

1 September 2009

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam

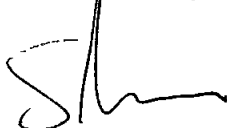
**Development Application No N0035/09
6 Grandview Drive, Newport**

For Council's information, please find enclosed Construction Certificate No 2009/3356 issued for a driveway, carport & access stairs at the above address, accompanied by

- Copy Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Builder's Home Warranty Insurance
- Cheque for \$30 00 being the prescribed fee to receive the above certificate

NB Please forward receipt for the above fee to Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660

Yours faithfully



**Stephen Pinn
Insight Building Certifiers Pty Ltd**

PRVC - \$30 - 2909 R-266100

Construction Certificate
Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

Certificate No 2009/3356

Council	Pittwater
Determination date of issue	Approved 1 September 2009
Subject land Address Lot No, DP No	6 Grandview Drive Newport Lot 98 DP 16029
Applicant Name Address Contact No	Mark John Halling PO Box 188, Mona Vale NSW 1660 -
Owner Name Address Contact No	Mark John Halling 18 Old Samuel Street Mona Vale NSW 2103 -
Description of Development Type of Work	Driveway Carport & Access Stairs
Builder or Owner/Builder Name Contractor Licence No/Permit	Mark Halling O/B Permit 367550P
Value of Work Building	\$39,000
Attachments	
<ul style="list-style-type: none">• Copy of completed Construction Certificate Application Form• Pittwater Council receipt no 263389 for payment of Long Service Levy• Pittwater Council issued Vehicular Access Levels & Details dated 27 May 2009• Pittwater Council issued "Section 139" Consent dated 29 May 2009	

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Site Plan, Architectural Plans & Construction Specifications reference no 0059/09 drawing no's DA-01 DA-02 DA-03 DA-04 DA-05, DA-06 DA-07 & DA-08 & DA-13 prepared by Arclab dated 1 Jan 09
- Structural Engineers Plans & Details reference no 25990 Drawing no's S1A & S2A dated 18 August 2009 & S3 dated 3 June 2009 all prepared by Jack Hodgson Consultants Pty Ltd (including Driveway Design Certification)
- Sydney Water approval dated 26 June 2009
- Geotechnical Risk Management Policy Form 2' endorsed & completed
- Landscape Plan & Details reference no 0059/09 Drawing no DA-14 prepared by Arclab dated 30 January 2009
- Stormwater Management Plan reference no 25990 Drawing no H1 prepared by Jack Hodgson Consultants Pty Ltd dated 28 May 2009
- External Finishes Schedule Ref AA dated September 09 prepared for Mark Halling

Certificate


I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

Signed

Date of endorsement
Certificate No


1 - SEP 2009
2009/3356

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Stephen Pinn
BPB0326
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

NOO35/09
22 April 2009

BCA Classification

10a & 10b

26 JUN 2009

Construction Certificate

Modified Construction Certificate

BY: _____

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☒ Mrs ☐ Ms ☐ Dr ☐ Other ☐

Given Names (or ACN)

Family Name (or Company)

MARK JOHN

HALLING

Postal Address (we will post all mail to this address)

PO BOX 188 MONA VALE

Post Code 1660

Daytime telephone

Alternate no.

Mobile no.

99971930

0416 238 238

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorised director and common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner. If signed by the Chairman or Secretary of the Owners Corporation or the appointed Managing Agent.

Owner(s)

MARK JOHN HALLING

Address

18 OLD SAMUEL ST MONA VALE 2103

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

Mark John Halling

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

Street name

6

GRANDVIEW DRIVE

Suburb

NEWPORT

Post code

2106

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

DP no.

98

16029



4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

Parking platform + carport + stairs

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work

\$ 39 000

6. Development Consent

Council Consent no.

DA N0035/09

Date of Determination

22/4/09.

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification

10a. & 10b.

8. Builder's details

If known, to be completed in the case of residential building work

Name

Licence no.

Owner/builder permit no.

367550P

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that the above Development Consent is valid and that no building works associated with this application have commenced. To the best of knowledge, all the information in this application and checklist is true and correct.

Signature

Date

M. Kelly

10/8/09

SUBMISSION REQUIREMENTS

A. GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☒ No ☐

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☒ No ☐

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.

B. ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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In the case of an application for a Construction Certificate for building work:

Three (3) copies of detailed architectural plans and specifications

The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, and full construction details
- indicate the provision for fire safety and fire resistance (if any)

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.

3 copies of a specification:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give particular

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.

If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?

Except in the case of an application for, or in respect of domestic building work:

- a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
- if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
- This list must describe the extent, capability and basis of design of each of the measures concerned.

Copy of BASIX Certificate & Schedule of BASIX Commitments.

Copy of signed BASIX Compliance Statement.

All other documentation to satisfy conditions of Development Consent.

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph: 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be address to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)?	Gross floor area of building (m ²) as proposed: <i>CARPORT ONLY.</i>
What are the current uses of all or parts of the building(s)/land? <i>Residential.</i>	Location: Use:
Does the site contain a dual occupancy? <i>NO.</i>	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land? <i>Residential.</i>	Number of pre-existing dwellings: <i>one.</i>
Number of dwellings to be demolished: <i>n/a.</i>	How many dwellings proposed? <i>n/a</i>
How many storeys will the building consist of? <i>One.</i>	Will the new building be attached to the existing building? <i>NO.</i>
	Will the new building be attached to any new building? <i>NO.</i>

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics:

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	<input type="checkbox"/>	Concrete	<input checked="" type="checkbox"/>	Aluminium	<input type="checkbox"/>	Timber	<input type="checkbox"/>
Full brick	<input type="checkbox"/>	Timber	<input type="checkbox"/>	Concrete		Steel	<input checked="" type="checkbox"/>
Single brick	<input type="checkbox"/>	Other	<input type="checkbox"/>	Concrete tile	<input type="checkbox"/>	Other	<input type="checkbox"/>
Concrete block	<input type="checkbox"/>	Unknown	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Concrete/masonry	<input type="checkbox"/>			Fibreglass	<input type="checkbox"/>		
Concrete	<input checked="" type="checkbox"/>			Masonry/terracotta shingle	<input type="checkbox"/>		
Steel	<input type="checkbox"/>			Tiles	<input type="checkbox"/>		
Fibrous cement	<input type="checkbox"/>			Slate	<input type="checkbox"/>		
Hardiplank	<input type="checkbox"/>			Steel	<input checked="" type="checkbox"/>		
Timber/weatherboard	<input type="checkbox"/>			Terracotta tile	<input type="checkbox"/>		
Cladding-aluminium	<input type="checkbox"/>			Other	<input type="checkbox"/>		
Curtain glass	<input type="checkbox"/>			Unknown	<input type="checkbox"/>		
Other	<input type="checkbox"/>						
Unknown	<input type="checkbox"/>						

Pittwater Council

OFFICIAL RECEIPT

10/08/2009 Receipt No 263389

TO MARK JOHN HALLING

18 OLD SAMUEL ST
MONA VALE

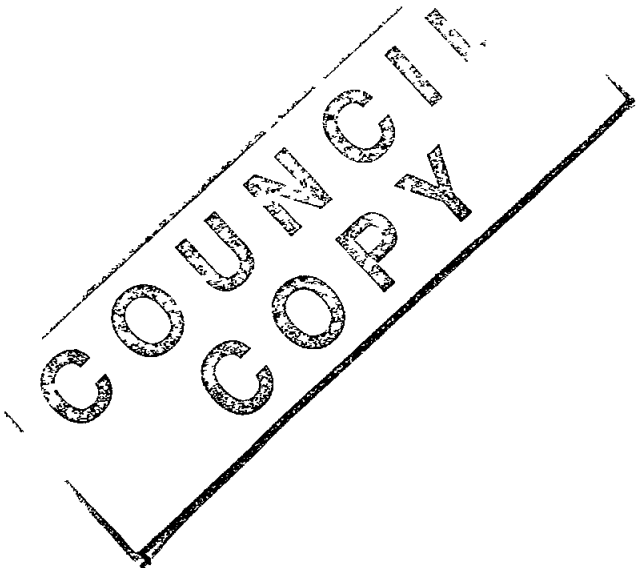
Applic	Reference	Amount
GL Recei	QLSL Builders 1 x N0035/09	\$136 50

Total \$136 50

Amounts Tendered

Cash	\$150 00
Cheque	\$0 00
Db/Cr Card	\$0 00
Money Order	\$0 00
Agency Rec	\$0 00
Total	\$150 00
Rounding	\$0 00
Change	\$13 50
Nett	\$136 50

Printed 10/08/2009 9 22 01 AM
Cashier KWay





PITTWATER COUNCIL

Information for Access Driveway Profiles

1 July 2008 – 30 June 2009

To Arclab
Postal Address 64 Bynya Road
Palm Beach NSW 2108

Date 27th May 2009

Receipt No 289138
Amount \$73 00

ACCESS DRIVEWAY PROFILE AT 6 Grandview Drive, Newport

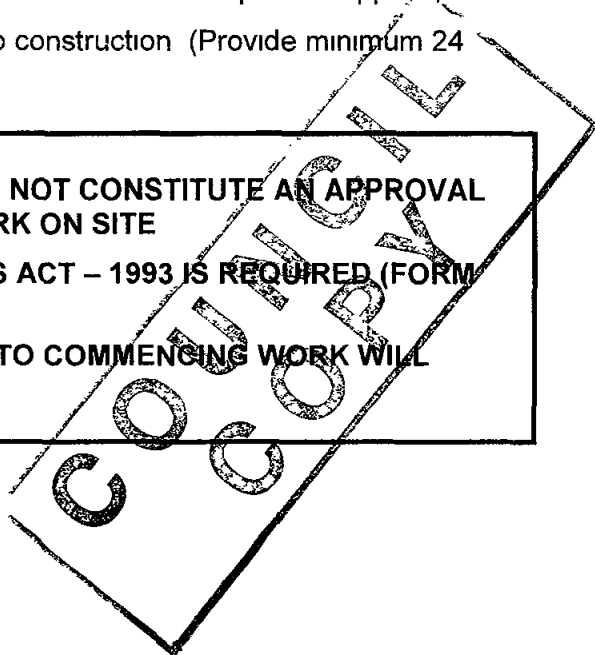
- The proposed vehicular access driveway profile shall be as per the enclosed plan EL
- Type of Construction** Domestic
 - For Residential single & dual occupancy** - 20MPa Concrete, 150mm thick
 - For Other** - 20MPa Concrete 180mm thick with F72 mesh
- Slab Construction** Vehicular access slab 6.8m long, 6.0m wide at gutter crossing to 6.0m wide at the boundary

NB Replace redundant layback with kerb & gutter

- Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage Refer to relevant attached profile
- All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised Contractors only,
- Quotations for the work specified above should be obtained from any of the contractors on Council's list and should be for the whole of the work stated,
- Construction of vehicular access will be strictly in accordance with the profile supplied, and
- A formwork inspection by Council is required prior to construction (Provide minimum 24 hours notice)

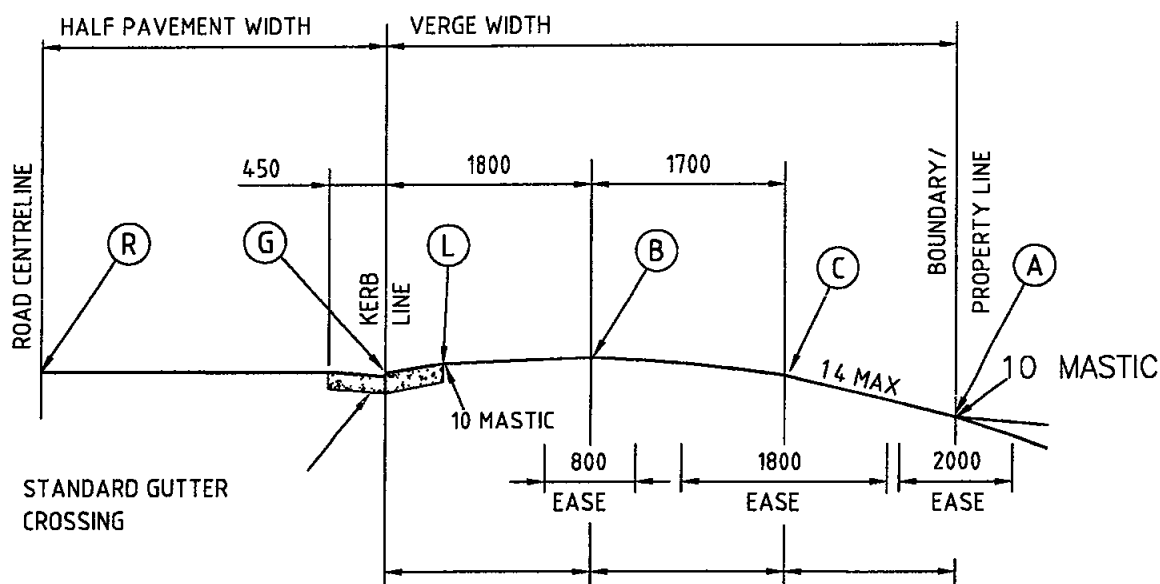
- NOTE THAT THIS INFORMATION SHEET DOES NOT CONSTITUTE AN APPROVAL TO COMMENCE OR PROCEED WITH ANY WORK ON SITE
- A SECTION 139 CONSENT UNDER THE ROADS ACT – 1993 IS REQUIRED (FORM UI203)
- FAILURE TO OBTAIN SUCH CONSENT PRIOR TO COMMENCING WORK WILL INCUR A PENALTY

Sigi Melderis
ASSETS / RESTORATIONS OFFICER
Telephone 9970 1348



EXTRA LOW (EL)

FOR USE ONLY FOR SINGLE DWELLINGS
OR DUAL OCCUPANCIES



(MAX BATTER FROM EDGE OF DRIVEWAY TO FINAL G.L.)
(WHERE THERE IS NO CONSTRUCTED FOOTPATH)
(1 6) (1 6 → 1 2) (1 2)

POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	MAX 100 ABOVE G
B	1800 FROM KERB LINE	135 ABOVE G
C	3500 FROM KERB LINE	15 ABOVE 'G
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

NOTES

- To be read in conjunction with Pittwater 21 Development Controls



PITTWATER COUNCIL

Standard Driveway Profile

EXTRA LOW

PLAN No	PWC-DW07
REV No	B
DATE	17/08/07

0 \Urban\Drawings - Current\Standards Council



PITTWATER COUNCIL

Form No UI 203

Consent by Road Authority for Work in Road Reserve - DRIVEWAY
Section 139 – Roads Act 1993
1 July 2008 - 30 June 2009

PLEASE PRINT

Applicant aurclab (ANDREW CROFT)

Postal Address 64 BINYA ROAD, PALM BEACH Postcode 2108

Phone (W) _____ (M) 0416 886 587

Property Address 6 GARDENVIEW DRIVE, NOWPORT

Subject to the payment of the appropriate fee the Applicant is hereby permitted to construct the driveway (and/or associated work) as detailed below in strict accordance with the **CONDITIONS** overleaf

I/We the undersigned agree to abide by the said conditions

Applicant's Signature [Signature] Date 19 05 09

FEES (includes GST)

Consent for access driveway construction only (includes 2 site inspections) per allotment for RESIDENTIAL SINGLE/ DUAL OCCUPANCY	\$146 00	<input checked="" type="checkbox"/>
Consent for access driveway construction only (includes 2 site inspections) per allotment for RESIDENTIAL SINGLE/ DUAL OCCUPANCY which <i>includes any of major retaining structures, stairs or special landscape treatment</i>	\$366 00	
Consent for access driveway construction only (includes 2 site inspections) per allotment for OTHER THAN RESIDENTIAL SINGLE/DUAL OCCUPANCY	\$171 00	
Consent for access driveway construction only (includes 2 site inspections) per allotment for OTHER THAN RESIDENTIAL SINGLE/DUAL OCCUPANCY which <i>includes any of retaining structures, stairs or special landscape treatment</i>	\$487 00	
Fee per additional site inspection as required	\$133 00	

Office Use Only	
Inspected by _____	Date _____
Approved _____	
Not approved _____	
Comment _____	

CODE ESTR 1 7 08 30 6 09Late Fee \$618 when work commenced prior to issue of Consent Form No. UI 203	
FEE PAID \$ <u>146.00</u>	RECEIPT NO <u>259138</u> ISSUED BY <u>[Signature]</u> DATE <u>19/05/09</u>

NOTE TO CUSTOMER SERVICE PHOTOCOPY APPLICATION FORM AND STAPLE WITH RECEIPT FOR CUSTOMER'S RECORD

COUNCIL COPY

SYDNEY WATER
APPROVED

- 1 Position of structure in relation to Sydney Water's assets is satisfactory
- 2 Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainlayer
- 3 It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer
- 4 Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice
- 5 Gullies, Inspection Shafts and Boundary Traps shall not be placed under any roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water

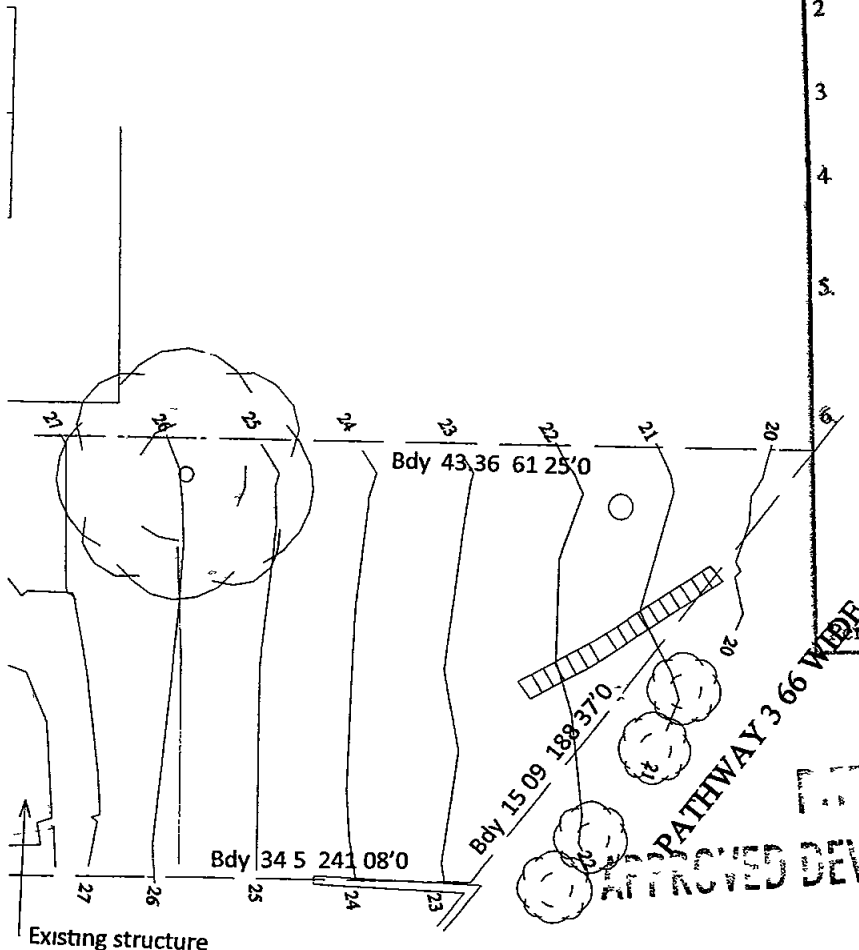
Property No

3420825

Reece, Mona Vale

Quick Check Agent on behalf of
SYDNEY WATER

Reece 26,609



- 1 Proposed suspended driveway
 - 2 Proposed carport
 - 3 Proposed open timber shed
- note For setbacks and distance to boundaries refer to Floor and Roof plans

Site Area 470.8m²
Existing hard surface 104m² or 22%
Area of Proposal 61m²

Proposed Site Coverage 165m² or 35%

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

COPY

ab.com.au
AND MAY NOT BE
DRAWN

project address
HALLING RESIDENCE
6 GRANDVIEW DRIVE
NEWPORT NSW
2106

client
MARK HALLING
DEVELOPMENT APPLICATION

DWG No DA-01
DATE 01/01/09
JOB No 0059/09
DRAWN arc
SHEET A3

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 2 – To be submitted with detailed design for construction certificate**

Development Application for _____ Name of Applicant
Address of site <u>6 GRANDVIEW DRIVE, NEWPORT</u>

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I J Hodgson on behalf of Jack Hodgson Consultants Pty Ltd
(insert name) (trading or company name)

on this the 2ND JUNE 2009
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details

Report Title RISK ANALYSIS & MANAGEMENT FOR PROPOSED CARPORT AT 6 GRANDVIEW DRIVE NEWPORT VT 25990
Report Date 18TH DECEMBER 2008
Author JACK HODGSON

Structural Documents list

DRAWING NO S 25990 S1 S2 & S3

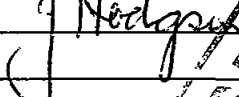
I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

JACK HODGSON
(name)

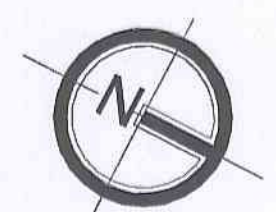
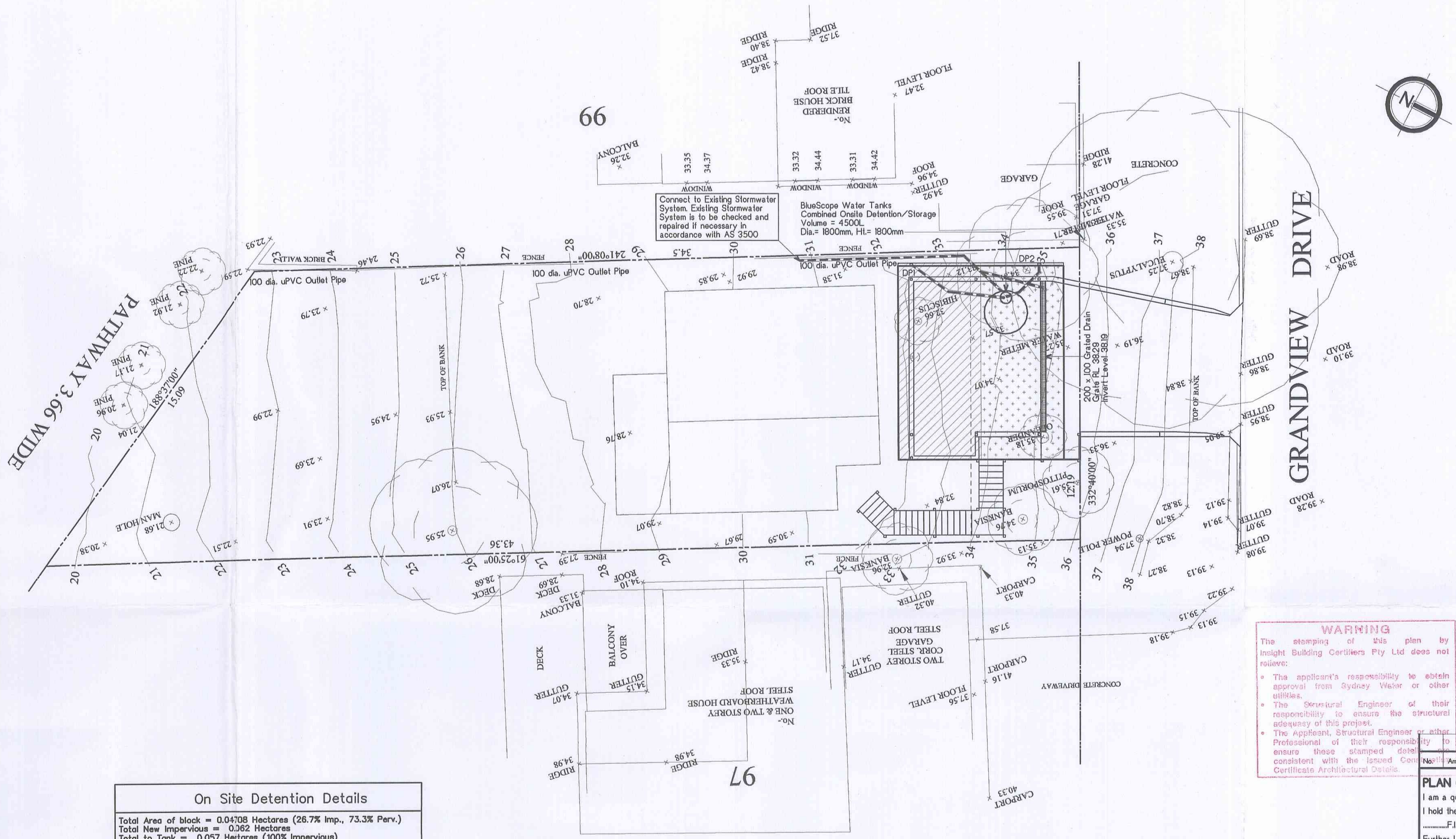

(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 18TH DECEMBER 2008 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature	<u></u>
Name	<u>J HODGSON</u>
Chartered Professional Status	<u>MEMBER FIEAust</u>
Membership No	<u>149 788</u>
Company	<u>Jack Hodgson Consultants Pty Ltd</u>





WARNING
The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:
• The applicant's responsibility to obtain approval from Sydney Water or other utilities.
• The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
• The Applicant, Structural Engineer or other Professional of their responsibility to ensure those stamped details are consistent with the issued Certificate Architectural Details.

On Site Detention Details
Total Area of block = 0.04708 Hectares (26.7% Imp., 73.3% Perv.)
Total New Impervious = 0.062 Hectares
Total to Tank = 0.057 Hectares (100% Impervious)
Total Uncontrolled Area = 0.04138 Hectares (29.2% Imp., 73.3% Perv.)
Orifice Diameter = 50mm
Volume of On Site Detention System = 1.10m³
100yr PRE = 25 l/s + POST UNCON. 22 l/s + POST 3 l/s
5yr PRE = 13 l/s + POST UNCON. 12 l/s + POST 2 l/s

This plan complies with Pittwater 21 DCP

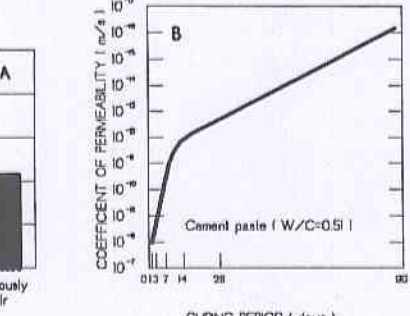
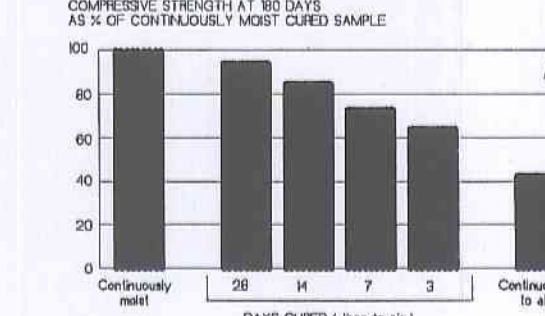
Maximum Plan Area is 32.0m² per downpipe

Indication Of Area Draining To Downpipes By Hatching	
DP1 - 28.5m ²	
DP2 - 28.5m ²	

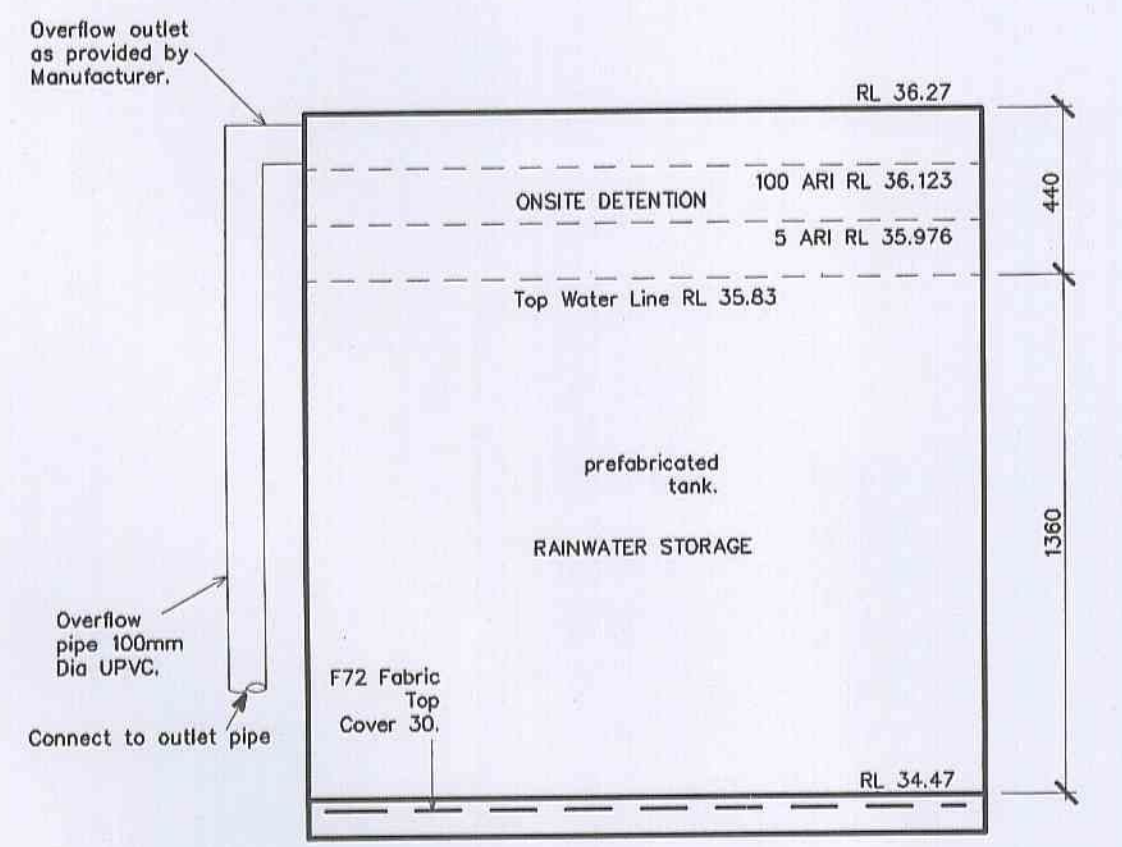
Note:- Areas are unfactored plan areas

Drainage Pipe Notes.
Slope of pipes to be a minimum of 1:100 i.e. 1%.
All levels and dimensions to be checked and confirmed on site.
All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998)
All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.
Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
The Eaves Gutter connected to all DP's to be a minimum of a Stramit M Pattern Gutter with a cross sectional area of 6365 sq. mm (as taken from Stramit Gutters), or similar. Downpipes attached to the soves gutter to have a minimum diameter of 100mm or 100 x 75 rect. or similar.

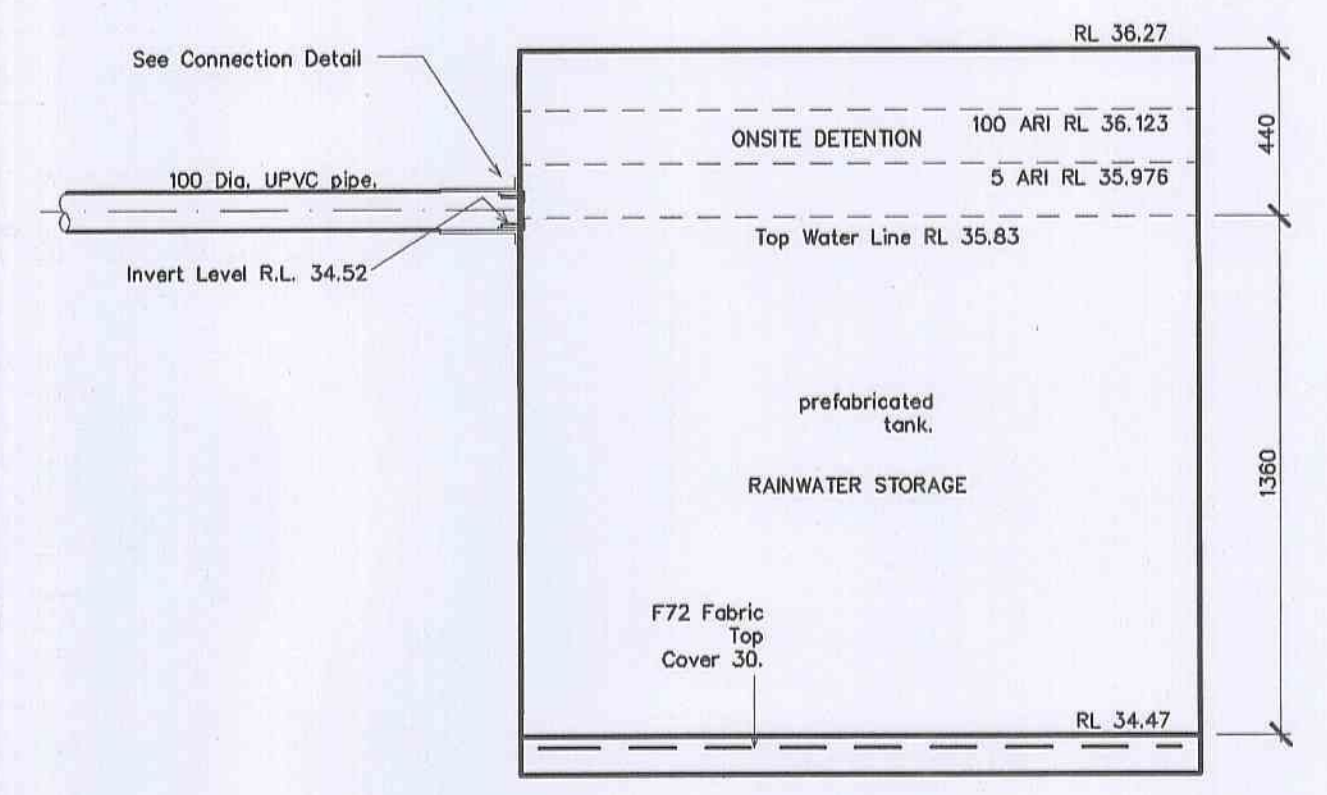
IMPORTANCE OF CURING CONCRETE



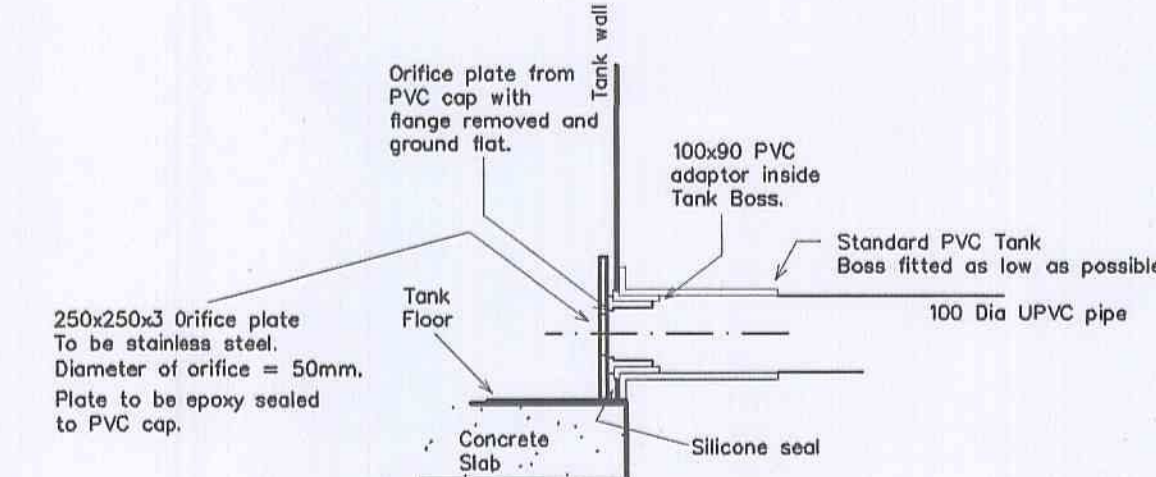
Effect of curing duration on: (A) compressive strength and (B) concrete permeability
Acknowledgement: Diagram is based on fig 12 of Guide to Concrete Repair & Protection (SAA/BS18008)



TYPICAL SECTION THROUGH OVERFLOW PIPE
SCALE 1:20



TYPICAL SECTION THROUGH OUTLET PIPE
SCALE 1:20

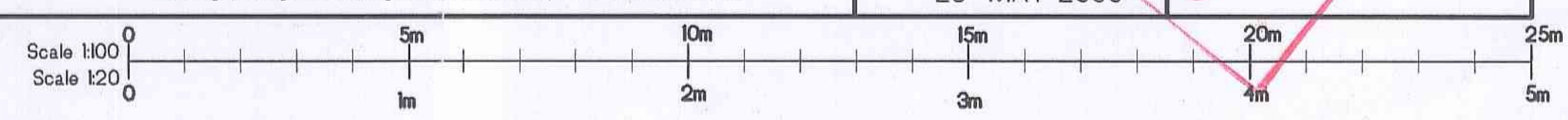


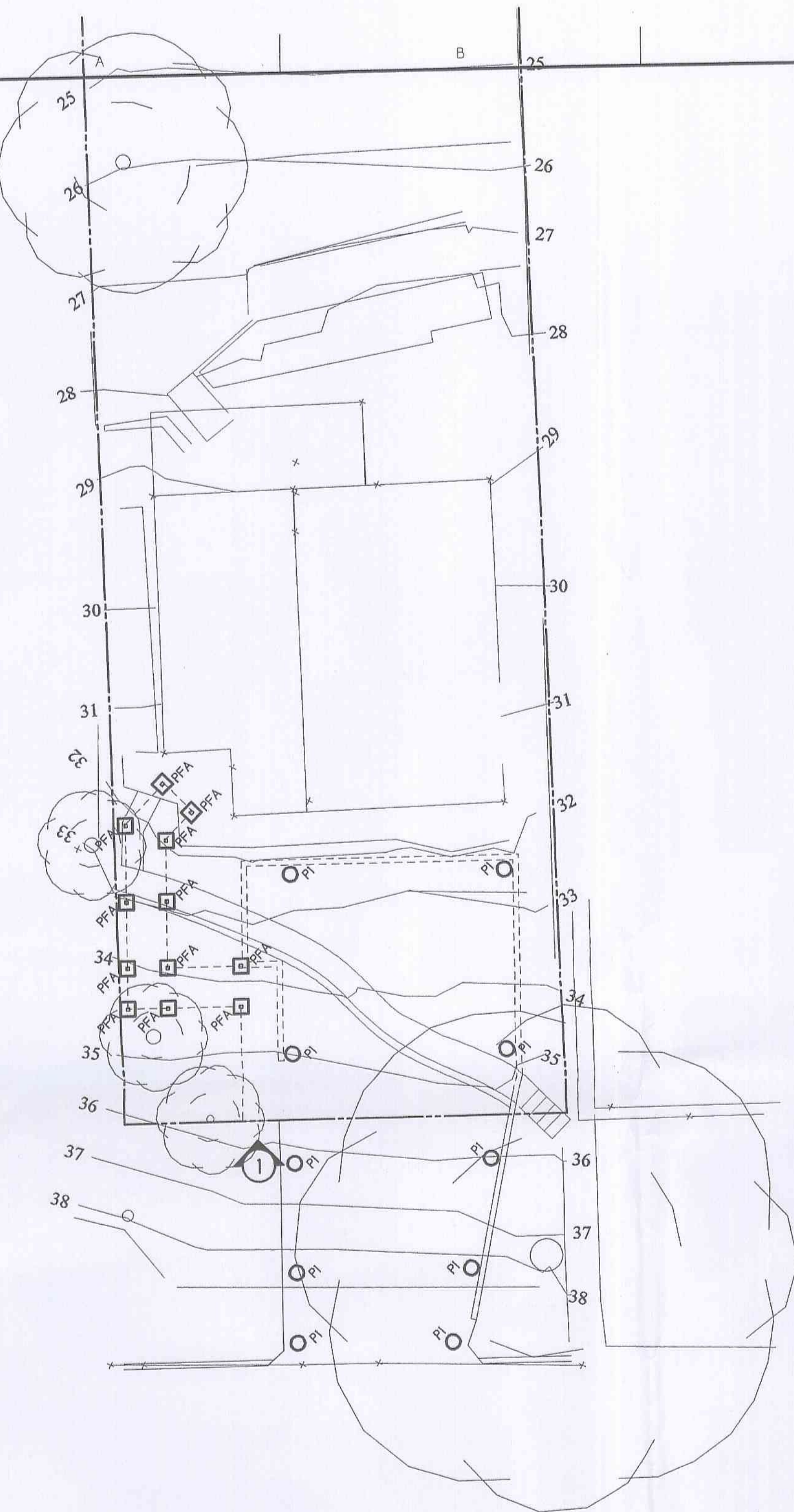
ORIFICE - TANK CONNECTION DETAIL
Scale 1:10

PLAN OR DOCUMENT CERTIFICATION
I am a qualified.....CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER.....
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....StructCivilNo.H9788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, AS.1170, AS.1170.1, AS.1170.2, AS.1684, AS.2870.1, AS.3500, AS.3600, AS.3700, AS.4100 & AS.163
Jack D. Hodgson 25/5/09
Name Date Signature

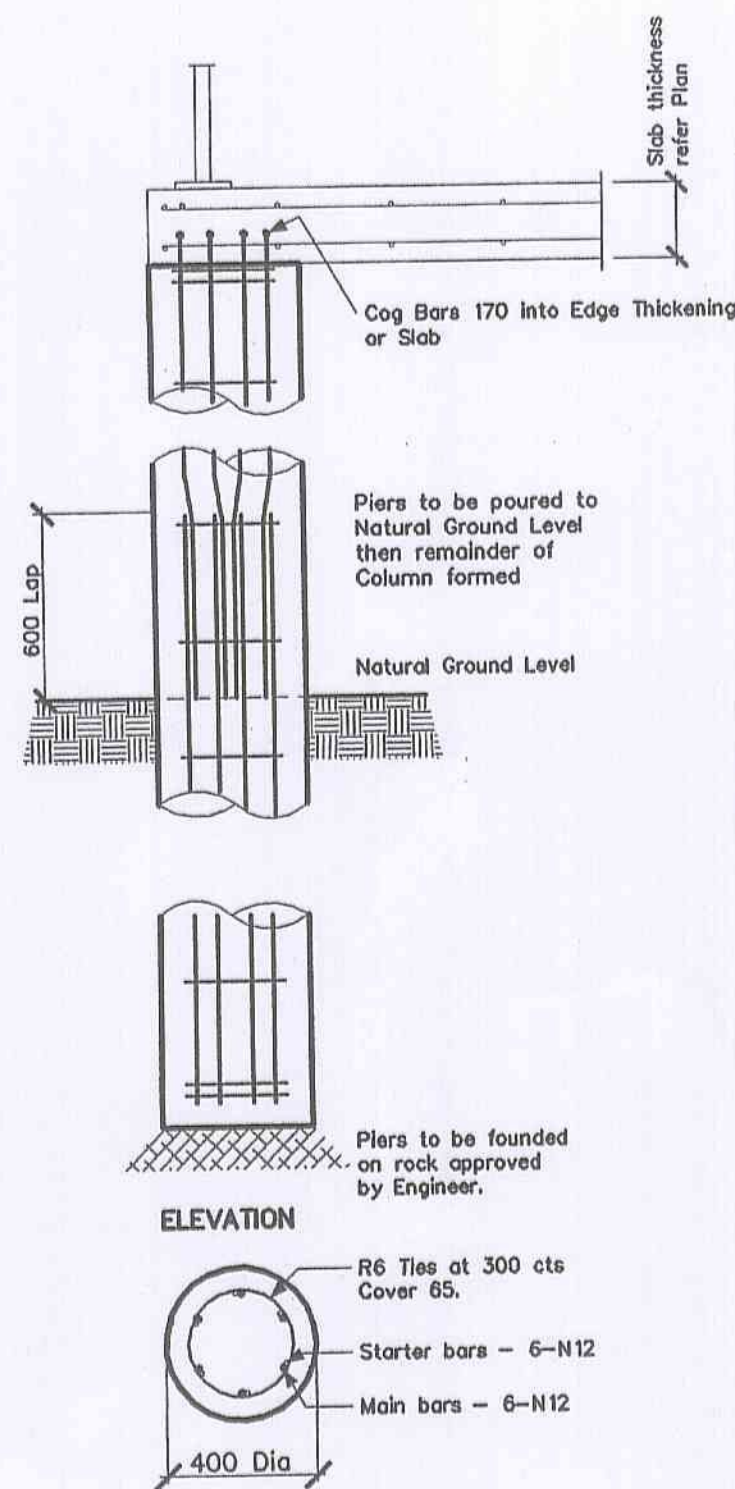
STORMWATER MANAGEMENT PLAN
PROPOSED CARPORT
6 GRANDVIEW DRIVE
NEWPORT
MARK HALLING
Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/ builder, ADAM CLERKE SURVEYORS PTY. LTD.
Ref No. 9208A Date 20/11/08
Architectural supplied by ARCLAB DESIGN AND DOCUMENTATION
Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information, that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.
The Structural Details shown on this Drawing are NOT to change under any circumstance.
NO Certificate will be issued for work NOT in accordance with the Drawing.
JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers
67 Daley Street, MONA VALE 2103 P.O. Box 368, Post Code 1680
Telephone (02) 9878 6733 Facsimile (02) 9878 8926
Email info@jackhodgson.com.au web www.jackhodgson.com.au
ACN 058 405 011
Designed CP Drawn CP Job No. Drawing No.
Design Check GH Drawing Check GH
Date 28 MAY 2009

25090-H1



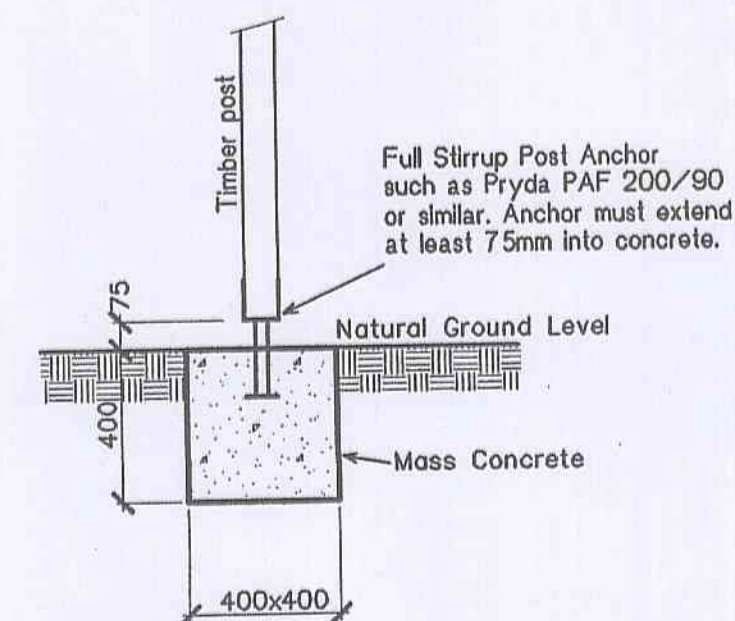


FOOTING LAYOUT PLAN
Scale 1:100

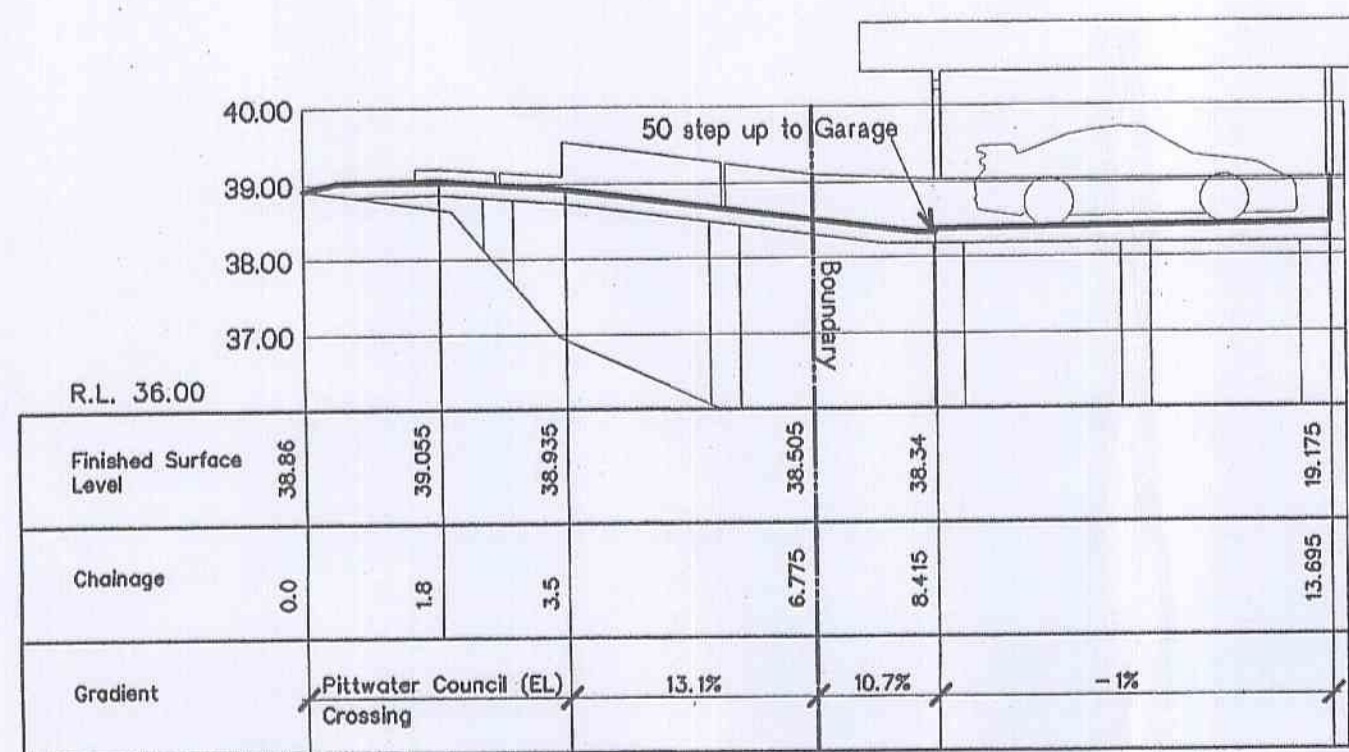


SECTIONAL PLAN
PIER DETAIL-P1
Scale 1:20

SECTION 1



PAD FOOTING DETAIL-PFA



LONGSECTION ALONG CENTERLINE OF DRIVEWAY Scale 1:100

- Driveway Notes:-
- Design Levels shown comply with Council's DCP No. 21.
 - Crossing to be constructed by a contractor registered with the council for this work.
 - Slopes greater than 1 in 4 (25%) for total length of 20 metres are not permitted.
 - Change of grades greater than 12.5% require a transition of at least 2 metres in length at half the change in grade.

Council Crossing applied to the driveway is a Extra Low (EL) vehicle crossing in compliance with the Council's Letter Dated 27/05/09 and Pittwater 21 DCP

- STEELWORK NOTES**
- Fabricate and erect all structural steelwork in accordance with AS 3660.1, AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Chp all welds free of slag.
 - All steelwork to be Hot Dipped Galvanised, Unless Otherwise Noted.
 - Unless otherwise noted use
 - 6mm continuous fillet weld
 - 10mm thick gusset, in end and plates, weld all round.
 - 16mm dia. 4.6/s bolts
 - Minimum and bearing 150mm.

- TIMBER NOTES**
- All work including bracing, wind bracing & tie down shall be carried out in accordance with AS 3660.1, AS 1684.2, AS 1720.1 and the specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of Gum veins, pockets, knots holes or splits within 255mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.
 - All F7 timber shown are nominal sizes only.

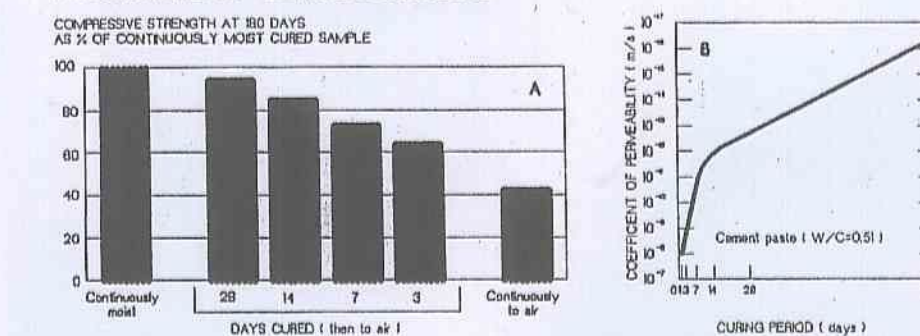
- CONCRETE NOTES**
- All concrete work to be in accordance with AS 3600.
 - Fc refer to table.
 - Maximum aggregate size = 20 for footings, slabs & beams. = 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 80mm c/c to c/c spacing.
 - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
 - Steel Reinforcement to be cut & bent in accordance with AS 3600.
 - Reinforcement to be tied at every other intersection minimum.
 - Metal roofing being used as formwork not Bondock or similar.

- Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roof Rib.
- Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996. Acceptable manufacturers and processors of steel reinforcement must hold a valid certificate of approval, issued by the Australian Certification Authority for Reinforcing Steel Ltd (ACRS), or to an equivalent certification system as may be approved in writing by the specifier. Evidence of compliance with this clause must be obtained when the contract bids are received.

Element	Cover (mm)	Fc at 28 days
	Protected	Exposed
Piers	65	25 MPa
Footings	50	25 MPa
Block Filling	refer to detail	25 MPa
Slab on Ground		32 MPa 32 MPa
Top	30	45
Bottom	30	45
Beams	50	40 MPa 40 MPa
Columns	30	45 40 MPa 40 MPa
Slabs	30	45 40 MPa 40 MPa
Walls	30	45 40 MPa 40 MPa

The minimum clear cover is to reinforcement ties and stirrups.

IMPORTANCE OF CURING CONCRETE



A	Removal of piers and formed bump rails	ARC	19/08/09
No.	Amendment	Drawn	Date

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No...M.Eng.Sc...
F.I.E.Aust...Nper3...Struct.Civil.No.H9788

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Jack D. Hodgson 19/8/09
Name Date Signature

**FOOTING PLAN AND DETAILS.
DRIVEWAY LONGSECTION
PROPOSED CARPORT AND DRIVEWAY
6 GRANDVIEW DRIVE
NEWPORT
HALLING RESIDENCE**

Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/ builder, and are not to be used for any other purpose without the written consent of the designer. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.

The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with the Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical and Structural Engineers.
97 Diney Street, MONA VALE 2103, P.O. Box 388, Post Code 1600.
Telephone (02) 8978 6733 Facsimile (02) 8978 6805.
Email info@jackhodgson.com.au web www.jackhodgson.com.au

Designed	Drawn	Job No.	Drawing No.
MG	LS		
Design Check	Drawing Check		
JDH	JDH		
Date	12 MAY 2009		

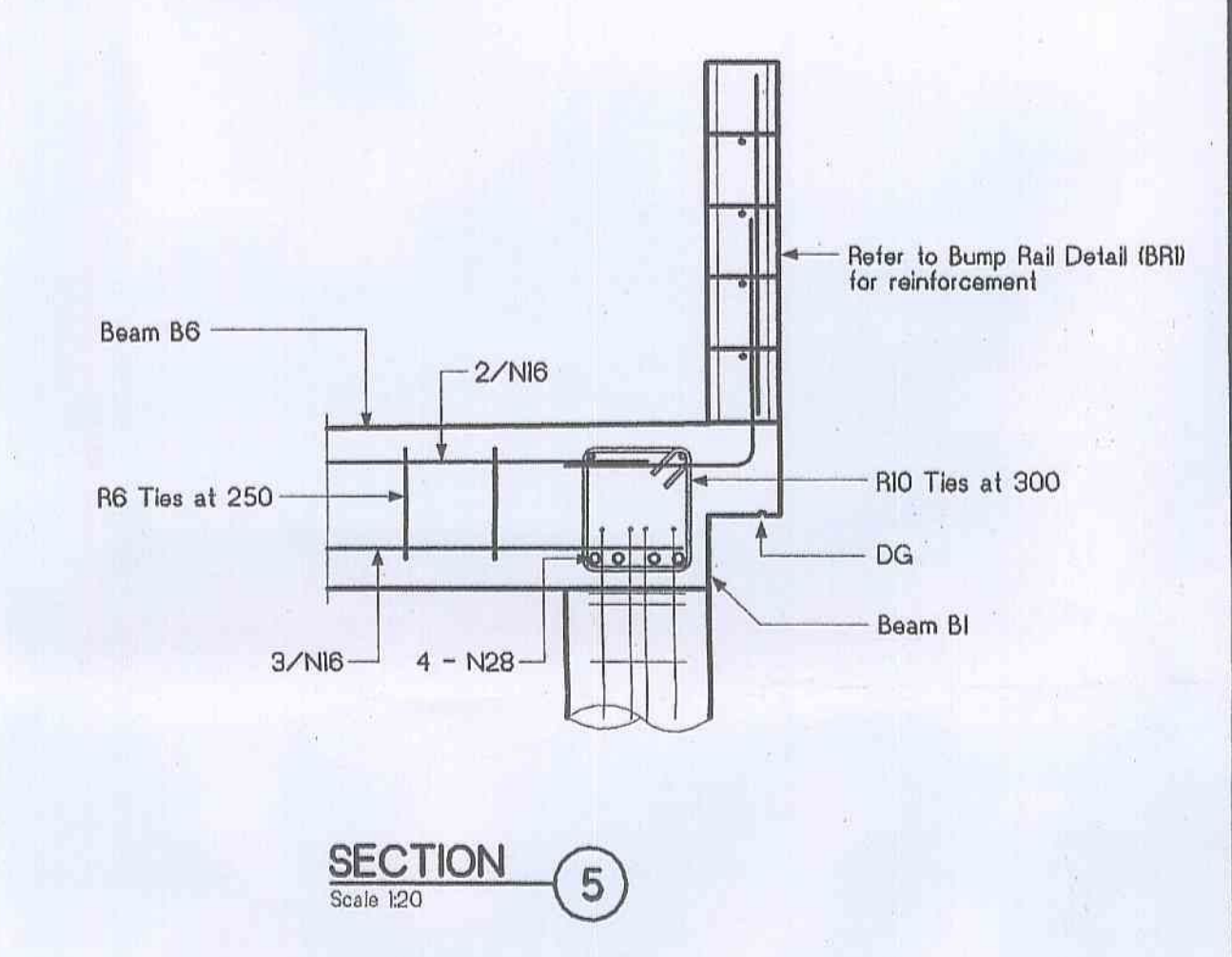
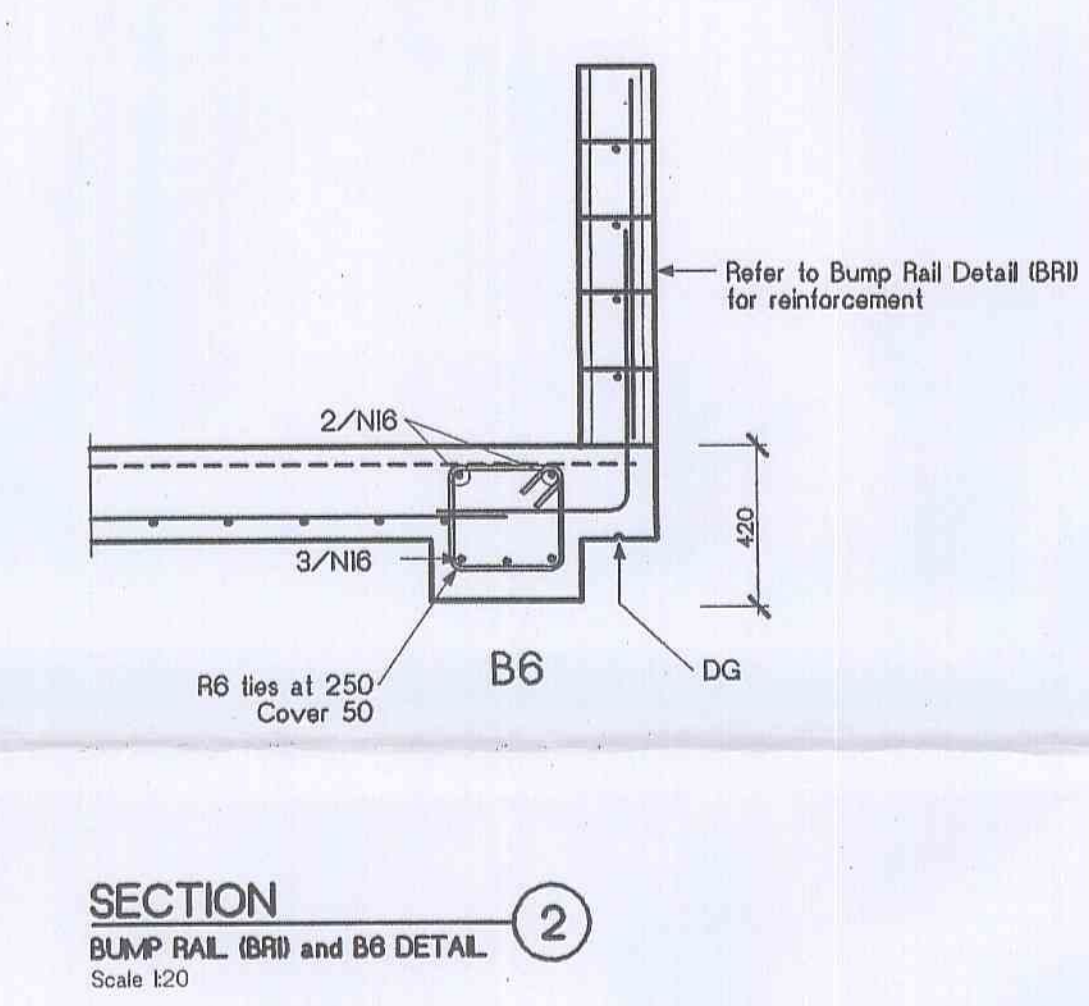
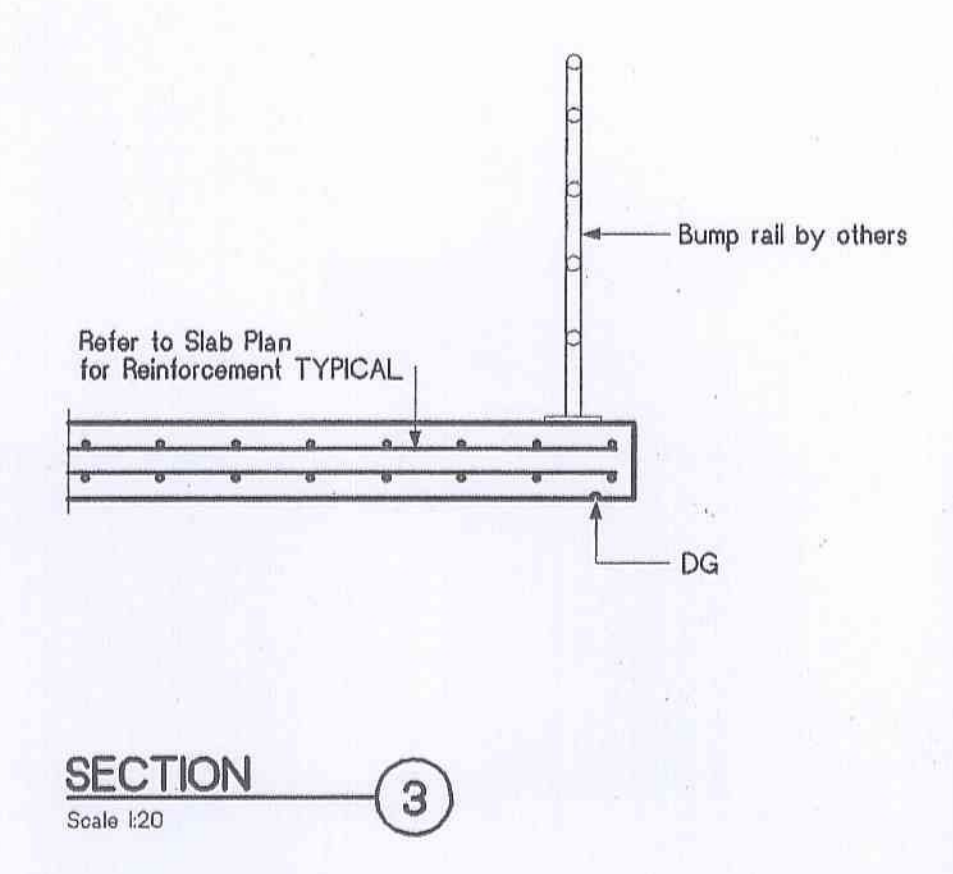
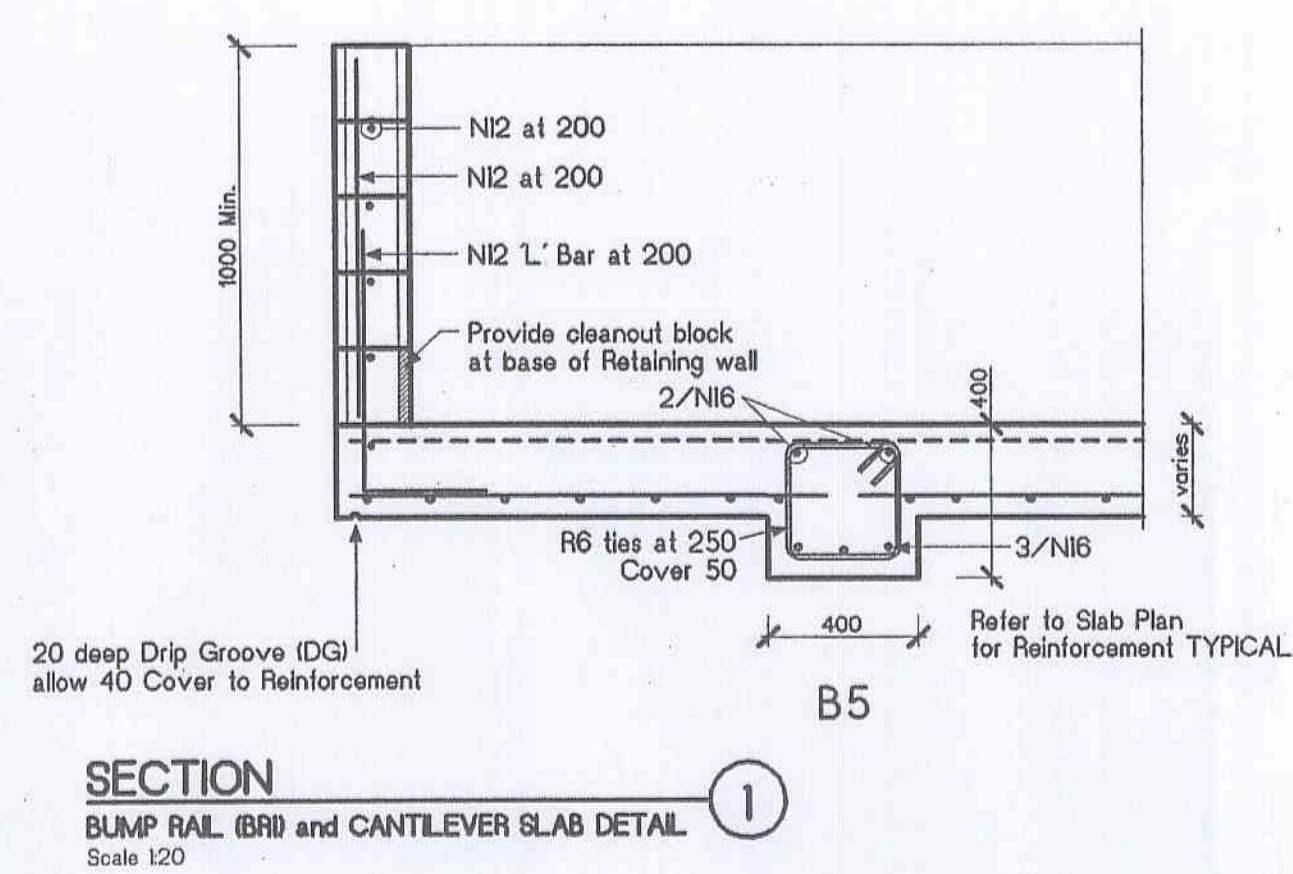
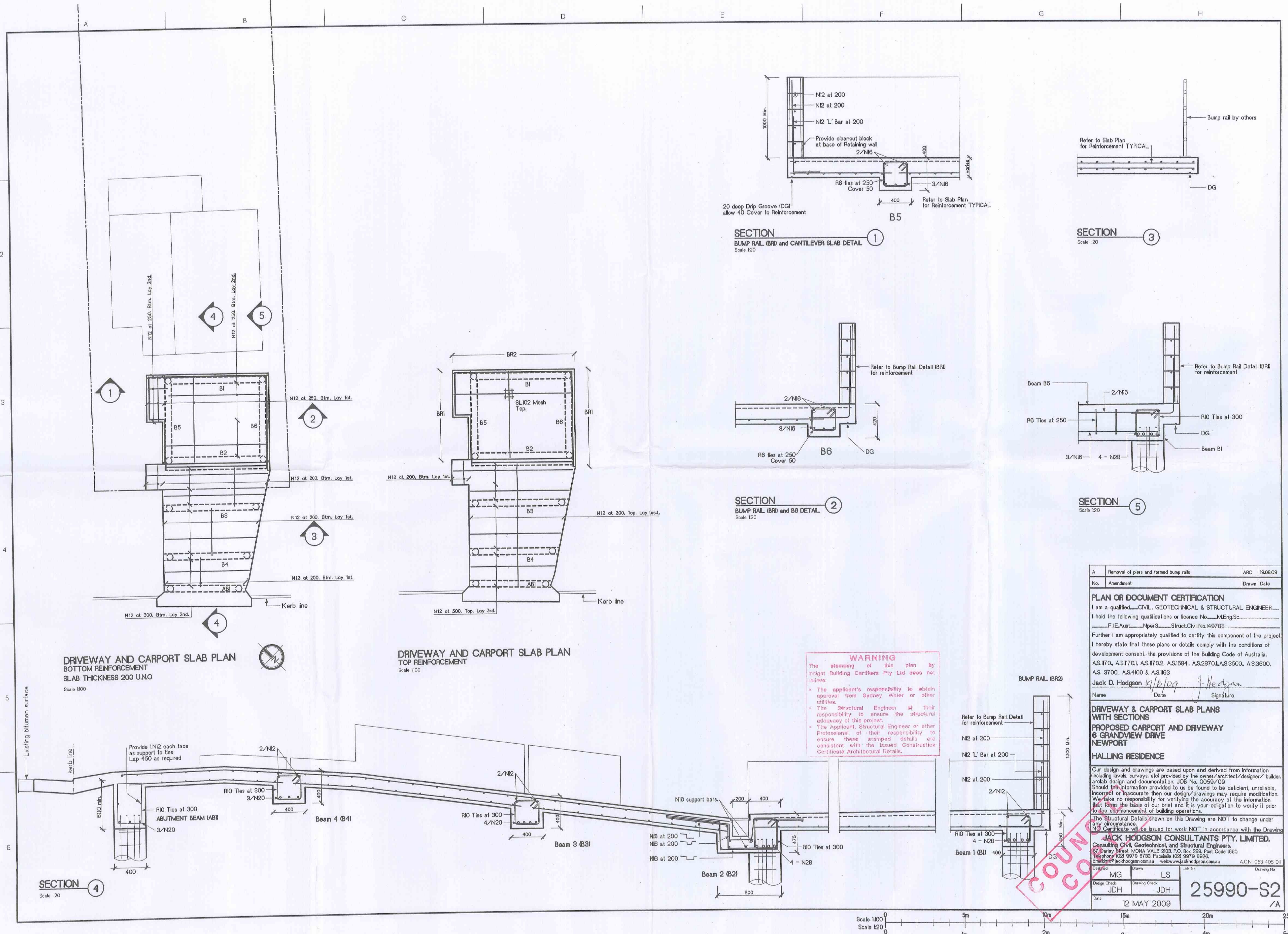
25990-S1
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WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.





WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
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A	Removal of piers and formed bump rails	ARC	19/08/09
No.	Amendment	Drawn	Date

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.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788

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Jack D. Hodgson 19/10/09 J. Hodgson

Name Date Signature

DRIVEWAY & CARPORT SLAB PLANS WITH SECTIONS

PROPOSED CARPORT AND DRIVEWAY

6 GRANDVIEW DRIVE

NEWPORT

HALLING RESIDENCE

Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/ builder, and design and documentation, JOB No. 0059/09. Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.

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JACK HODGSON CONSULTANTS PTY. LIMITED.

Consulting Civil, Geotechnical, and Structural Engineers.

67 Dunbar Street, MONA VILLE 2103 P.O. Box 388 Post Code 1590.

Telephone (02) 9979 6733, Facsimile (02) 9979 6926.

Email jackhodgson.com.au web www.jackhodgson.com.au ACN 053 405 011

Designed MG Drawn LS

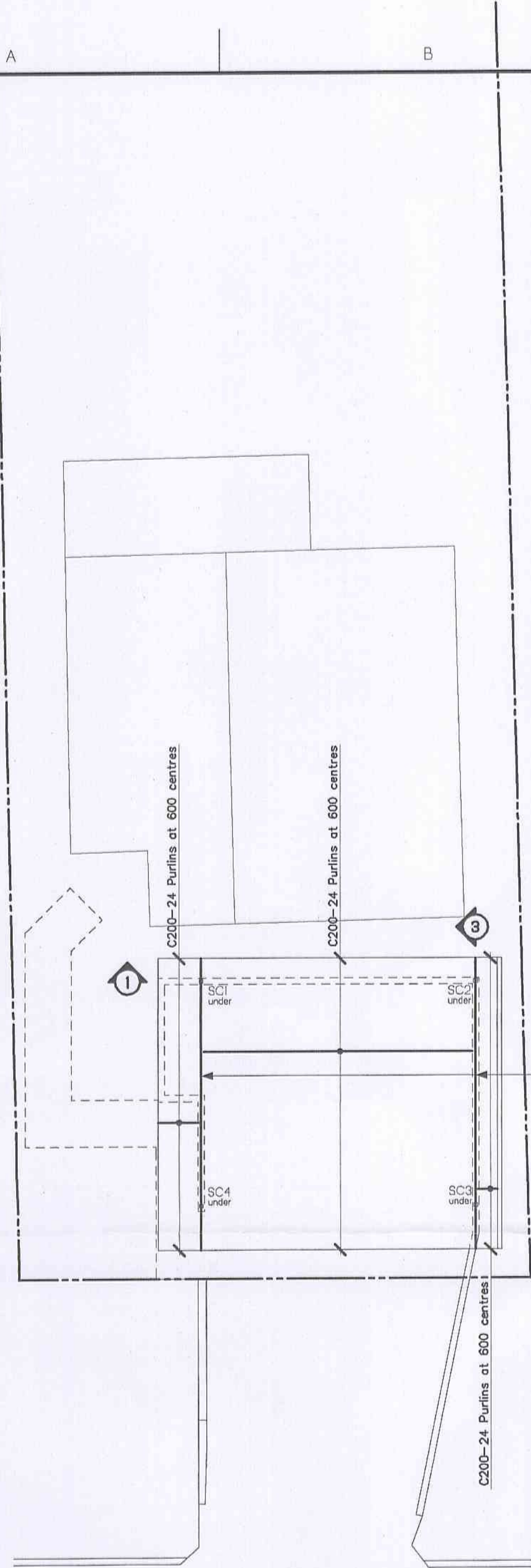
Design Check JDH Drawing Check JDH

Date 12 MAY 2009

25990-S2

/A





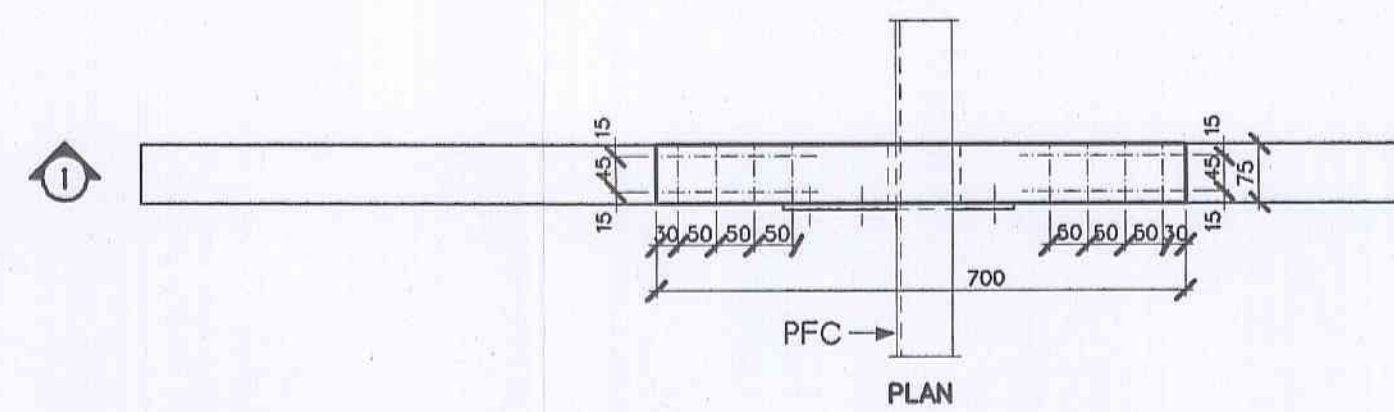
CARPORT ROOF MARKING PLAN

Scale 1:100

SC1 89x89x5.0 SC1

STEELWORK NOTES

1. Fabricate and erect all structural steelwork in accordance with AS 3601, AS 4100, AS 1554 and the Specification.
2. Do not obtain dimensions by scaling the structural elements.
3. Chip all welds free of slag.
4. All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
5. Unless otherwise noted use
 - a) 6mm continuous fillet weld
 - b) 10mm thick gusset, fin and end plates, weld all round.
 - c) 10mm dia. 4.8/s bolts
6. Minimum end bearing 150mm.

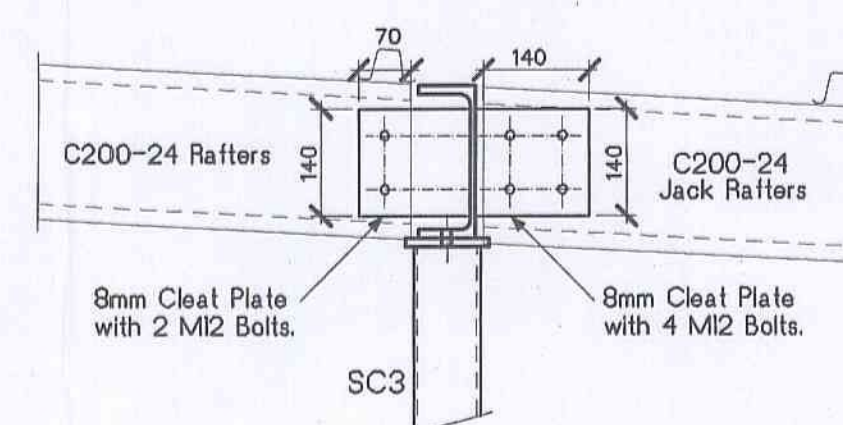


SECTION 1

Scale 1:10

Scale 1:10

Scale 1:10

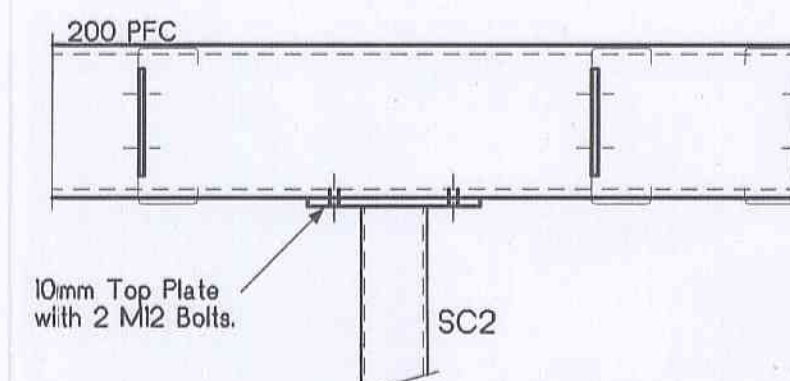


SECTION 2

Scale 1:10

Scale 1:10

Scale 1:10



SECTION 3

Scale 1:10

Scale 1:10

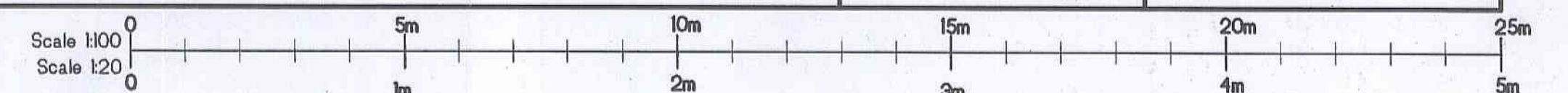
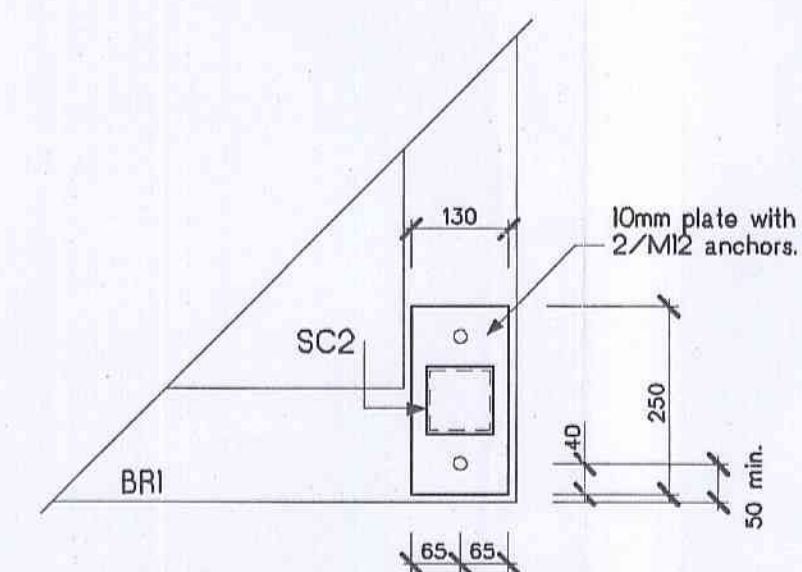
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SECTION 4

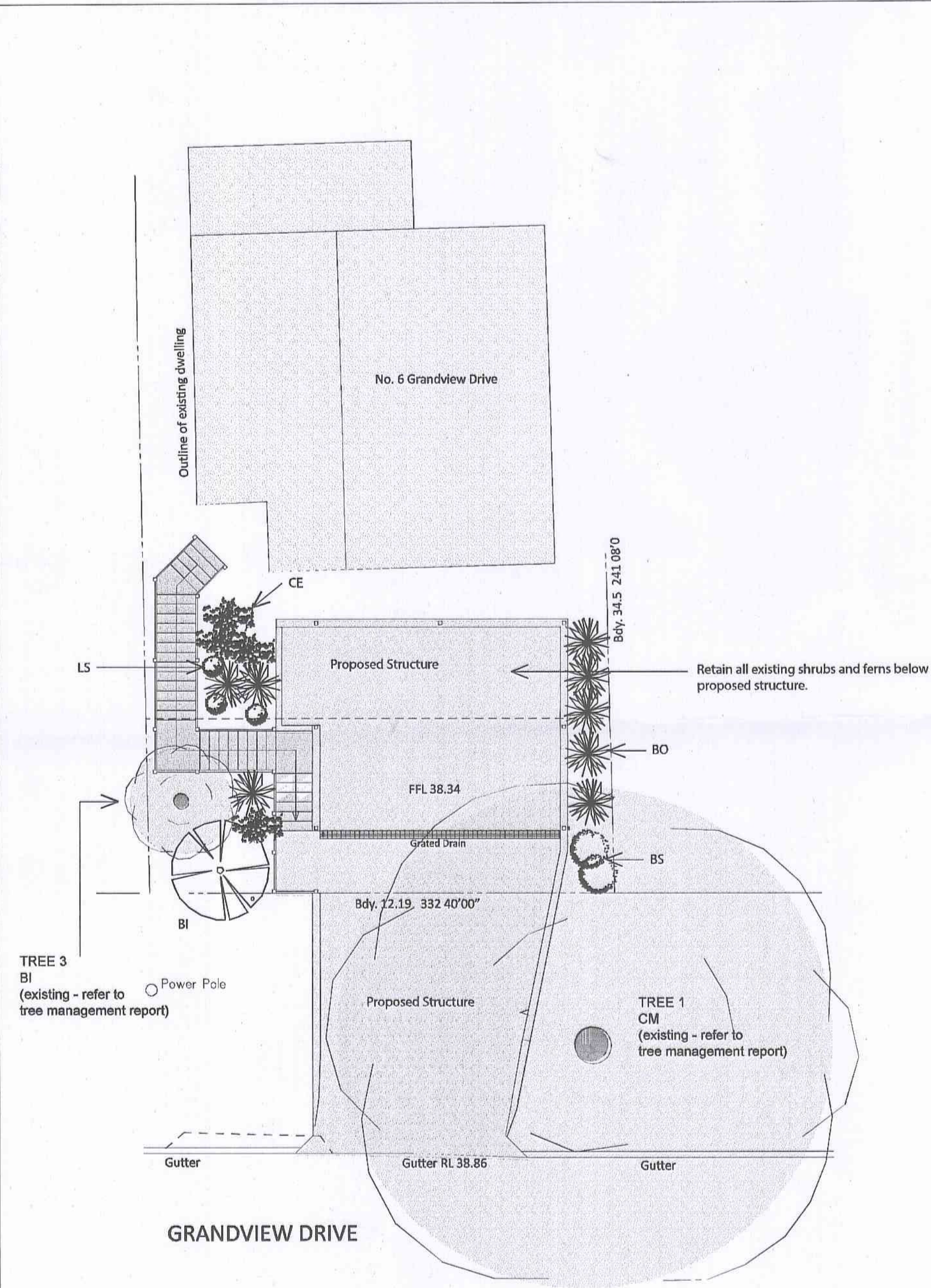
Scale 1:10

Scale 1:10

Scale 1:10



No.	Amendment	Drawn	Date
PLAN OR DOCUMENT CERTIFICATION			
I am a qualified.....CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER.....			
I hold the following qualifications or licence No.....M.Eng.Sc.....			
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788			
Further I am appropriately qualified to certify this component of the project.			
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.			
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3500, A.S.3600, A.S. 3700, A.S.4100 & A.S.1163			
Jack D. Hodgson 3/1/09			
Name	Date	Signature	
ROOF MARKING PLAN AND DETAILS			
PROPOSED CARPORT AND DRIVEWAY			
6 GRANDVIEW DRIVE			
NEWPORT			
HALLING RESIDENCE			
Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/ builder, architect design and documentation. Job No. 0059/09. Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.			
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JACK HODGSON CONSULTANTS PTY. LIMITED.			
Consulting Civil, Geotechnical, and Structural Engineers.			
67 Darley Street, MONA VALE 2103, P.O. Box 389, Post Code 1660.			
Telephone (02) 9979 8733, Facsimile (02) 9979 8926.			
Email info@jackhodgson.com.au web www.jackhodgson.com.au ACN 053 405 011			
Designed	Drawn	Job No.	Drawing No.
MG	LS		
Design Check	Drawing Check		
JDH	JDH		
Date	12 MAY 2009		
25990-S3			



PLANT SCHEDULE					
SYMBOL	BOTANIC NAME	COMMON NAME	HEIGHT X WIDTH	NO	POT SIZE
TREES					
BI	BANKSIA INTEGRIFOLIA	COASTAL BANKSIA	5M X 3M	1	300MM
SHRUBS					
BS	BANKSIA SPINULOSA	HAIRPIN BANKSIA	3M X 2M	2	300MM
CE	COMESPERMA ERICINUM	MATCHHEADS	1.5M X 1M	4	250MM
BO	BANKSIA OBLONGIFOLIA	BANKSIA	1.5M X 1.5M	8	250MM
LS	LOMATIA SILAIFOLIA	CRINKLE BUSH	1.5M X 1.5M	3	250MM

PLANT SCHEDULE - EXISTING TREES TO BE RETAINED			
SYMBOL	BOTANIC NAME	COMMON NAME	NO
CM	CORYMBIA MACULATA	SPOTTED GUM	1
BI	BANKSIA INTEGRIFOLIA	COASTAL BANKSIA	1

LANDSCAPE NOTES

PRESERVATION OF EXISTING TREES
EXISTING LEVELS TO BE RETAINED WITHIN THE CRITICAL ROOT ZONE OF ALL TREES REMAINING AS PER THE LANDSCAPE PLAN. IN ANY EXCAVATION, REFER TO ARBORIST REPORT FOR DIRECTION.

PREPARATION OF GARDEN BEDS
CULTIVATE GARDEN BEDS FOR NEW PLANTS TO A DEPTH OF 300MM. INCORPORATE IMPORTED 'GREENLIFE' SOIL CONDITIONER FROM AUSTRALIAN NATIVE LANDSCAPES (OR EQUIVALENT) WITH EXISTING SOIL WHEN PLANTING. DO NOT CULTIVATE SOIL BENEATH EXISTING TREES TO BE RETAINED. MULCH TO BE 'HORTICULTURAL GRADE' PINE BARK BY AUSTRALIAN NATIVE LANDSCAPES (OR EQUIVALENT) AND INSTALLED TO A DEPTH OF 75MM TO ALL GARDEN BEDS, COVING MULCH DOWN AROUND PLANT STEMS AND FINISH FLUSH WITH ADJACENT SURFACES.

SOIL PREPARATION
WHERE EARTHWORKS HAVE OCCURRED, THE CONTRACTOR IS TO ENSURE ANY STOCKPILED TOPSOIL IS FREE OF UNWANTED MATTER SUCH AS ROCKS, CLAY LUMPS, TREE ROOTS, BUILDER'S RUBBISH AND ANY MATERIAL TOXIC TO PLANTS.

PLANTING
PURCHASE PLANTS FROM AN APPROVED NURSERY. PLANTS TO BE HEALTHY AND TRUE TO TYPE AND SPECIES. SET OUT PLANTS TO POSITIONS INDICATED ON PLAN. FOLLOWING APPROVAL, PLANT HOLES SHALL BE DUG APPROXIMATELY TWICE WIDTH AND TO 100MM DEEPER THAN PLANT ROOTBALLS THAT THEY ARE TO RECEIVE. BASE AND SIDES OF HOLE SHALL BE FURTHER LOOSENEED. FERTILISE, FOLLOWED BY 100MM DEPTH OF TOPSOIL MIX PLACED INTO BASE OF HOLE AND LIGHTLY CONSOLIDATED. BASE OF HOLE SHALL THEN BE WATERED. REMOVE PLANT CONTAINER AND INSTALL INTO HOLE. ROOTBALL SHALL BE BACKFILLED WITH SURROUNDING TOPSOIL AND TOPSOIL FIRMED INTO PLACE. AN APPROVED SHALLOW DISH SHALL BE FORMED TO CONTAIN WATER AROUND BASE OF STEM. BASE OF STEM OF PLANT SHALL FINISH FLUSH WITH FINISHED SOIL LEVEL. ONCE INSTALLED, PLANT SHALL BE THOROUGHLY WATERED AND MAINTAINED FOR THE DURATION OF THE CONTRACT. ALL TREES AND LARGE SHRUBS SHALL BE STAKED USING 2 X 38MM X 38MM X 200MM LONG HARDWOOD STAKES PER PLANT AND SECURED WITH HESSIAN WEBBING TIES INSTALLED TO CONTRACTOR'S ON SITE INSTRUCTIONS.

MAINTENANCE ESTABLISHMENT
CARRY OUT THE FOLLOWING TASKS FOR A TWELVE-MONTH PERIOD FROM THE DATE OF PRACTICAL COMPLETION:
? WEEDING OF ALL GARDEN BEDS
? RUBBISH REMOVAL
? FERTILISING TO ACHIEVE OPTIMAL GROWTH
? PEST AND DISEASE CONTROL
? ADJUSTMENT OF STAKES AND TIES
? REPLACE FAILED PLANTING
? PRUNING AND HEDGE CLIPPING OF PLANTS
? REINSTATEMENT OF MULCH TO SPECIFIED DEPTH

REFER TO CONSTRUCTION PLANS FOR DETAILS RELATING TO ALL HARD SURFACES INCLUDING DRIVEWAY AND STEPS.

ALL CIVIL, STRUCTURAL AND HYDRAULIC WORKS ASSOCIATED WITH THIS PROJECT SHALL BE TO THE RELEVANT ENGINEER'S DETAILS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.

LANDSCAPE PLAN

Scale 1:100

0

0.5

2

3

5

arclab

design + documentation

m. 0416 086 537 f. 02 9674 3479 e. arc@arclab.com.au

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ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE.

DO NOT SCALE FROM DRAWING.

project address

client

HALLING RESIDENCE
6 GRANDVIEW DRIVE
NEWPORT, NSW
2106

MARK HALLING
DEVELOPMENT APPLICATION

DWG No.

DATE

JOB No.

DRAWN

SHEET

DA-14

30.01.09

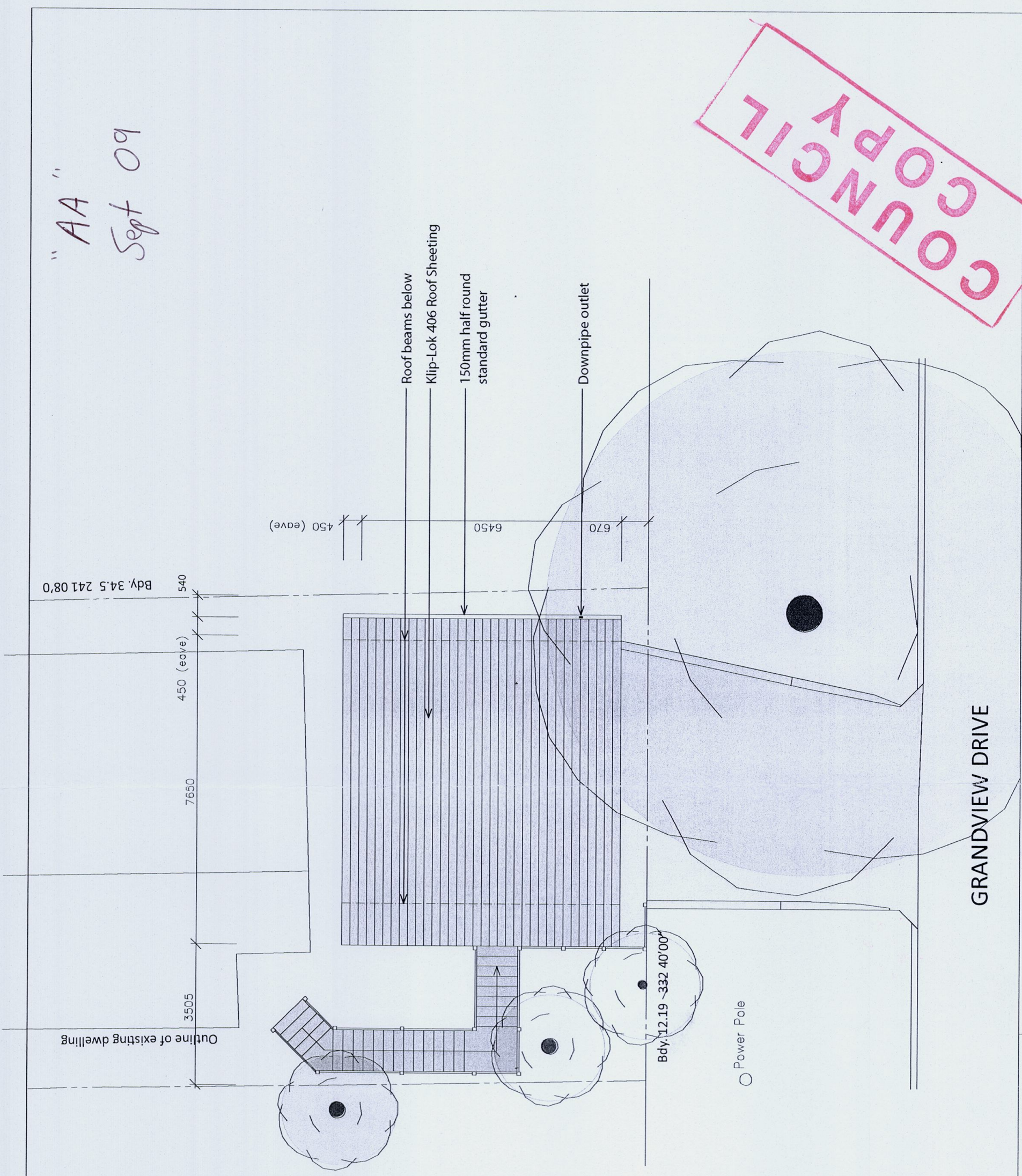
0059/09

arc

A3

COUNCIL COPY

"AA"
Sept 09



BUILDING COLOURS

- Roof Colour
COLORBOND - **DEEP OCEAN**
- Steel columns, Gutters and downpipes
COLORBOND - Taubmans Tankard
- Timber stair and Barge Board
French Oak Dark Stain
- All Concrete
Smooth Off-Form Finish

COUNCIL COPY

ROOF PLAN

Scale 1:100



arclab

design + documentation

m. 0416 886 537 f. 02 9974 3479 e. arc@arclab.com.au

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project address

HALLING RESIDENCE
6 GRANDVIEW DRIVE
NEWPORT, NSW
2106

client

MARK HALLING
DEVELOPMENT APPLICATION

DWG No.

DATE

JOB No.

DRAWN

SHEET

DA-03

01.01.09

0059/09

arc

A3

NOTE: SMOKE ALARMS TO BE PROVIDED IN ACCORDANCE WITH PART 3.7.2 OF THE BUILDING CODE OF AUSTRALIA VOL 2 – HOUSING PROVISIONS & RELEVANT AUSTRALIAN STANDARDS.

insight

building certifiers pty ltd

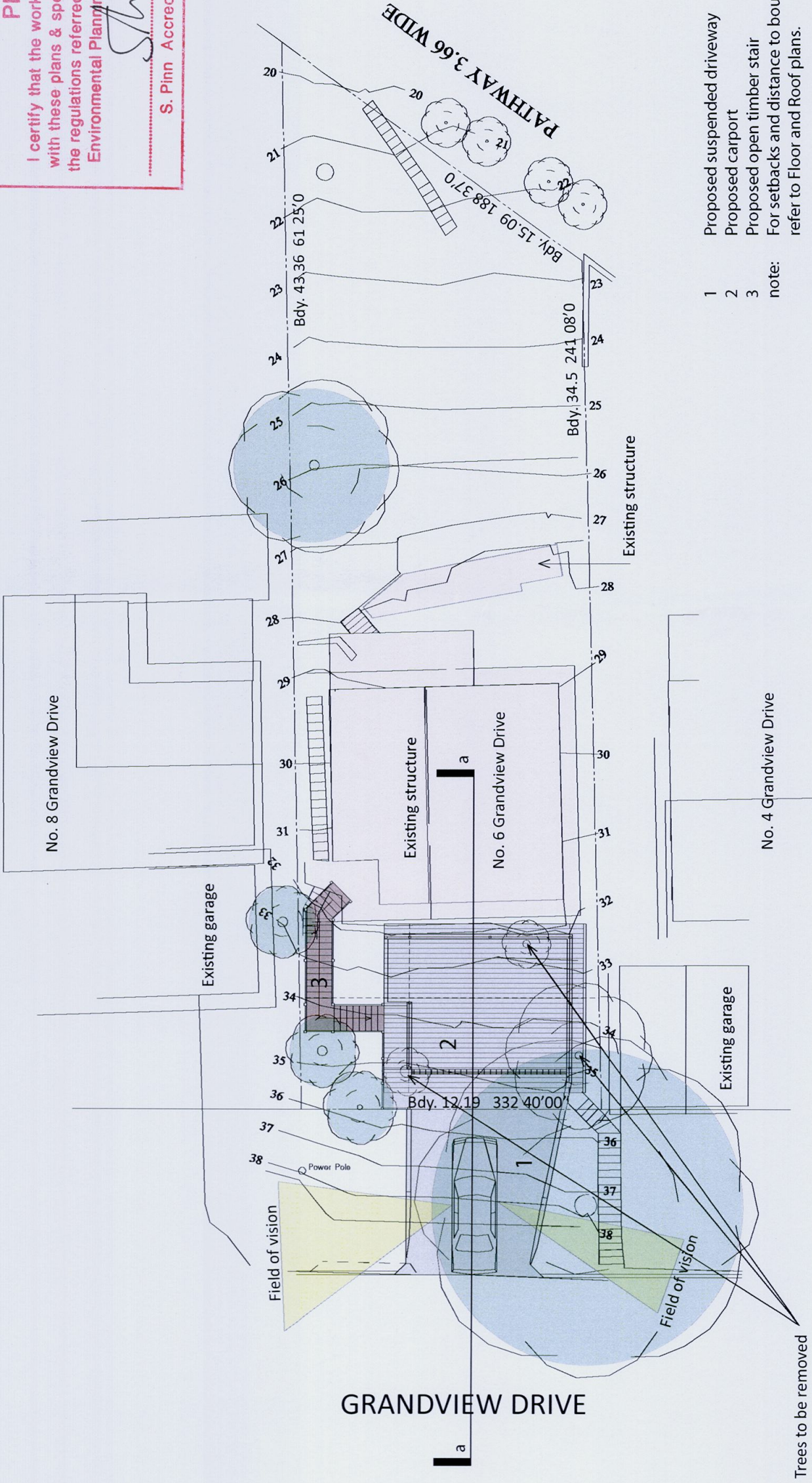
CONSTRUCTION CERT. NO. 209/3356

CONSTRUCTION CERTIFICATE PLANS

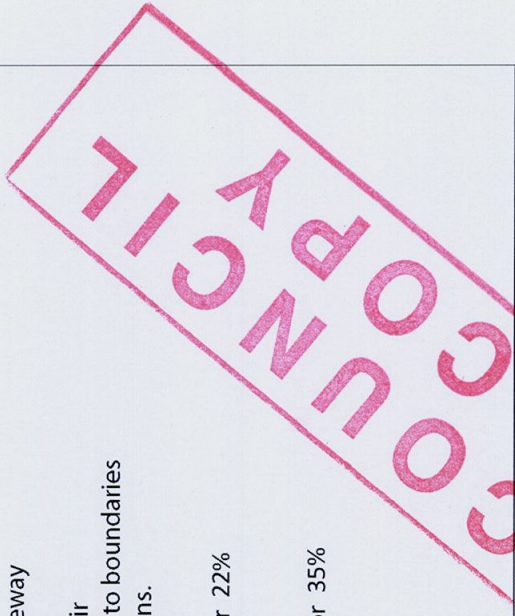
I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

1 - SEP 2009

S. Pinn Accreditation No. BPB 0326



- 1 Proposed suspended driveway
 - 2 Proposed carport
 - 3 Proposed open timber stair
- note: For setbacks and distance to boundaries refer to Floor and Roof plans.
- Site Area: 470.8m
Existing hard surface: 104m² or 22%
Area of Proposal: 61m²
Proposed Site Coverage: 165m² or 35%



SITE PLAN
Scale 1:200
0 1 4 6 10



arclab
design + documentation
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project address
HALLING RESIDENCE
6 GRANDVIEW DRIVE
NEWPORT, NSW
2106

client
MARK HALLING
DEVELOPMENT APPLICATION

DWG No.
DA-01

DATE
01.01.09

JOB No.
0059/09

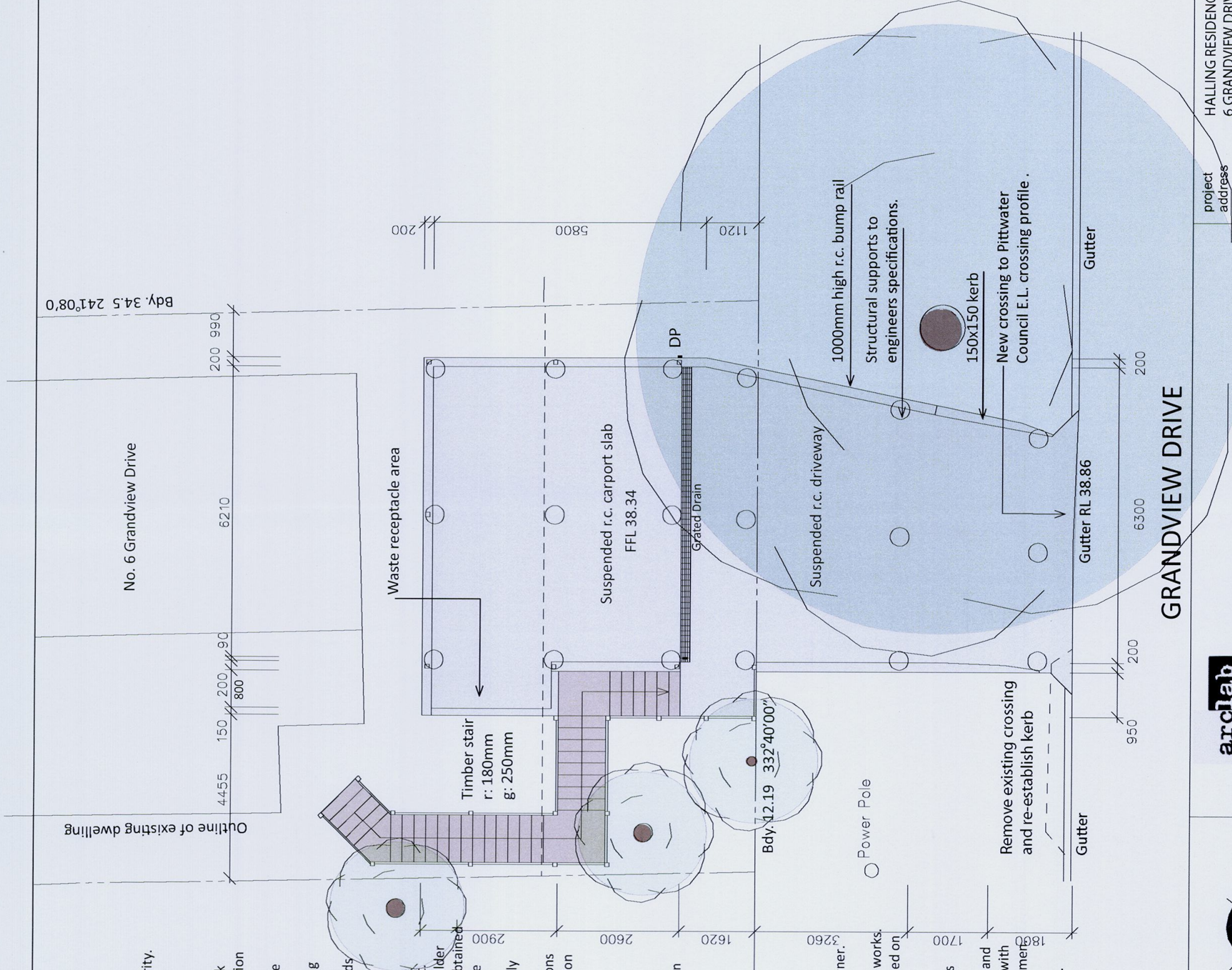
DRAWN
arc

SHEET
A3

NOTE.

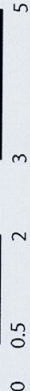
- Approved means by the 'The Relevant Local Authority' or 'Council'.
 - The Owner will directly pay the fees associated with the following:
 - building approval from council, footpath and kerb deposits with the local council, insurance fee to Building Services Corporation, Long Service Leave levy fee and approval fee by water and sewerage authority.
 - All other fees are to be paid by the builder. The amount of any local authority deposits which are forfeited due to damage or other cause will be deducted from the payments due to the builder.
 - The Builder is to provide at his/her own expense adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
 - All tenderers are to visit the site to satisfy themselves as to the nature and extent of the Works, facilities available and difficulties entailed in the works as Variations will not be allowed due to work arising owing to neglect of this clause.
 - All work and materials to comply with the current Australian Standards at the time of commencement where applicable.
 - These drawings shall be read in conjunction with all structural and other consultants drawings and specifications and with any such written instructions as may be issued during the course of the contract.
 - Set out dimensions shown on this drawing shall be verified by the builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimension are in millimetres.
 - The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
 - The Builder is to comply with all Ordinances, Local Authority regulations and the requirements of all services supply authorities having jurisdiction over the works.
 - All new downpipes are to be connected to the existing Stormwater system that discharges to an existing Council Stormwater system.
 - All Power and Stormwater outlet locations shall be determined on site by the Owner.
 - Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder to the Owner approval, except for any structural details or design which is supplied by the engineer.
 - All timber sizes and concrete details to be confirmed by the builder prior to commencement of any work.
 - Any work indicated on the plans but not specified, and any item not shown on the plan which is obviously necessary as part of proper construction and/or finish is to be considered as shown and specified, and is to be done as part of the contract.
- Variations will not be permitted without the written consent of the Owner.
- The Builder shall provide sediment and erosion control measures as required by council and maintain them throughout the duration of the works.
 - A legible copy of the plans bearing approval stamps must be maintained on the job at all times. Hours of construction shall be restricted to the times as required by the Building Approval.
 - The Builder is to arrange for all inspections required by the authorities and lending institutions to their requirements.
 - The Builder is to obtain approval for interruptions to existing services and minimise the duration and number of interruptions. Any interruptions with existing services and equipment to be to by appropriatey skilled tradesmen.
 - The Builder shall restore, reinstate or replace any damage caused to existing structures or landscaping by construction work or workmen. Provide protection to existing trees to remain as required by Approval Conditions.

No. 6 Grandview Drive



CARPORT FLOOR PLAN

Scale 1:100



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project address

HALLING RESIDENCE
6 GRANDVIEW DRIVE
NEWPORT, NSW
2106

client

MARK HALLING
DEVELOPMENT APPLICATION

DWG No.

DATE

JOB No.

DRAWN

SHEET

DA-02

01.01.09

0059/09

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A3

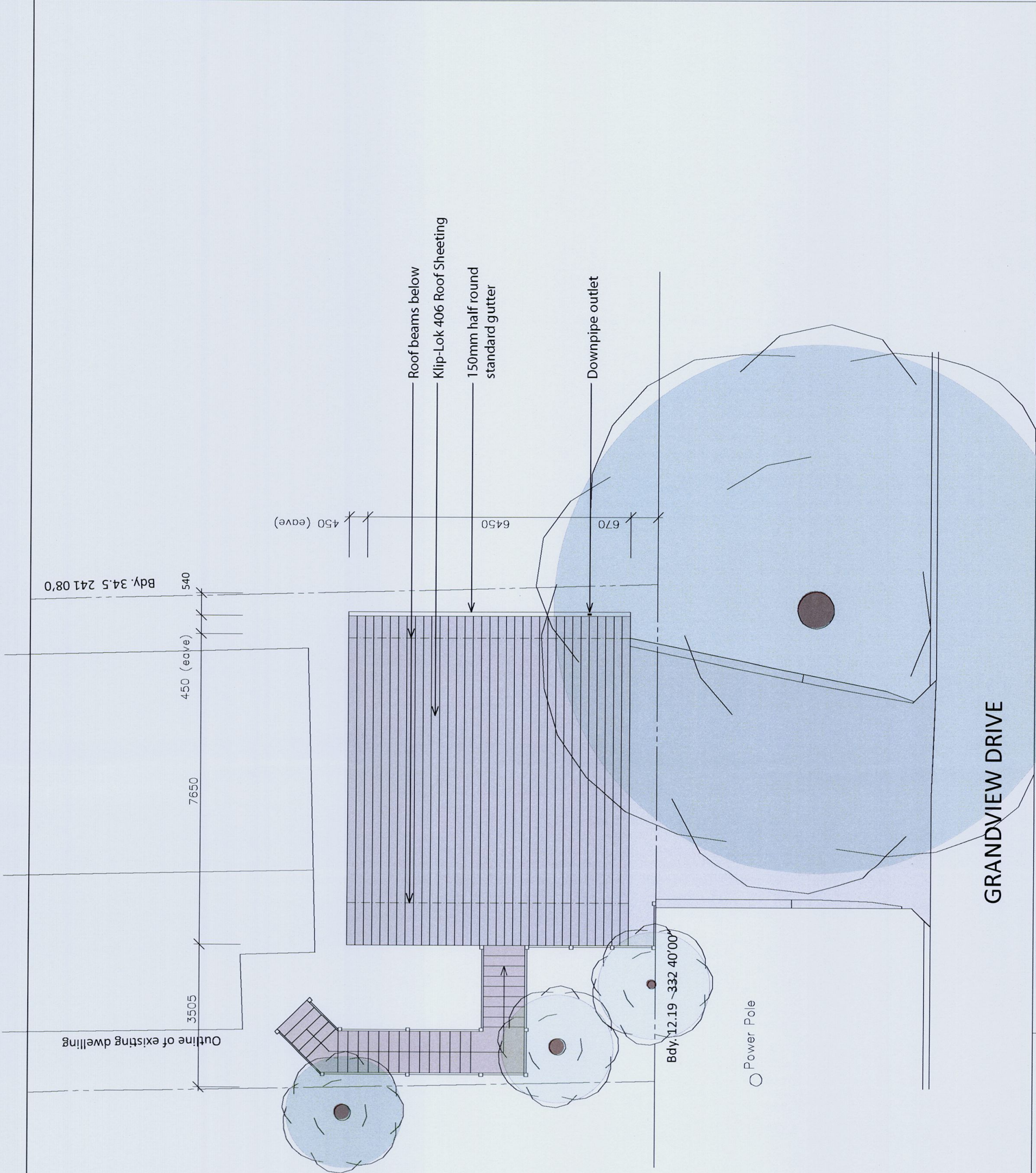
BUILDING COLOURS

Roof Colour
COLORBOND - ~~Deep Ocean~~
"DEEP OCEAN"

Steel columns, Gutters and downpipes
COLORBOND - Taubmans Tankard

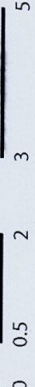
Timber stair and Barge Board
French Oak Dark Stain

All Concrete
Smooth Off-Form Finish



ROOF PLAN

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address

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6 GRANDVIEW DRIVE
NEWPORT, NSW
2106

client

MARK HALLING
DEVELOPMENT APPLICATION

DWG No.

DATE

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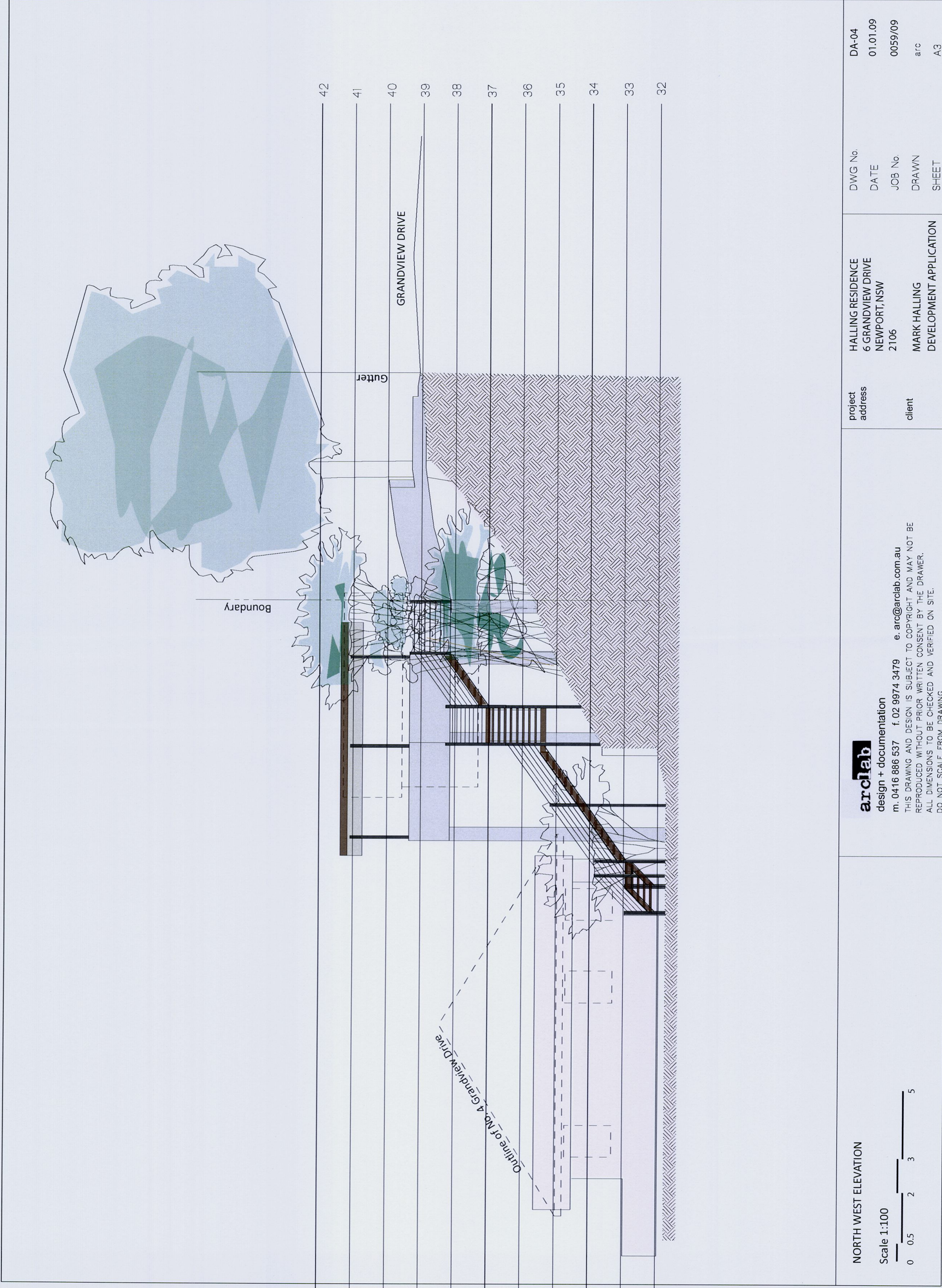
DA-03

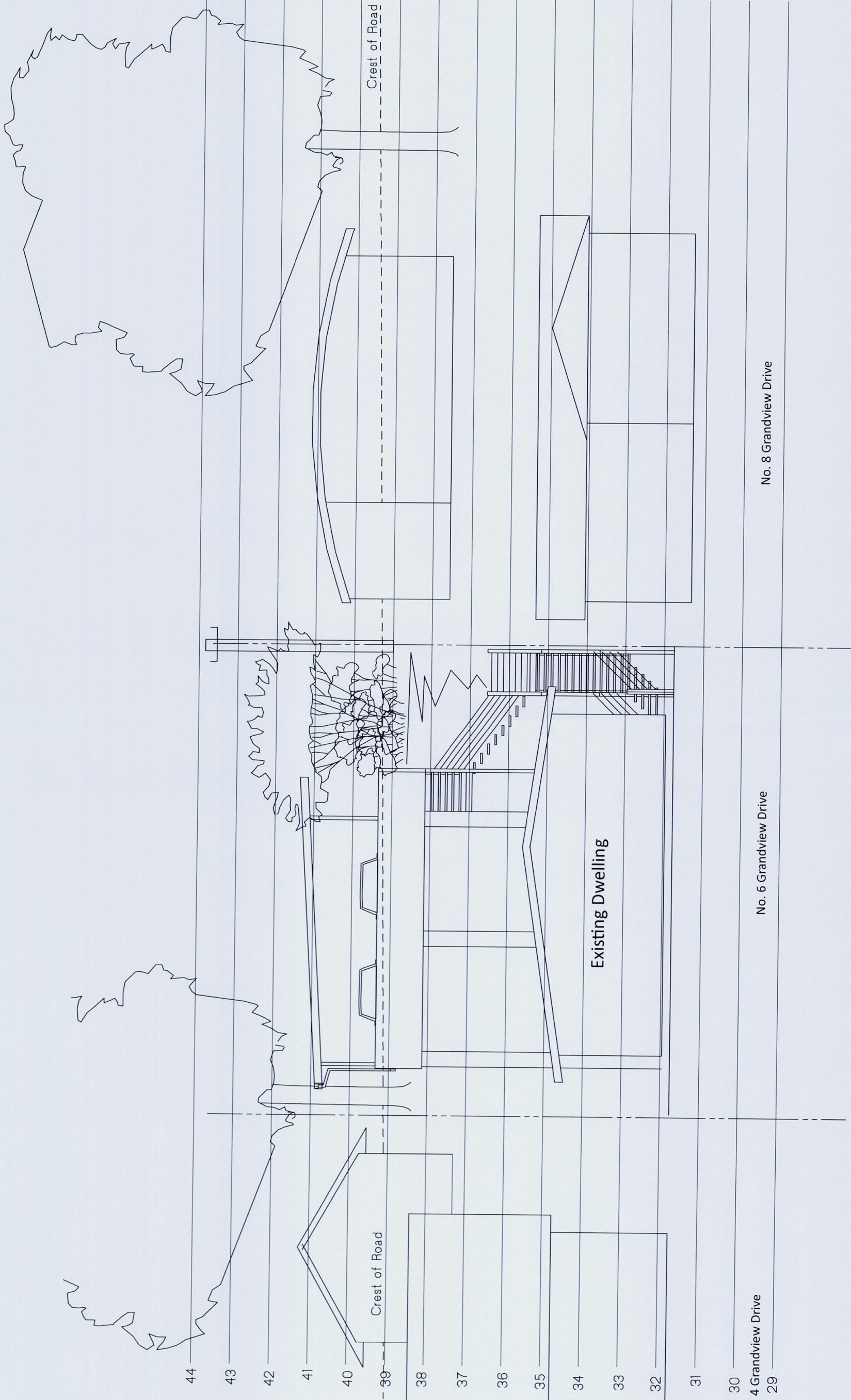
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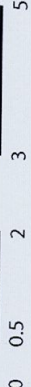
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NORTH EAST ELEVATION

Scale 1:100



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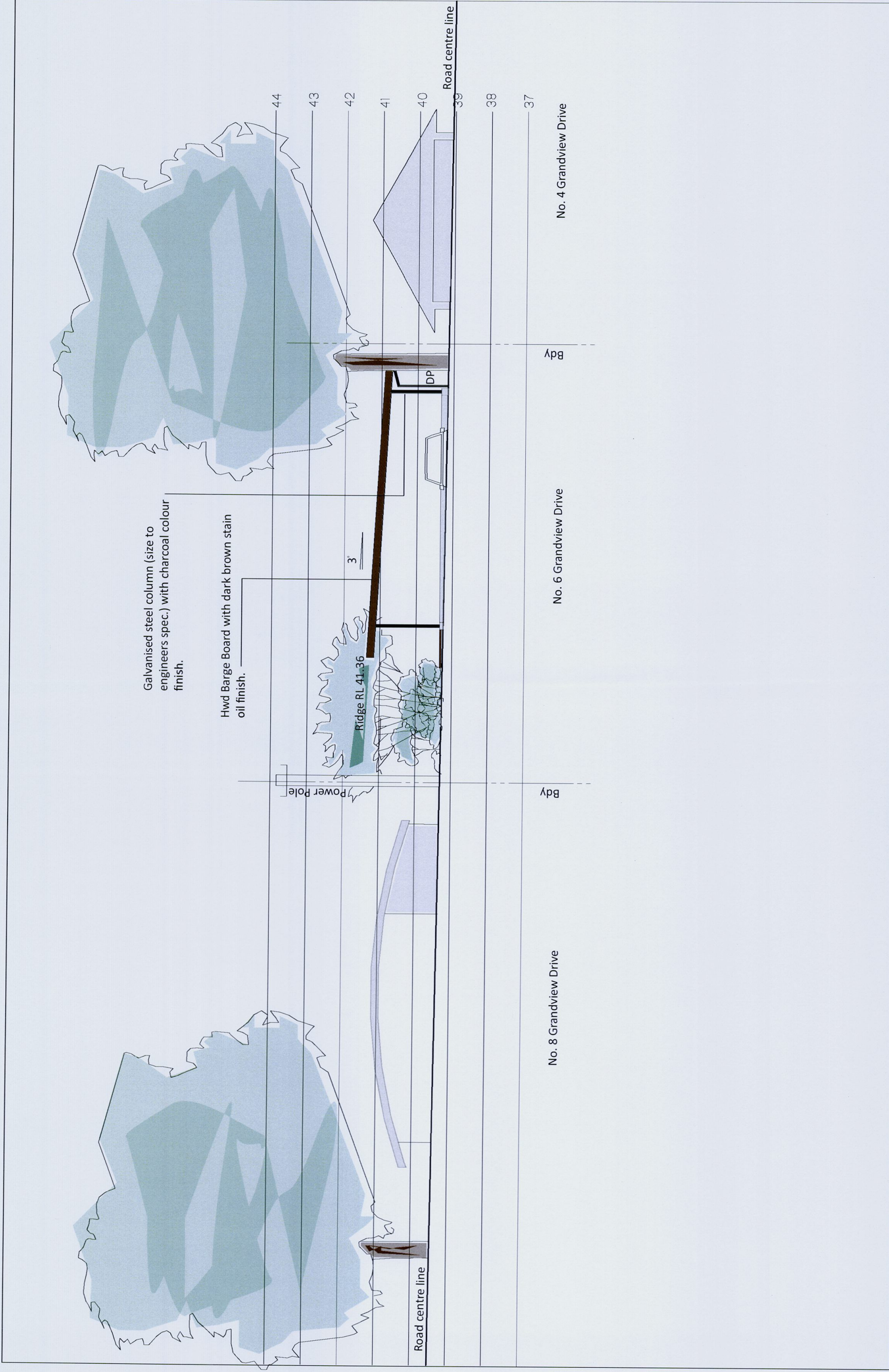
project
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6 GRANDVIEW DRIVE
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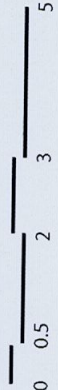


SOUTH WEST ELEVATION Scale 1:100 0 0.5 2 3 5	arclab design + documentation m. 0416 886 537 f. 02 9974 3479 e. arc@arclab.com.au THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN CONSENT BY THE DRAWER. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE FROM DRAWING	project address	HALLING RESIDENCE 6 GRANDVIEW DRIVE NEWPORT, NSW	DWG No. DATE	DA-06 01.01.09
		client	2106 MARK HALLING DEVELOPMENT APPLICATION	JOB No. DRAWN SHEET	0059/09 a/c A3



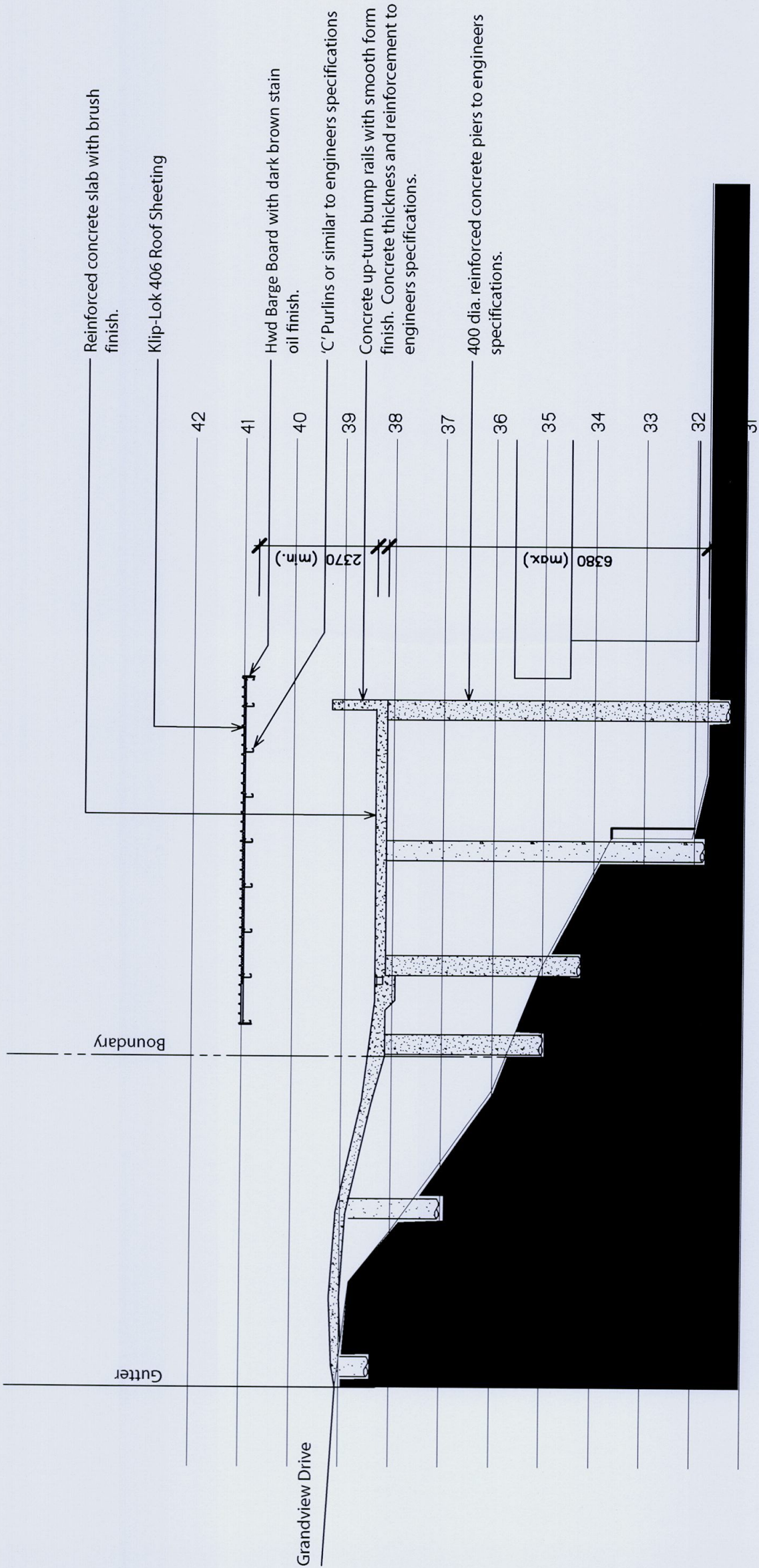
SOUTH EAST ELEVATION

Scale 1:100



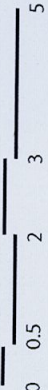
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client	2106 MARK HALLING DEVELOPMENT APPLICATION	JOB No. DRAWN SHEET	0059/09 arc A3



SECTION a,a

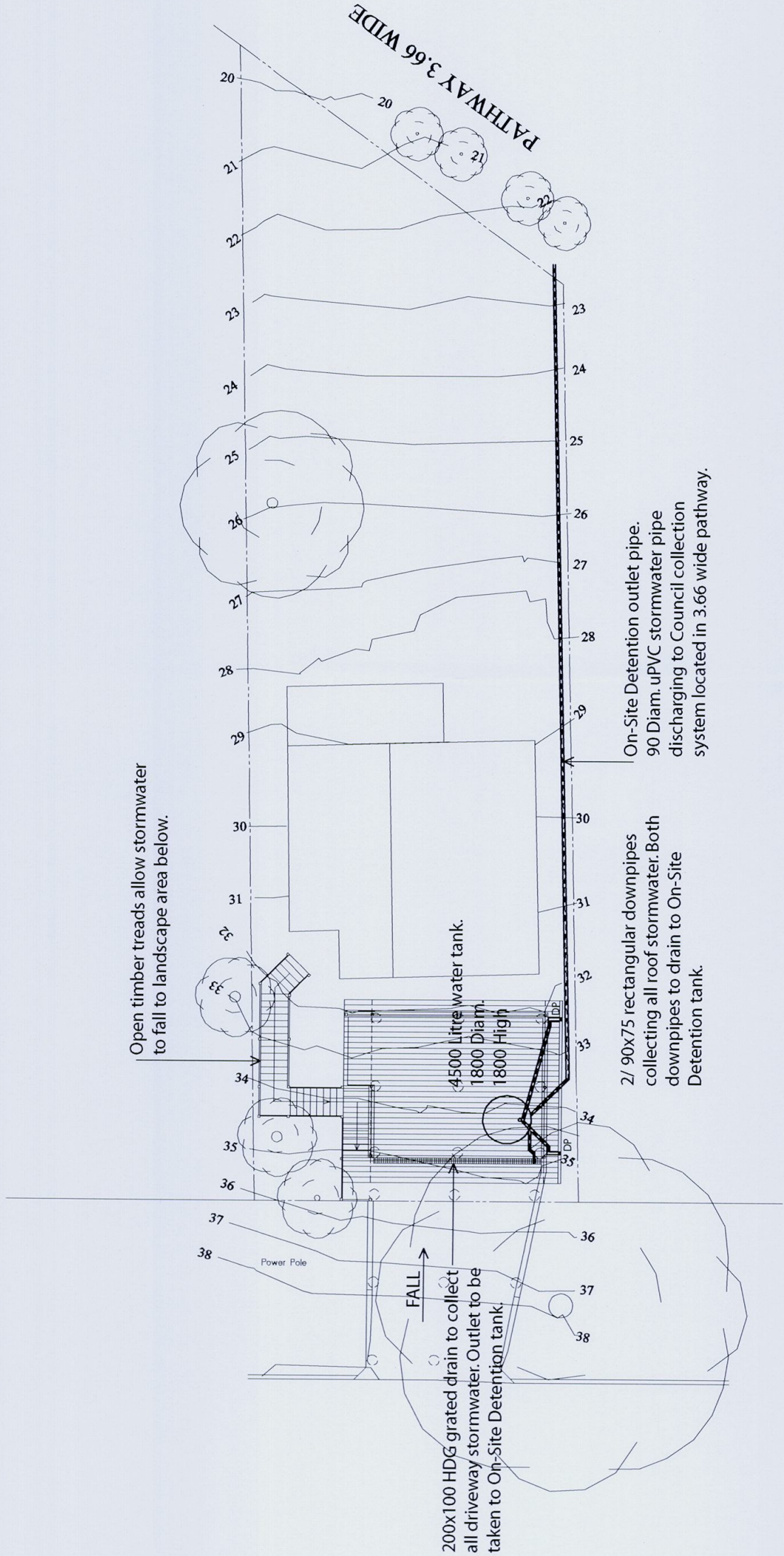
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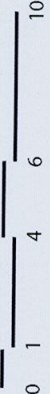
project address
HALLING RESIDENCE
6 GRANDVIEW DRIVE
NEWPORT, NSW
2106
client
MARK HALLING
DEVELOPMENT APPLICATION

DWG No.
DA-08
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01.01.09
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STORMWATER CONCEPT PLAN

Scale 1:200



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address

HALLING RESIDENCE
6 GRANDVIEW DRIVE
NEWPORT NSW
2106

client

MARK HALLING
DEVELOPMENT APPLICATION

DWG No.

DA-13

DATE

01.01.09

JOB No.

0059/09

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