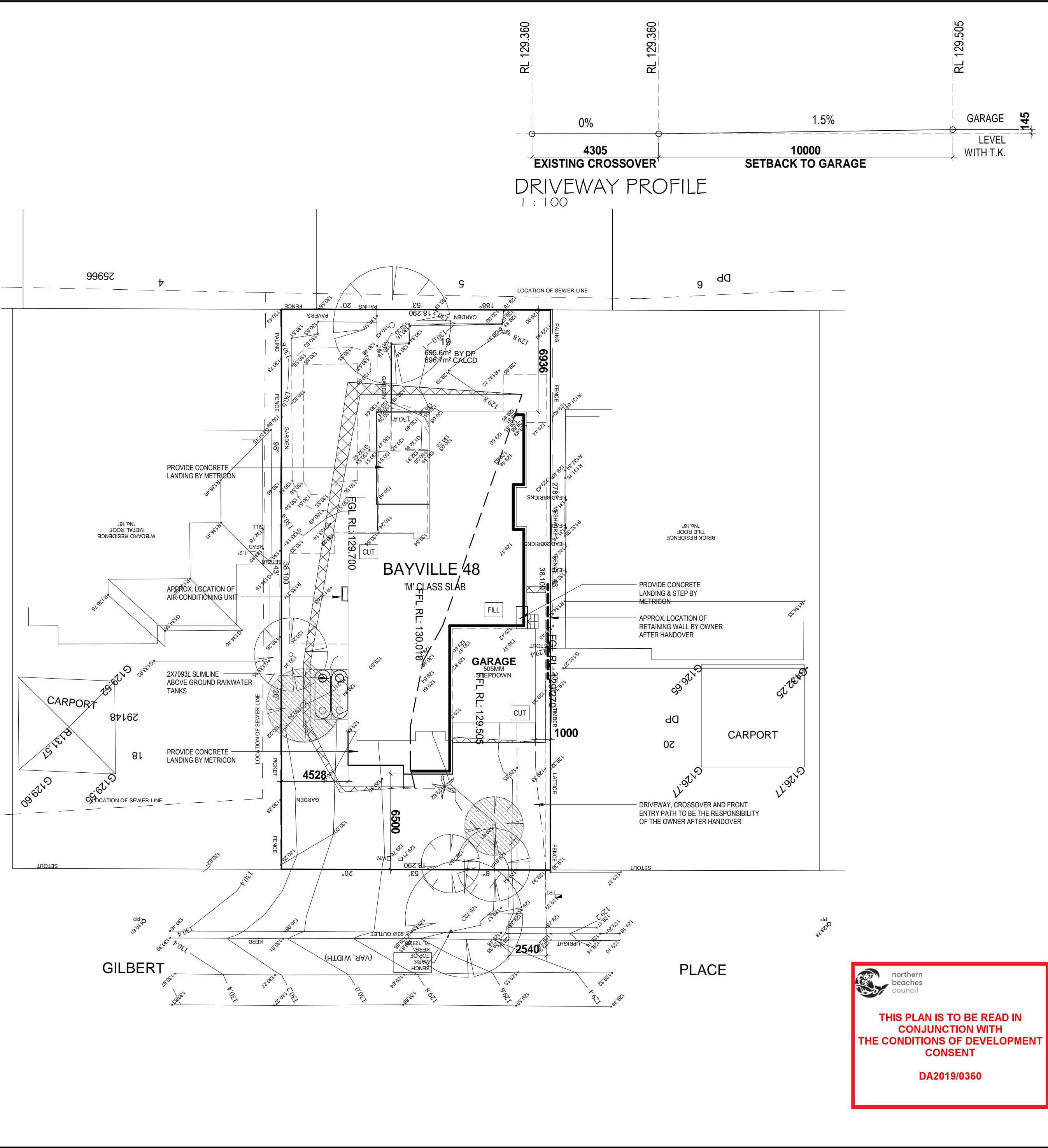


NORTHERN BEACHES BASE ON WARRINGAH DCP 2011	
SITE AREA:	695.6SQM
PROPOSED ROOF COVERAGE	
ROOF COVERAGE AREA:	279.6 SQM
LANDSCAPED AREA	
TOTAL LANDSCAPED AREA: EXCL. ALL HARD SURFACES MIN. DIMENSION OF 2.0M	356.0 SQM 51%
MIN. REQUIRED BY COUNCIL:	40%
PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	210.9 SQM
MIN. REQUIRED BY COUNCIL: MIN. DIMENSION OF 5M	60 SQM
BUILDING ENVELOPE PROVIDE 45 DEGREE PLAN PROJECTED AT 5M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL	
BUILDING HEIGHT RESTRICTION MAXIMUM 8.5M RIDGE HEIGHT MAXIMUM 7.2M CEILING HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)	
MAXIMUM 1000MM CUT MAXIMUM 1000MM FILL DEEP EDGE BEAM TO NATURAL GROUND NO EXPOSED FILL PERMITTED	
STORMWATER CALCULATION	
HARD LANDSCAPED AREAS: (INCL. ROOF/DRIVEWAY/PATHS ETC)	331.9 SQM 48%
MAX. ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED	40%
DEMOLITION REQUIREMENTS: SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L	
<div><div></div>EXISTING TREES TO BE LOPPED / REMOVED BY OWNER:</div>	
TREE REMOVAL REQUIREMENTS: SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED.	
TEMPORARY SITE FENCING: METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)	
ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION	



EXCAVATION NOTES:

50MM (±) TOLERANCE TO NOMINATED RL'S

EXCAVATE APPROX. 700MM ON RL 129.70 AND FILL WITHIN D.E.B.

EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT

IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:

SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO STREET VIA O.S.D. & RAINWATER TANK(s)

REFER TO HYDRAULIC ENGINEER'S DETAILS

SURVEYORS NOTES:

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S. 3660.1

NORTH

LOT No.:
19

DEPOSITED PLAN:
29148

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS: M

WIND SPEED: N I

MGA

SITE PLAN

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SIGNATURE

BY METRICON

BAYVILLE 48
Bayville Facade

m

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P.O. Box 7510, Norwest Business Park NSW 2153
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OWNER:
MR & MRS WALLER

ADDRESS:
LOT 19 No. 17 GILBERT PLACE,
FRENCHS FOREST

CONTRACT PLANS

JOB No.: 699571

DATE : 25.03.19

DRWN : BZ

SHEET:

SCALE : As indicated

REVISION : E

02 of 7

northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0360

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY ASS POSSIBLE DURING DEVELOPMENT.

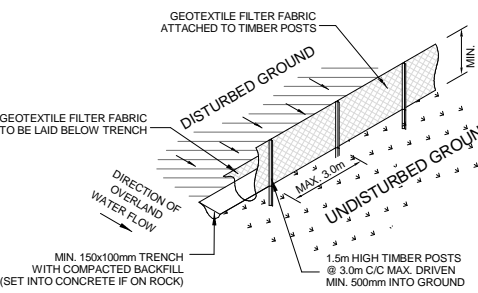
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STURCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

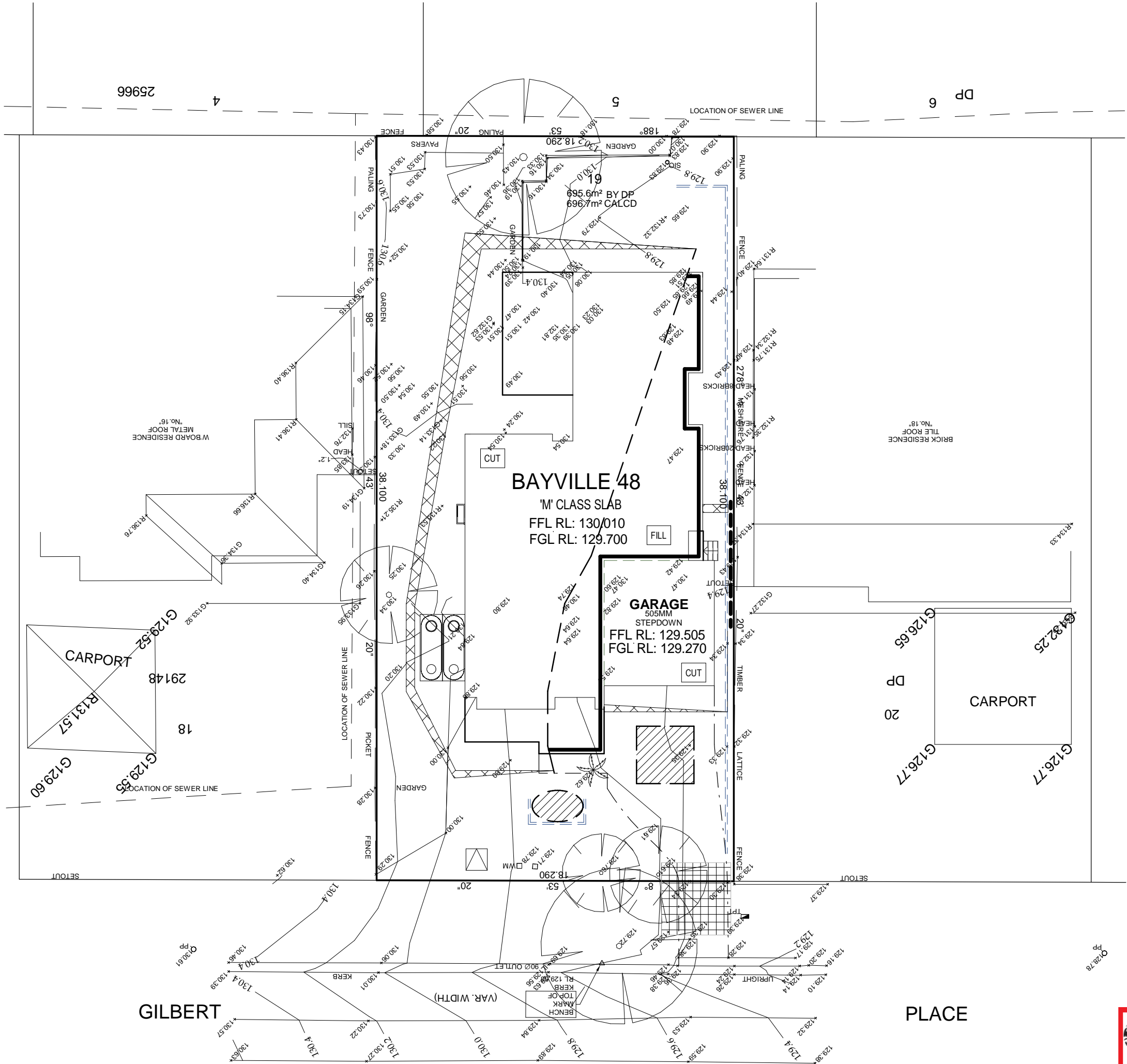
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY

6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0360

TEMPOARARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BY LAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHE ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

TEMPORARY SECURITY FENCING
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS
ALL GROUND LINES ARE APPROXIMATE. EXTEND OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

LEGEND

SEDIMENT FENCE

WASTE STORAGE AREA WITH SEDIMENT FENCE AROUND

MATERIAL STORAGE AREA

PORTABLE TOILET

ALL WEATHER ACCESS POSITION

	LOT No.: 19
	DEPOSITED PLAN: 29148
	COUNCIL / LGA: NORTHERN BEACHES
	SLAB CLASS: M
MGA	WIND SPEED: N I

CONSTRUCTION MGN PLAN

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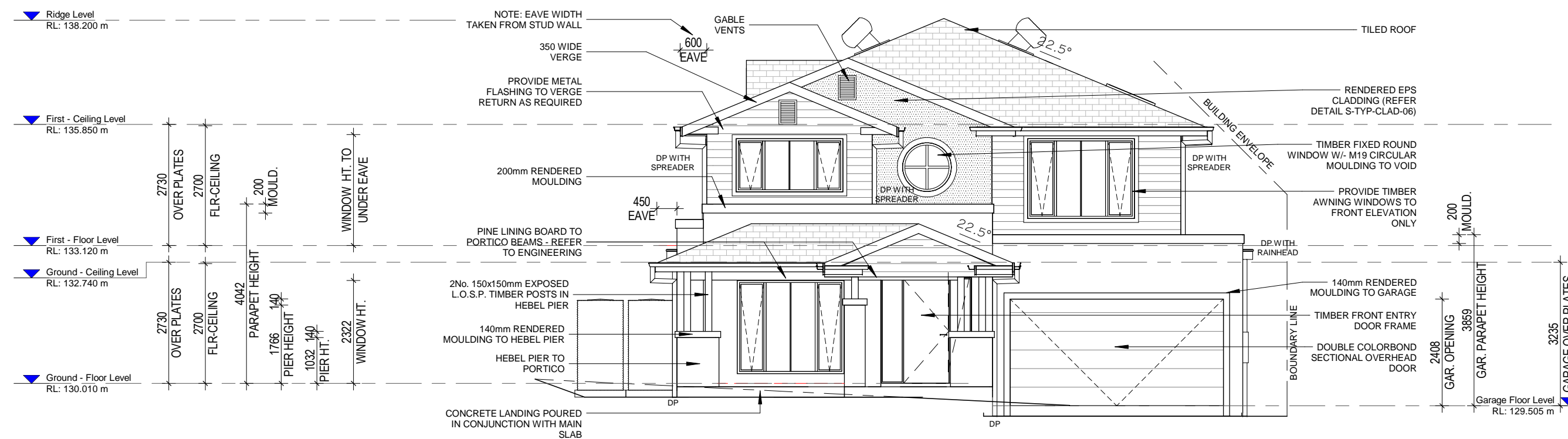
m Build E, Level 4, 32 Lexington Dr, Baukham Hills NSW 2153
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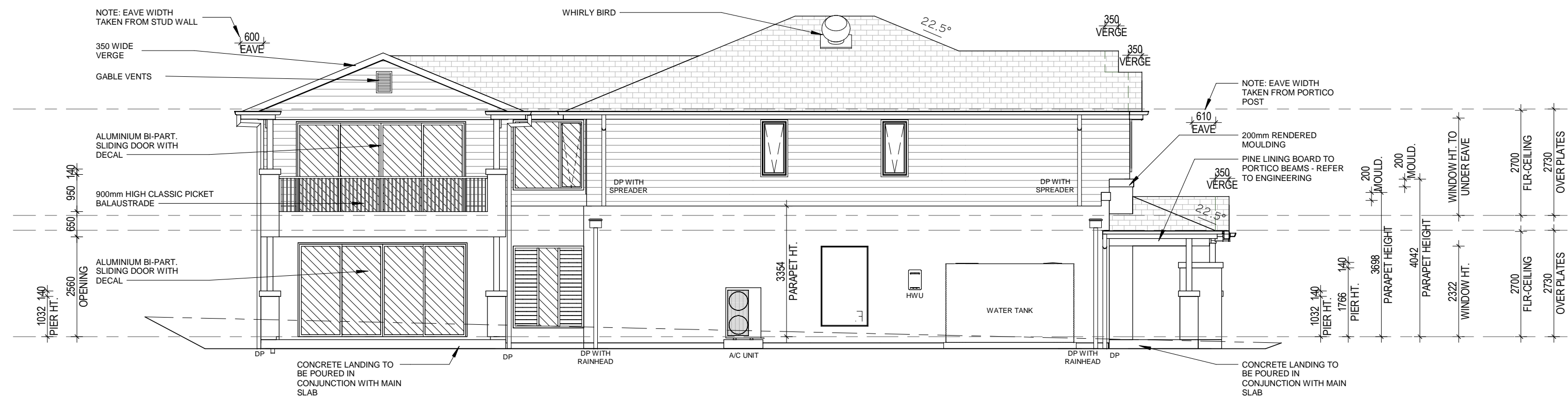
CONTRACT PLANS

JOB No.: 699571

DATE : 25.03.19	DRWN : BZ	SHEET:
SCALE : As indicated	REVISION : E	2A of 7



ELEVATION A - WEST


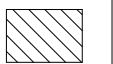







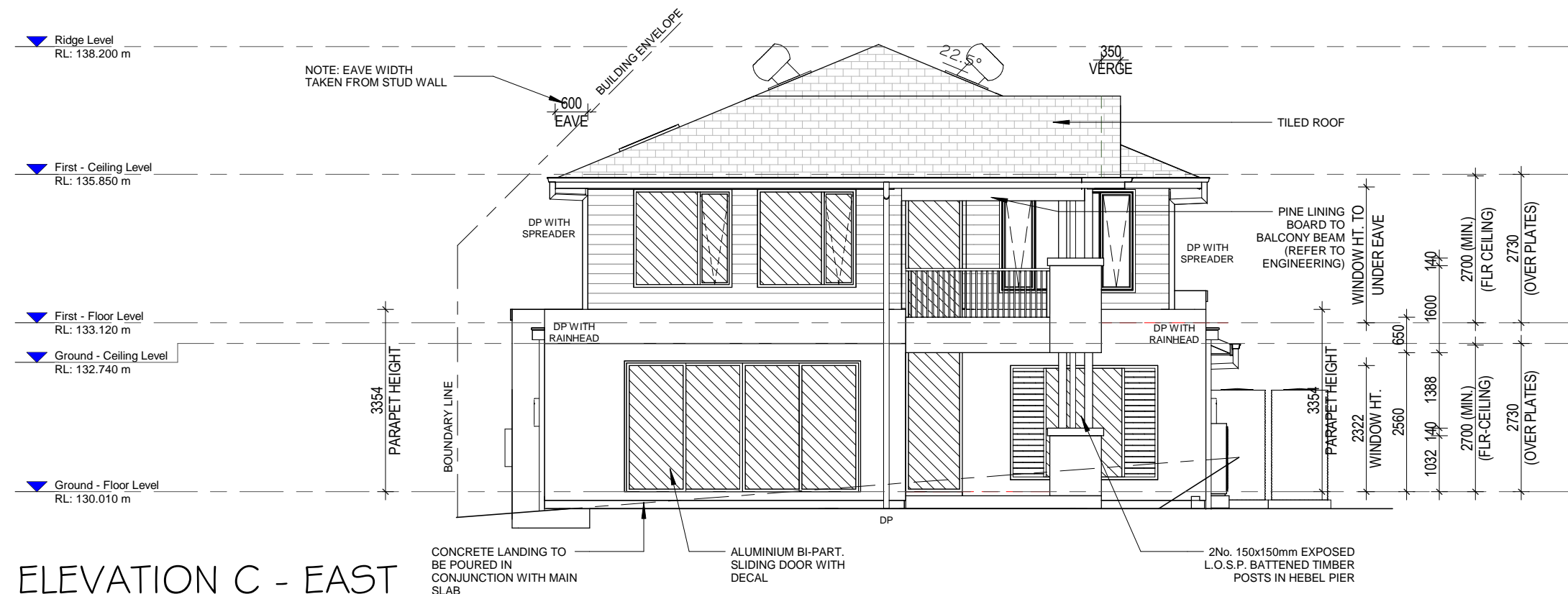
ELEVATION B - NORTH

 northern
beaches
council

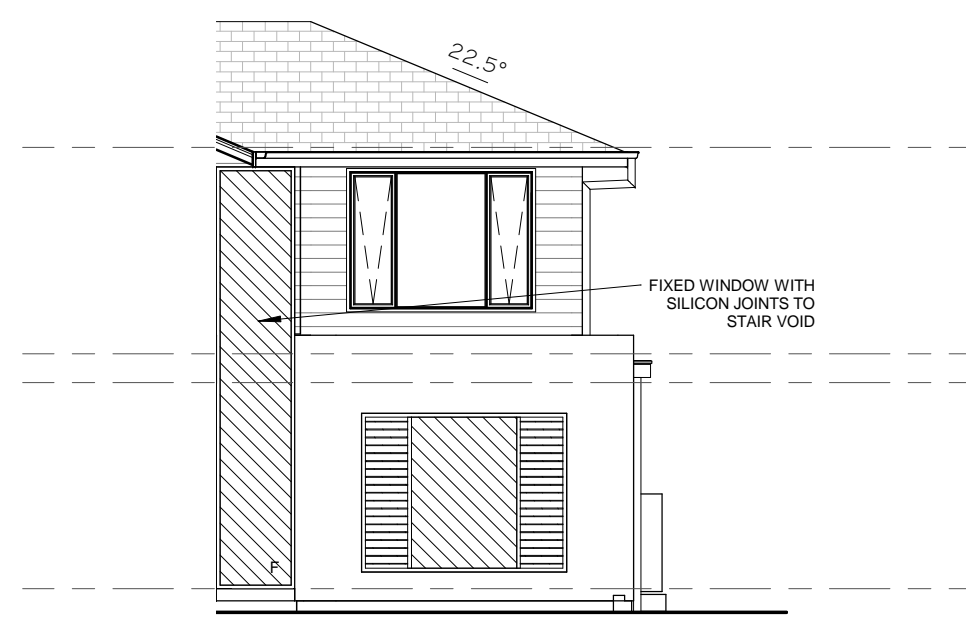
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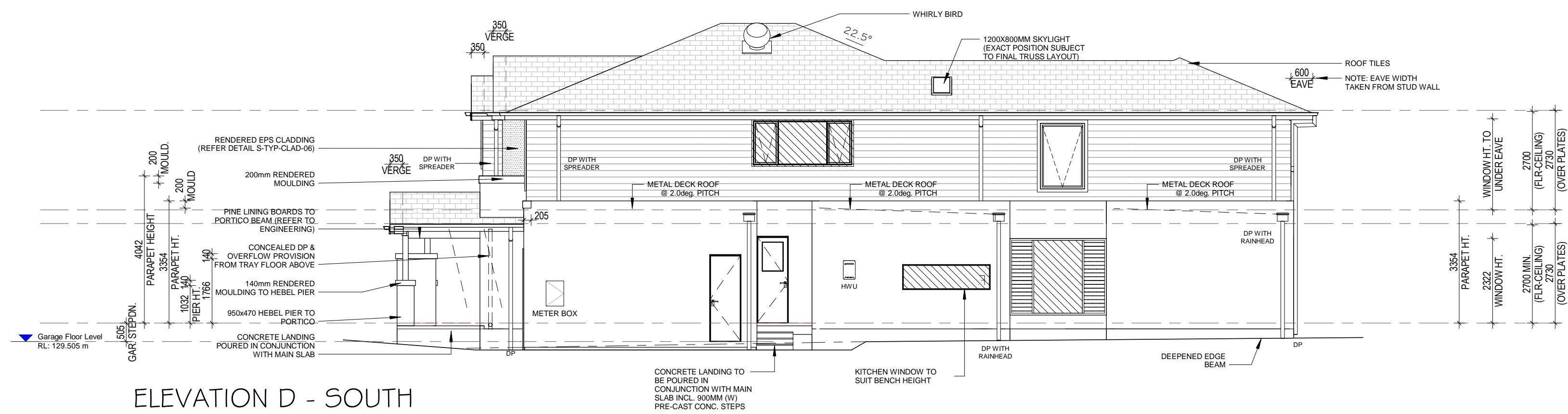
<div> Power Panel WALL PANELS</div> <div>STEEL FLOOR JOISTS<ul style="list-style-type: none">• 360mm DEEP FLOOR JOIST• 300mm DEEP FLOOR JOIST TO WET AREA• 22mm RED TONGUE PARTICLE BOARD FLOORING</div> <div>HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS</div>	<div>PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)</div> <div>IMPORTANT NOTE: REFER TO FACADE DETAIL REF. NO. S-TYP-BAYV-01</div> <div>PROVIDE JAMES HARDIES SCYN LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-02</div> <div>NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS</div>	<div>DENOTES WINDOWS/DOORS WITH WIDELINE SP10 GLAZING</div> <div></div>	<div>SYMBOL LEGEND</div> <div><div> MB</div>RECESSED ELECTRICITY METER BOX</div> <div><div> RWHT</div>DOWNPIPE W/- RAINWATER HEAD</div> <div><div> DP</div>ROTATING ROOF VENTILATOR</div> <div><div> AJ</div>ARTICULATION JOINT</div> <div>WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS</div>	<div>SIGNATURE BY METRICON</div> <div>metricon Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 659 A.C.N. 005 108 752 www.metricon.com.au</div> <div>© COPYRIGHT Ideas and the concepts contained within all drawings and documents are the sole property of Metricon Homes NSW Pty Ltd</div>	<div>BAYVILLE 48 Bayville Facade</div> <div>ELEVATIONS</div> <div>AMENDED BA PLANS</div> <div>METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.</div>	<div>OWNER: MR & MRS WALLER</div> <div>ADDRESS: LOT 19 No. 17 GILBERT PLACE, FRENCHS FOREST</div> <div>JOB No.: 699571</div> <div>DATE : 25.03.19 SCALE : 1 : 100</div> <div>DRAWN : BZ REVISION: E</div> <div>SHEET: 05 of 7</div>
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ELEVATION C - EAST



ELEVATION E - EAST



ELEVATION D - SOUTH

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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hebel® Power Panel WALL PANELS

STEEL FLOOR JOISTS

- 360mm DEEP FLOOR JOIST
- 300mm DEEP FLOOR JOIST TO WET AREA
- 22mm RED TONGUE PARTICLE BOARD FLOORING

PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-02

HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS

DENOTES WINDOWS/DOORS WITH WIDELINE SP10 GLAZING

SYMBOL LEGEND

MB RECESSED ELECTRICITY METER BOX

RWH DOWNPIPE W/- RAINWATER HEAD

DP ROTATING ROOF VENTILATOR

AJ ARTICULATION JOINT

WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

SIGNATURE

BY METRICON

m metricon

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BAYVILLE 48
Bayville Facade

ELEVATIONS

AMENDED BA PLANS

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LOT 19 No. 17 GILBERT PLACE,
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JOB No.: 699571

DATE : 25.03.19
SCALE : 1 : 100

DRAWN : BZ
REVISION: E

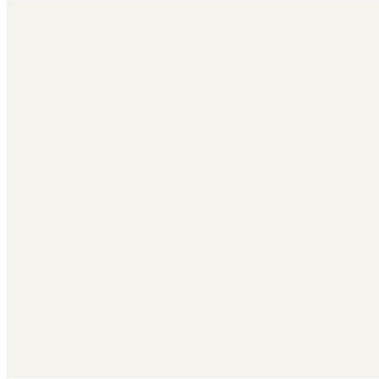
SHEET:
06 of 7

ROOF TILE



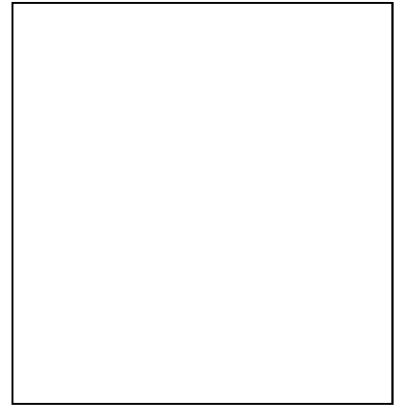
MONIER HORIZON

GUTTER / FASCIA



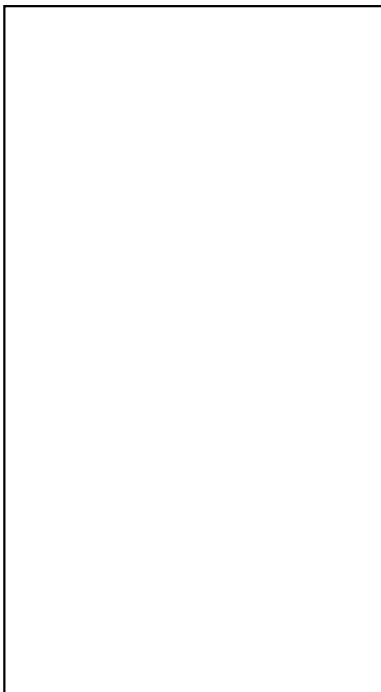
COLORBOND SURFMIST

EAVES / LINING



DULUX VIVID WHITE

ALUMINIUM FRAMES



PEARL WHITE

TIMBER FRAMES

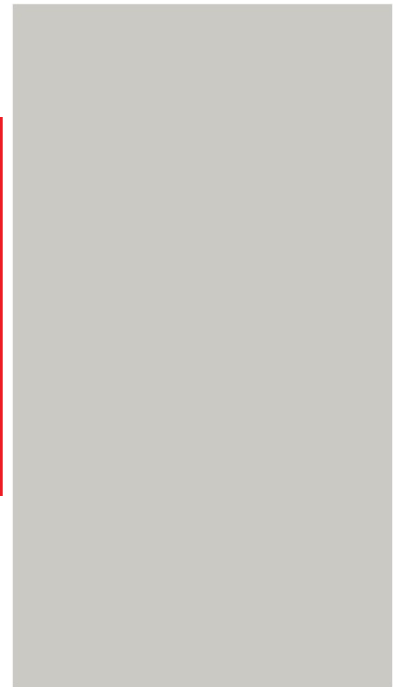


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DULUX VIVID WHITE

RENDER



DULUX BLEACHES HALF

GARAGE



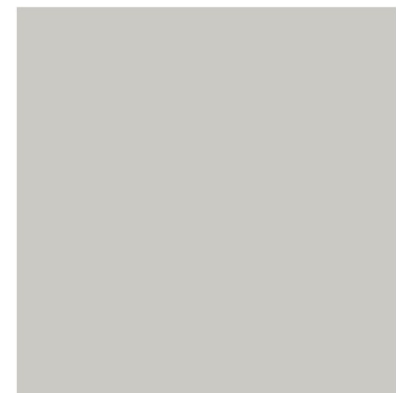
WHITE SATIN

ENTRY DOOR



CABOTS CHARCOAL

CLADDING



DULUX BLEACHES HALF

PROPOSED DEVELOPMENT

LOT 19 NO. 17 GILBERT PLACE FRENCHS FOREST

GENERAL DRAINAGE NOTES

1. THE CONTRACTOR SHALL ADEQUATELY DRAIN THE SITE DURING ALL STAGES OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL LEVELS DIMENSIONS AND SERVICES EXISTING AND REPORT ANY DISCREPANCIES TO BUILDER WITHIN 5 DAYS OF MOBILISATION TO SITE.
3. ALL APPROPRIATE PERMITS SHALL BE OBTAINED AND FEES PAID FOR BY THE CONTRACTOR.
4. ANY PAVEMENT OR FEATURES DAMAGED DURING THE COURSE OF THIS CONTRACT SHALL BE REINSTATED TO THEIR FORMER CONDITION.
5. THE CONTRACTOR SHALL ARRANGE A SITE INSPECTION WITH THE CIVIL ENGINEERING SUPERVISING OFFICER PRIOR TO THE COMMENCEMENT OF WORK TO RECORD ANY DAMAGE TO EXISTING FEATURES.
6. ALL EXISTING PIT COVERS, DOWNPIPE CONNECTIONS AND SIMILAR FEATURES IN CONSTRUCTION AREAS ARE TO BE ADJUSTED TO SUIT.
7. ALL CONCRETE PAVEMENT SHALL BE FINISHED WITH A NON SKID FLOAT, (NO BROOMED FINISH).
8. BEFORE COMMENCEMENT OF WORK A TEMPORARY BENCH MARK IS TO BE ESTABLISHED BY THE CONTRACTOR IN A POSITION ON SITE SAFE FROM DISTURBANCE.
9. ANY SHORTFALL IN INDIGENOUS TOPSOIL REQUIRED TO BRING THE GARDEN AND GRASSED AREAS TO THE DESIGN LEVELS SHALL BE MADE UP WITH APPROVED IMPORTED TOPSOIL. NO ADDITIONAL PAYMENT WILL BE MADE FOR IMPORTED TOPSOIL.
10. EXCAVATED MATERIAL SHALL BE STOCKPILED ON SITE AS DIRECTED BY THE SUPERINTENDENT. EXCESS TO BE REMOVED FROM SITE AT CONTRACTORS EXPENSE.
11. TOPSOIL TO BE STRIPPED TO A DEPTH OF 150mm UNDER FILL AREAS AND ALL OTHER AREAS. THIS TOPSOIL SHALL BE STOCKPILED ON SITE AS DIRECTED BY SUPERINTENDENT. EXCESS SOIL SHALL BE REMOVED FROM THE SITE AT THE CONTRACTORS EXPENSE.
12. ALL STORMWATER DRAINS SHALL BE BEDDED ON A MINIMUM OF 80mm COMPACTED THICKNESS 20 N.S. CLASS 3 FINE CRUSHED ROCK, IN SOIL BASED TRENCHES. INCREASE TO 200mm THICKNESS IN ROCK BASED TRENCHES.
13. 100mm AND 150mm DIAMETER STORMWATER DRAINS SHALL BE LAID AT A MINIMUM GRADE OF 1:100, UNLESS OTHERWISE SHOWN.
14. FOOTPATHS, DRIVEWAYS, ROADWAYS, KERBS, R.O.W.'S OR EXISTING FEATURES DISTURBED, BROKEN OR AFFECTED BY THE WORKS ARE TO BE REINSTATED TO THE COMPLETE SATISFACTION OF THE CITY ENGINEER OR HIS REPRESENTATIVE.
15. ALL CONCRETE TO BE SAW CUT AND BROKEN OUT TO THE NEAREST JOINT.
16. ALL NATURE STRIPS AND LAWN AREAS OUTSIDE PRIVATE PROPERTY TO BE REINSTATED WITH TOP SOIL AND SEEDED.
17. CONTRACTOR TO CONTACT LOCAL COUNCIL ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF OUTFALL DRAINAGE TO ARRANGE FOR COUNCIL SUPERVISION AND INSPECTION IF REQUIRED BY COUNCIL.
18. THE CONTRACTOR IS TO VERIFY ALL LOCATIONS AND DEPTH OF SERVICES WITH THE RELEVANT AUTHORITIES FOR THE CONSTRUCTION OF DRAINS AND SERVICES OUTSIDE THE PROPERTY BOUNDARY PRIOR TO THE COMMENCEMENT OF WORK, AND SHALL BE FULLY RESPONSIBLE FOR RECTIFICATION OF ANY DAMAGED SERVICE.
19. ALL ADDITIONAL FILL MATERIAL REQUIRED DUE TO OVER EXCAVATION OR A SHORTFALL OF SUITABLE EXCAVATED MATERIAL SHALL BE IMPORTED AT THE CONTRACTORS EXPENSE.

MIN. REQUIREMENTS FOR EXPANSION AND ALLOWABLE IN FITTINGS		
SITE CLASS	MIN. REQUIRED EXPANSION JOINT CAPACITY	ALLOWABLE ROTATION
"E"	150mm	15°
"H"	70mm	15°
"P"	70mm PLUS ADDITIONAL REQUIREMENTS IN THE CASE OF FILL (MIN. DEPENDENT ON SITE CONDITION)	15°
"M"	MIN. 25mm LAGGING THROUGH FOOTINGS	NOT APPLICABLE

THE CONTRACTOR TO REFER SOIL CLASSIFICATION REPORT TO DETERMINE THE TYPE OF EXPANSION JOINT TO BE USED

DRAINAGE NOTES:

- 1.ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS 2870-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:
 - SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION.
 - WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER.
- 2.FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4 PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE BUILDING AND COMMENCING WITHIN 1m OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASE ON THE SOIL CLASSIFICATION, REFER TABLE 'MIN. REQUIREMENTS FOR EXPANSION AND ALLOWABLE IN FITTINGS.
- 3.DRAINAGE DESIGN IS IN ACCORDANCE WITH AS3500.

MATERIALS

1. PROPOSED 100ø & 150ø STORMWATER DRAINS SHALL BE FORMED OF UNPLASTICISED POLYVINYL CHLORIDE PIPES AND FITTINGS SN10/8 MANUFACTURED TO CONFORM TO AS.1260.
2. PROPOSED 225 DIAMETER AND LARGER STORMWATER DRAINS SHALL BE FORMED OF FIBRE REINFORCED CONCRETE CLASS 2, RUBBER RING JOINTED PIPE MANUFACTURED TO CONFORM TO AS 4058. USE UPVC TO AS1260. (CLASS SH) WHERE SHOWN ON THE DRAWINGS.

SERVICE

1. WHERE PROPOSED SERVICES TRAVERSE EXISTING ASPHALT AND CONCRETE PAVEMENTS THE PAVEMENT IS TO BE SAW CUT TO FULL DEPTH OF PAVEMENT PRIOR TO EXCAVATION. THE INTERFACE BETWEEN EXISTING KERB AND CHANNEL (TO BE REMOVED) AND EXISTING ASPHALT SHALL BE SAWCUT.
2. THE CONTRACTOR SHALL CO-ORDINATE THE LAYING OF ALL SERVICES TO AVOID CLASHES.
3. LAY ALL SERVICES TO NOMINATED LEVELS WHERE GIVEN, OTHER SERVICES SHALL BE LAID TO COMPLY WITH MINIMUM COVER REQUIREMENTS.
4. DIFFERENT PARALLEL SERVICES THAT ARE IN CLOSE PROXIMITY TO EACH OTHER MAY BE LAID IN A COMMON TRENCH, SUBJECT TO THE APPROVAL OF THE RELEVANT AUTHORITY AND THE SUPERINTENDENT.

WARNING

THE BUILDER/CONTRACTOR SHALL PROVE ALL EXISTING SERVICES WITHIN 3 DAYS OF MOBILISATION OR ANY WORKS OCCURRING ON SITE.

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL & LANDSCAPE PLANS FOR EXTERNAL WORKS.

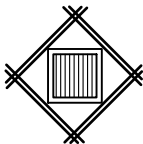
ALL UNDERGROUND & SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS 2870-2011 & AS 3500.3. SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION.

ALL FINISHED SURFACE LEVEL TO BE SLOPED AWAY FROM FINISHED FLOOR LEVEL AND DRAIN TOWARDS STORMWATER PITS

ALL INTERNAL DRAINAGE TO BE CONSTRUCTED AS PER AUSTRALIAN STANDARD AS 3500-PART 3- 2015

STORMWATER PIPE TO BE LAID 800mm CENTERS AWAY FROM EDGE OF SLAB UNLESS SPECIFIED OTHERWISE

PROVIDE 2-N12 BARS × 1200 LONG TOP FOR ALL RE-ENTRY CORNERS OF PITS. (TYPICAL).



SITE DRAINAGE REQUIREMENTS - CONSTRUCTION STAGE:

1. PREVENT WATER PONDING AGAINST OR NEAR ANY EXISTING FOOTING.
2. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING SHALL BE GRADED TO A FALL OF 50mm MIN. AWAY FROM THE FOOTING OVER A DISTANCE OF 1000mm (1:20) AND SHAPED TO PREVENT PONDING OF WATER (THIS INCLUDES THE GROUND UPHILL FROM THE FOOTING ON A CUT/FILL SITE) - WHERE FILLING IS PLACED ADJACENT TO THE BUILDING, THE FILLING SHALL BE COMPACTED AND GRADED TO ENSURE DRAINAGE OR WATER AWAY FROM THE BUILDING.
3. ALL COLLECTED STORMWATER MUST BE DISCHARGED TO THE LPOD.
4. INSTALL SUB-SURFACE DRAINAGE TO AS2439.1 100mm DIAMETER SN8 IN A 300mm WIDE TRENCH (MIN. FALL OF 1:100), BASE OF THE TRENCH IS FILLED WITH 12mm SINGLE SIZE AGGREGATE.
 - AG DRAINS MUST BE INSTALLED AT THE BASE OF ALL SITE CUTS THAT EXCEED 400mm IN HEIGHT, ALONG THE HIGH SIDE OF A SLOPING SITE AND POSSIBLY ALONG THE LOW SIDE OF A SLOPING SITE ALONG THE BOUNDARY. TO BE CONNECTED TO STORMWATER SYSTEM VIA A SILT PIT.
 - AG DRAINS TO BE LAID APPROX. 200mm INTO UNDISTURBED CLAY OR COMPACTED CLAY.
5. TRENCHES MUST BE 'CLAY PLUGGED' OR CONCRETED WHEN PASSING PERPENDICULARLY UNDER ANY PART OF THE FOOTING AND ON ANY SLOTTED PIPE SIDE OF A CONNECTION PIT
 - ALL TRENCHES WITHIN 1500mm OF ANY FOOTING MUST BE EFFECTIVELY SEALED FROM SURFACE WATER, WITH AT LEAST THE TOP 300mm OF THE TRENCH FILLED WITH LOCAL CLAY COMPACTED TO AN IMPERMEABLE TOP LAYER. APPROVED MOISTURE BARRIER USE WITH TRENCHES IS AN OPTION.
6. FLEXIBLE PLUMBING JOINTS ARE REQUIRED FOR H1/H2/E/P SITES TO ALLOW FOR EXPECTED VERTICAL GROUND MOVEMENTS (REFER GEOTECHNICAL REPORT). THE JOINTS MUST BE SET AT THE MIDWAY POINT WHEN INSTALLED & MUST ALSO INCORPORATE SWIVEL JOINTS IN THE SYSTEM
 - DRAINS EMERGING FROM UNDER THE FOOTING REQUIRE THE FLEXIBLE JOINT TO BE WITHIN 1000mm OF THE OUTSIDE OF THE PERIMETER FOOTING
 - INSTALLATION, LOCATION AND NUMBER OF JOINTS TO COMPLY WITH MANUFACTURER'S SPECS.

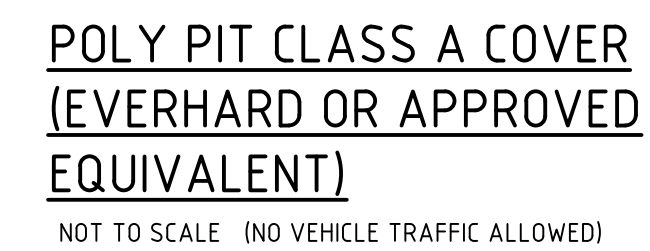
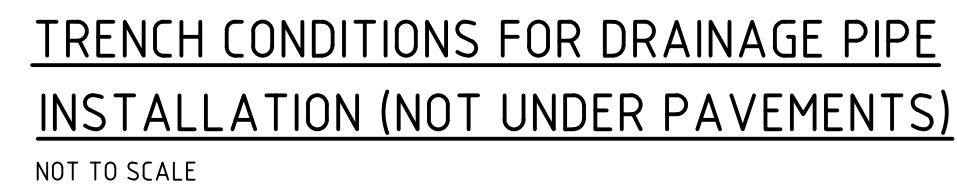
 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

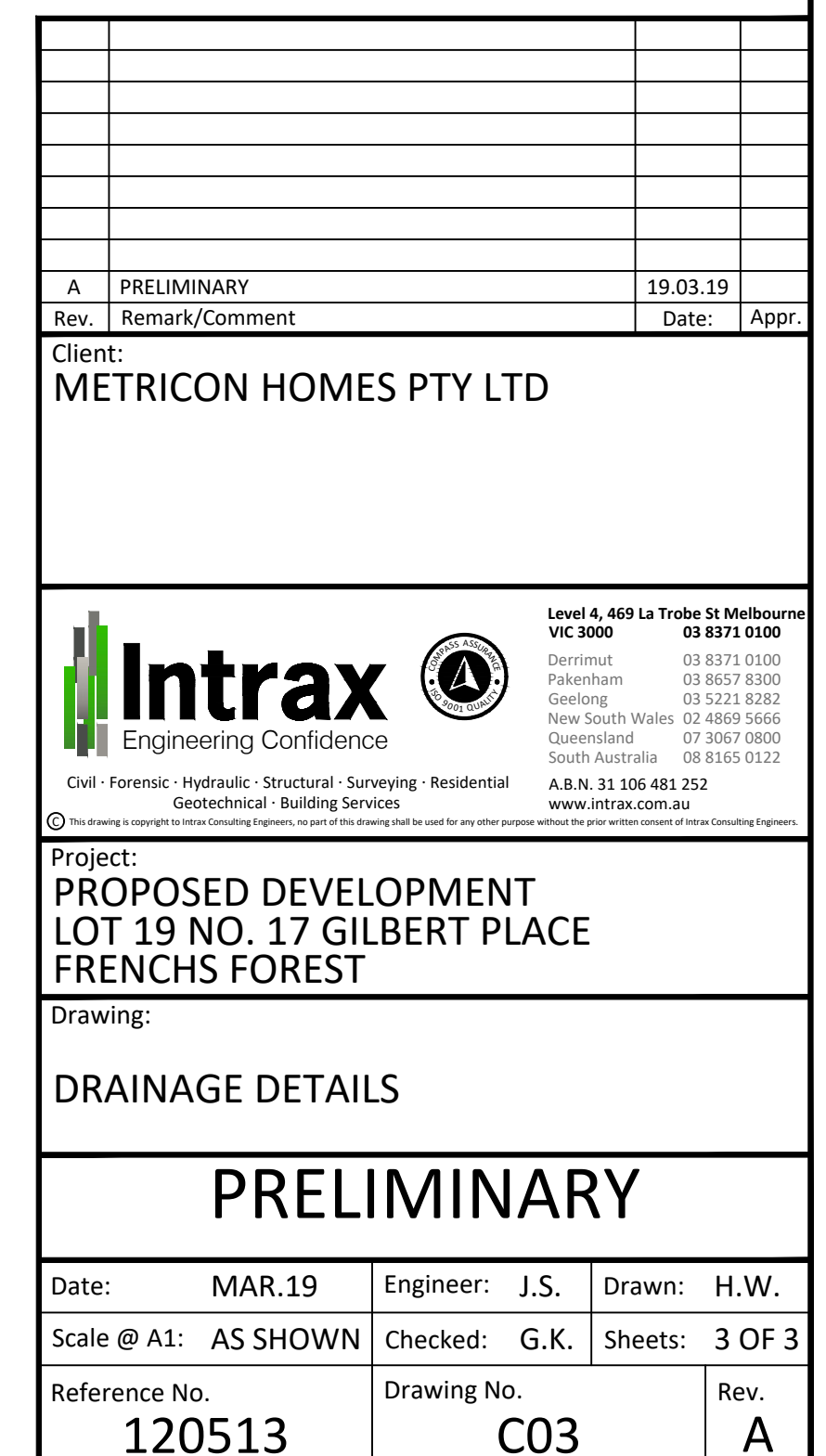
DA2019/0360

A	PRELIMINARY	19.03.19	
Rev.	Remark/Comment	Date:	Appr.
Client: METRICON HOMES PTY LTD			
<div><div></div><div><div>Level 4, 469 La Trobe St Melbourne VIC 3000</div><div>03 8371 0100</div><div>Derrimut 03 8371 0100 Pakenham 03 8657 8300 Geelong 03 5221 8282 New South Wales 02 4809 5666 Queensland 07 3467 0800 South Australia 08 8165 0122</div><div>A.B.N. 31 106 481 252 www.intrax.com.au</div></div></div>			
Project: PROPOSED DEVELOPMENT LOT 19 NO. 17 GILBERT PLACE FRENCHS FOREST			
Drawing:			
GENERAL NOTES & LOCALITY PLAN			
PRELIMINARY			
Date:	MAR.19	Engineer:	J.S.
Scale @ A1:	N/A	Checked:	G.K.
Reference No.	120513	Drawing No.	C01
		Rev.	A





1. THIS CHARGED SYSTEM DOES NOT PERMIT ANY SURFACE WATER TO BE DISCHARGING INTO.
2. THIS TECHNICAL SOLUTION SHOULD BE READ IN CONJUNCTION WITH 'TECHNICAL SOLUTION 5' COLD WATER PLUMBING-RAINWATER TANKS CURRENT AS AT JULY 2004.
3. ALL PLUMBING/ DRAINAGE WORKS TO BE CONSTRUCTED AS PER RELEVANT AUTHORITIES OR TO BUILDING SURVEYOR SATISFACTION.
4. ALL DOWNPIPPES AND FITTING ON CHARGED SYSTEM TO BE INSTALLED AS PER AUSTRALIA STANDARDS AS/NZS 1260 AND TO BE FULLY SOLVENT CEMENT WELDED.
5. FOR NUMBER, TYPE AND DIMENSIONS OF TANK REFER TO ARCHITECTURAL DRAWINGS.





LANDSCAPED AREA:
Total Landscaped Area : 356.0 Sqm
Excl. All Hard Surfaces : 51 %
Min. Dimension of 2.0 m
Min Required By Council : 40 %

LANDSCAPE MAINTENANCE NOTES

MONTH	MOWING (EDGING BLOWING)	FERTILISING (SEASON)	CHECK IRRIGATION	HAND WEED REMOVAL	PRUNING	WEED SPRAYING	WATERING/ IRRIGATION	PLANT REPLACEMENT IF REQUIRED
DEC	W	M	M	W	F	M	D	W
JAN	W	M	M	W	F	M	D	W
FEB	W	M	M	W	F	M	D	W
MAR	F	M	M	F	M	M	D	W
APR	F	N/A	M	F	M	M	D	W
MAY	F	N/A	M	M	M	M	D	W
JUNE	M	N/A	M	M	N/A	N/A	2ND D	W
JULY	M	N/A	M	M	N/A	N/A	2ND D	W
AUG	M	N/A	M	M	N/A	N/A	2ND D	W
SEP	M	M	M	M	N/A	N/A	2ND D	W
OCT	F	F	M	F	M	M	D	W
NOV	F	F	M	F	M	M	D	W

PLANTING ESTABLISHMENT PERIOD - 12 MONTHS
LANDSCAPE MATERIAL ESTABLISHMENT - 12 MONTHS
KEY: D-DAILY, W-WEEKLY, F-FORTNIGHTLY, M-MONTHLY, 2ND 2ND DAY

LEGEND

UNCOLOURED PLAIN CONCRETE

TURF AREAS

GARDEN BEDS / MULCHED

PROPOSED RESIDENCE

AS SELECTED TILLING

TIMBER GARDEN EDGING

A 21/02/19 ISSUE FOR APPROVAL
ISSUE DATE COMMENT

AMENDMENTS -

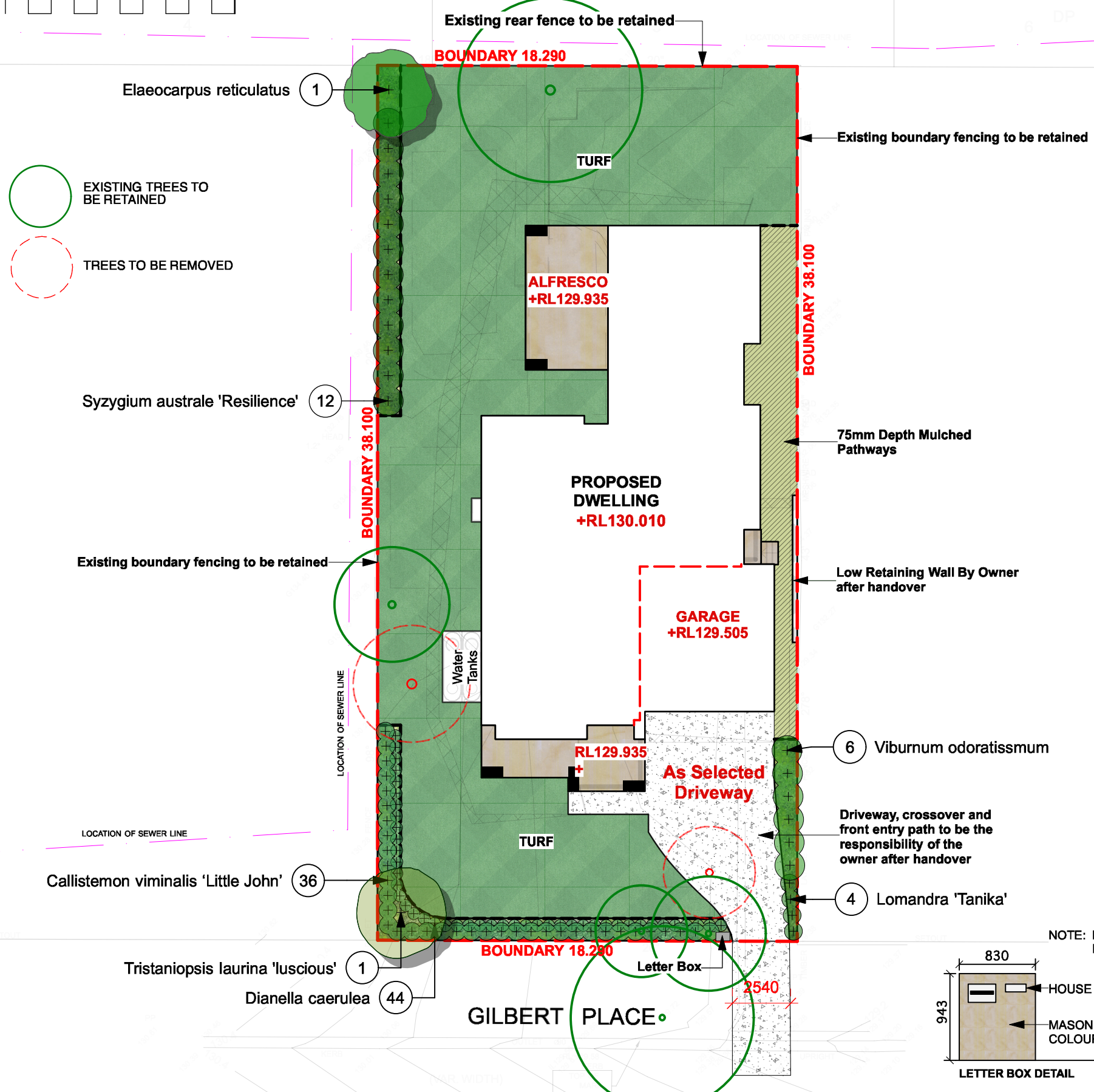
NOTES

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman-like manner according to the plans and specification.

NOTE
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out.
No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction. COPYRIGHT CLAUSE
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EXISTING TREES TO BE RETAINED

TREES TO BE REMOVED



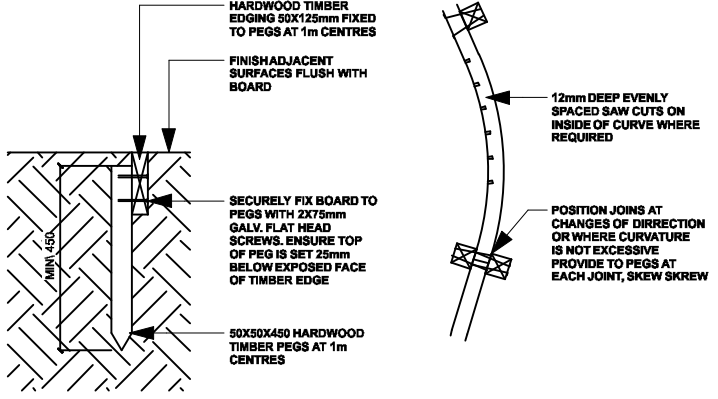
Tristaniopsis laurina luscious Watergum



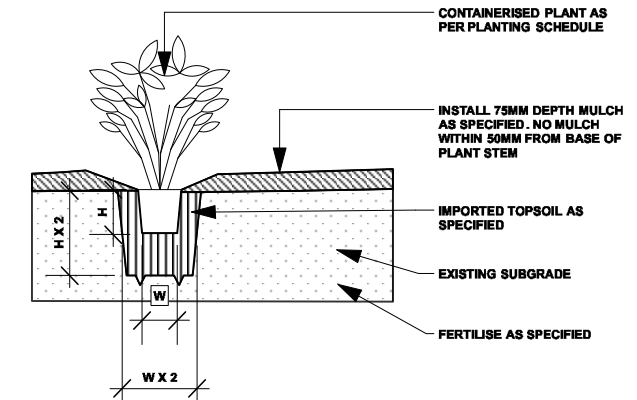
Callistemon viminalis 'Little John'



Syzygium Australe-resilience Lilly Pilly



TIMBER EDGE
NTSual Size

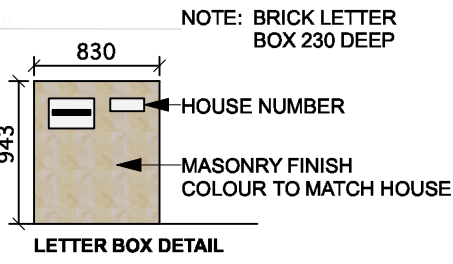


INDIVIDUAL PLANTING
NTSual Size

PLANT SCHEDULE

ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees						
EReti	1	Blueberry Ash	Elaeocarpus reticulatus	45L	8m	3m
TLaur-lus	1	Kandooki Water Gum	Tristaniopsis laurina 'luscious'	45L	5 - 10m	3.5 - 6m
Shrubs						
Cal-vim-lj	36	Weeping Bottlebrush	Callistemon viminalis 'Little John'	200mm	0.9 - 1.5m	0.9 - 1.2m
syz-au're	12	Lilly Pilly	Syzygium australe 'Resilience'	200mm	1 - 2.5m	1.5m
Vib-odo	6	Viburnum	Viburnum odoratissimum	200mm	1500mm hedged	1000mm hedged
Grasses						
Dia-cae	44	Blue Flax-lily	Dianella caerulea	150mm	0.4m	0.6m
lom-la	4	Fine-leaved matrush	Lomandra tanika	150mm	0.5m	0.6m
Total	104					

THIS PLAN MUST BE USED IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



NOTE: BRICK LETTER BOX 230 DEEP

LETTER BOX DETAIL

creating places to live in and enjoy

LANDSCAPE ARCHITECTS // CONSTRUCTION // MAINTENANCE // IRRIGATION

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Project **PROPOSED LANDSCAPE WORKS** **DA2019/0360**
Address **LOT 19 NO. 17 GILBERT PLACE, FRENCHS FOREST**
Drawing Title **LANDSCAPE PLAN**
Client **MR & MRS WALLER**
Scale **1:200@A3** Drawing No. **699571**

Page

L-01 A