

16 September 2010

The General Manager  
Pittwater Council  
PO Box 882  
MONA VALE NSW 1660

Attn Ms Amy Allen

Dear Ms Allen,

**RE ADDITIONAL INFORMATION – DA NO 366/10  
PREMISES 186 MCCARRS CREEK ROAD, CHURCH POINT  
ALTERATIONS AND ADDITIONS TO THE EXISTING DWELLING, AN INCLINATOR  
& A BOATSHED**

I refer to the above Development Application currently under your consideration and to your correspondence dated 22 July 2010

In response to the issues raised by Council in its assessment, I offer the following additional plans prepared by Sammy Fedele, dated 13 September 2010 which seek to revise the proposal to address the issues relating to the location of the boatshed and to delete the relocated retractable awning. The revisions result will ensure that there is no increase in site coverage beyond the existing site coverage.

The revisions are discussed in detail below

➤ **D4 6 Side and rear building line**

The revised design increases the side setback of the proposed boatshed to a minimum of 1.0m in accordance with Council's controls.

➤ **D4 7 Foreshore building line**

As requested, a SEPP 1 submission has been prepared to support the proposed boatshed facility. The submission is attached as Appendix 1.

The proposed retractable awning has been deleted from the proposal and will be removed from the site.

➤ **D4 7 Foreshore building line and D15 15 Marine facilities**

We note Council's concerns regarding the proposed shower and toilet facility.

within the boatshed and the drawings have been revised to remove the proposed storage area. As the boatshed is substantially lower than the dwelling, my client is seeking Council's consent for a toilet facility to utilise when he is working on his boat, jetty or the foreshore area.

In recognition of Council's concerns regarding any possibility that the boatshed may be utilised as a separate occupancy in the future, my client is quite willing to accept a specific condition of consent to that effect to restrict its use to a building that is ancillary to the main dwelling.

If more acceptable to Council, we are prepared to provide an appropriate legal restriction on the title to formally advise any future owners that the building is not for separate occupancy.

➤ **D4 10 Site coverage – Environmentally Sensitive Land**

The revised design seeks to remove the retractable awning structure and with majority of the works either under the existing dwelling or over existing hard stand area, the site coverage will be largely unchanged. We note that the proposed boatshed will essentially see the relocation of the boatshed previously approved under DA N0039/07.

We look forward to discussing the proposal with Council and should you require additional information please do not hesitate to contact me on 9999 4922 or 0412 448 088.

Yours faithfully,

  
VAUGHAN MILLIGAN

(attach – SEPP 1 submission)

# **OBJECTION UNDER STATE ENVIRONMENTAL PLANNING POLICY NO 1 - DEVELOPMENT STANDARDS**

**186 McCARRS CREEK ROAD, CHURCH POINT**

**ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING HOUSE, &  
AN INCLINATOR & A BOATSHED**

**VARIATION OF A DEVELOPMENT STANDARD REGARDING THE  
FORESHORE BUILDING LINE AS DETAILED IN CLAUSE 7(4) OF THE  
MODEL PROVISIONS ADOPTED BY PITTWATER LOCAL ENVIRONMENTAL  
PLAN 1993**

## **Introduction**

This objection is made pursuant to the provisions of Clause 6 of State Environmental Planning Policy No 1 (SEPP No 1) In this regard it is requested Council support a variation with respect to compliance with the foreshore building line as described in Clause 15 of the Mosman Local Environmental Plan 1998 (MLEP 1998)

### **1 Is the control to be varied a development standard?**

Clause 7 of the Model Provisions allows Council to fix by resolution a building line to the waterway

Pittwater Council has resolved a foreshore building line to McCarrs Creek which is noted on Council's mapping system

The proposed boatshed will breach the resolved foreshore building line, which is contrary to Clause 7(4) of the Model Provisions The controls of Clause 7(4) are considered to be a development standard as defined in the Environmental Planning and Assessment Act, 1979

### **2 What is the underlying object or purpose of the development standard?**

The underlying purpose of the development standard is to control development within the resolved foreshore building line area

The controls of Clause 7(4) of the Model Provisions are further supported by Pittwater21 DCP Clause D4 7 which notes the form of acceptable development within the foreshore building line setback area

**3 Is compliance with the development standard consistent with the aim of SEPP No 1?**

The aim of SEPP No 1 is noted as

*Provide flexibility in the application of planning controls operating by virtue of development standards in circumstances where strict compliance with those standards would, in any particular case, be unreasonable or unnecessary or tend to hinder the attainment of the objects specified in Section 5(a)(i) and (ii) of the Act*

In this regard the objects of Section 5(a)(i) and (ii) of the Act are

- (i) *The proper management, development and conservation of natural and artificial resources, including agricultural land, natural areas, forests, minerals, water, cities, towns and villages for the purpose of promoting the social and economic welfare of the community and a better environment,*
- (ii) *The promotion and co-ordination of the orderly and economic use and development of land,*

In this regard it is considered that the development standard is not consistent with the aim of SEPP No 1 as it does not allow flexibility in building design in this instance as the development, whilst meeting the aims of the standards by providing a development of a bulk and scale that is compatible with similar developments in the area and that relates well in its context, is located within the foreshore building line area

**4 Why compliance with the standard is unreasonable or unnecessary in the circumstances of this case**

It is considered that compliance with this standard is unnecessary as the proposed development will provide for a recreational facility for the site and the owners which is consistent with other similar maritime based facilities in this locality Boatshed structures are commonly located within the Pittwater foreshore area

**5 Would strict compliance tend to hinder the attainment of the objectives of the act?**

The relevant objectives of the Act are as follows

- 5(a)(i) *[to encourage] the proper management, development and conservation of natural and artificial resources, including agricultural land, natural areas, forests, minerals, water, cities, towns and villages for the purpose of promoting the social and economic welfare of the community and a better environment*
- 5(a)(ii) *[to encourage] the promotion and co-ordination of the orderly and economic use and development of land*

As the non-compliance does not create any unacceptable amenity impacts on neighbours related to visual bulk, overshadowing and privacy and continues to maintain

a suitable level of soft landscaping, compliance with the foreshore building line control is unnecessary and unreasonable in the circumstances of the case

The application also provides for the proper management of the property and the orderly and economic use of the land in accordance with the applicable environmental planning control regime

Accordingly, it is clear that the objectives of Section 5(a)(i) and (ii) of the Act have been met

## **6 Is the objection well founded?**

It is considered that a variation to the foreshore building line controls can be supported on merit for the following reasons

- a The proposal is consistent with the height and scale of adjoining boatshed structures dwellings
- b The proposal will not impact significantly on public or private views The proposed development satisfies Council's view sharing objectives
- c The proposal does not create any adverse amenity impacts on adjoining neighbours in terms of privacy or solar access
- d The proposal meets the controls of Pittwater21 DCP D4.7 as relating to the form and style of boatshed facilities

## **7 Conclusion**

This objection to Clause 7(4) of the Model Provisions as adopted by Pittwater Local Environmental Plan 1993 adequately demonstrates that that the objectives of the standard and the supporting Pittwater21 DCP will be met

The visual bulk and scale of the proposal are acceptable and the height, form and design of the boatshed are appropriate for the site and locality

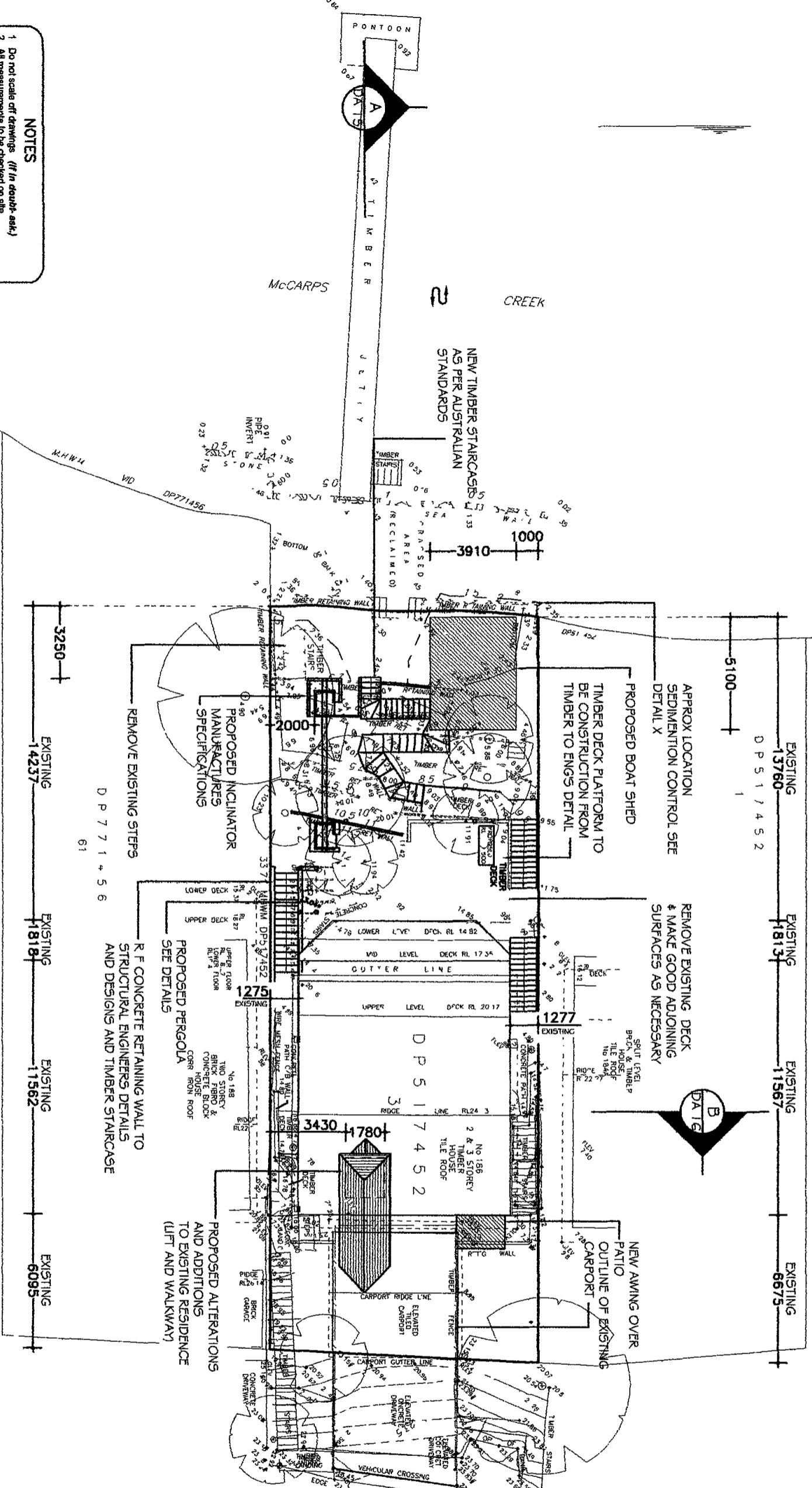
Council's support of the proposed variation to the foreshore building line control is sought in this instance

**VAUGHAN MILLIGAN**  
Town Planner

- NOTES**
- 1 Do not scale off drawings. (If in doubt ask.)
  - 2 All measurements to be checked on site prior to commencement of construction.
  - 3 Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
  - 4 Supply & install selected smoke alarm system to comply with AS3785.
  - 5 All storm water to be connected to street gutters as per council requirements.
  - 6 Provide street location number on selected letter box area facing the street.
  - 7 The work shown on this and associated drawings shall be in accordance with the standards, codes and ordinances regulations of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
  - 8 Setting out dimensions shown on the drawings shall be verified by the builder.
  - 9 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
  - 10 Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
  - 11 Supply and install lift off hinges to all wet area doors.

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

**SITE PLAN**  
SCALE 1:200



**DESIGN DATA**  
SITE AREA = 412m<sup>2</sup>  
PROPOSED LANDSCAPE AREA = 215m<sup>2</sup>  
(INCLUDING TIMBER STAIRS) = 52.66%

**Sammy Fedele**  
Architectural Drafting Services  
0404 037 606  
tel: 9680 21 82 fax: 9680 21 82  
email: sammyfedelearch@optusnet.com.au  
sh: 38 827 644 311

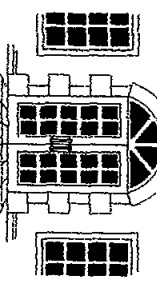
CLIENT	MICHAEL JONES
PROPOSED	ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE
ADDRESS	106 McCARRS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452
DATE	DEC 2009
DRAWING No	DA01
PROJECT No	09/30
DESIGN	SAMMY FEDELE

**LEGEND.**

- (F) FAN MECHANICAL
- (S) SMOKE ALARM
- DP DOWN PIPE
- m/hole m/hole
- METER BOX
- SKYLIGHT
- FLOOR WASTE
- EXISTING WALLS
- DEMOLITION WALLS
- NEW WALLS

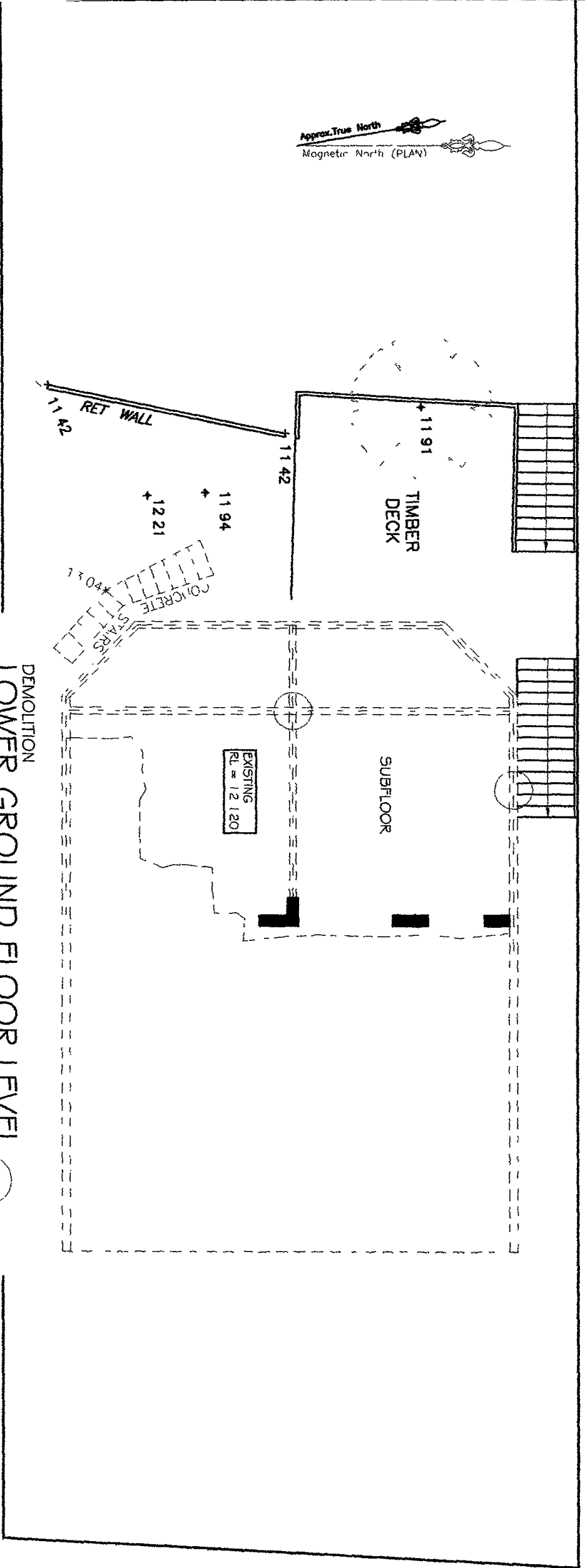
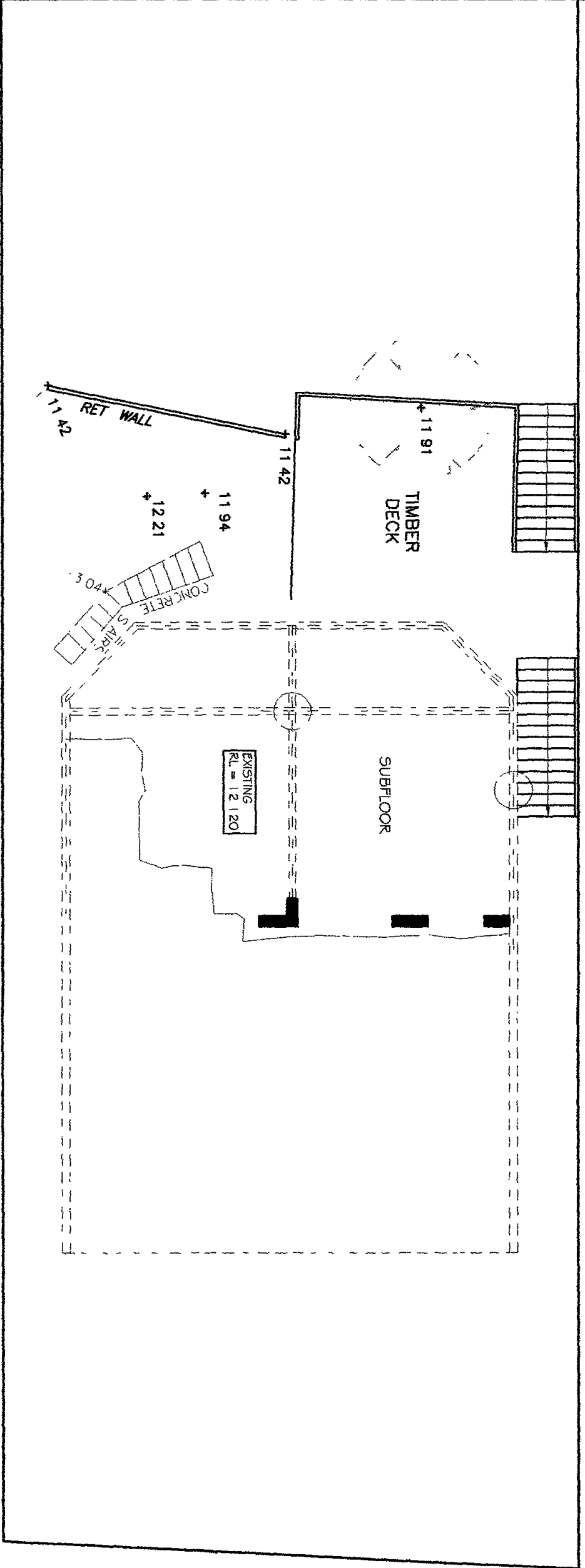
13 8 2010	A	DELETE RETRACTABLE AWNING
13 8 2010	A	RELOCATE BOAT SHED 1000mm
Date	Issue	Revision
Amendments		

**Sammy Fedele**  
 Architectural Drafting  
 Services  
 0404 037 606

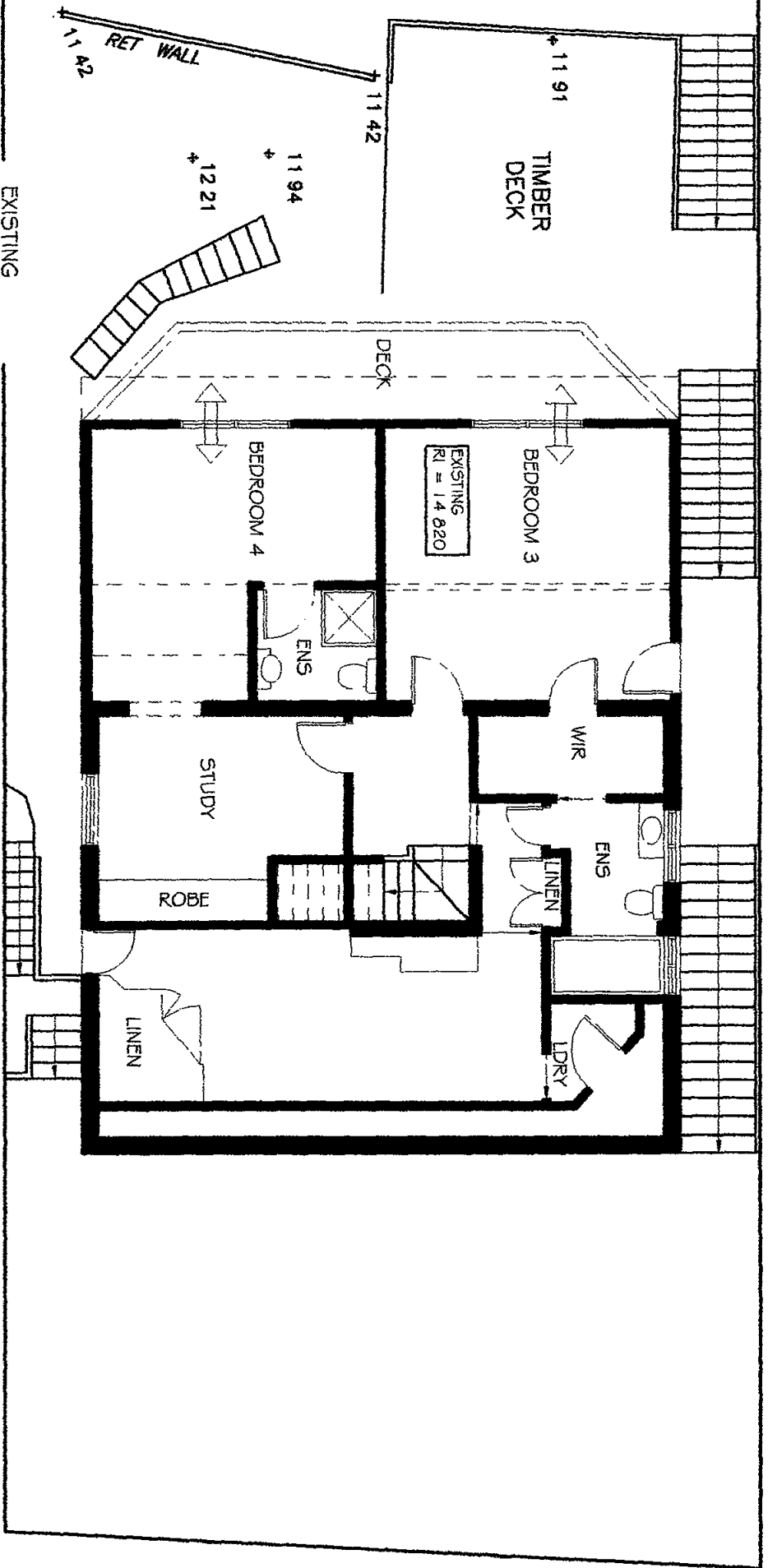


tel 9680 21 82 fax 9680 21 82  
 email sammyfedelea@gmail.com  
 abn 36 027 894 311

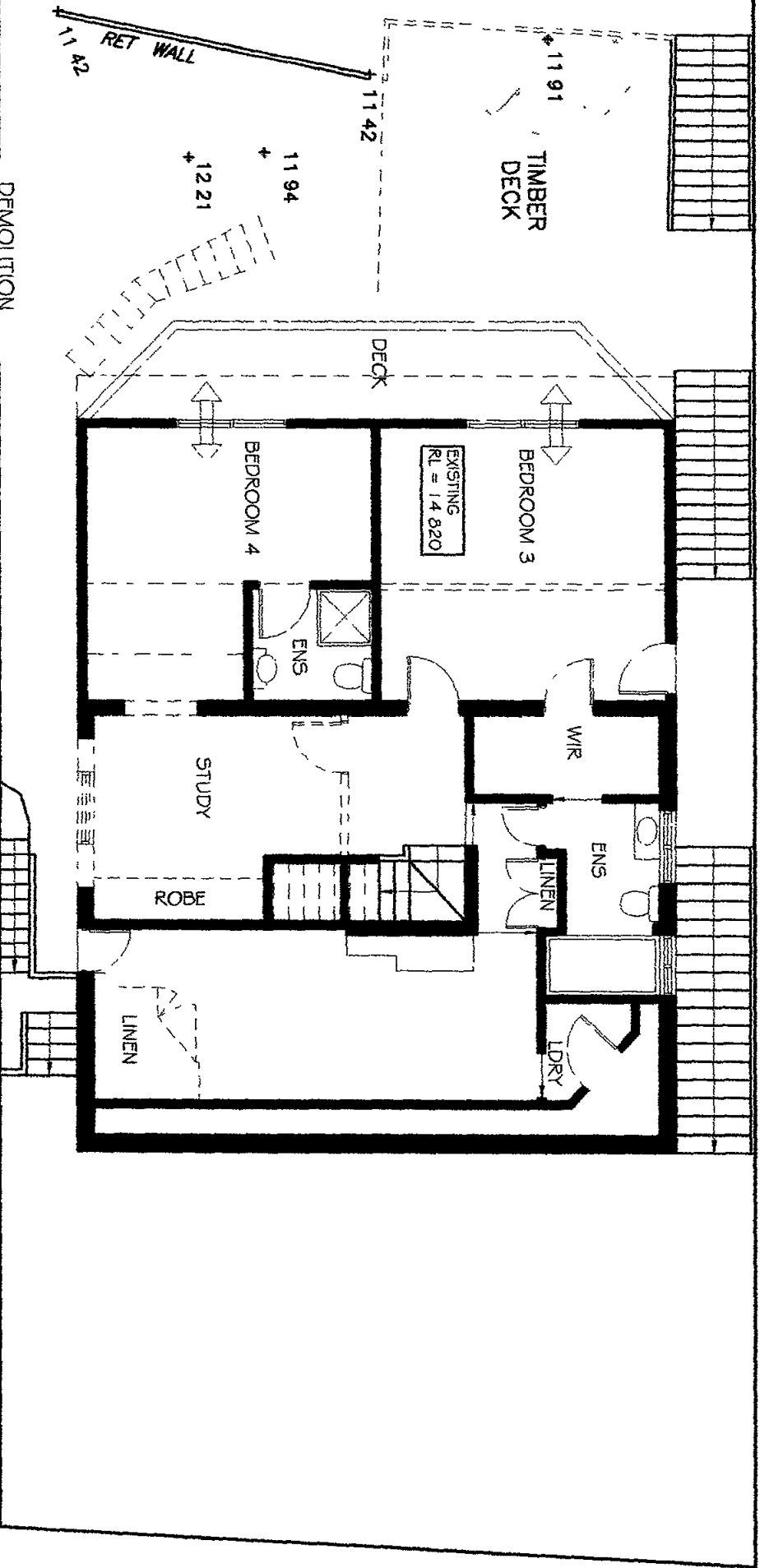
CLIENT	MICHAEL JONES
PROPOSED	ALTERATIONS & ADDITIONS TO EXISTING R15 DENCE
ADDRESS	186 MACARREY CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 51 7452
DATE	DEC 2009 PROJECT No 09/30
DRAWING No	ISSUE A
DESIGN	SAMMY FEDELE



Approx. True North  
Magnetic North (PLAN)



EXISTING  
UPPER GROUND FLOOR LEVEL  
SCALE 1:100



DEMOLITION  
UPPER GROUND FLOOR LEVEL  
SCALE 1:100

**LEGEND:**

- (F) FAN MECHANICAL
- (S) SMOKE ALARM
- DP DOWN PIPE
- m/hole m/hole
- METER BOX
- SKYLIGHT
- FLOOR WASTE
- EXISTING WALLS
- DEMOLITION WALLS
- NEW WALLS

13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm
Date	Issue	Revision
Amendments		

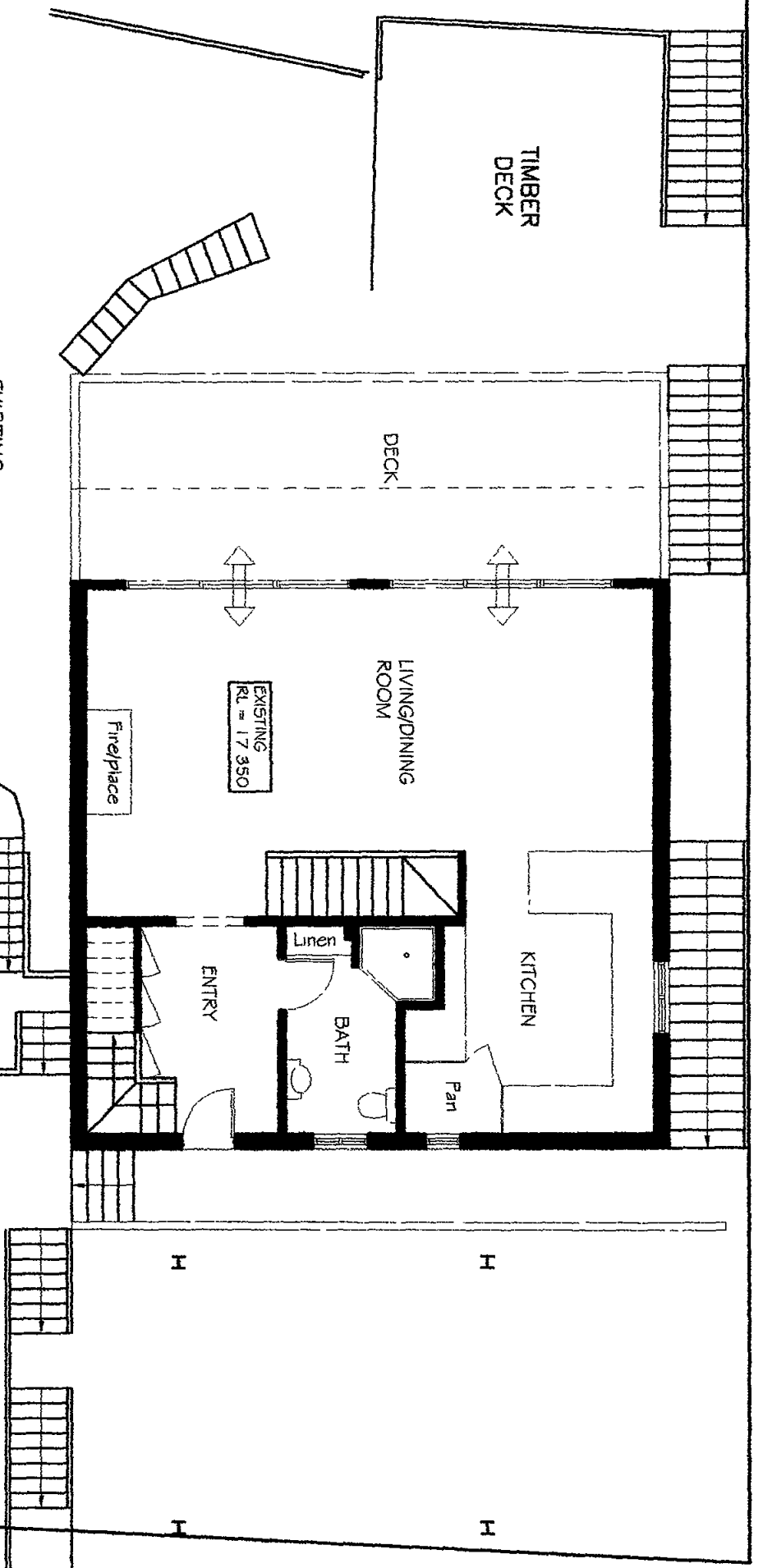
**Sammy Fedele**  
Architectural Drafting Services  
0404 037 606

tel: 9680 21 82 fax: 9680 21 82  
email: sammyfedelearch@aol.com  
ph: 38 827 894 311

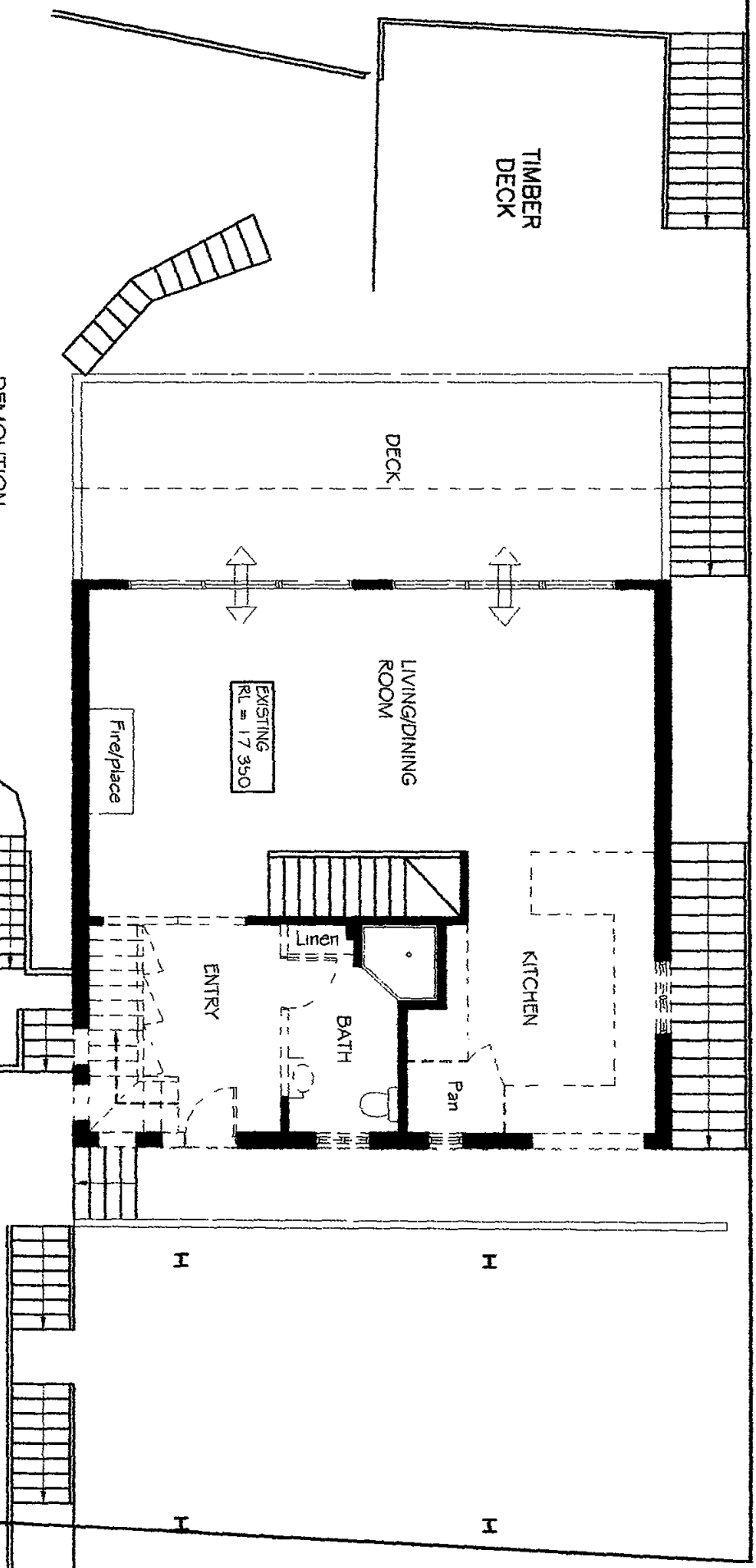
CLIENT MICHAEL JONES	
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE	
ADDRESS 185 MCGARNS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452	
DATE DEC 2009	PROJECT No 09/30
DRAWING No DAO3	ISSUE A
DESIGN SAMMY FEDELE	



Approx. True North  
Magnetic North (PLAN)



EXISTING  
MAIN GROUND FLOOR LEVEL  
SCALE | 100



DEMOLITION  
MAIN GROUND FLOOR LEVEL  
SCALE | 100

**LEGEND:**

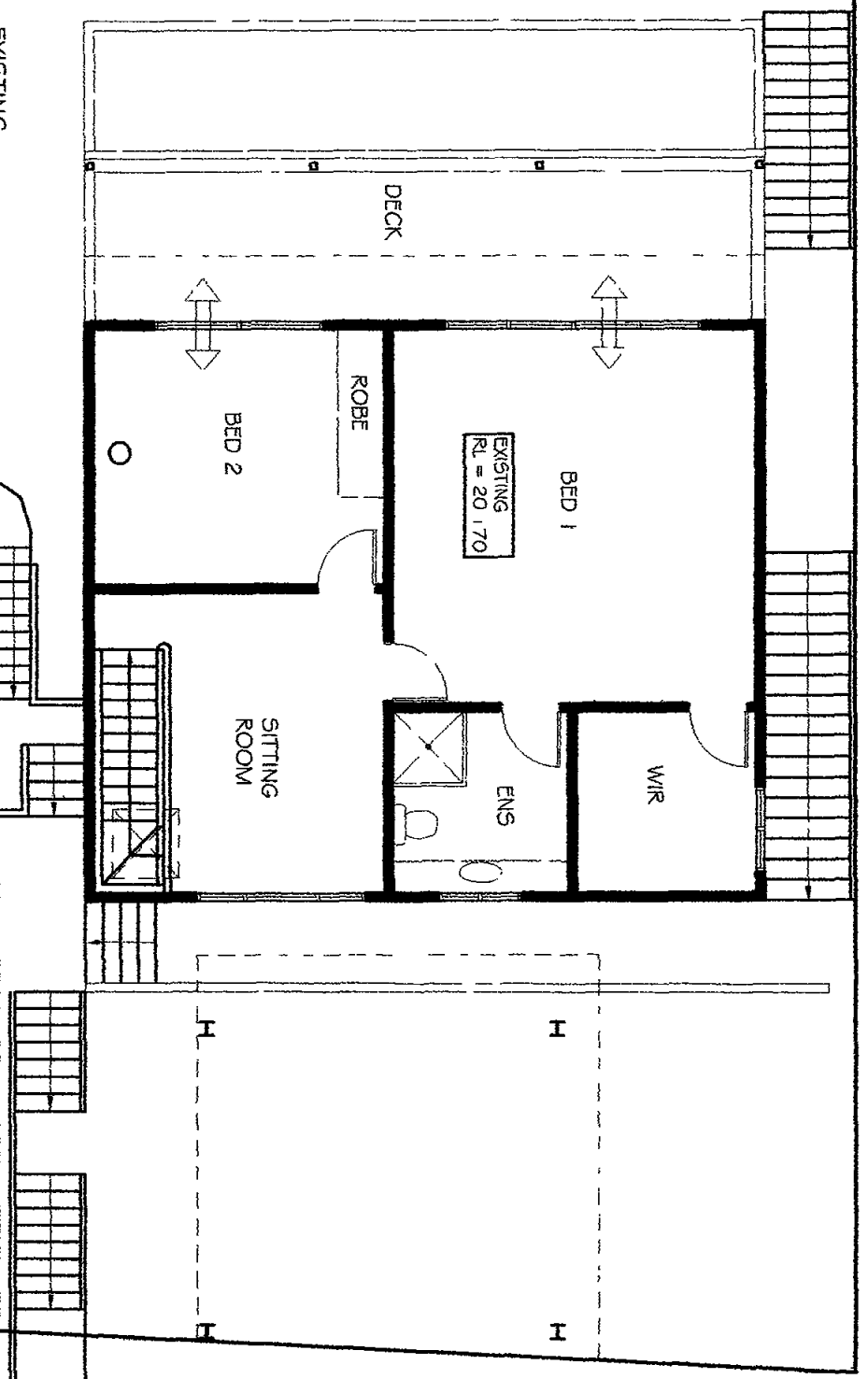
- FAN MECHANICAL
- SMOKE ALARM
- DOWN PIPE
- m/hole
- METER BOX
- SKYLIGHT
- FLOOR WASTE
- EXISTING WALLS
- DEMOLITION WALLS
- NEW WALLS

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

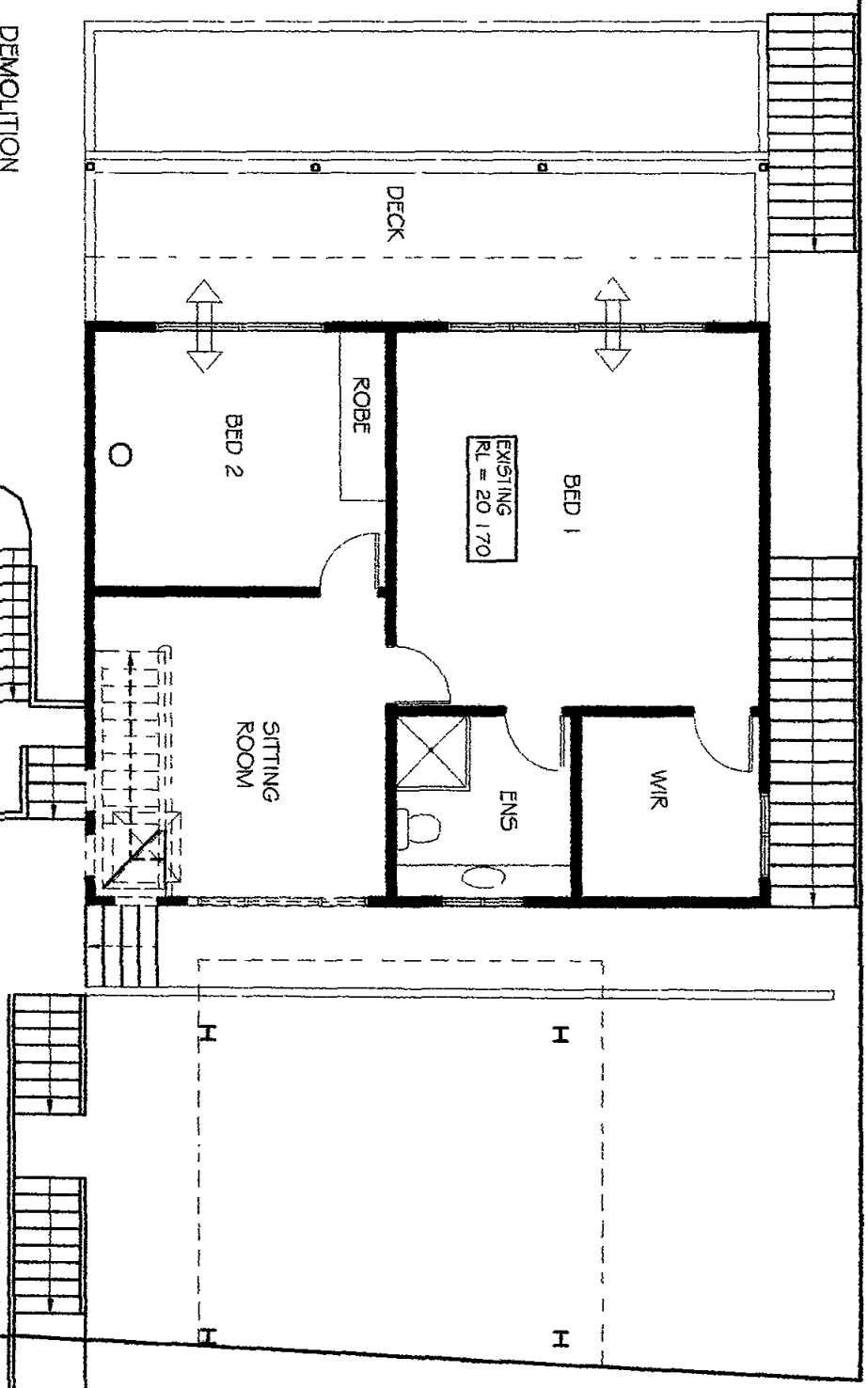
**Sammy Fedele**  
Architectural Drafting  
Services  
0404 037 606

tel 9680 21 82 fax 9680 21 82  
email sammyfedelearch@aol.com  
asn 38 027 084 311

CLIENT	MICHAEL JONES
PROPOSED	ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE
ADDRESS	186 McCARERS CREEK RD. LOT 3 CHURCH POINT NSW 2105 DP 517482
DATE	DEC 2009
PROJECT NO	09/30
DRAWING No	DAO4
ISSUE	A
DESIGN	SAMMY FEDELE



EXISTING  
FIRST FLOOR LEVEL  
SCALE 1:100

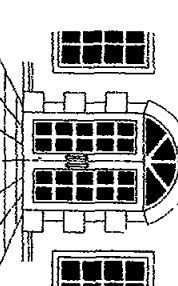


DEMOLITION  
FIRST FLOOR LEVEL  
SCALE 1:100

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNINGS
13 9 2010	A	RELOCATE BOAT SHED 1000mm

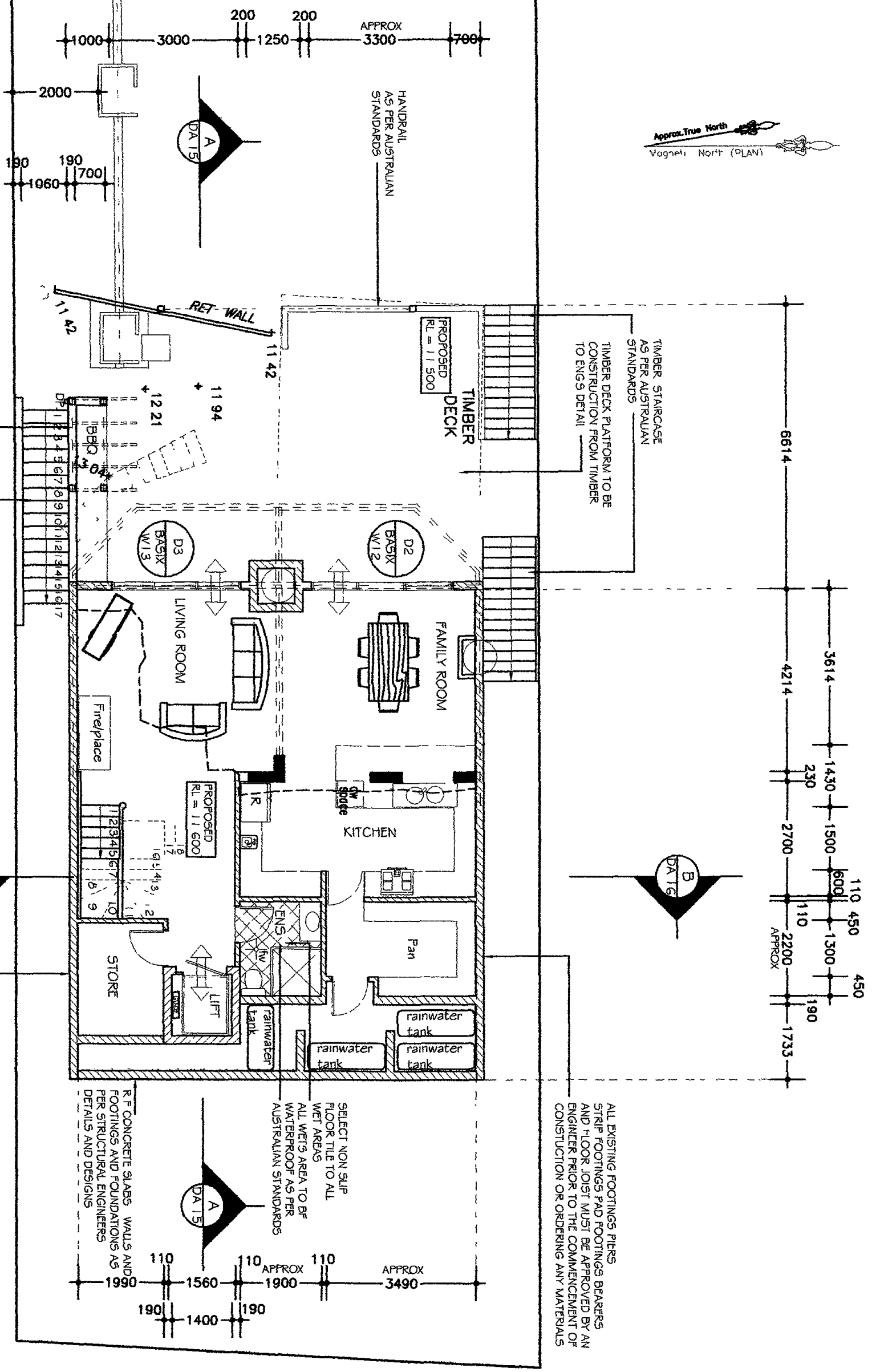
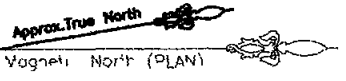
Amendments

**Sammy Fedele**  
Architectural Drafting  
Services  
0404 037 606



tel 9680 21 82 fax 9680 21 82  
email sammyfedelearch@aol.com  
abo 38 827 694 311

CLIENT	MICHAEL JONES
PROPOSED	ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE
ADDRESS	166 McCARNS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452
DATE	DEC 2009 PROJECT No 09/30
DRAWING No	DA05 ISSUE A
DESIGN	SAMMY FEDELE



PROPOSED  
LOWER GROUND FLOOR LEVEL  
SCALE 1:100

LEGEND:

- (F) FAN MECHANICAL
- (S) SMOKE ALARM
- DP<sup>+</sup> DOWN PIPE
- DP<sup>-</sup> DOWN PIPE
- meter box
- METER BOX
- SKYLIGHT
- FLOOR WASTE
- EXISTING WALLS
- DEMOLITION WALLS
- NEW WALLS

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

**Sammy Fedele**  
Architectural Drafting  
Services  
0404 037 606

tel 9680 21 82 fax 9680 21 82  
email sammyfedelearch@aol.com  
asn 56 827 684 511

CLIENT **MICHAEL JONES**

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

ADDRESS 106 MCCARRENS CREEK RD LOT 3  
CHURCH POINT NSW 2105 DP 517454

DATE DEC 2009 PROJECT No 09/30

DRAWING No DA06 ISSUE A

DESIGN **SAMMY FEDELE**

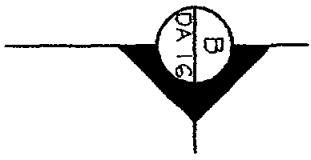
DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION NO PART SHALL BE OVER STRESSED

R F CONCRETE SLABS WALLS AND FOOTINGS AND FOUNDATIONS AS PER STRUCTURAL ENGINEERS DETAILS AND DESIGNS

R F CONCRETE RETAINING WALL TO STRUCTURAL ENGINEERS DETAILS AND DESIGNS AND TIMBER STAIRCASE

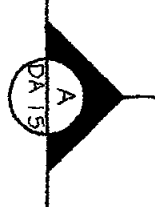
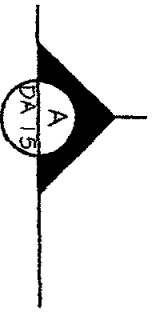
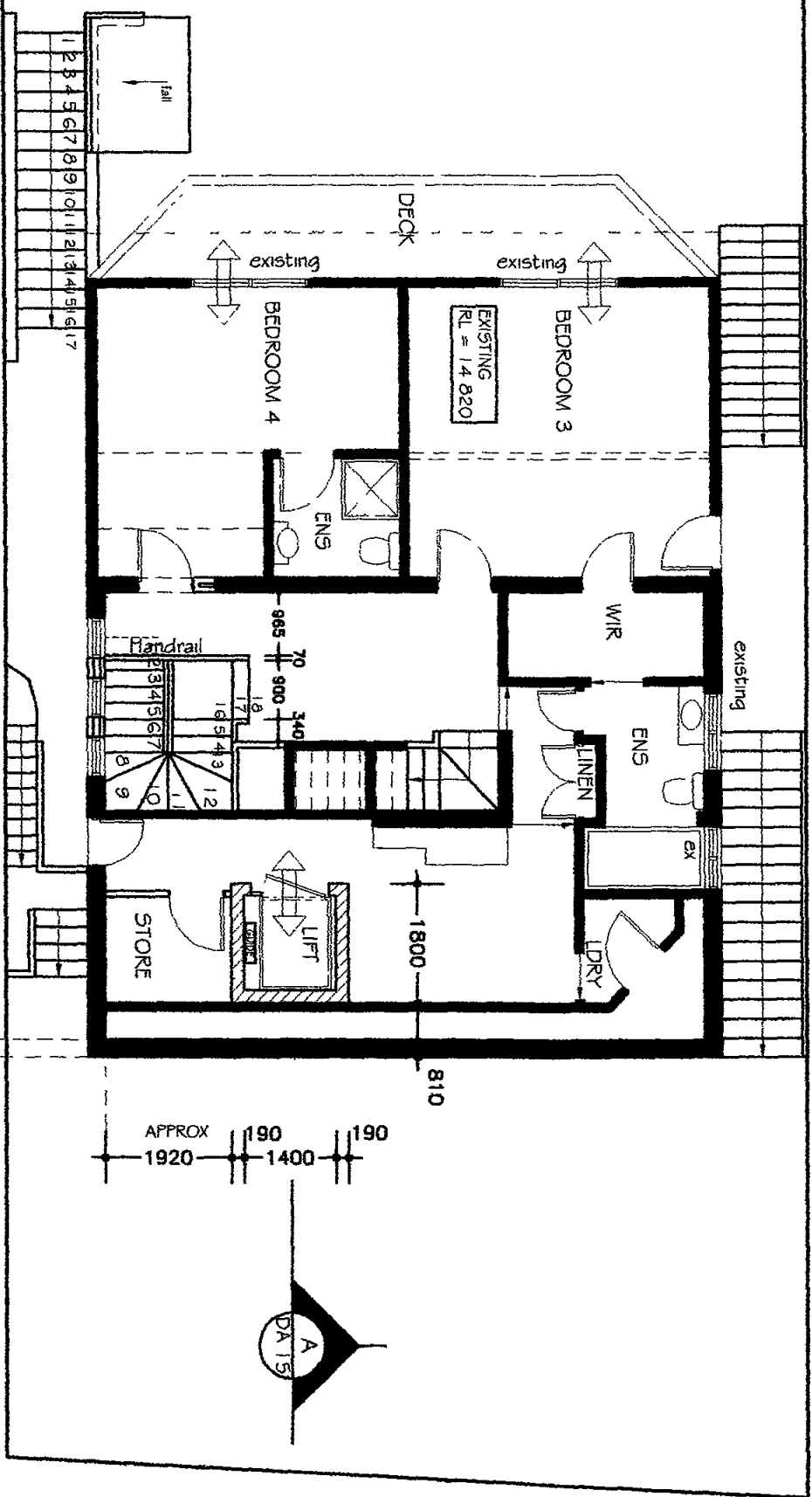
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Approx. True North  
Magnetic North (PLAN)

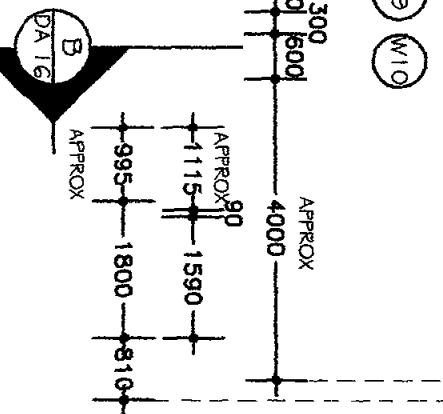


**LEGEND:**

- FAN MECHANICAL
- SMOKE ALARM
- DOWN PIPE
- m/hole
- METER BOX
- SKYLIGHT
- FLOOR WASTE
- EXISTING WALLS
- DEMOLITION WALLS
- NEW WALLS



PROPOSED  
**UPPER GROUND FLOOR LEVEL**  
SCALE 1:100



Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

**Sammy Fedele**  
Architectural Drafting  
Services  
0404 037 606

tel 9680 21 82 fax 9680 21 82  
email sammyfedelearch@aol.com  
abh 38 827 884 311

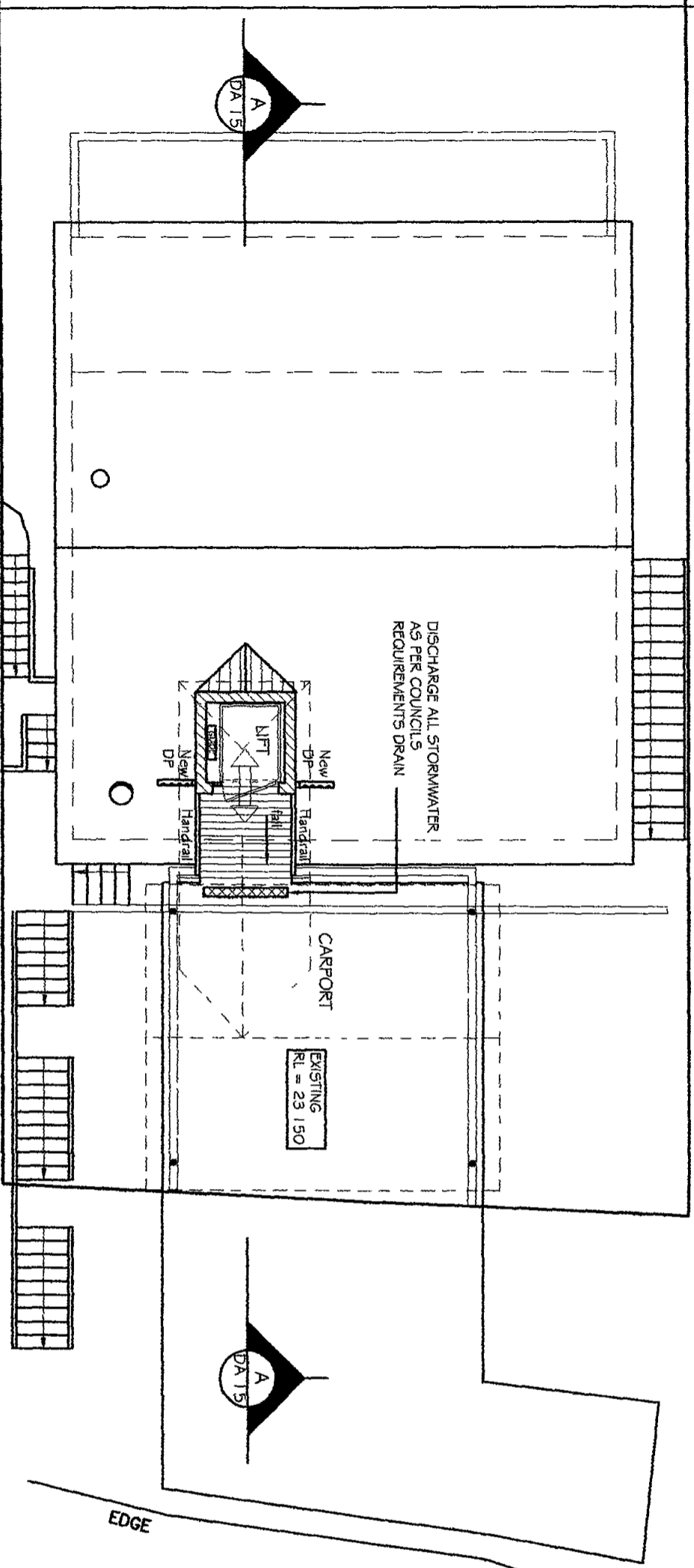
CLIENT MICHAEL JONES	
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE	
ADDRESS 196 McCARRS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452	
DATE DEC 2009	PROJECT No 09130
DRAWING No DA07	ISSUE A
DESIGN <b>SAMMY FEDELE</b>	





Approx. True North  
Magnetic North (PLAN)

PROPOSED  
CARPORT LEVEL  
SCALE 1:100



EDGE OF BITUMEN  
MCCARR'S CREEK ROAD

LEGEND:

- (F) FAN MECHANICAL
- (S) SMOKE ALARM
- DP<sup>2</sup> DOWN PIPE
- m/hole
- METER BOX
- SKYLIGHT
- FLOOR WASTE
- EXISTING WALLS
- DEMOLITION WALLS
- NEW WALLS

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

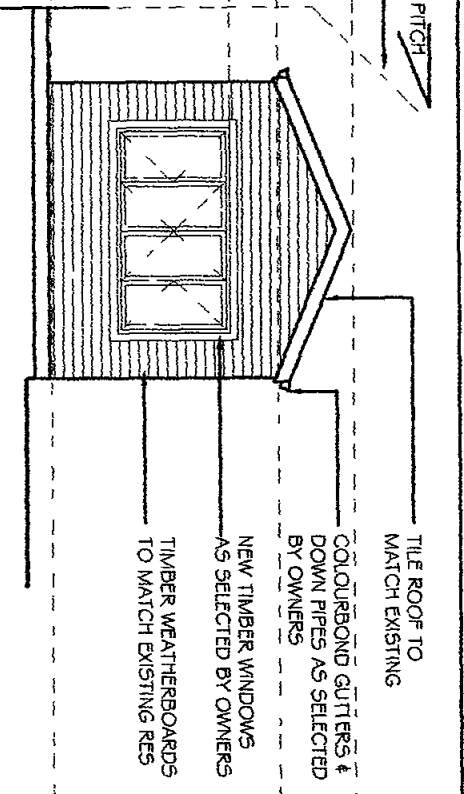
**Sammy Fedele**  
Architectural Drafting  
Services  
0404 087 606

tel 9690 21 82 fax 9690 21 82  
email sammyfedelearch@aol.com  
abn 36 627 694 315

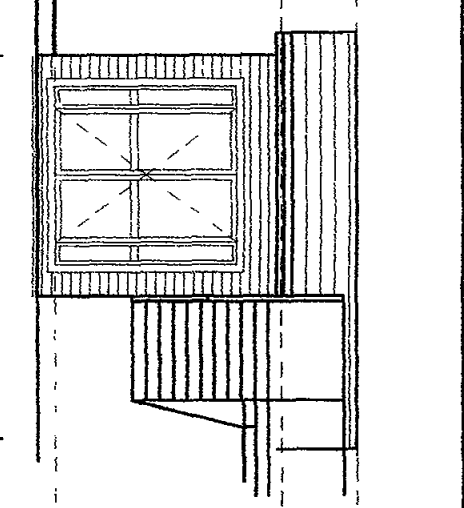
CLIENT	MICHAEL JONES
PROPOSED	ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE
ADDRESS	106 MCCARRS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452
DATE	DEC 2009 PROJECT NO. 09/30
DRAWING No	ISSUE
DA10	A
DESIGN	SAMMY FEDELE

3500mm HEIGHT AND 45° SIDE  
 BOUNDARY ENVELOPE AT  
 NATURAL GROUND LEVEL  
 BOAT SHED RIDGE LEVEL  
 RL = 6.520  
 (APPROX)  
 PITCHING POINT

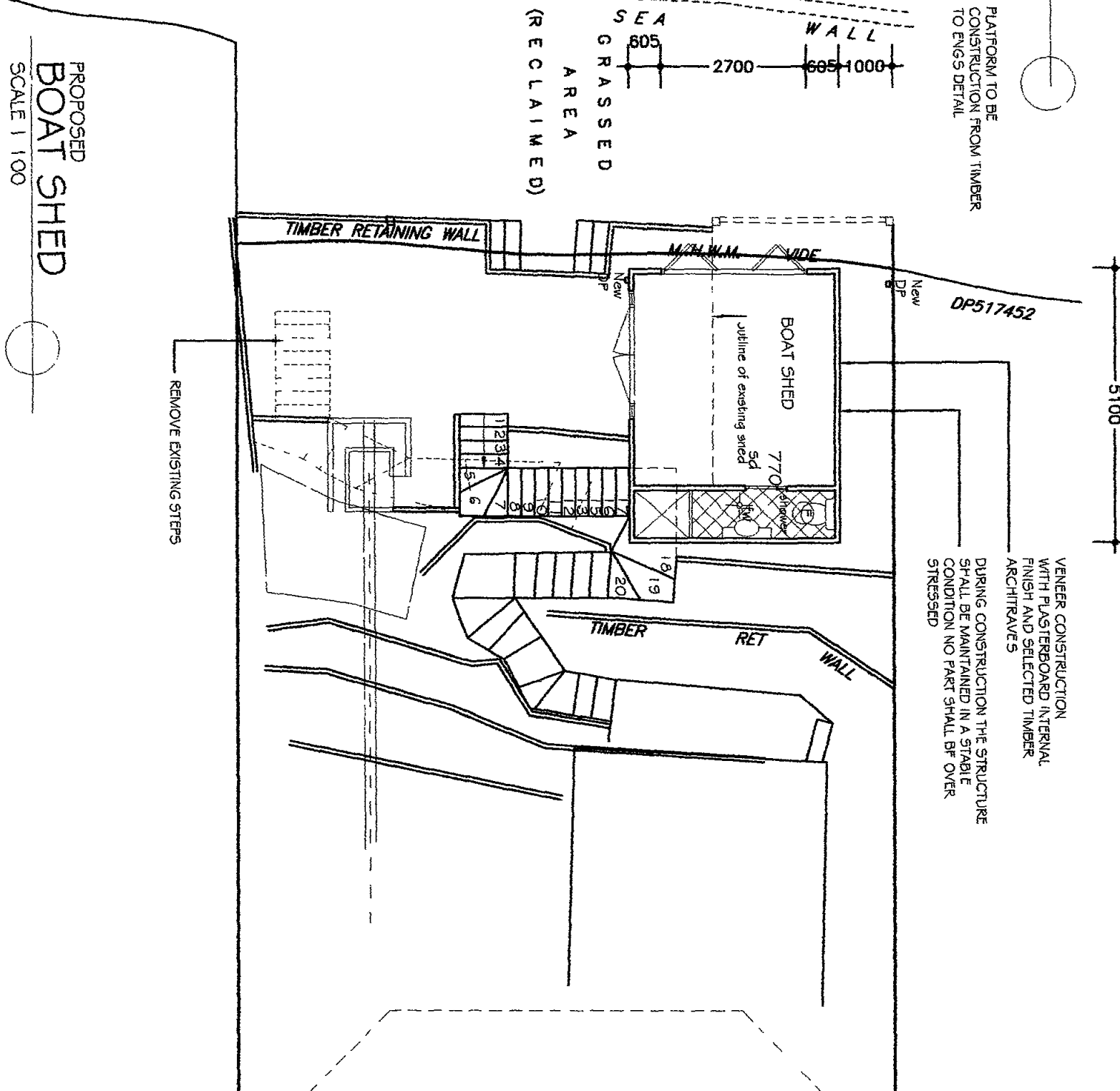
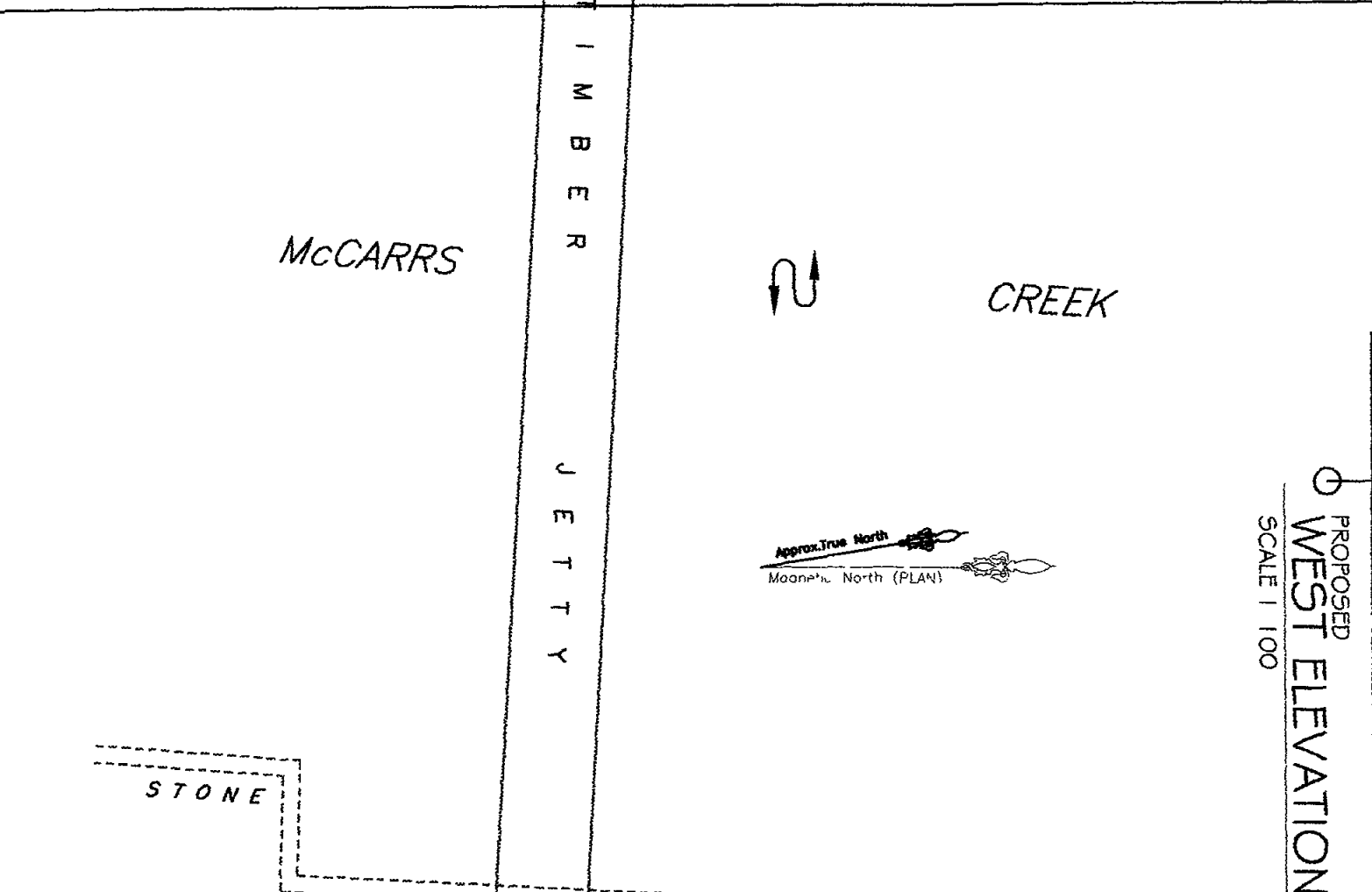
22° PITCH  
 3000  
 1000  
 2400  
 BOUNDARY LINE



PROPOSED  
 WEST ELEVATION  
 SCALE 1:100



PROPOSED  
 SOUTH ELEVATION  
 SCALE 1:100



LEGEND:

- (F) FAN MECHANICAL
- (S) SMOKE ALARM
- DP DOWN PIPE
- m/hole
- METER BOX
- SKYLIGHT
- FLOOR WASTE
- EXISTING WALLS
- DEMOLITION WALLS
- NEW WALLS

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE ANNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

**Sammy Fedele**  
 Architectural Drafting  
 Services  
 0404 037 606

tel 9680 21 82 fax 9680 21 82  
 email sammyfedelearch@aol.com  
 abn 38 827 884 311

CLIENT MICHAEL JONES

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

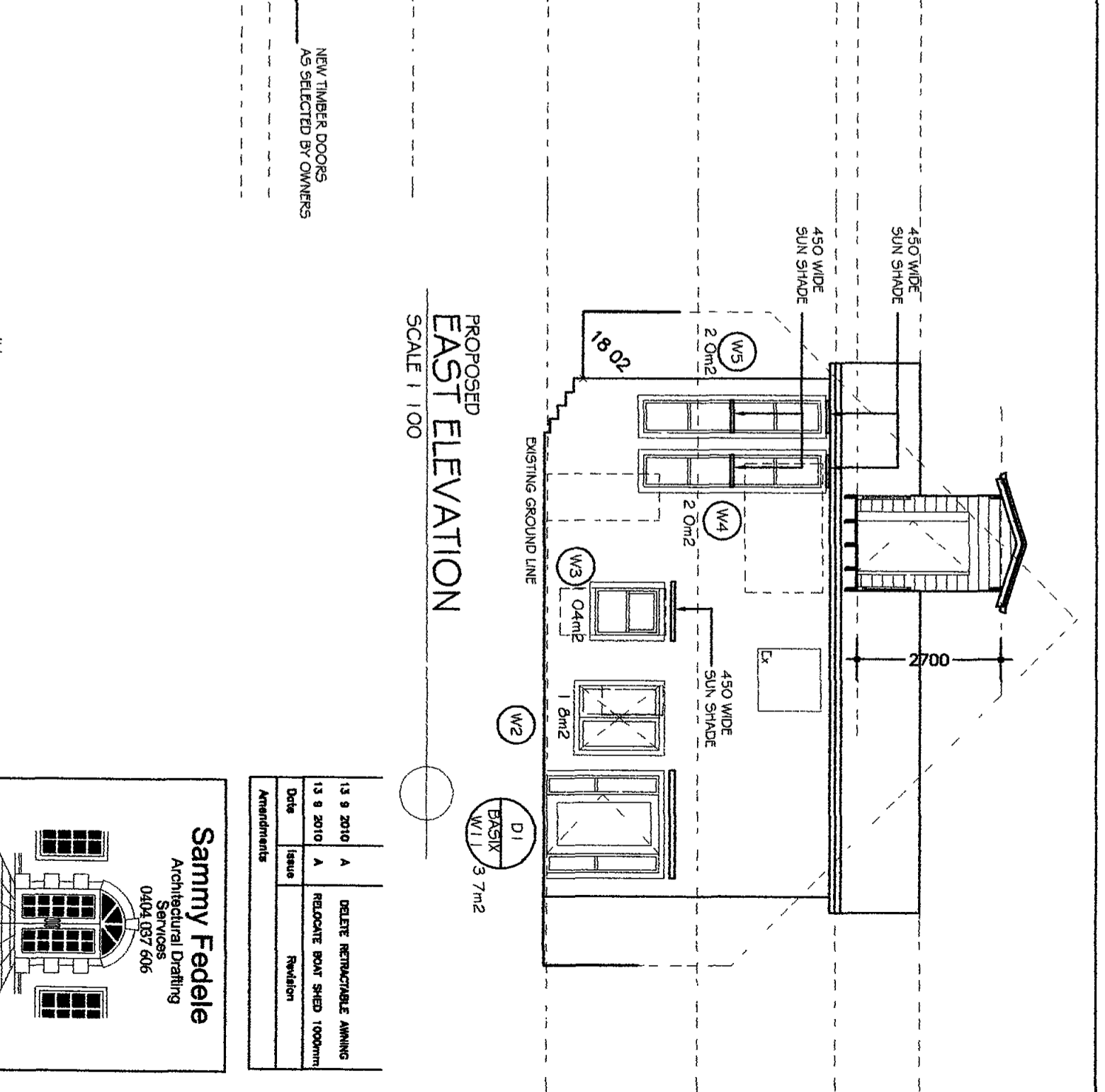
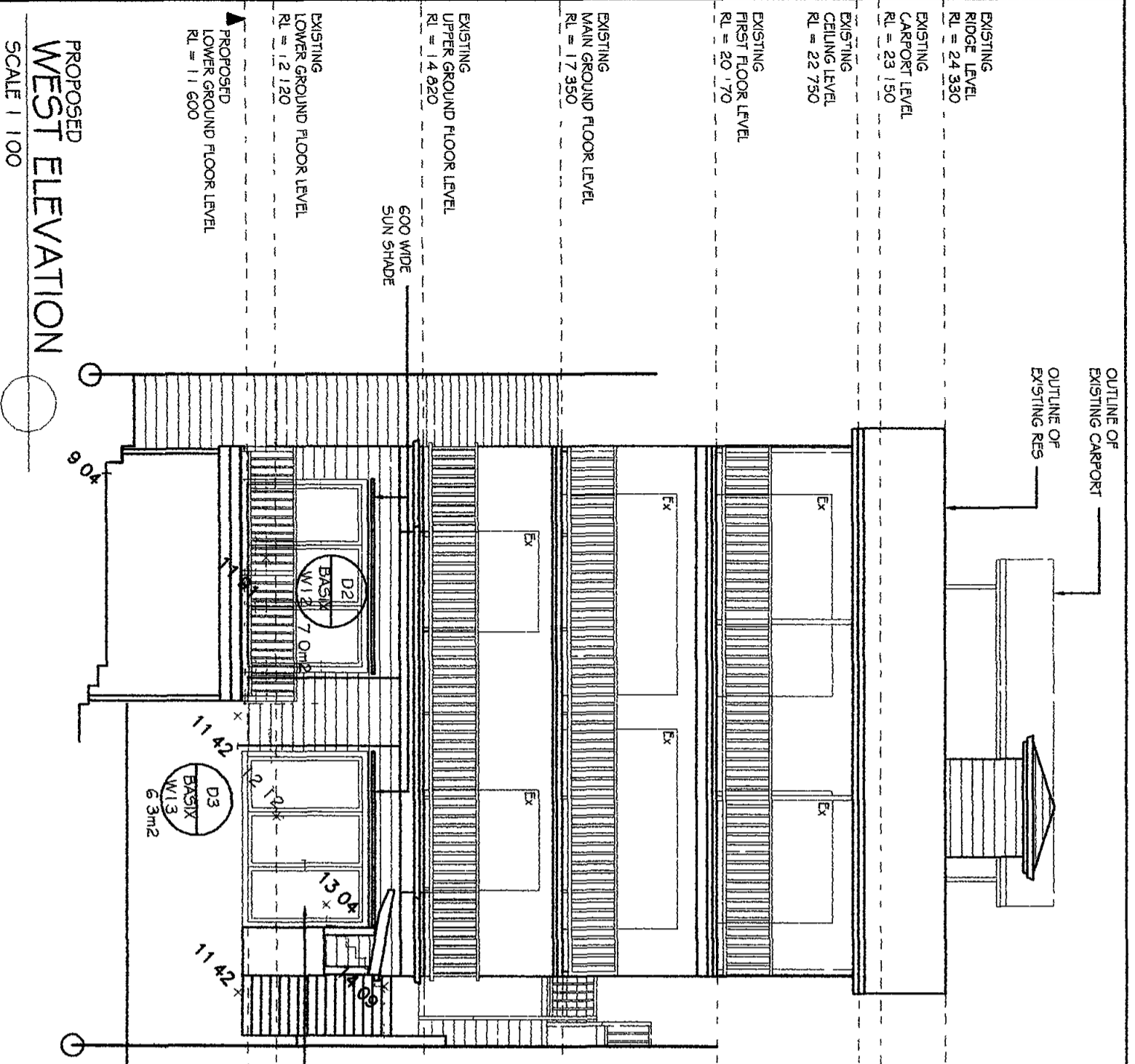
ADDRESS 186 MCCARRS CREEK RD LOT 3 CHURCH POINT NSW 2 05 DP 517452

DATE DEC 2009 PROJECT NO 09/30

DRAWING NO DA11 ISSUE A

DESIGN **SAMMY FEDELE**





PROPOSED  
WEST ELEVATION

SCALE | 1:100

PROPOSED  
EAST ELEVATION

SCALE | 1:100

PROPOSED  
EAST ELEVATION

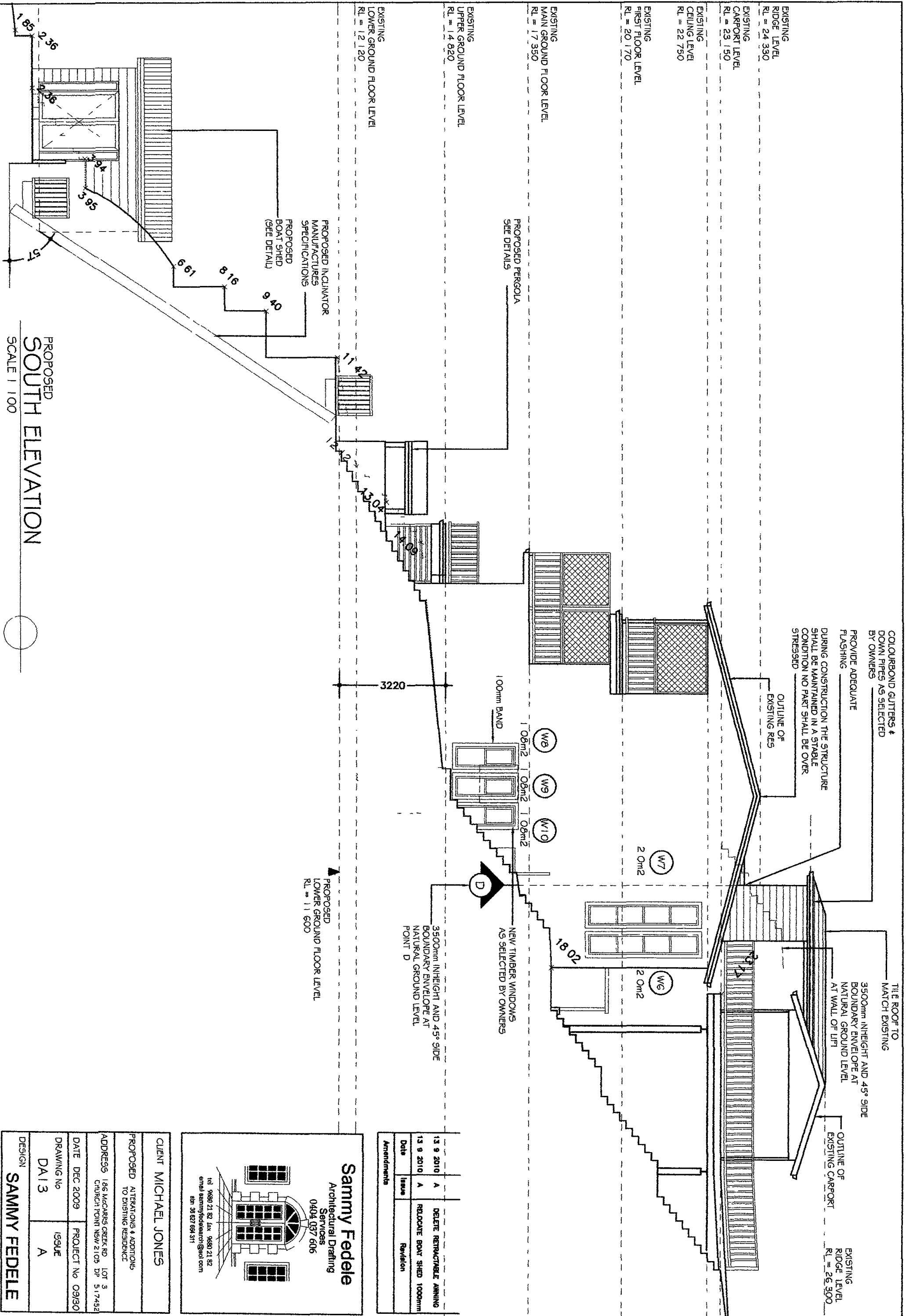
SCALE | 1:100

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

**Sammy Fedele**  
Architectural Drafting  
Services  
0404 037 606

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email sammyfedelearch@aol.com  
dn 36 827 694 311

CLIENT MICHAEL JONES	
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE	
ADDRESS 186 MCCARRYS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452	
DATE DEC 2009	PROJECT NO 09130
DRAWING NO DA12	ISSUE A
DESIGN <b>SAMMY FEDELE</b>	



PROPOSED  
SOUTH ELEVATION

SCALE 1 | 100

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

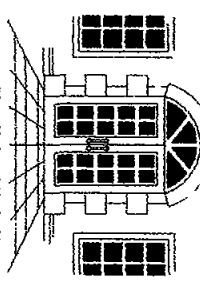
**Sammy Fedele**  
Architectural Drafting  
Services  
0404 037 606

tel 9680 21 82 fax 9680 21 82  
email sammyfedelearch@out.com  
bin 3527 884 311

CLIENT <b>MICHAEL JONES</b>	
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE	
ADDRESS 186 MCCARRS CRTK RD LOT 3	CHURCH POINT NSW 2105 DP 517452
DATE DEC 2009	PROJECT NO 09/30
DRAWING NO DA13	ISSUE A
DESIGN <b>SAMMY FEDELE</b>	

13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000mm
Date	Issue	Revision
Amendments		

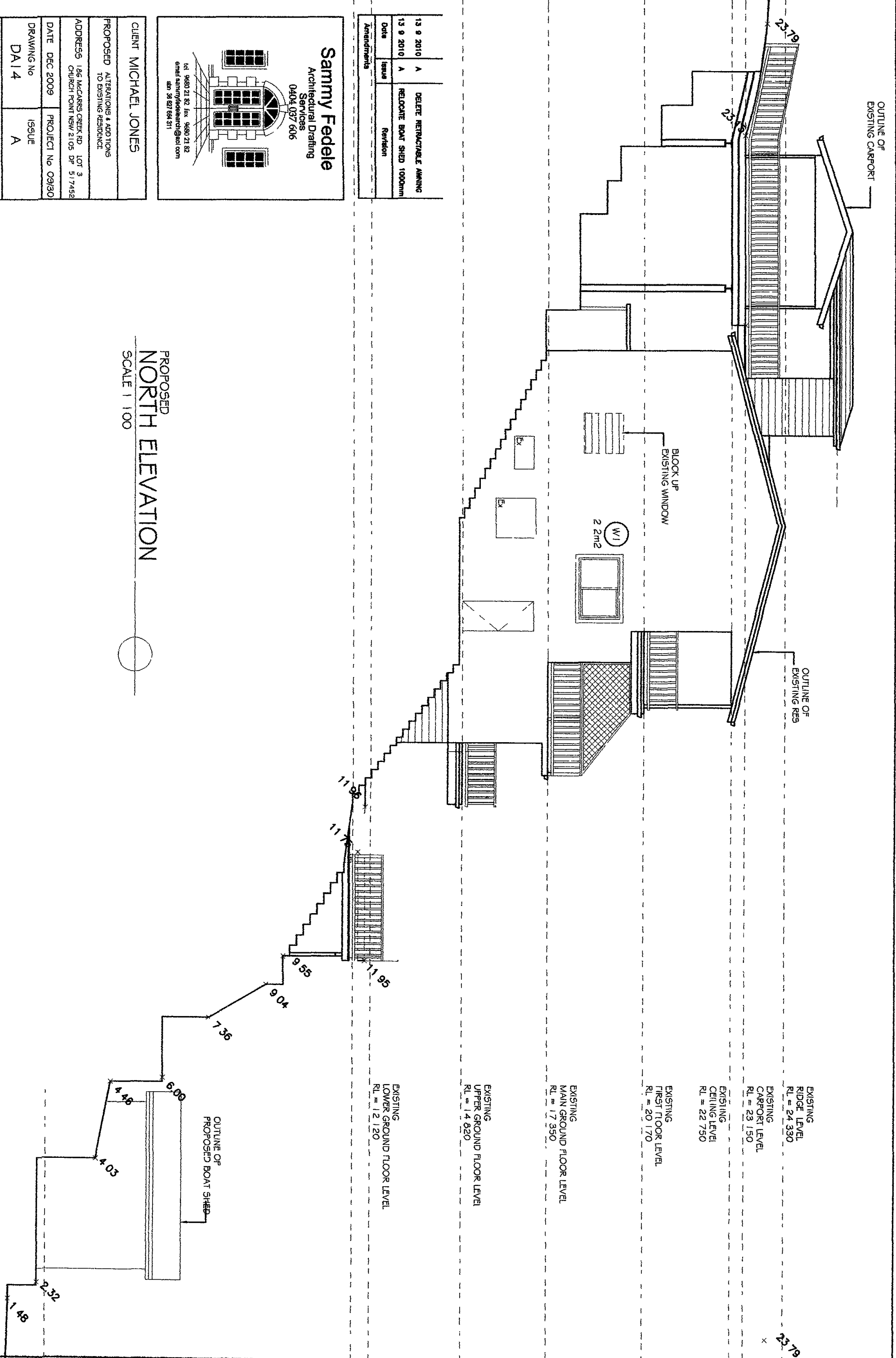
**Sammy Fedele**  
 Architectural Drafting  
 Services  
 0404 037 606



tel 9680 21 82 fax 9680 21 82  
 email sammyfedelearch@aol.com  
 abn 36 827 684 311

CLIENT	MICHAEL JONES
PROPOSED	ALTERATIONS & ADD TONS TO EXISTING RESIDENCE
ADDRESS	106 MCCARRYS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452
DATE	DEC 2009 PROJECT NO 09/30
DRAWING NO	DA14 ISSUE A
DESIGN	SAMMY FEDELE

PROPOSED  
**NORTH ELEVATION**  
 SCALE 1:100



EXISTING  
 RIDGE LEVEL  
 RL = 24.330

EXISTING  
 CARPORT LEVEL  
 RL = 23.150

EXISTING  
 CEILING LEVEL  
 RL = 22.750

EXISTING  
 FIRST FLOOR LEVEL  
 RL = 20.170

EXISTING  
 MAIN GROUND FLOOR LEVEL  
 RL = 17.350

EXISTING  
 UPPER GROUND FLOOR LEVEL  
 RL = 14.820

EXISTING  
 LOWER GROUND FLOOR LEVEL  
 RL = 12.120

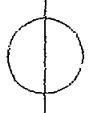
OUTLINE OF  
 PROPOSED BOAT SHED

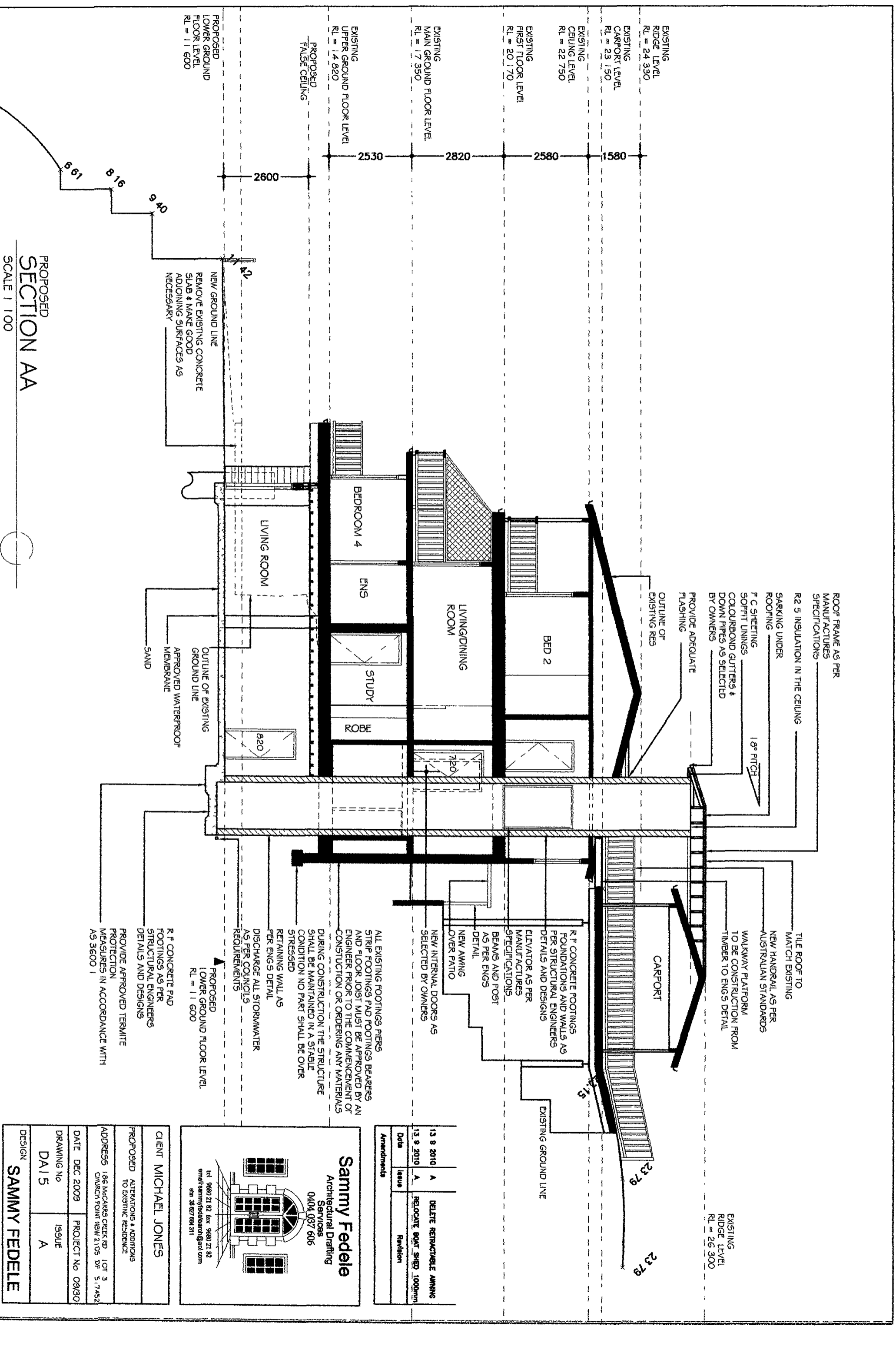
OUTLINE OF  
 EXISTING CARPORT

OUTLINE OF  
 EXISTING RES

BLOCK UP  
 EXISTING WINDOW

W1  
 2.2m2





EXISTING RIDGE LEVEL  
RL = 24.330

EXISTING CARPORT LEVEL  
RL = 23.150

EXISTING CEILING LEVEL  
RL = 22.750

EXISTING FIRST FLOOR LEVEL  
RL = 20.170

EXISTING MAIN GROUND FLOOR LEVEL  
RL = 17.350

EXISTING UPPER GROUND FLOOR LEVEL  
RL = 14.820

PROPOSED FALSE CEILING

PROPOSED LOWER GROUND FLOOR LEVEL  
RL = 11.600

2530 2820 2580 1580

2600

8.61 8.16 9.40

NEW GROUND LINE  
REMOVE EXISTING CONCRETE SLAB & MAKE GOOD ADJOINING SURFACES AS NECESSARY

LIVING ROOM

BEDROOM 4

ENS

LIVING/DINING ROOM

BED 2

STUDY

ROBE

CARPORIT

EXISTING GROUND LINE

EXISTING RIDGE LEVEL  
RL = 26.300

ROOF FRAME AS PER MANUFACTURERS SPECIFICATIONS

R2.5 INSULATION IN THE CEILING

SARKING UNDER ROOFING

F.C SHEETING SOFFIT LININGS COLOURBOND GUTTERS & DOWN PIPES AS SELECTED BY OWNERS

PROVIDE ADEQUATE FLASHING

OUTLINE OF EXISTING RES

1.8° PITCH

TILE ROOF TO MATCH EXISTING

NEW HANDRAIL AS PER AUSTRALIAN STANDARDS

WALKWAY PLATFORM TO BE CONSTRUCTION FROM TIMBER TO ENGS DETAIL

R.F CONCRETE FOOTINGS FOUNDATIONS AND WALLS AS PER STRUCTURAL ENGINEERS DETAILS AND DESIGNS

ELEVATOR AS PER MANUFACTURERS SPECIFICATIONS

BEAMS AND POST AS PER ENGS DETAIL

NEW AWNING OVER PATIO

NEW INTERNAL DOORS AS SELECTED BY OWNERS

ALL EXISTING FOOTINGS, PIERS, STRIP FOOTINGS PAD FOOTINGS BEARERS AND FLOOR JOIST MUST BE APPROVED BY AN ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR ORDERING ANY MATERIALS

DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION NO PART SHALL BE OVER STRESSED

RETAINING WALL AS PER ENGS DETAIL

DISCHARGE ALL STORMWATER AS PER COUNCILS REQUIREMENTS

PROPOSED LOWER GROUND FLOOR LEVEL  
RL = 11.600

R.F CONCRETE PAD FOOTINGS AS PER STRUCTURAL ENGINEERS DETAILS AND DESIGNS

PROVIDE APPROVED TERMITE PROTECTION MEASURES IN ACCORDANCE WITH AS 3600.1

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOMT SHED 1000mm

**Sammy Fedele**  
Architectural Drafting Services  
0404 037 606

tel 9680 21 82 fax 9680 21 82  
email sammyfedelearch@aol.com  
dnr 38 627 884 311

CLIENT MICHAEL JONES

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

ADDRESS 156 MCCARRS CREEK RD LOT 3 CHURCH POINT NSW 2105 DF 5.17452

DATE DEC 2009 PROJECT NO 09/30

DRAWING NO DA15 ISSUE A

DESIGN **SAMMY FEDELE**

PROPOSED SECTION AA  
SCALE 1:100

EXISTING  
RIDGE LEVEL  
RL = 24.330

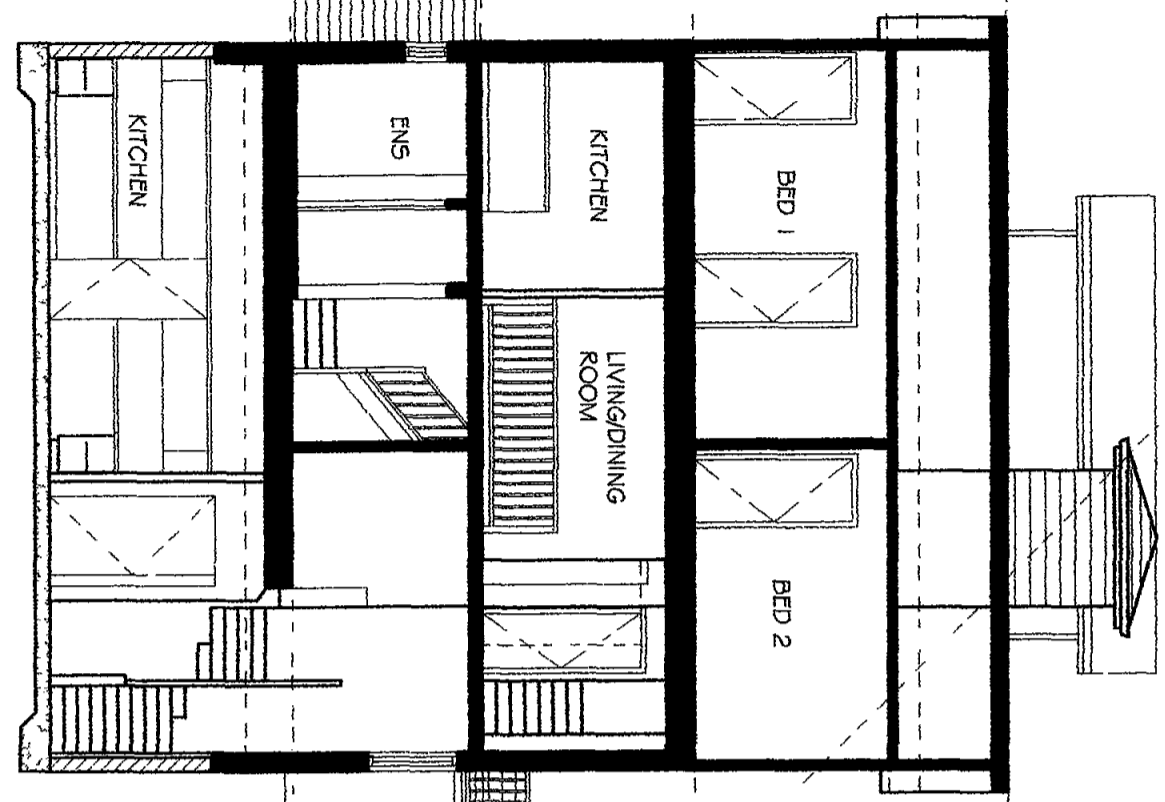
EXISTING  
CARPORT LEVEL  
RL = 23.150

EXISTING  
CEILING LEVEL  
RL = 22.750

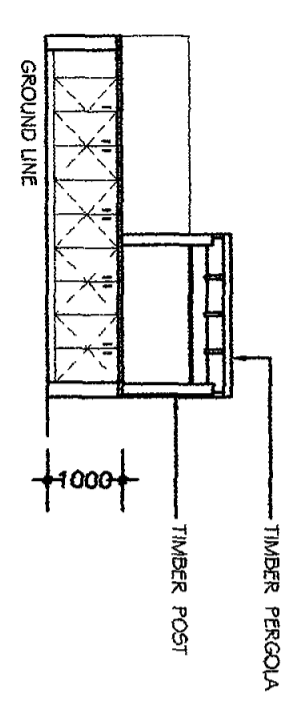
EXISTING  
FIRST FLOOR LEVEL  
RL = 20.170

EXISTING  
MAIN GROUND FLOOR LEVEL  
RL = 17.350

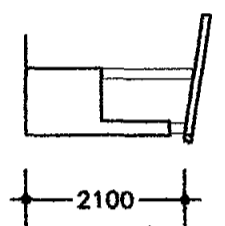
EXISTING  
UPPER GROUND FLOOR LEVEL  
RL = 14.820



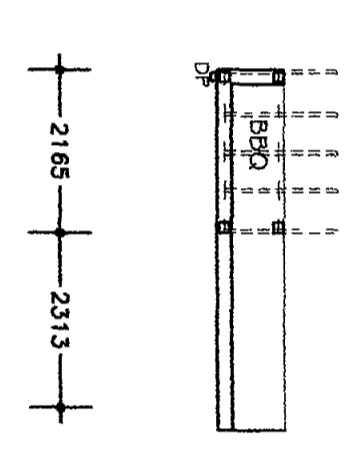
PROPOSED  
SECTION BB  
SCALE 1:100



PROPOSED  
FRONT ELEVATION  
SCALE 1:100



PROPOSED  
SIDE ELEVATION  
SCALE 1:100



PROPOSED  
PLAN OF BBQ  
SCALE 1:100

WINDOWS No	BASIX WINDOWS AND DOORS	DOORS No	BASIX WINDOWS AND DOORS
W1	W1 N 2 2 3 3 2 9 none timber or u PVC single toned (or u value 5.67 SHGC 0.49)	D1	W1 E 3 7 6 6 8 2 eave/ver and/or pergola/balcony >=900mm timber or u PVC single toned (or u value 5.67 SHGC 0.49)
W2	W2 E 1 8 6 8 2 none timber or u PVC single toned (or u value 5.67 SHGC 0.49)	D2	W12 W 7 OO eave/ver and/or pergola/balcony >=600mm timber or u PVC single toned (or u value 5.67 SHGC 0.49)
W3	W3 E 1 0 4 5 6 8 2 eave/ver and/or pergola/balcony >=450mm timber or u PVC single toned (or u value 5.67 SHGC 0.49)	D3	W13 W 6 3 OO eave/ver and/or pergola/balcony >=600mm timber or u PVC single toned (or u value 5.67 SHGC 0.49)
W4	W4 F 2 4 7 8 2 eave/ver and/or pergola/balcony >=450mm timber or u PVC single toned (or u value 5.67 SHGC 0.49)		
W5	W5 F 2 4 7 8 2 eave/ver and/or pergola/balcony >=450mm timber or u PVC single toned (or u value 5.67 SHGC 0.49)		
W6	W6 S 2 3 1 2 2 none timber or u PVC single toned (or u value 5.67 SHGC 0.49)		
W7	W7 S 2 3 1 2 2 none timber or u PVC single toned (or u value 5.67 SHGC 0.49)		
W8	W8 S 1 0 8 7 1 2 2 none timber or u PVC single toned (or u value 5.67 SHGC 0.49)		
W9	W9 S 1 0 8 7 1 2 2 none timber or u PVC single toned (or u value 5.67 SHGC 0.49)		
W10	W10 S 1 0 8 7 1 2 2 none timber or u PVC single toned (or u value 5.67 SHGC 0.49)		

**BASIX NOTES:**

- LIGHT MIN 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT COMPACT FLUORESCENT OR LIGHT EMITTING-DIODE LED LAMPS
- SHOWER HEAD = 3 STAR
- TOILETS = 3 STAR
- BATHROOM TAPS 3 STAR
- concrete slab on ground floor nil
- floor above existing dwelling or building nil
- external wall other /undecided R1 70 (including construction)
- external wall concrete block / plaster board R1 18(or R1 70 including construction)
- flat ceiling, pitched roof ceiling
- R2 50(up), roof foil sarking

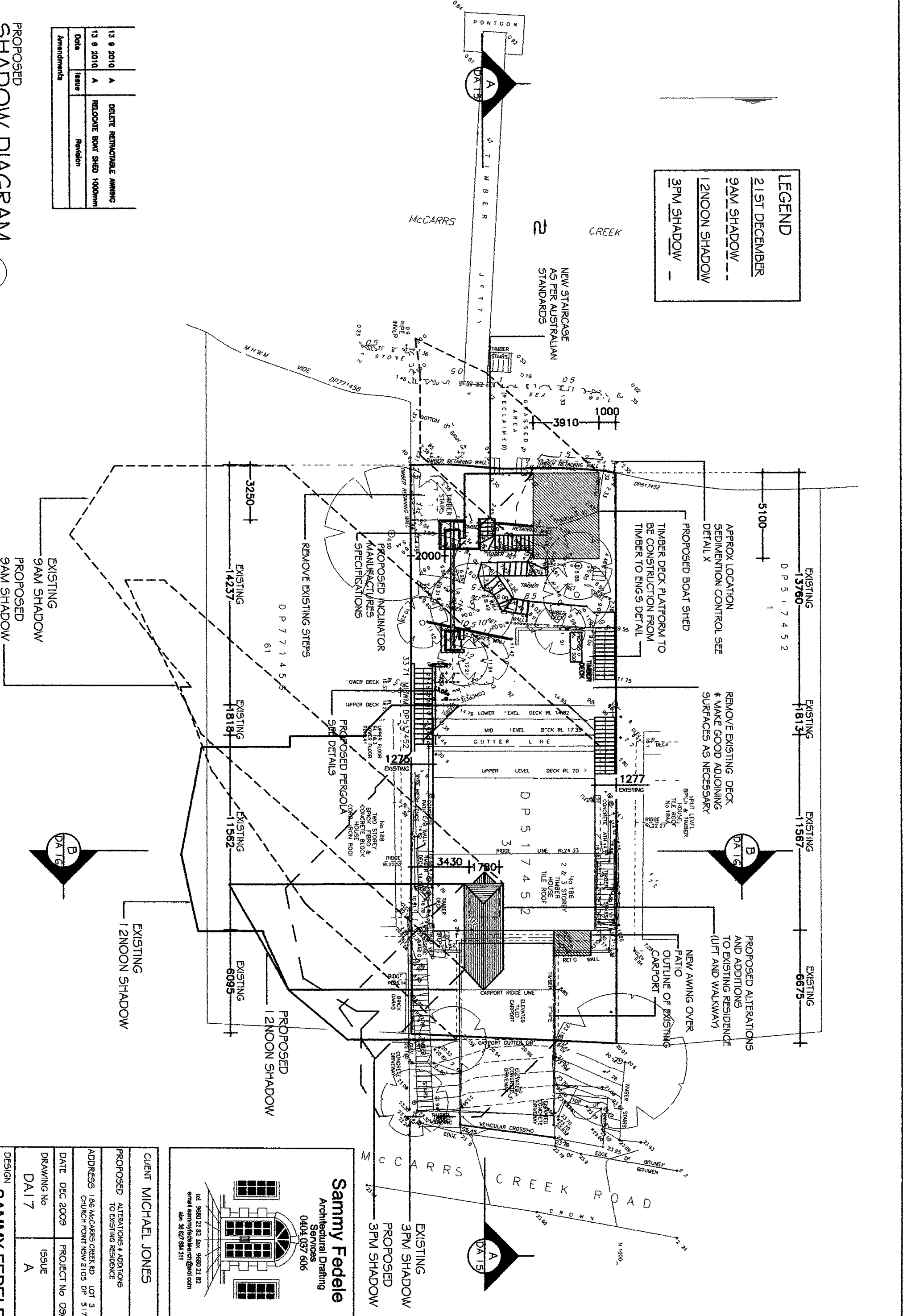
CLIENT MICHAEL JONES	
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE	
ADDRESS 106 M-CARNS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452	PROJECT No 09/30
DATE DEC 2009	ISSUE A
DRAWING No DAIG	DESIGN SAMMY FEDELE

LEGEND	
21ST DECEMBER	---
9AM SHADOW	- - - -
12NOON SHADOW	-
3PM SHADOW	—

Date	Issue	Revisions
13 9 2010	A	DELETE RETRACTABLE AWNING
13 9 2010	A	RELOCATE BOAT SHED 1000MM

PROPOSED  
SHADOW DIAGRAM

SCALE 1:200



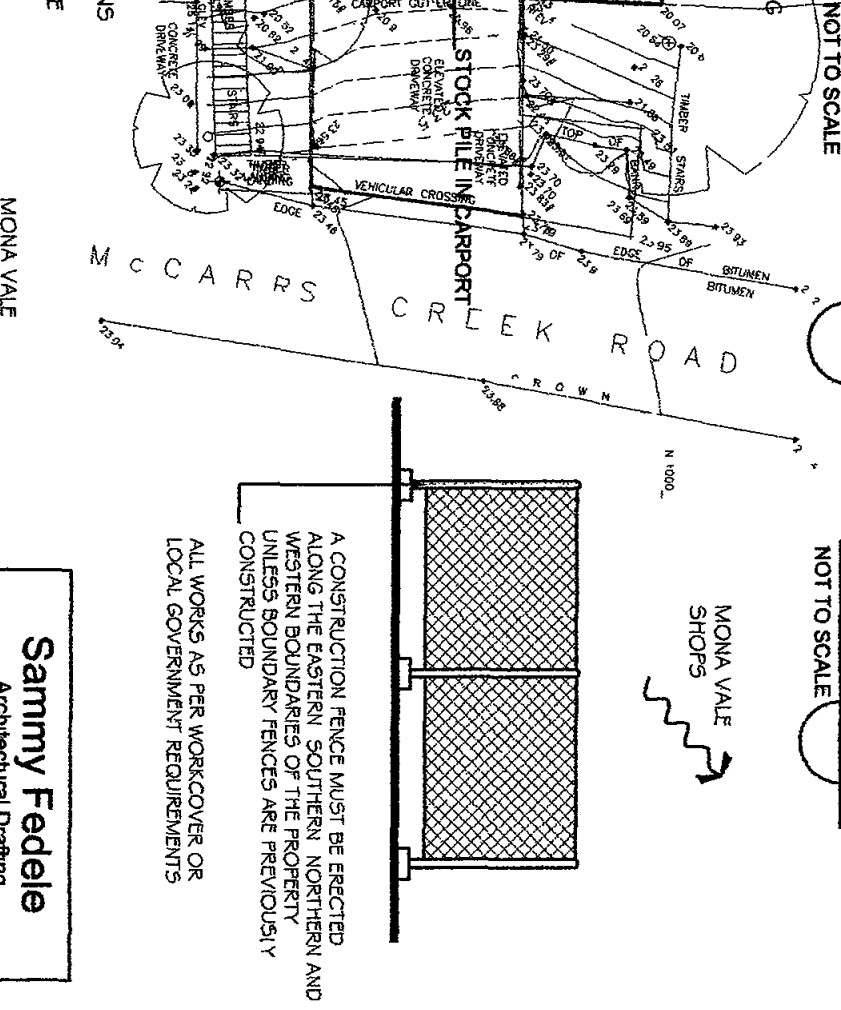
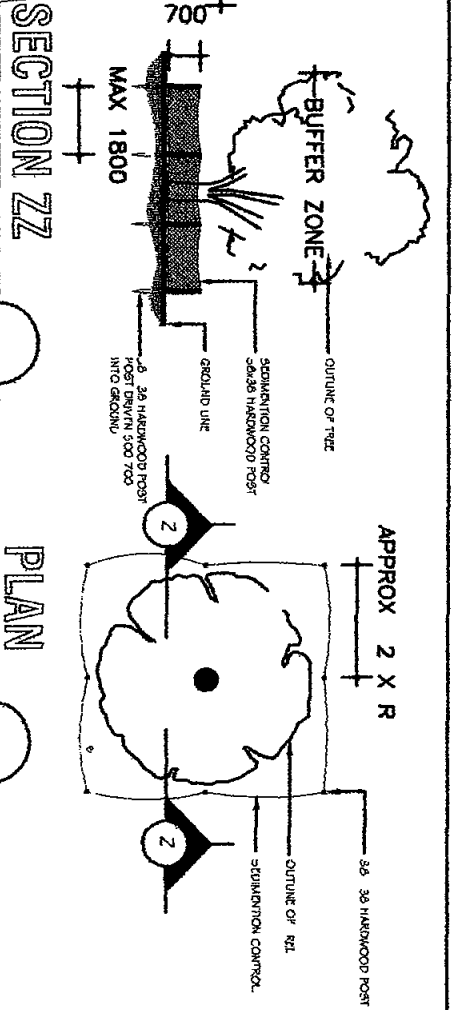
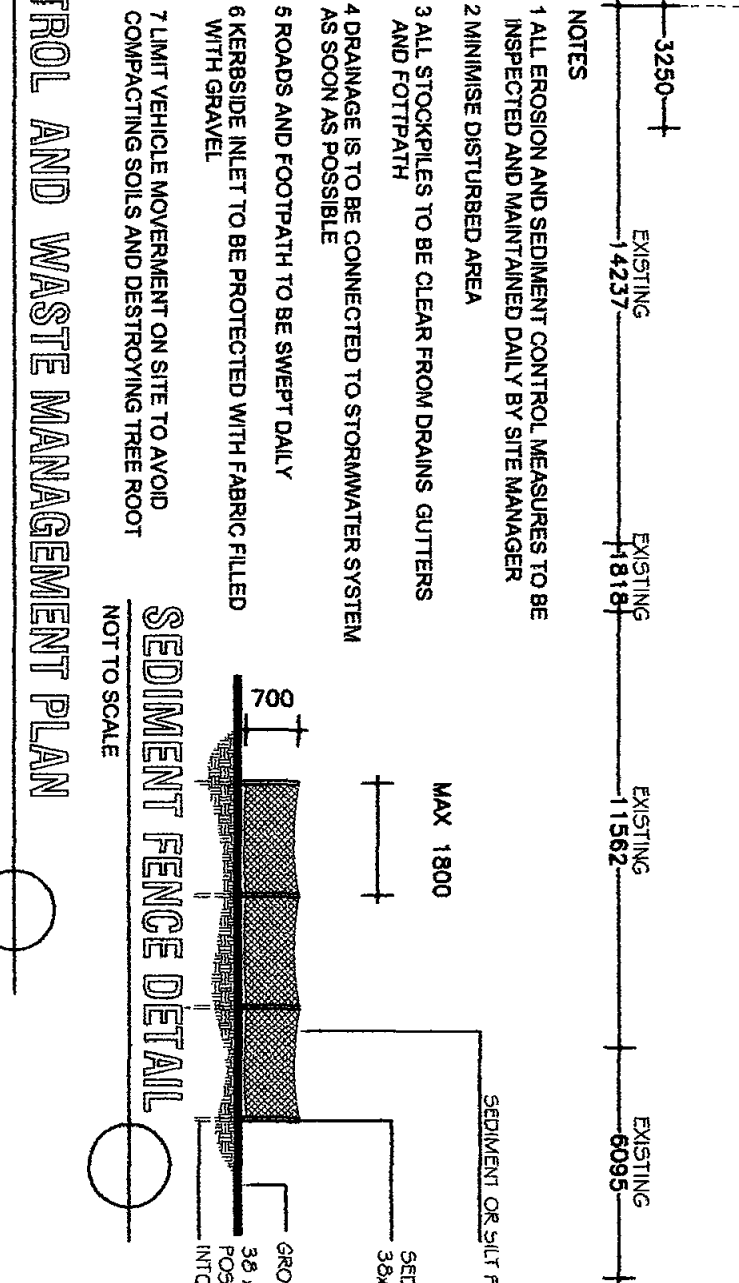
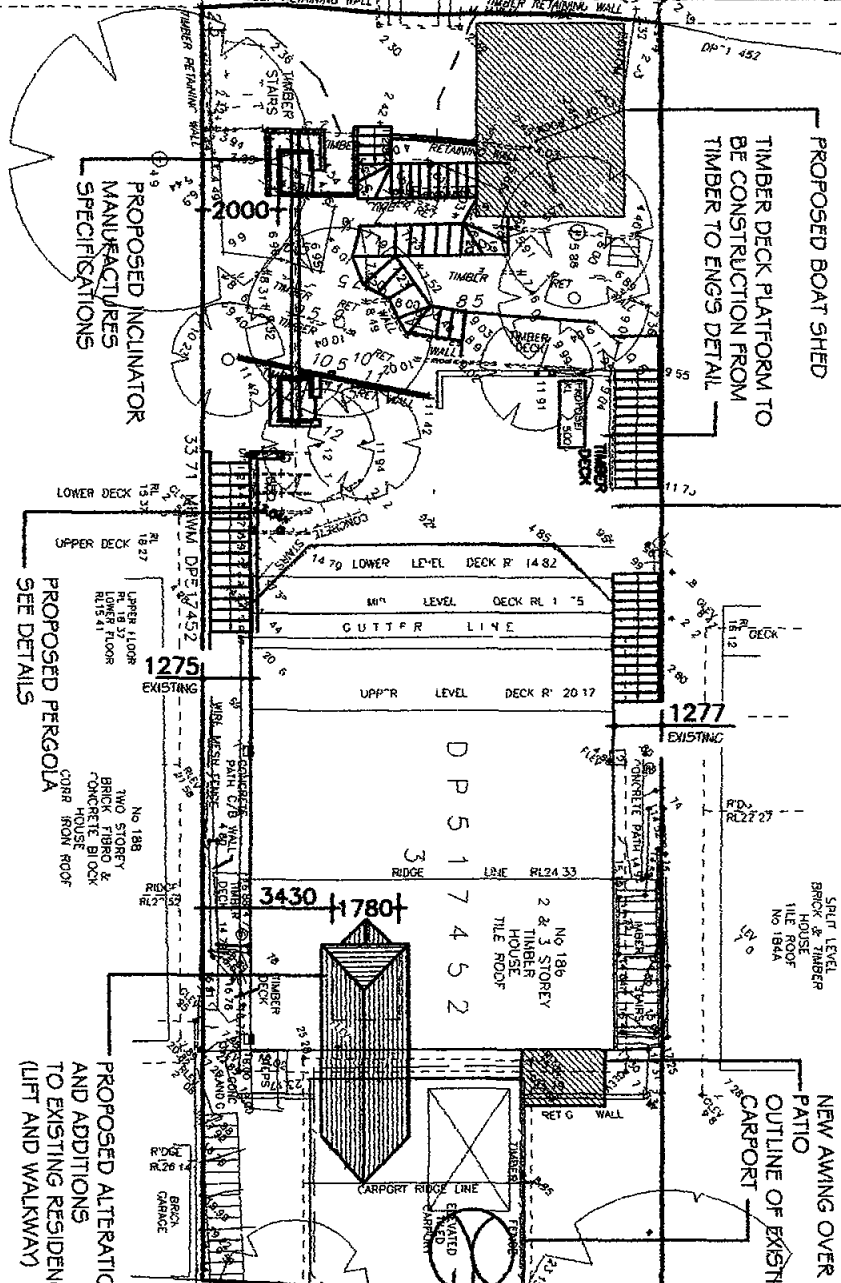
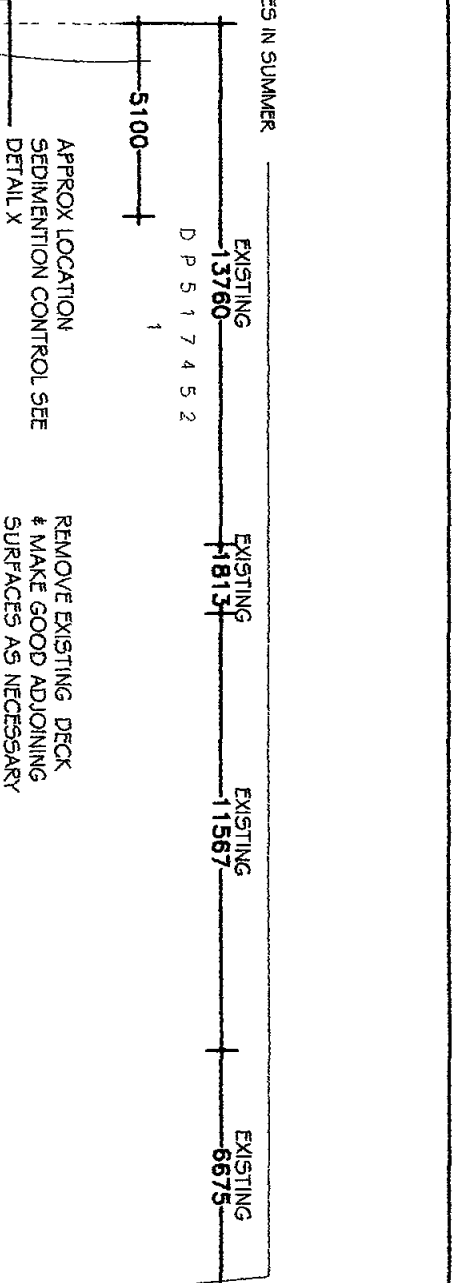
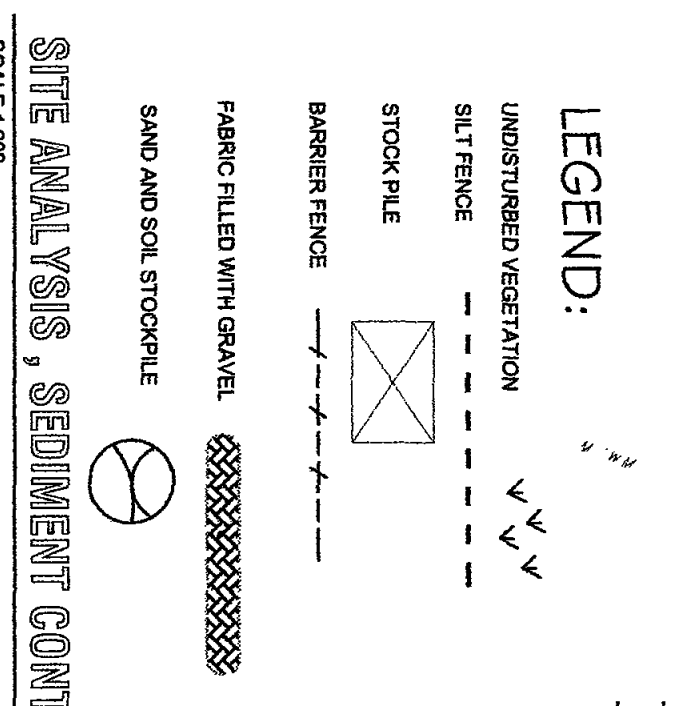
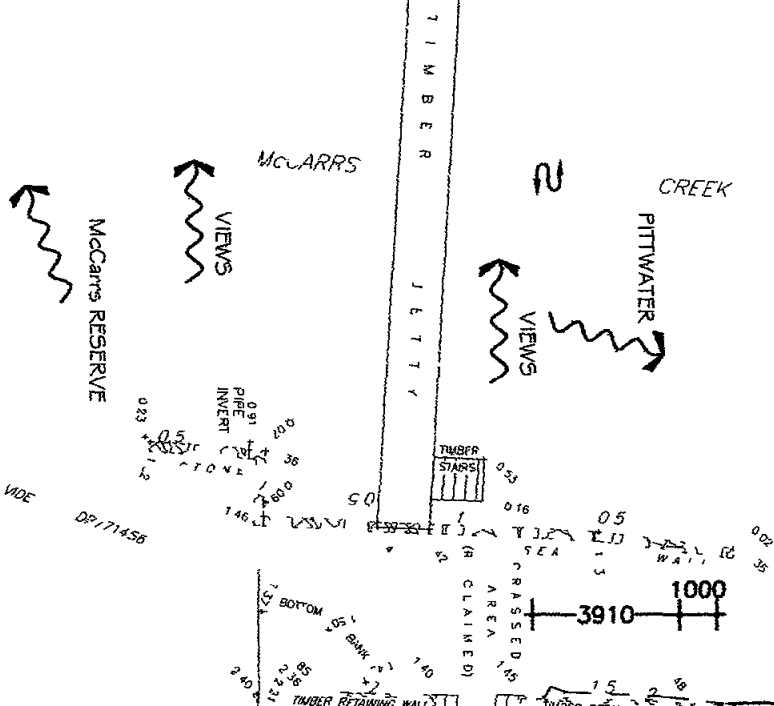
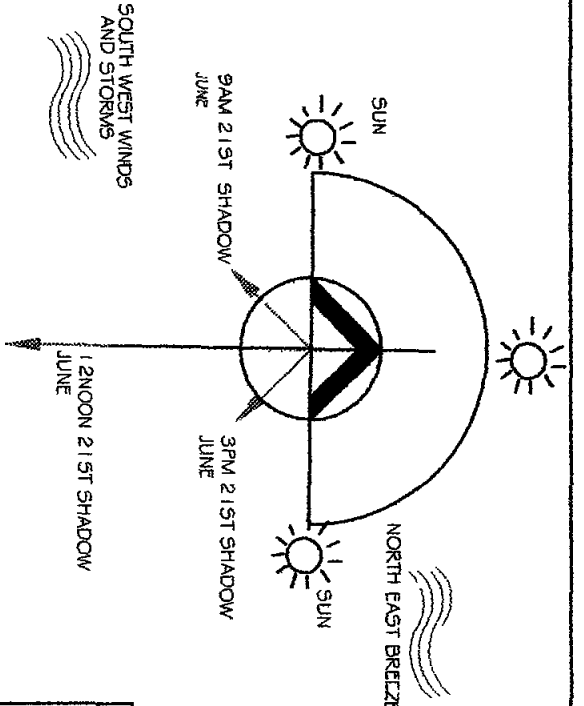
DATE B

DATE A

**Sammy Fedele**  
Architectural Drafting  
Services  
0404 037 606

tel 9680 21 82 fax 9680 21 82  
email sammyfedelea@outlook.com  
dn 38 827 894 311

CLIENT	MICHAEL JONES
PROPOSED	ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE
ADDRESS	186 MCCARRS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452
DATE	DEC 2009
PROJECT NO	09/30
DRAWING NO	DA17
ISSUE	A
DESIGN	SAMMY FEDELE



NOT TO SCALE

MONA VALE PRIMARY SCHOOL

ALL WORKS AS PER WORKCOVER OR LOCAL GOVERNMENT REQUIREMENTS

**Sammy Fedele**  
Architectural Drafting Services  
0404 037 606

tel 9680 21 82 fax 9680 21 82  
email sammy.fedele@ad.com  
dn 38 827 664 511

CLIENT: MICHAEL JONES

PROPOSED: ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

ADDRESS: 186 McCARRS CREEK RD LOT 3 CHURCH POINT NSW 2105 DP 517452

DATE: DEC 2009 PROJECT NO: 09/90

DRAWING NO: DA18 ISSUE: A

DESIGN: SAMMY FEDELE

Date	Issue	Revision
13 9 2010	A	DELETE RETRACTABLE AWING
13 9 2010	A	RELOCATE BOAT SHED 1000mm

