Swimming Pools and Spa Pools</b> Pools are not to be located in the front building setback.	No swimming pools and spa pools included in the proposal.	<b>Yes</b>
<b>D17 – Tennis Courts</b>	Not Applicable	<b>Not Applicable</b>
<b>D18 – Accessibility</b> Safe and secure access for persons with a disability to be Provided where required.	Not Applicable	<b>Not Applicable</b>
<b>D19 – Site Consolidation in the R3 and IN1 Zone</b>	Not Applicable	<b>Not Applicable</b>
<b>D20 – Safety and Security</b> Buildings to enhance the security of the community. Buildings are to provide for casual surveillance of the street	The dwelling will maintain a good outlook of dwelling approach and street.	<b>Yes</b>
<b>D21 – Provision and Location of Utility Services</b> The location of utility services should take account of and minimise any impact on natural features such as bushland and natural watercourses.	Existing facilities on site to be retained.	<b>Yes</b>
<b>D22 – Conservation of Energy and Water</b>	The proposal will not affect the existing conservation of energy and water by the existing dwelling.	<b>Yes</b>

<b>D23 – Signs</b> Building identification signage to be appropriate for proposed use and not to impact on amenity of surrounding locality. Signs not to obscure views or potentially hazardous road features or traffic control devices.	Not Applicable	Not Applicable
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<b>Part E – The Natural Environment</b>		
<b>E1 – Private Property Tree Management</b> Arboricultural report to be provided to support development where impacts to trees are presented.	Proposal does not require the removal of any vegetation	Not applicable
<b>E2 – Prescribed Vegetation</b>	Not identified on map	Not applicable
<b>E3 – Threatened species, populations, ecological communities</b>	Not identified on map	Not applicable
<b>E4 – Wildlife Corridors</b>	Not identified on map	Not applicable
<b>E5 – Native Vegetation</b>	Not identified on map	Not applicable
<b>E6 - Retaining unique environmental features</b> Unique or distinctive features within a site to be retained.	Not applicable	Not applicable
<b>E7 – Development on land adjoining public open space</b>	Not identified on map	Not applicable
<b>E8 – Waterways and Riparian Lands</b>	Not identified on map	Not applicable
<b>E9 – Coastline Hazard</b>	Not identified on map	Not applicable
<b>E10 – Landslip Risk</b> Identified on map as D Flanking Slopes between 5 to 15 degrees.	In regards to the proposal only a minimal amount of excavation is required for the proposal, A Geotechnical report is not required.	Yes
<b>E11 – Flood Prone Land</b>	Not identified on map	Not applicable



## 08 EP & A ACT - SECTION 79C

### **The Provisions of any Environmental Planning Instruments**

The proposal is subject to the provisions of the Warringah Local Environmental Plan 2011. The site is zoned R2 Low Density Residential under the provisions of the LEP.

Construction of alterations/additions to the existing dwelling house is permissible with the consent of Council in this zone. It is considered that the provisions of this document have been satisfactorily addressed within this report and that the proposal complies with the relevant provisions.

There are no other environmental planning instruments applying to the site.

### **The Likely Impacts of the Development**

It is considered that the development will provide for alterations/additions to an existing dwelling without any detrimental impact on the environment, social and economic status of the locality.

### **The Suitability of the Site for the Development**

The subject site is zoned R2 Low Density Residential and the construction of alterations/additions to an existing dwelling house in this zone is permissible with the consent of Council. The resultant dwelling is of a bulk and scale that is consistent with the existing surrounding development. For these reasons it is considered that the site is suitable for the proposed development.

### **The Public Interest**

It is considered that the proposal is in the public interest in that it will provide for alterations/additions to an existing dwelling that is consistent with other development in this locality without impacting the amenity of the adjoining properties or the public domain.

## 09 CONCLUSION

Following a review of the relevant planning controls, it is concluded that the proposed development is consistent with the objectives, planning strategies and detailed controls of these planning documents with the exception of those discussed in detail previously in this statement. Consideration has been given to the potential environmental and amenity impacts that are relevant to the proposed development and this report addresses these impacts. Having regard to the benefits of the proposal and taking into account the absence of adverse environmental, social, economic, or heritage related impacts, the application is submitted to The Warringah Council for assessment and granting of development consent.