

**SITE RATIOS - EXISTING:**

SITE AREA	950.80m <sup>2</sup>
BUILDING FOOTPRINT	89.01m <sup>2</sup>
FRONT PORCH	14.77m <sup>2</sup>
REAR TERRACE	49.59m <sup>2</sup>
CARPORT	27.19m <sup>2</sup>
SHEDS	9.56m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	135.63m <sup>2</sup>
AREAS UNDER 2m WIDE	45.25m <sup>2</sup>

SUM TOTAL 371.00m<sup>2</sup>

EXISTING LANDSCAPED AREA 579.80m<sup>2</sup>  
60.9%

**SITE RATIOS - PROPOSED:**

SITE AREA	950.80m <sup>2</sup>
BUILDING FOOTPRINT	116.20m <sup>2</sup>
FRONT PORCH	14.77m <sup>2</sup>
REAR TERRACE	49.59m <sup>2</sup>
CARPORT	31.92m <sup>2</sup>
COURTYARD	46.58m <sup>2</sup>
SHEDS	9.56m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	85.76m <sup>2</sup>
AREAS UNDER 2m WIDE	49.62m <sup>2</sup>

SUM TOTAL 404.00m<sup>2</sup>

EXISTING LANDSCAPED AREA 546.80m<sup>2</sup>  
57.5%

HYNDES PLACE

1.9km TO  
GLENROSE  
SHOPPING CENTRE

VEHICLE &  
PEDESTRIAN  
ENTRY POINT

650m TO PUBLIC  
PRIMARY SCHOOL

450m TO PUBLIC  
TRANSPORT

Note- Proposed stormwater will  
connect to the existing system  
which drains to the street

No.12  
ADJOINING TWO  
STOREY BRICK &  
TIMBER RESIDENCE

SECTION 160  
DP 242868

BOUNDARY 46.54m

PROPOSED  
INFILL OF  
CARPORT &  
FIRST FLOOR  
OVER

No.13  
EXISTING TWO  
STOREY BRICK  
RESIDENCE

PROPOSED  
CARPORT

BOUNDARY 45.72m

No.14  
ADJOINING SINGLE  
STOREY RENDERED  
RESIDENCE

SECTION 160  
DP 242868

ADJOINING PRIVATE  
OPEN SPACE

SECTION 160  
DP 242868  
950.8m<sup>2</sup>

BOUNDARY 32.06m

1 SITE PLAN 1:200  
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

**NOTES**

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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps  
**WATER COMMITMENTS:**  
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Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption >0.70)

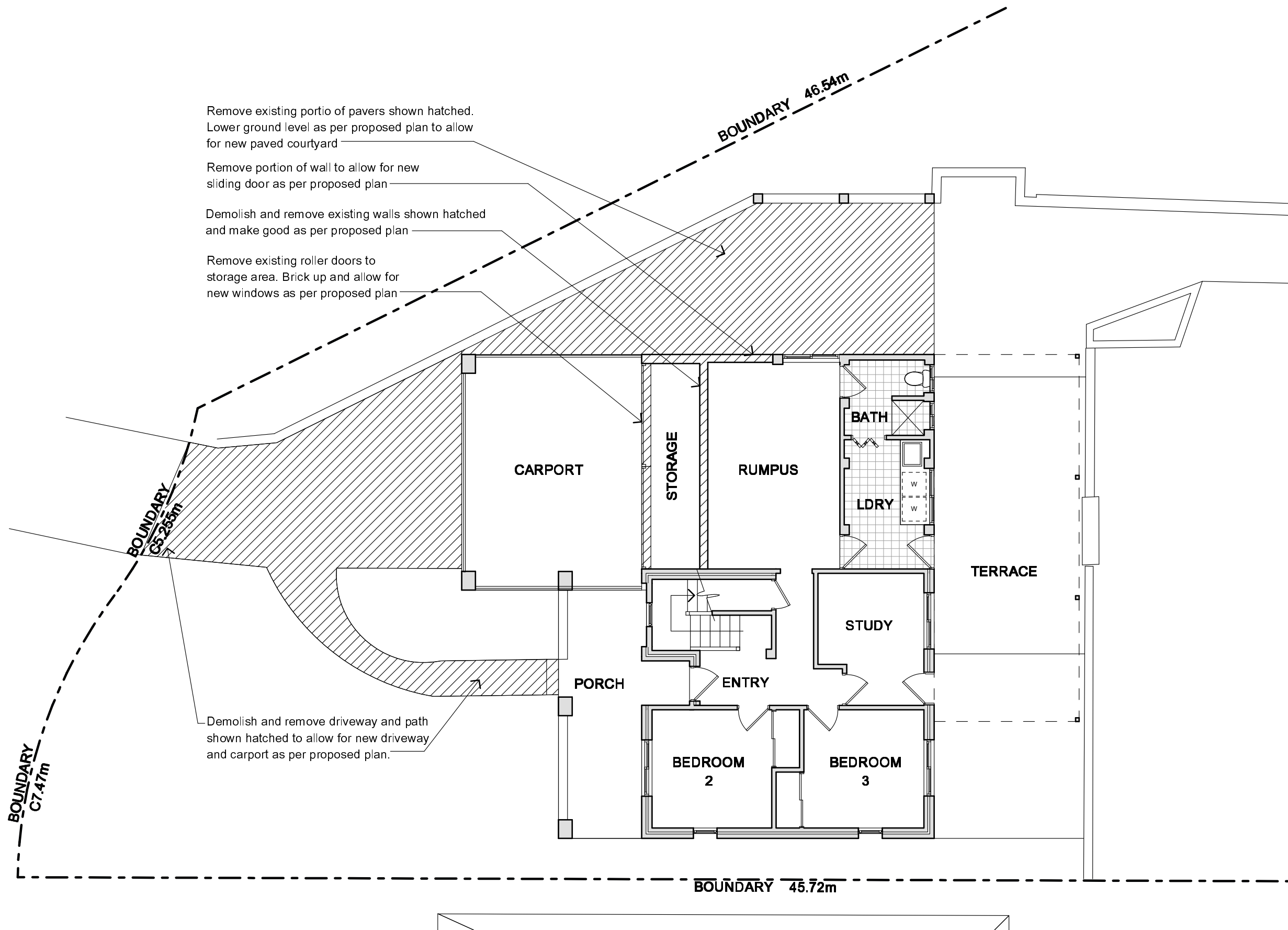
**WINDOWS & GLAZED DOORS:**  
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Client  
**TALBOT FAMILY**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS  
13 HYNDES PLACE  
LOT 7, SECTION 160, DP 242868  
DAVIDSON NSW 2085**

**JAH**  
DESIGN SERVICES  
ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 04 10 410 064 EMAIL: jah@jahdesignservices.com.au

Drawing Title:	<b>SITE PLAN</b>		
Scale:	1:200 @ A3	Date:	JANUARY 2020
Status:	DA SUBMISSION	Drawn By:	JAH
Project No:	1905	Drawing No.:	DA01
Plot Date:	28/01/2020		



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Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**13 HYNDES PLACE**  
**LOT 7 , SECTION 160, DP 242868**  
**DAVIDSON NSW 2085**

JAH

DESIGN SERVICES

ABN 22 630 690 834  
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PH. 04 10 410 064 EMAIL: info@jahdesignservices.com.au

Drawing Title:

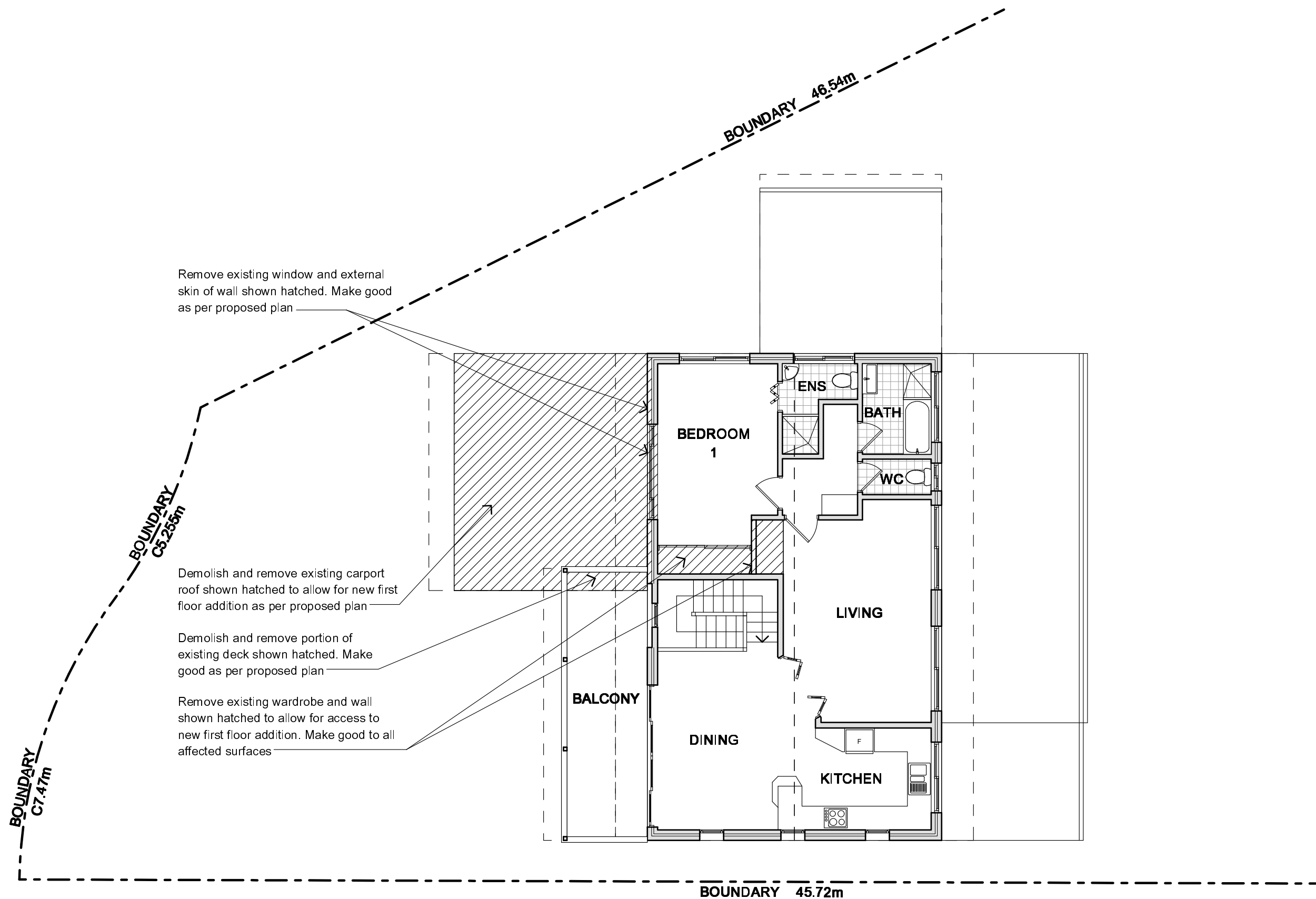
EXISTING GROUND FLOOR			
Scale:	1:100 @ A3	Date:	JANUARY 2020
Status:	DA SUBMISSION	Drawn By:	JAH
Project No.:	1905	Drawing No.:	DA02

Plot Date: 26/01/2020

1

EXISTING GROUND FLOOR PLAN

1:100



1 EXISTING FIRST FLOOR PLAN 1:100

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**TALBOT FAMILY**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**13 HYNDES PLACE**  
**LOT 7 , SECTION 160, DP 242868**  
**DAVIDSON NSW 2085**

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Drawing Title:

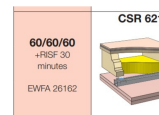
EXISTING FIRST FLOOR	
Scale:	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No.: 1905	Drawing No.: DA03

Plot Date: 26/01/2020

## WINDOW / DOOR SCHEDULE

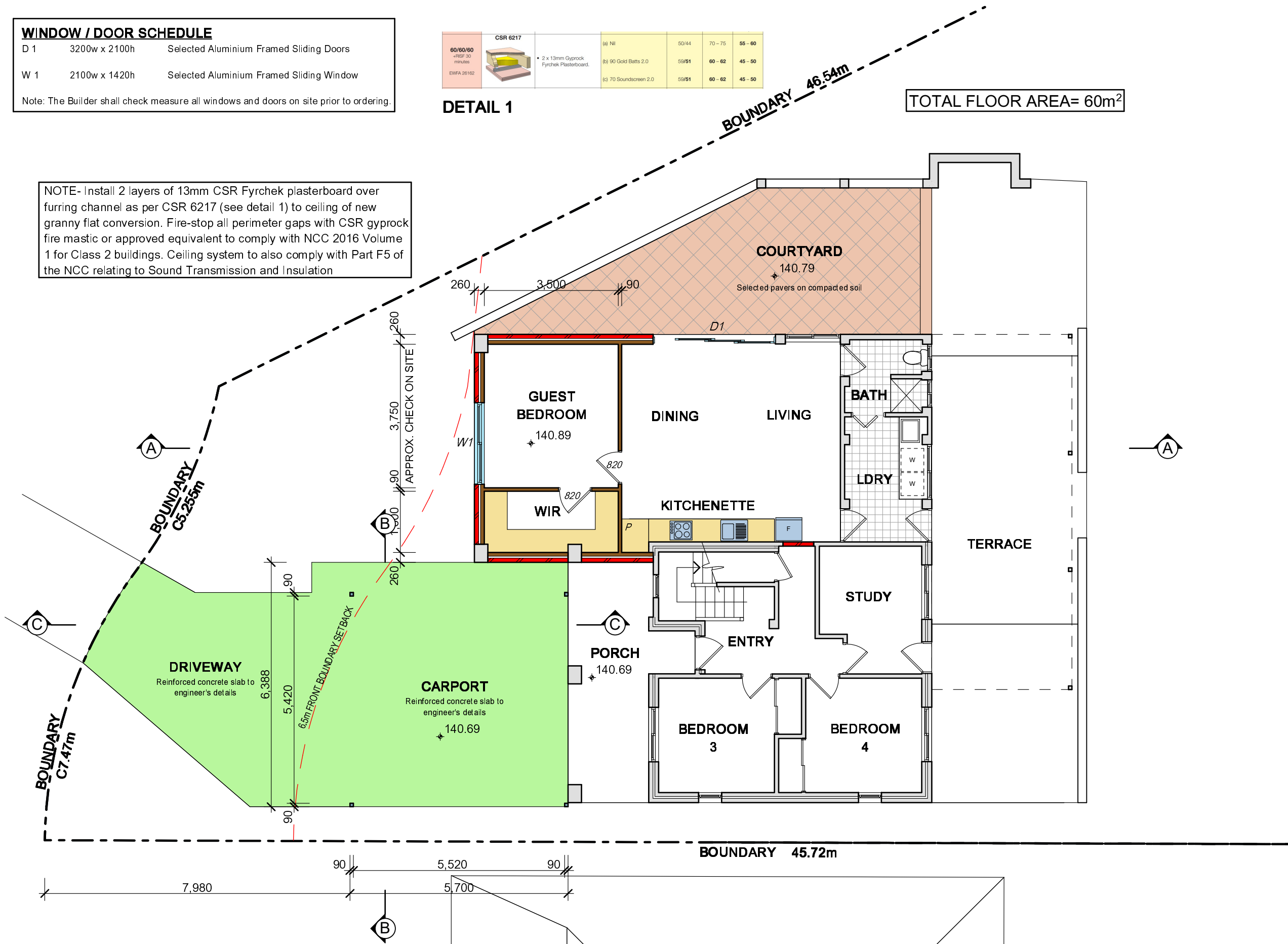
D 1	3200w x 2100h	Selected Aluminium Framed Sliding Doors
W 1	2100w x 1420h	Selected Aluminium Framed Sliding Window

Note: The Builder shall check measure all windows and doors on site prior to ordering.

	CSR 6217	(a) Nil	50/44	70 - 75	55 - 60
	60/60/60 +RSP 30 minutes EWFA 26162	• 2 x 13mm Gyprock Fyrchek Plasterboard.	(b) 90 Gold Batts 2.0	59/51	60 - 62
			(c) 70 Soundscreen 2.0	59/51	60 - 62

DETAIL 1

NOTE- Install 2 layers of 13mm CSR Fyrchek plasterboard over furring channel as per CSR 6217 (see detail 1) to ceiling of new granny flat conversion. Fire-stop all perimeter gaps with CSR gyprock fire mastic or approved equivalent to comply with NCC 2016 Volume 1 for Class 2 buildings. Ceiling system to also comply with Part F5 of the NCC relating to Sound Transmission and Insulation



1

## PROPOSED GROUND FLOOR PLAN 1:100

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Client

TALBOT FAMILY

Project Name

PROPOSED ALTERATIONS + ADDITIONS

13 HYNDES PLACE

LOT 7 , SECTION 160, DP 242868

DAVIDSON NSW 2085



ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 04 10 410 064 EMAIL: jah@jahdesignservices.com.au

Drawing Title:

## PROPOSED GROUND FLOOR

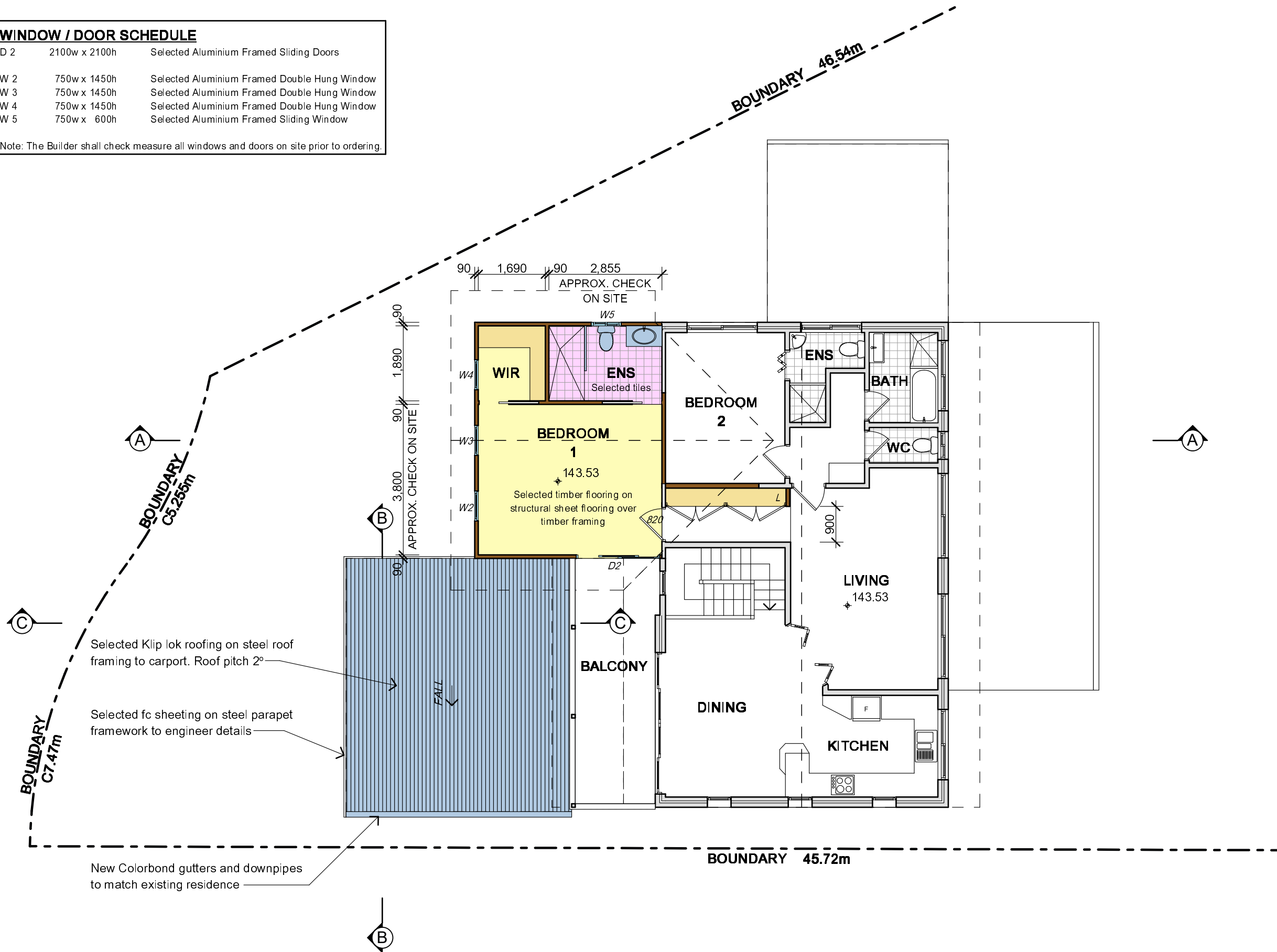
Scale: 1:100 @ A3 Date: JANUARY 2020

Status: DA SUBMISSION Drawn By: JAH

Project No.: 1905 Drawing No.: DA04

Plot Date: 26/01/2020

WINDOW / DOOR SCHEDULE		
D 2	2100w x 2100h	Selected Aluminium Framed Sliding Doors
W 2	750w x 1450h	Selected Aluminium Framed Double Hung Window
W 3	750w x 1450h	Selected Aluminium Framed Double Hung Window
W 4	750w x 1450h	Selected Aluminium Framed Double Hung Window
W 5	750w x 600h	Selected Aluminium Framed Sliding Window
Note: The Builder shall check measure all windows and doors on site prior to ordering.		



1 PROPOSED FIRST FLOOR PLAN 1:100

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Project North

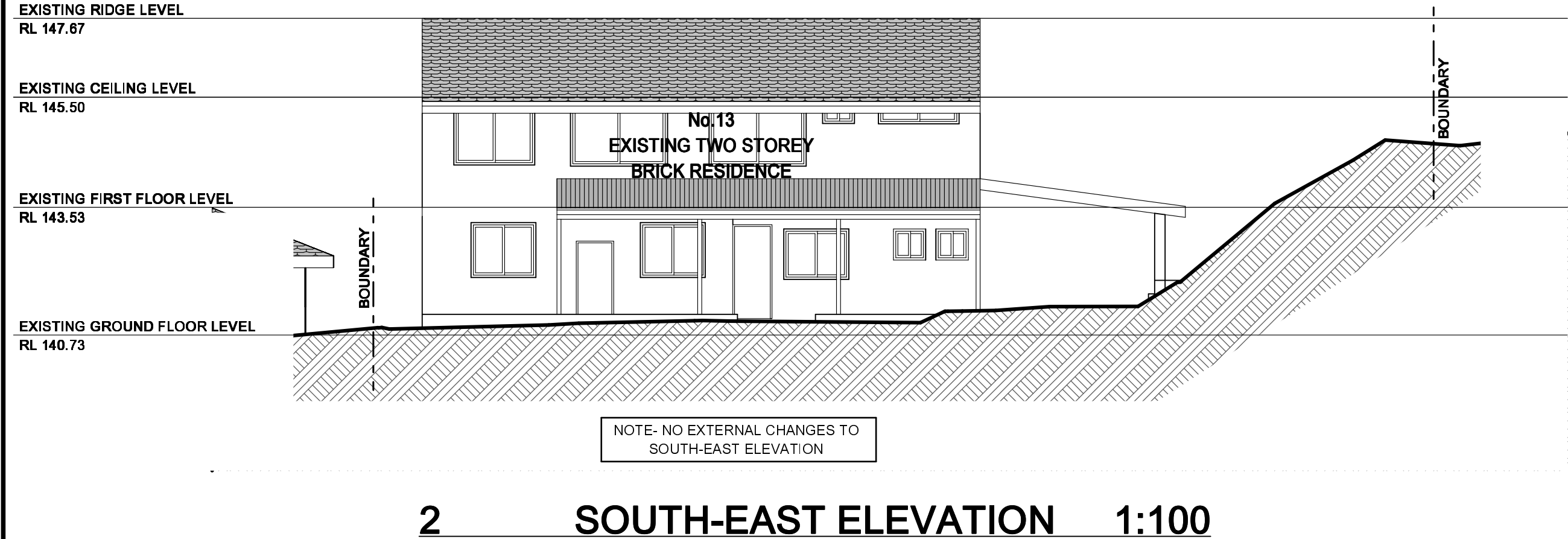
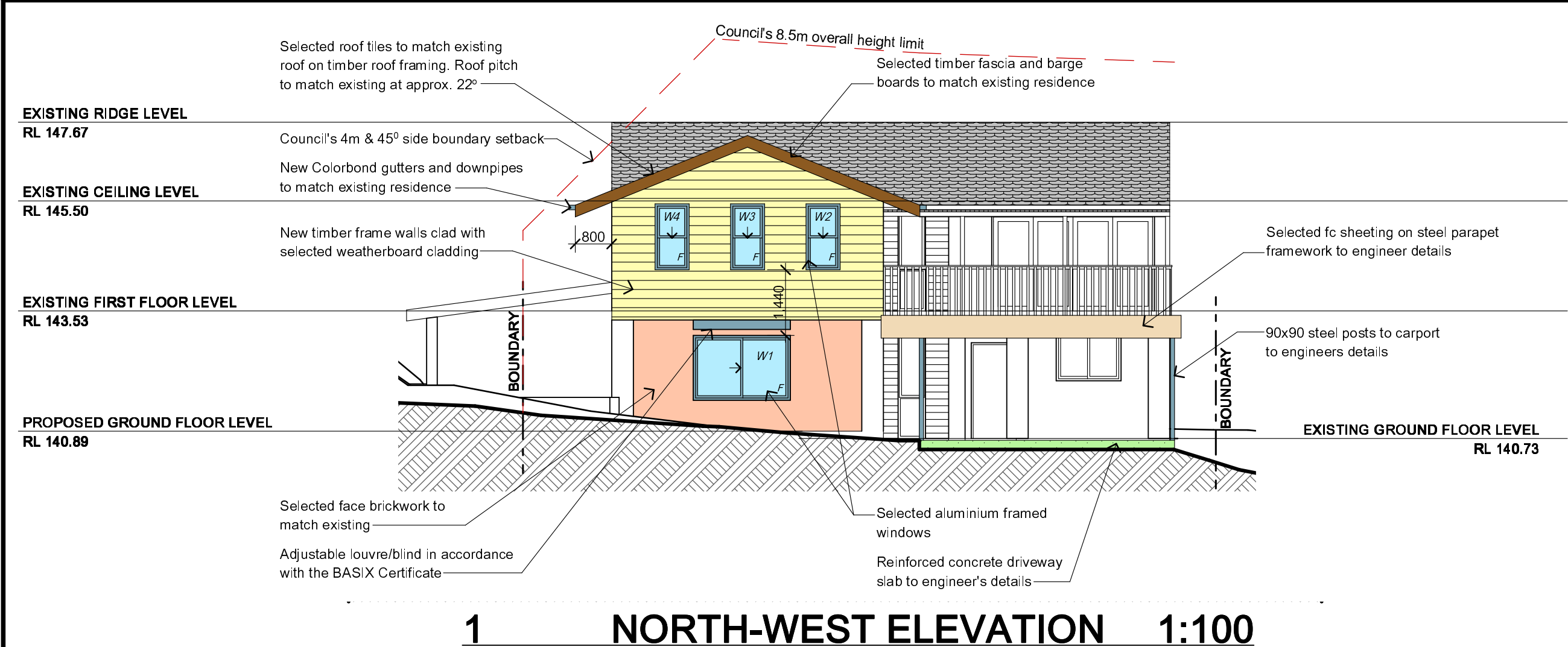
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Client  
**TALBOT FAMILY**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**13 HYNDES PLACE**  
**LOT 7 , SECTION 160, DP 242868**  
**DAVIDSON NSW 2085**

**JAH**  
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PH. 04 10 410 064 EMAIL: jah@jahdesignservices.com.au

Drawing Title:	
PROPOSED FIRST FLOOR	
Scale: 1:100 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No: 1905	Drawing No.: DA05
Plot Date:	26/01/2020





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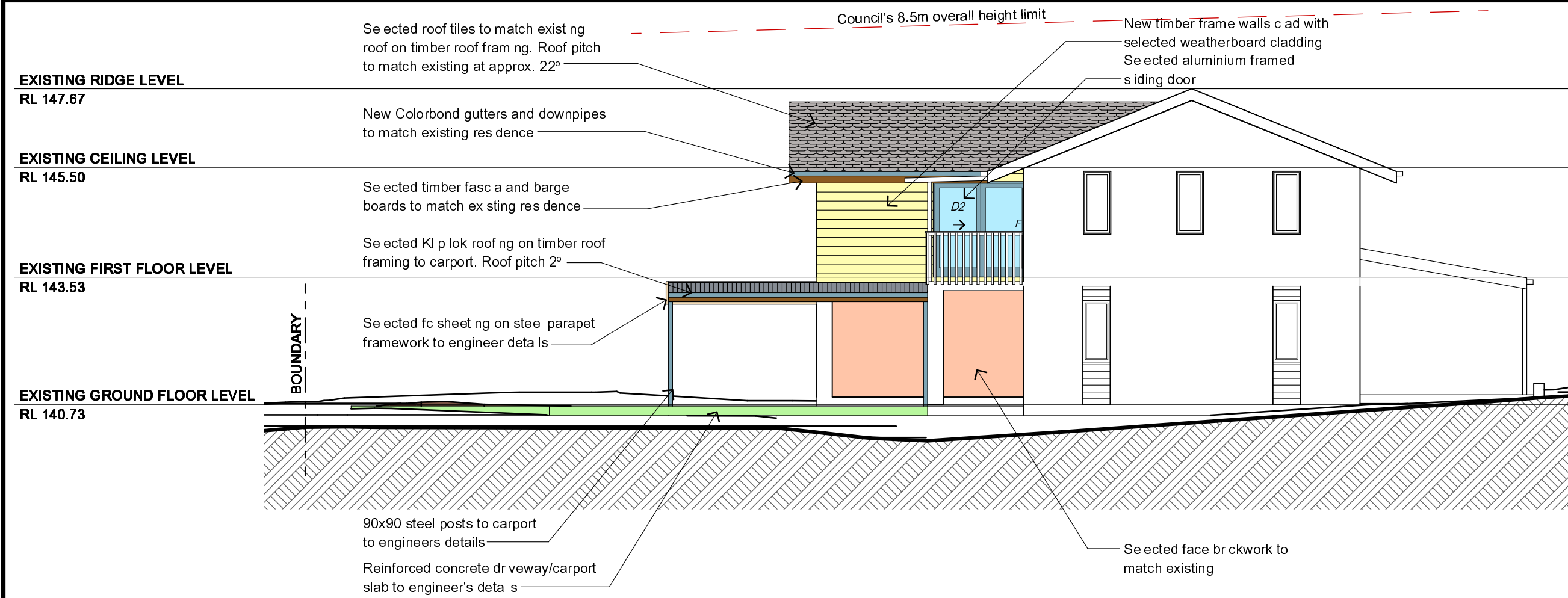
Client  
**TALBOT FAMILY**

Project Name  
**PROPOSED ALTERATIONS + ADDITIONS  
13 HYNDES PLACE  
LOT 7 , SECTION 160, DP 242868  
DAVIDSON NSW 2085**

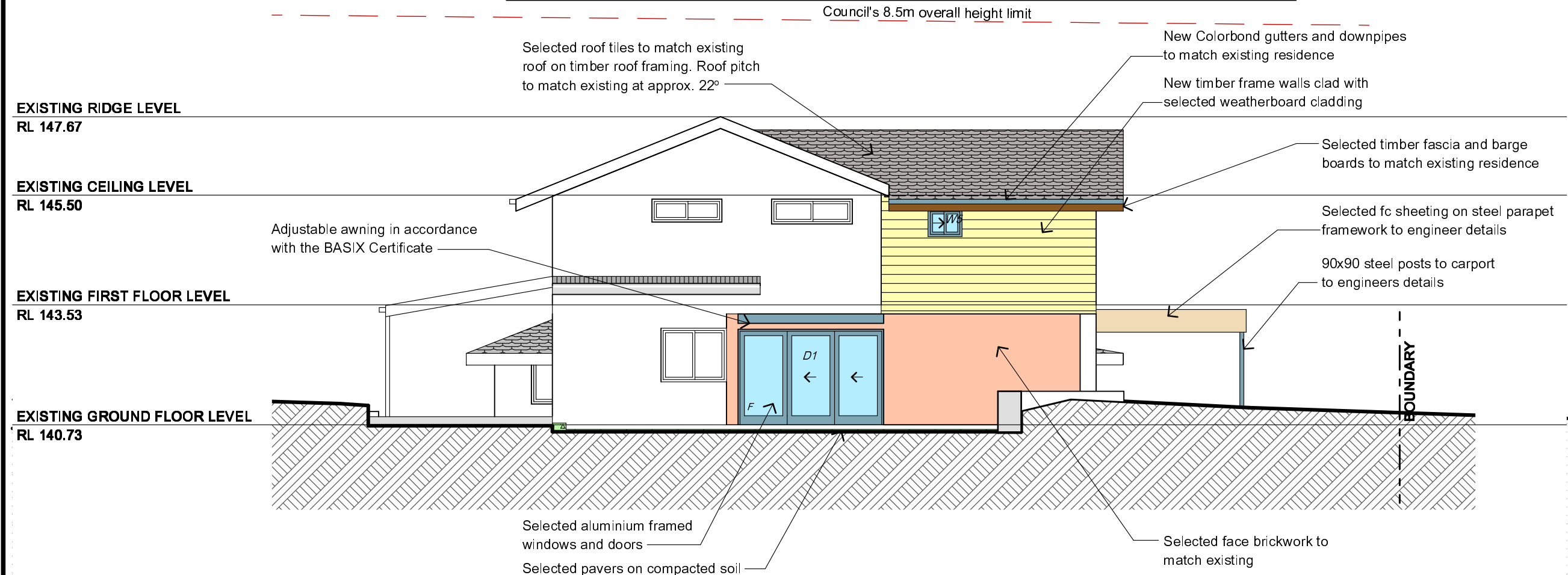
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Drawing Title:  
**ELEVATIONS 1**

Scale: 1:100 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No.: 1905	Drawing No.: DA06
Plot Date:	26/01/2020



1 SOUTH-WEST ELEVATION 1:100



2 NORTH-EAST ELEVATION 1:100

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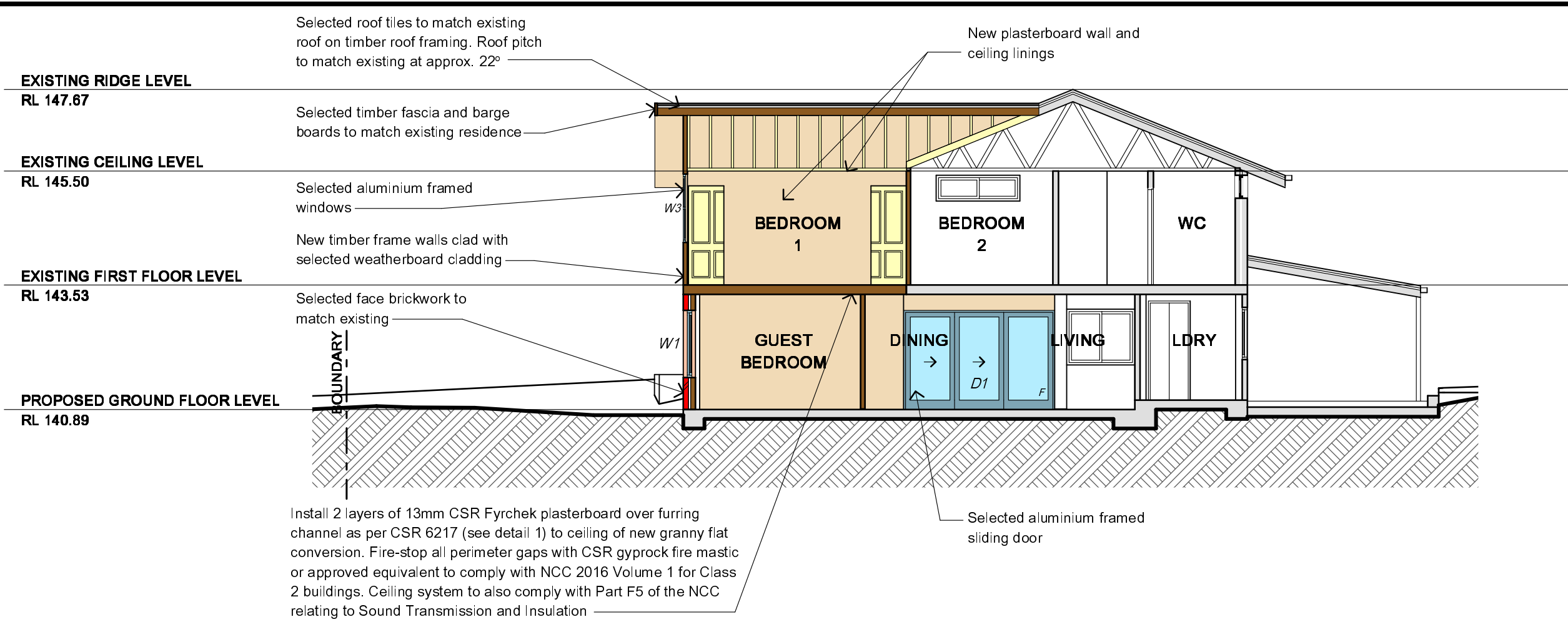
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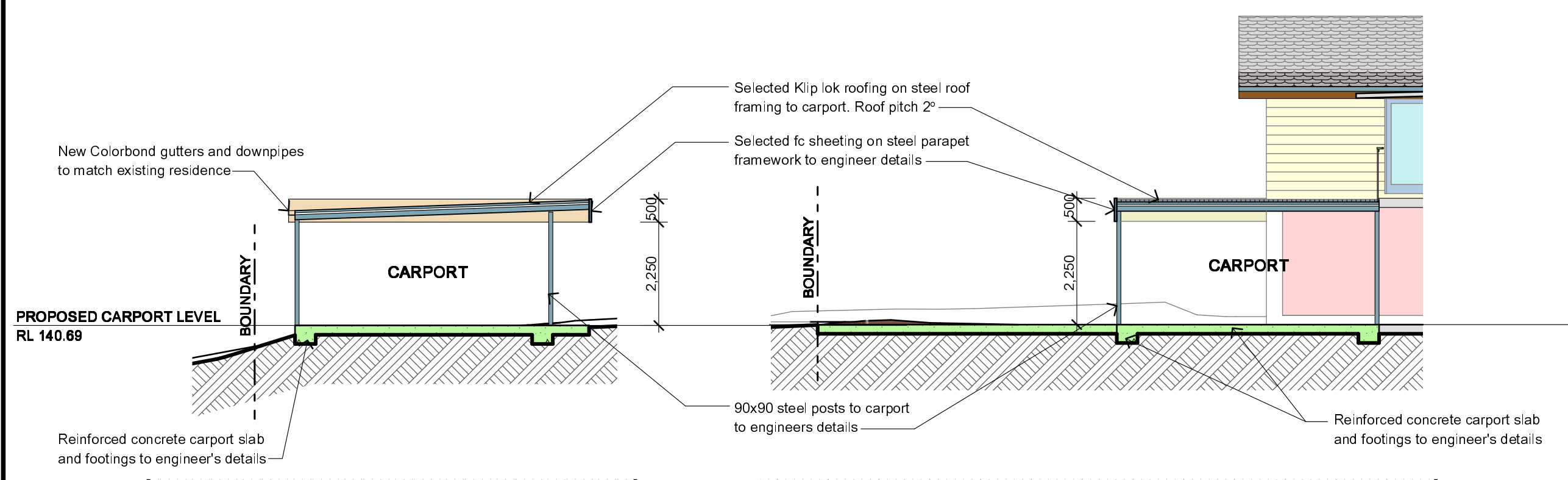
Drawing Title:  
**ELEVATIONS 2**

Scale: 1:100 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No.: <b>1905</b>	Drawing No.: <b>DA07</b>

Plot Date:  
26/01/2020



1 SECTION A-A 1:100



2 SECTION B-B 1:100 3 SECTION C-C 1:100

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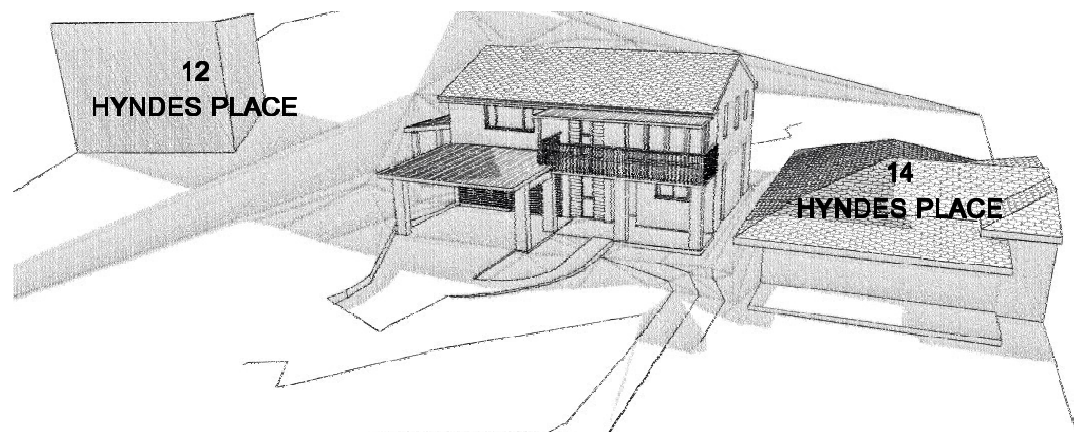
Client  
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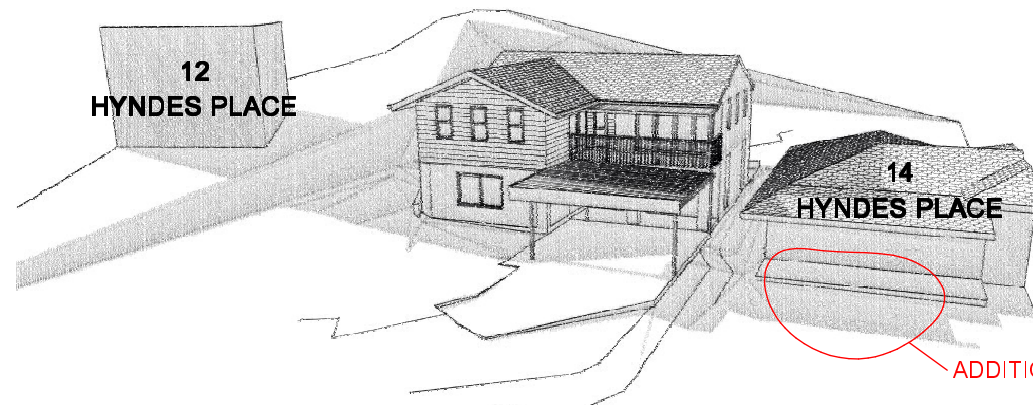
Drawing Title:  
**SECTIONS**

Scale: 1:100 @ A3	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No: 1905	Drawing No.: DA08
Plot Date: 26/01/2020	

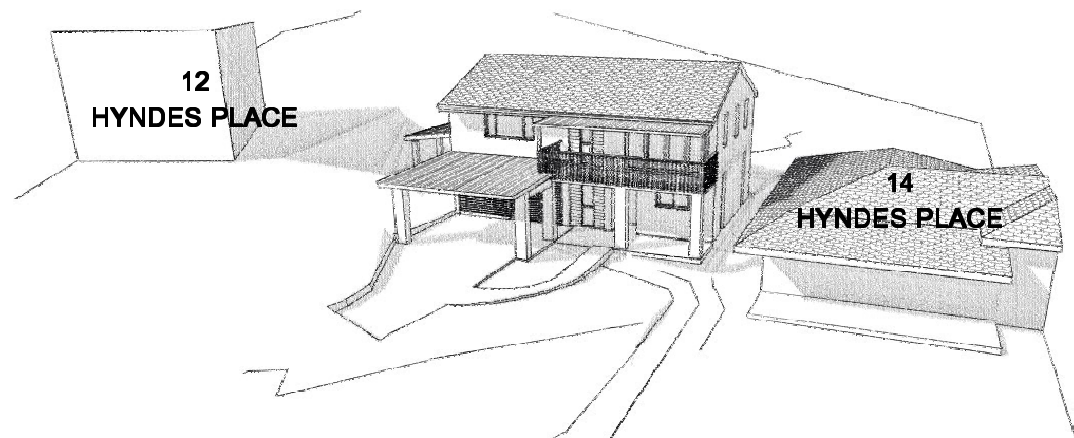




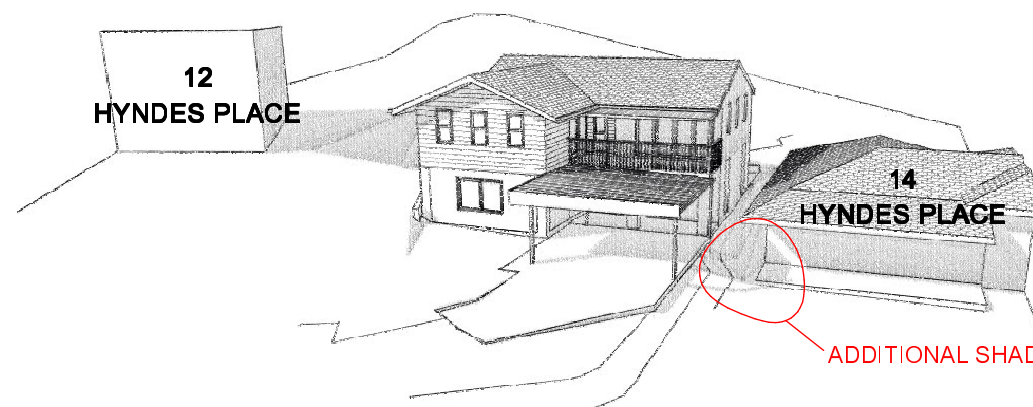
9 AM JUNE 21 EXISTING



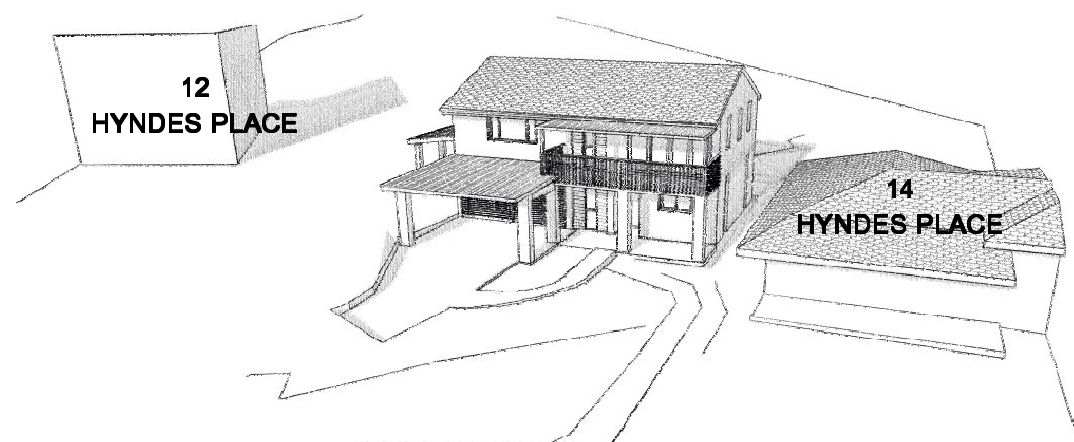
9 AM JUNE 21 PROPOSED



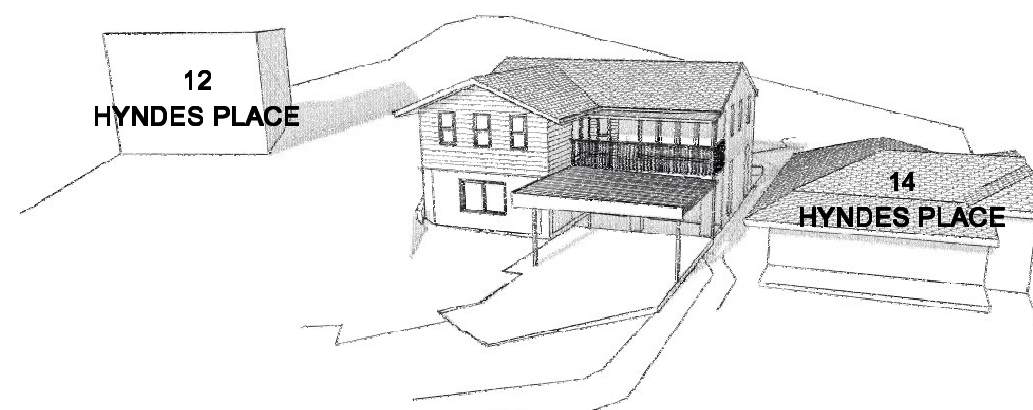
12 NOON JUNE 21 EXISTING



12 NOON JUNE 21 PROPOSED



3 PM JUNE 21 EXISTING



3 PM JUNE 21 PROPOSED

NOTE- NO ADDITIONAL OVERSHADOWING AT 3PM

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Finished ground levels on the plan are subject to site conditions.

Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.

All figured dimensions to be checked on site.

#### BASIX INFORMATION REQUIREMENTS:

##### LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

##### WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating.

##### INSULATION REQUIREMENTS:

External walls: The external walls shall meet minimum R1.70 (including construction)

Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)

Ceilings: The new flat ceiling/pitched roof ceilings shall meet minimum R3.00 (up).

Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption >0.70)

##### WINDOWS & GLAZED DOORS:

All window and door numbers shown on the window and doors schedule correspond to matching window / door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate

Shading devices: Shading devices shall be installed in accordance with the Basix certificate

Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate



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#### Client

**TALBOT FAMILY**

Project Name

**PROPOSED ALTERATIONS + ADDITIONS**

**13 HYNDES PLACE**

**LOT 7 , SECTION 160, DP 242868**

**DAVIDSON NSW 2085**



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Drawing Title:

#### SHADOW DIAGRAMS

Scale:	Date: JANUARY 2020
Status: DA SUBMISSION	Drawn By: JAH
Project No.: 1905	Drawing No.: DA09
Plot Date:	26/01/2020