



# SECTION 4.55 MODIFICATION *DEVELOPMENT APPLICATION TO DA2019/1286*

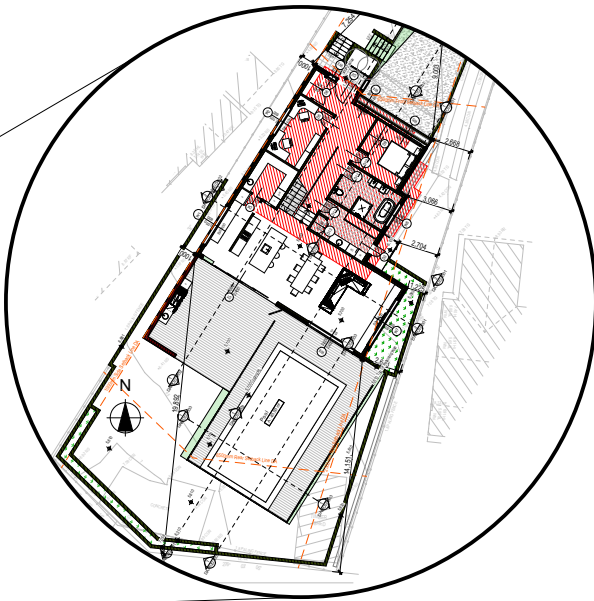
For Greg Beeman

63 Gondola Road, North Narrabeen

Lot 218 D.P. 16212

Project Number: RP1018BEE

Drawing No:	Description	...	Issue/Revision	Date
	Cover Sheet			
DAMOD1001	A4 Notification Plan			17/09/20
DAMOD1002	Survey Plan			17/09/20
DAMOD1003	Survey Plan 2			17/09/20
DAMOD1004	Site Plan			17/09/20
DAMOD1005	Demolition Ground Floor Plan			17/09/20
DAMOD1006	Excavation & Fill Plan			17/09/20
DAMOD1007	Landscape Open Space Plan			17/09/20
DAMOD1008	Landscape Plan			17/09/20
DAMOD1009	Sediment & Erosion Control Plan			17/09/20
DAMOD1010	Waste Management Plan			17/09/20
DAMOD1011	Stormwater Plan			17/09/20
DAMOD2001	Basement/Lower Ground Floor Plan			17/09/20
DAMOD2002	Ground Floor Plan			17/09/20
DAMOD2003	Ground Floor Plan 2			17/09/20
DAMOD2004	First Floor Plan			17/09/20
DAMOD2005	Roof Plan			17/09/20
DAMOD3001	Section 1			17/09/20
DAMOD3002	Section 2			17/09/20
DAMOD3003	Section Pool			17/09/20
DAMOD4001	Elevations 1			17/09/20
DAMOD4002	Elevations 2			17/09/20
DAMOD4003	E/05 North Streetscape			17/09/20
DAMOD5001	Perspective			17/09/20
DAMOD5002	June 21st Shadow - 9am			17/09/20
DAMOD5003	June 21st Shadow - 12pm			17/09/20
DAMOD5004	June 21st Shadow - 3pm			17/09/20
DAMOD5005	Wall Elevation Shadow			17/09/20
DAMOD6001	Material & Colour Sample Board			17/09/20



## BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Single Dwelling

Certificate number: 1015090S\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number 1015090S lodged with the consent authority or certifier on 28 August 2019 with application DA2019/0930.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary  
Date of issue: Tuesday, 15 September 2020  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Beeman_03	
Street address	63 Gondola Road North Narrabeen 2101	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 16212	
Lot no.	218	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

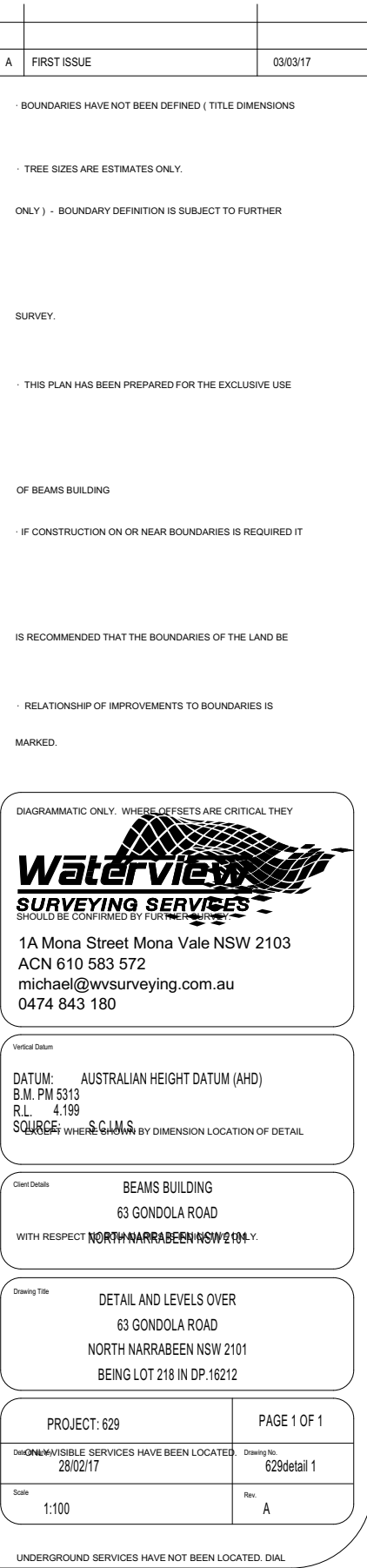
**Nationwide House Energy Rating Scheme\* Certificate**  
Certificate number: 0003872363-03 Certificate Date: 13 Nov 2019 ★ Star rating: 5.3  
BERS Pro v4.3.0.0 (3.13) cannot be used to model "roof windows". Roof windows are "operable or fixed windows in a roof" and do not have a shaft, as distinct from skylights which incorporate a built-in shaft and are not ventilated. BERS Pro v4.3 can only model skylights. If a roof window is present on the floor plan then this certificate is not valid.

**Assessor details**  
Accreditation number: VIC/BDAM/17/1807  
Name: Jamie Bonnefin  
Organisation: Certified Energy  
Email: [jamie@certified.energy](mailto:jamie@certified.energy)  
Phone: 1300 443 674  
Declaration of interest: None  
Software: BERS Pro v4.3.0.2d (3.13)  
AAD: BDAV

**Overview**  
**Dwelling details**  
Street: 63 Gondola Road  
Suburb: North Narrabeen  
State: NSW Postcode: 2101  
Type: New Dwelling NCC Class: 1A  
LaMDP number: 218/16212 Exposure: Suburban  
**Key construction and insulation materials**  
(see following pages for details)  
Construction: Weatherboard Cavity Panel Direct Fix  
Corrugated Iron  
Suspended Timber Floor  
R2.5 wall insulation  
R3.5 ceiling insulation  
R2.0 floor insulation  
Glazing: ALM-004-03 A Aluminium B DG Air Fill  
High Solar Gain low-E -Clear  
**Net floor area (m²)**  
Conditioned: 257.0  
Unconditioned: 120.0  
Garage: 90.0  
TOTAL: 377.0  
**Annual thermal performance loads (MJ/m²)**  
Heating: 40.5  
Cooling: 21.4  
TOTAL: 61.9  
**Plan documents**  
Plan refidate: DA Issue 14/05/2019  
Prepared by: Rapid Plans

**5.3**  
The more stars the more energy efficient  
**NATIONWIDE HOUSE ENERGY RATING SCHEME**  
Predicted annual energy load for heating and cooling based on standard occupancy assumptions  
**61.9** MJ/m²  
For more information on your dwelling's rating, see [www.nathers.gov.au](http://www.nathers.gov.au)

**Ceiling penetrations**  
(see following pages for details)  
Sealed: 0  
Unsealed: 0  
TOTAL: 0  
Principle daylight type: Unknown  
\*NOTE: This total is the maximum number of ceiling penetrations allowed to a ceiling (under a roof) for this certificate. If this number is exceeded in construction then this certificate is NOT VALID and a new certificate is required. Loss of ceiling insulation for the penetrations listed has been taken into account with the rating.  
**Window selection - default windows only**  
Note on allowable window value: Only a 5% tolerance to the nonrated SHGC window values shown on page 2 can be used with this rating.  
Note: Only a +/- 5% SHGC tolerance is allowed with this rating.  
NB: This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values listed on page 2.  
If any of windows selected are outside the 5% tolerance then this certificate is no longer valid and the dwelling will need to be resubmitted to confirm compliance.  
Scan to access this certificate online and confirm this is valid.



Survey  
1:200



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:  
**Greg Beeman**

Project Name:	New Dwelling
	63 Gondola Road, North Narrabeen
	2101

Lot 218 D.P. 16212
--------------------

Drawing Title:

Site Plans - Survey Plan

Builder to Check and Confirm all  
Measurements Prior to  
Commencement

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

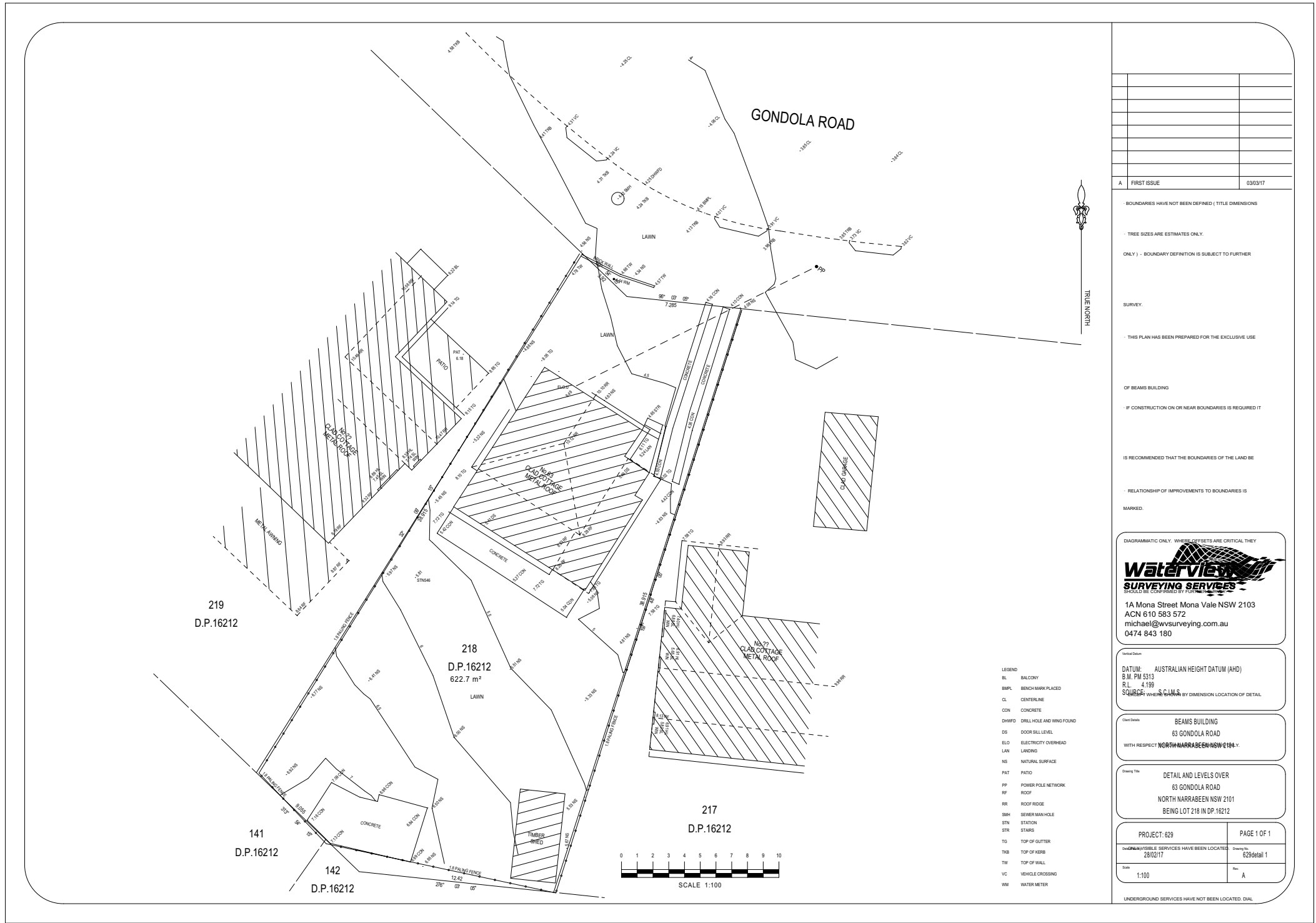
Date: 17/09/20

Checked By: GBJ

Drawing No.

DAMOD1002





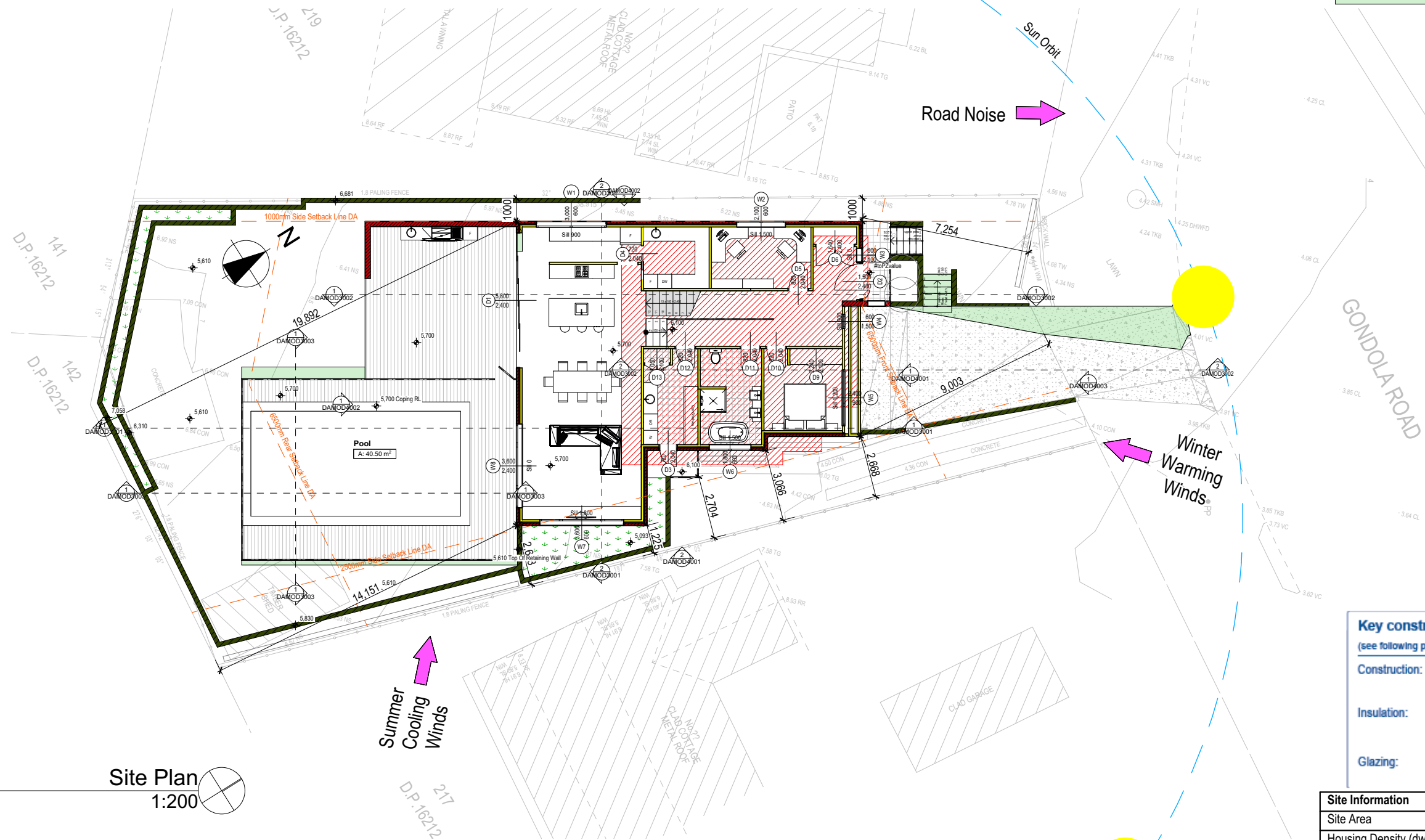
1 Survey 1:300

Builder to Check and Confirm all  
Measurements Prior to  
Commencement

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

Denotes Demo Works

Denotes New Works Under This Application



**Key construction and insulation materials**  
(see following pages for details)

**Construction:** Weatherboard Cavity Panel Direct Fix  
Corrugated Iron  
Suspended Timber Floor

**Insulation:** R2.5 wall insulation  
R3.5 ceiling insulation  
R2.0 floor insulation

**Glazing:** ALM-004-03 A Aluminium B DG Air Fill  
High Solar Gain low-E-Clear

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate Number 10164875 & NATHERS No.0003872363-03  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

#### Basix

Basix Certificate Number 10164875 & NATHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NATHERS Certificates  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2,  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

**DA MODIFICATION ONLY**  
**NOT FOR CONSTRUCTION**

Denotes Existing House To Be Demolished

#### Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
DC NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: gregg@rapidplans.com.au



Project North



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Client:  
Greg Beeman

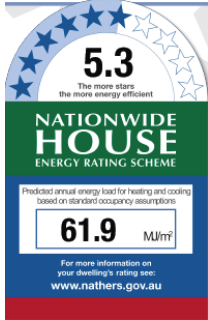
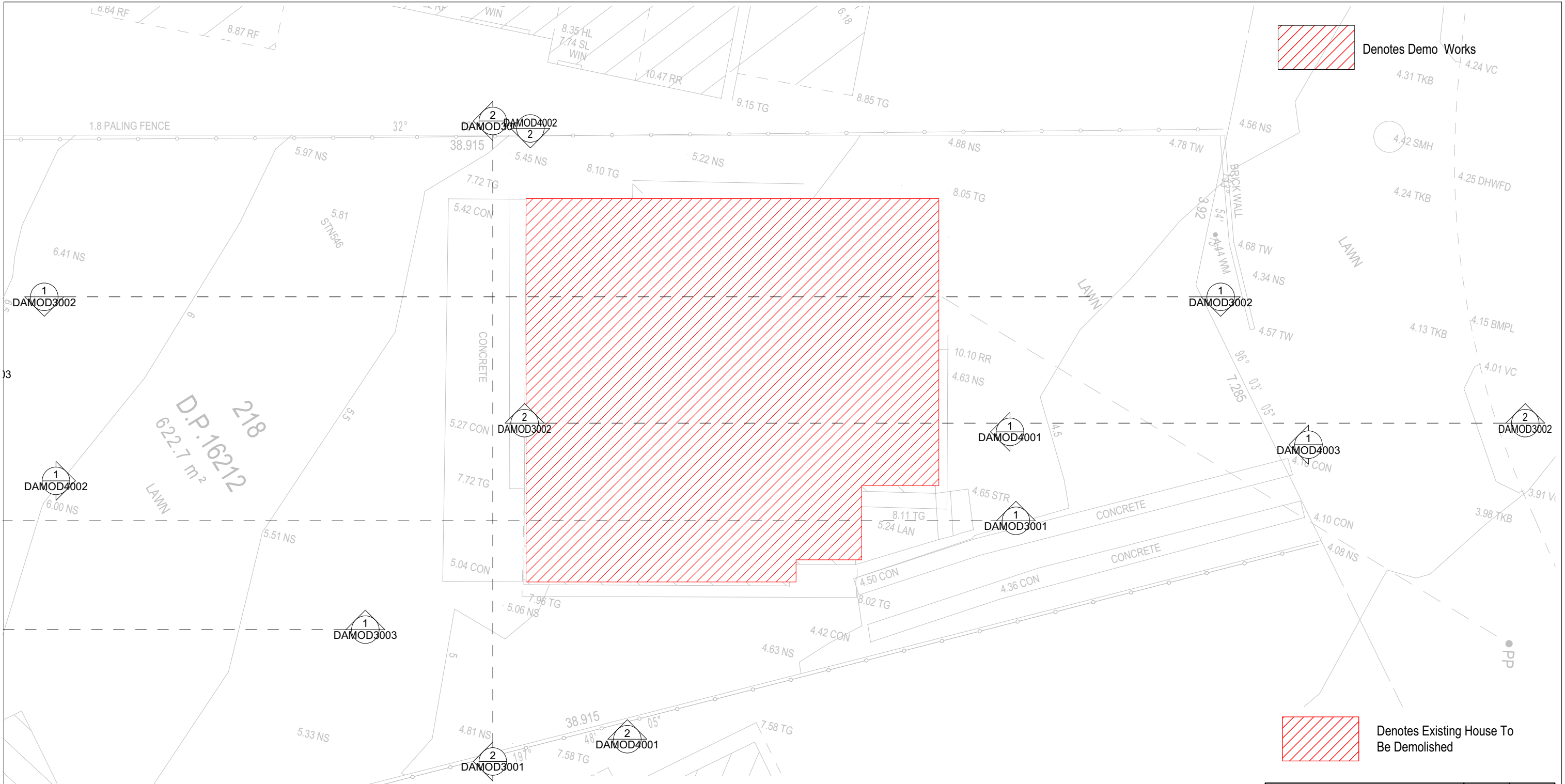
Client:  
Greg Beeman  
Project Name  
New Dwelling  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Site Plans - Site Plan  
Site Plan

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No.  
RP1018BEE

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
DAMOD100





Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



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Project North



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**NOTES**  
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All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

## All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

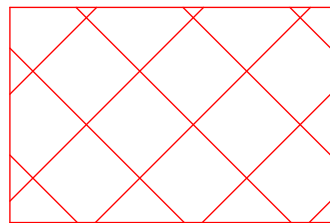
Client:  
Greg Beeman

Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

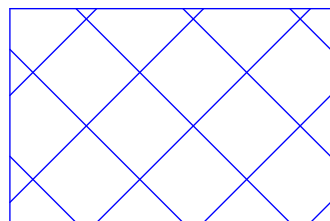
Lot 218 D.P. 16212  
Drawing Title:  
Site Plans - Demolition Ground  
Floor Plan  
Demolition Ground Floor

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No.  
RP1018BEE

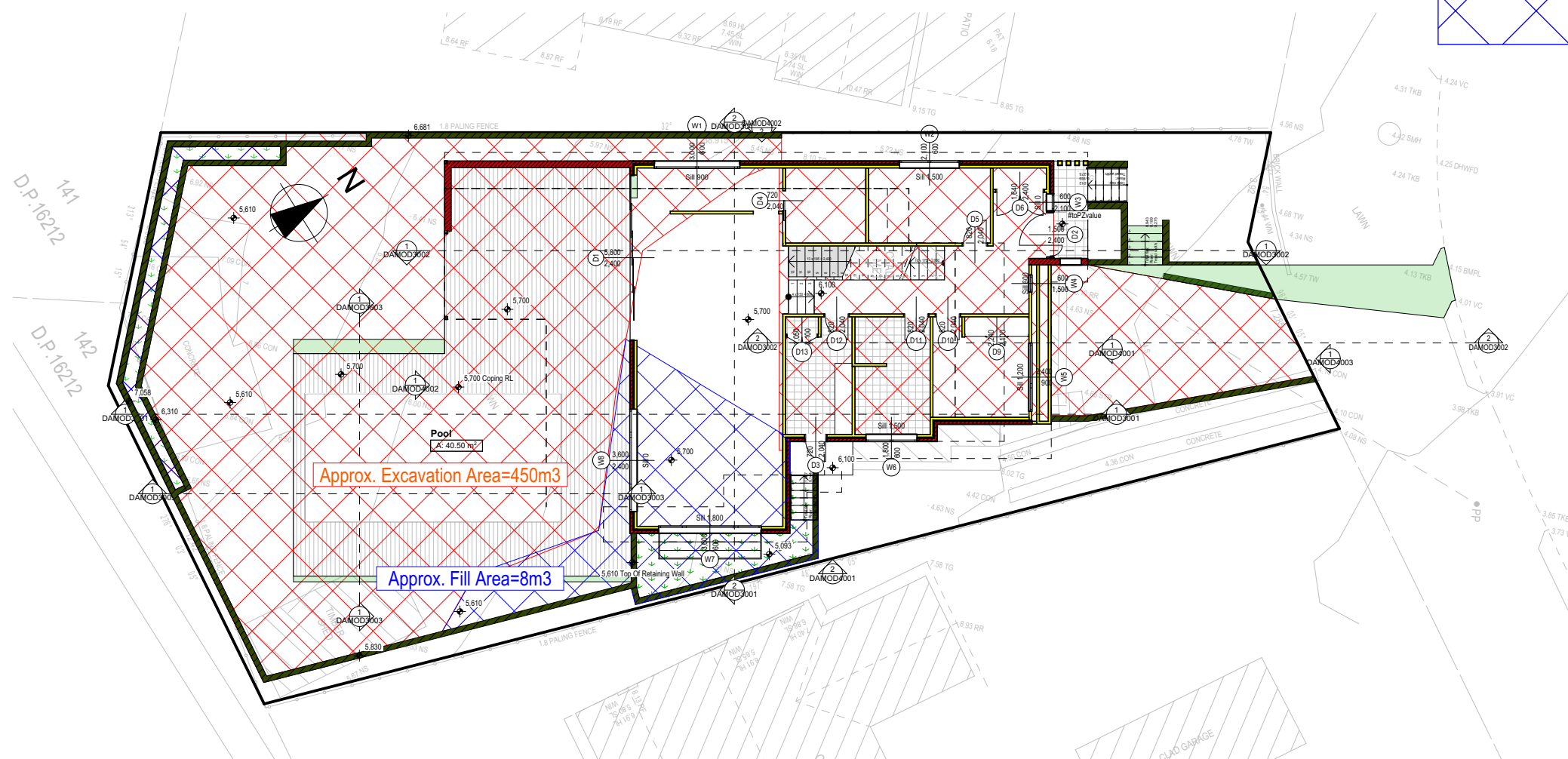
Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
**DAMOD100**



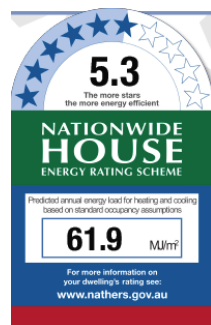
Denotes Excavation Area



Denotes Fill Area



1 Excavation & Fill Plan 1:200



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

**DA MODIFICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
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**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
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All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number 10164875 & NatHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates

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Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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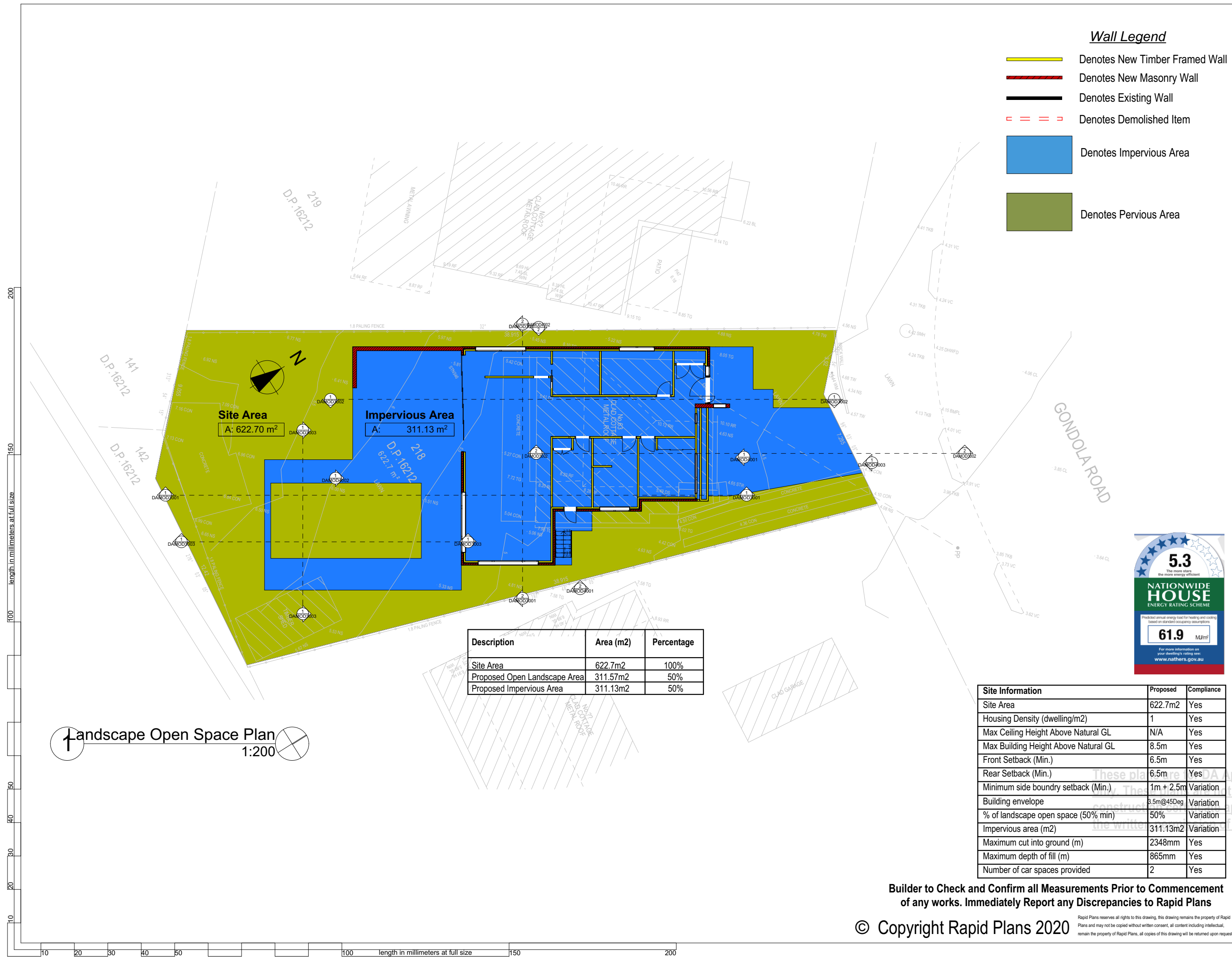
Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
**Site Plans - Excavation & Fill**  
Plan  
Excavation & Fill Plan

Scale: **A3 as noted**  
Status: **DA Mod Rev4**  
Project No.  
**RP1018BEE**

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
**DAMOD100**





**Wall Legend**

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area

Rapid Plans  
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au  
PO Box 6193 Frenchs Forest DC NSW 2086  
Fax : (02) 9905-8865  
Mobile: 0414-945-024  
Email : gregg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
63 Gondola Road, North Narrabeen is not considered a heritage item.

**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basix**  
Basix Certificate Number 1016487S & NatHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates  
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Project North

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**NOT FOR CONSTRUCTION**

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Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:  
**Site Plans - Landscape Open Space Plan**  
**Landscape Open Space Plan**

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No:  
RP1018BEE

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
DAMOD1007

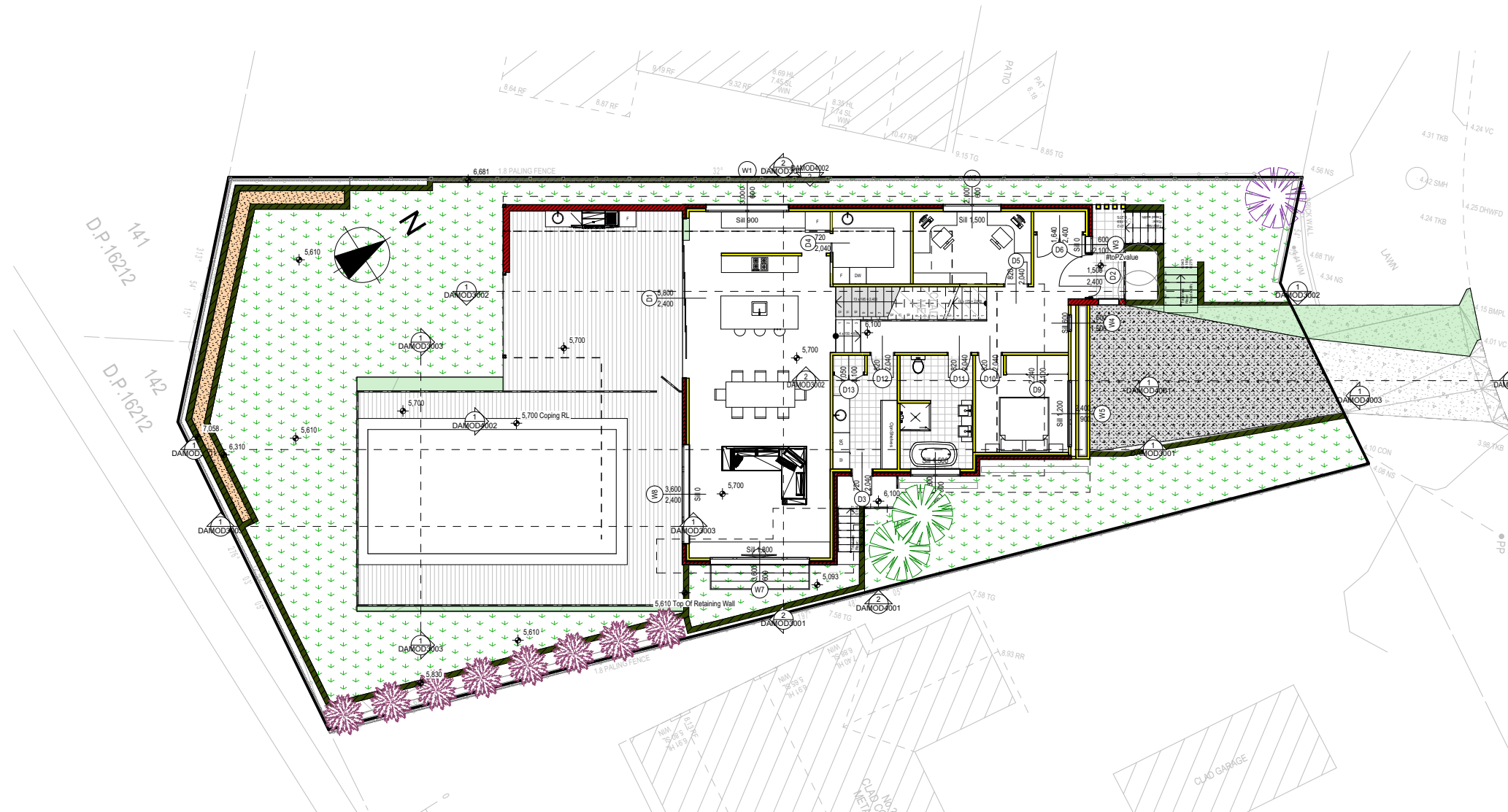
Description	Area (m2)	Percentage
Site Area	622.7m2	100%
Proposed Open Landscape Area	311.57m2	50%
Proposed Impervious Area	311.13m2	50%

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
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Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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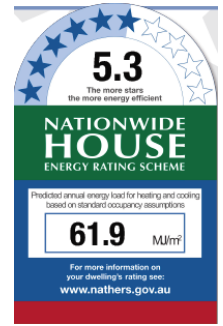
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Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Stenotaphrum secundatum	Sir Walter Buffalo Turf	N/A
		Syzygium paniculatum	Magenta Lilly Pilly	H= 3000mm W= 1500mm
		Callistemon spp	Bottle Brush	H= 4000mm W= 3000mm
		Angophora hispida	Dwarf Apple	H= 4000mm W= 3000mm

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Tiled Patio
	Mulch Area
	Concrete Drive
	New Masonry Retaining Wall
	New Glass Pool Handrail

Water Commitments	
Landscape	
The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.	
Fixtures	
The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.	
The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.	
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.	
Alternative water	
Rainwater tank	
The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	
The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).	
The applicant must connect the rainwater tank to:	
• all toilets in the development	
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)	
Swimming pool	
The swimming pool must not have a volume greater than 69 kilolitres.	
Water Commitments	
The swimming pool must have a pool cover.	
The swimming pool must be outdoors.	



1 Landscape Plan 1:200

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DA MODIFICATION ONLY  
NOT FOR CONSTRUCTION

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
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**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number 10164875 & NatHERS No.0003872363-03  
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The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Project North



**DA MODIFICATION**

**ONLY**

**NOT FOR CONSTRUCTION**

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Client  
**Greg Beeman**  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

Site Plans - Sediment & Erosion Control Plan  
Sediment & Erosion Control Plan

Scale: A3 as noted Date: 17/09/20

Status: DA Mod Rev4 Checked By: GBJ

Project No: Drawing No:

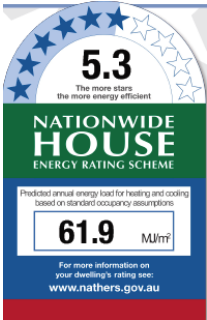
**RP1018BEE** **DAMOD1009**

**Wall Legend**

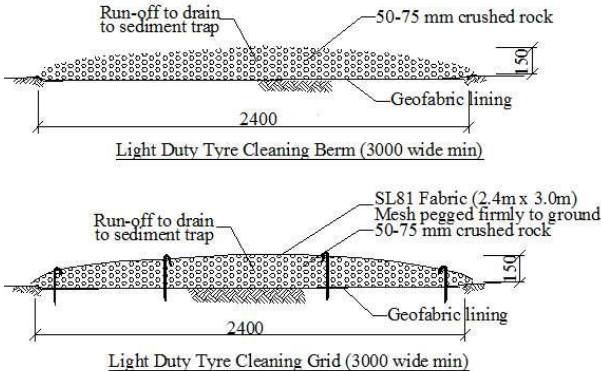
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall

**Sediment Control Fence**

**Site Safety Fence**



**Sediment & Erosion Control Plan**  
1:200



Typical Detail Grass Bale Sediment Barrier

Typical Detail Sediment Control Barrier

**Check and Confirm all Measurements Prior to Commencement works. Immediately Report any Discrepancies to Rapid Plans**

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Glazing to BCA and AS01288-2047  
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Project North



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Client: Greg Beeman  
Project Name: **New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

**Site Plans - Waste Management Plan**

**Waste Management Plan**

Scale: A3 as noted

Date: 17/09/20

Status: DA Mod Rev4

Checked By: GBJ

Project No:

Drawing No.

**RP1018BEE**

**DAMOD1010**

**Wall Legend**

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

Residential Garbage Bin Storage

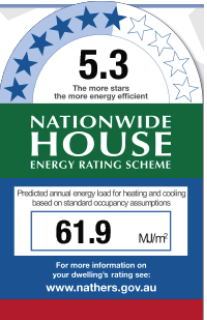
Approximate Location Of Building Waste & Recycling Area

Material Storage Area

Sediment Control Fence

Site Safety Fence

Vehicle Access For Removal Of Waste By Builder During Work Hours



**1 Waste Management Plan**  
1:200

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#### NOTES

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#### Construction

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New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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#### Basix

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



## DA MODIFICATION ONLY

### NOT FOR CONSTRUCTION

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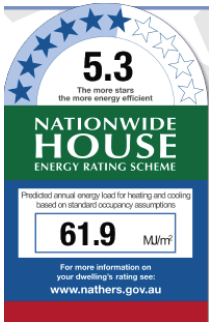
Client: Greg Beeman  
Project Name: New Dwelling  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:

Site Plans - Stormwater Plan  
Stormwater Plan

Scale: A3 as noted Date: 17/09/20  
Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE  
Drawing No: DAMOD1011



**Proposed Stormwater Line To Be Fed Into The New Drainage System**

Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

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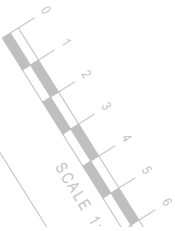
**Builder to Refer to Site Drainage Plan By Greenwood Consulting Engineers**

**Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement**

Stormwater Plan

1:200

1



D.P.16212

D.P.16212

D.P.16212

D.P.16212

200

150

100

50

0

10

20

30

40

50

60

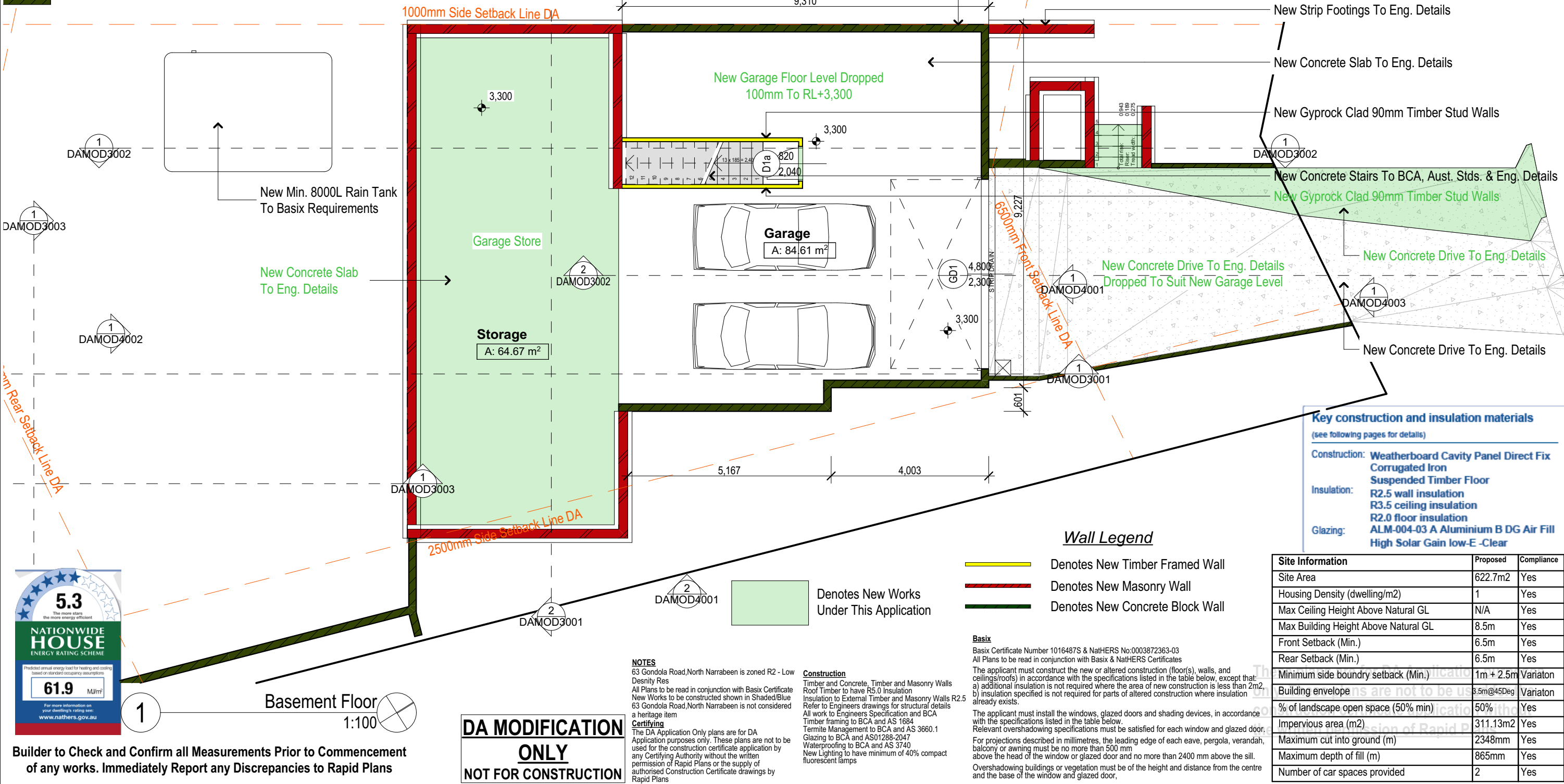
70


10 20 30 40 50 100 150 200 length in millimeters at full size

Water Commitments	Show on DA plans	Show on CC/DC plans & specs	Certifier check
<b>Landscape</b> The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓	✓	
<b>Fixtures</b> The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓ ✓ ✓ ✓	✓ ✓ ✓ ✓
<b>Alternative water</b> <b>Rainwater tank</b> The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 240 1 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • at least one outdoor tap in the development (note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)	✓	✓ ✓ ✓	✓ ✓ ✓
<b>Swimming pool</b> The swimming pool must not have a volume greater than 69 kilolitres. The swimming pool must have a pool cover.	✓	✓ ✓	
<b>Water Commitments</b> The swimming pool must be shaded. The swimming pool must be outdoors.	✓ ✓	✓ ✓	✓ ✓

Energy Commitments	Show on DA plans	Show on CC/DC plans & specs	Certifier check
<b>Hot water</b> The applicant must install the following hot water system in the development, or a system with a higher energy rating, gas instantaneous with a performance of 4.5 stars.	✓	✓	✓
<b>Cooling system</b> The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5. The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5.		✓ ✓	
<b>Heating system</b> The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5. The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5.		✓ ✓	
<b>Ventilation</b> The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural). Operation control: via Kitchen: individual fan, ducted to outside or roof. Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry. Operation control: via		✓ ✓ ✓	✓ ✓ ✓
<b>Artificial lighting</b> The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 5 of the bedrooms / study / dedicated • at least 1 of the living / dining rooms, dedicated • the kitchen, dedicated		✓ ✓ ✓	✓ ✓ ✓


Thermal Comfort Commitments
<b>Simulation Method</b> The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.





**Rapid Plans**  
Building Design and Architectural Drafting

Rapid Plans  
www.rapidplans.com.au  
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DC NSW 2086  
Fax : (02) 9905-8865  
Mobile: 0414-945-024  
Email : gregg@rapidplans.com.au



**BUILDING DESIGNERS AUSTRALIA**  
NSW

Project North

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Client:  
Greg Beeman

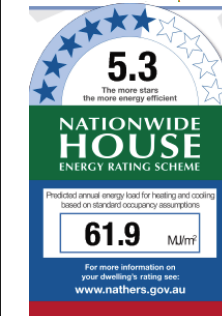
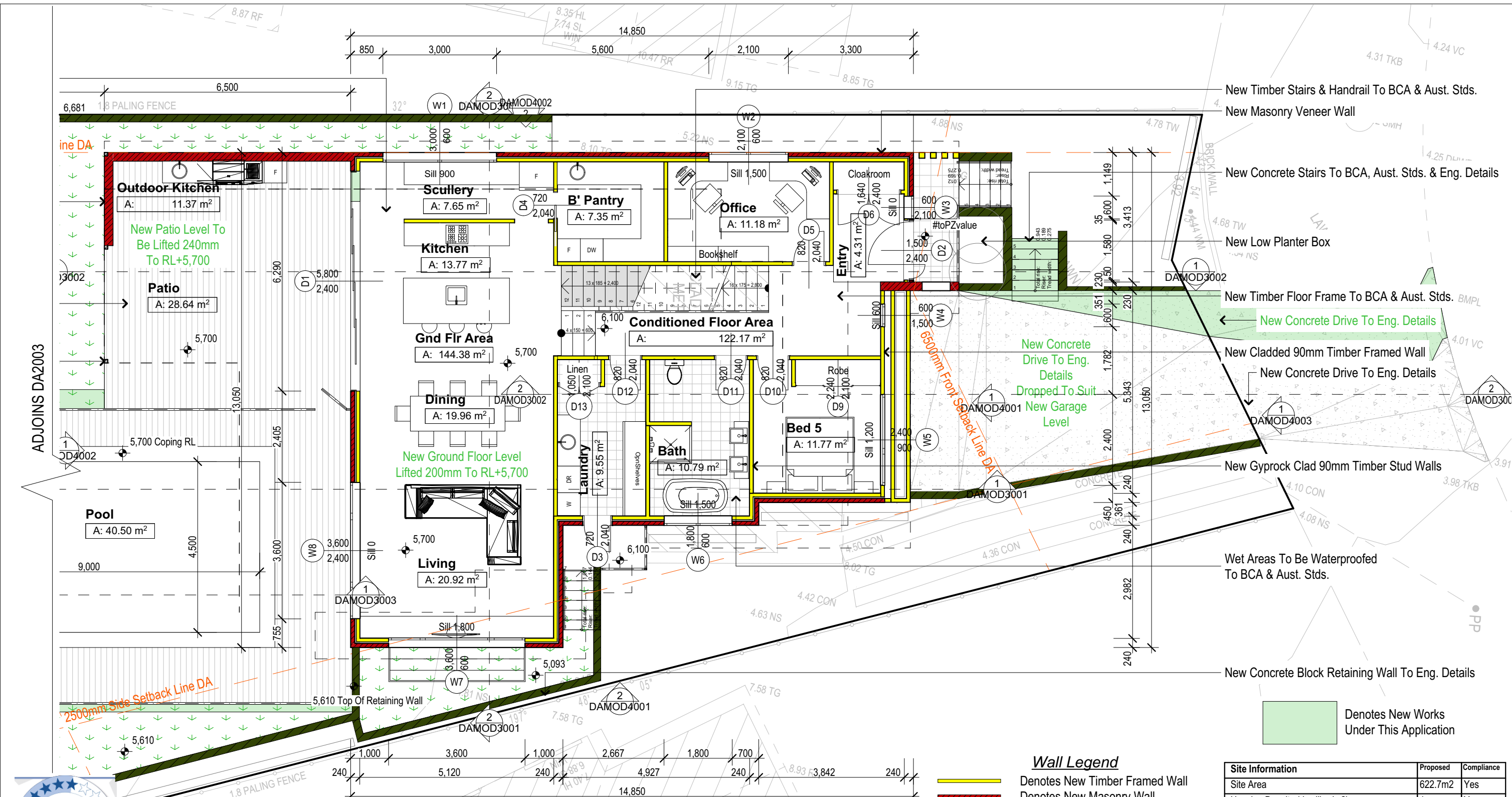
Client:  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Plans - Basement/Lower  
Ground Floor Plan  
Basement Floor

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No.  
RP1018BEE

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
**DAMOD200**





**Key construction and insulation materials**  
(see following pages for details)

**Construction:** Weatherboard Cavity Panel Direct Fix  
**Corrugated Iron**  
**Suspended Timber Floor**  
**R2.5 wall insulation**  
**R2.5 ceiling insulation**  
**R2.0 floor insulation**  
**Glazing:** ALM-004-03 A Aluminium B DG Air Fill  
**High Solar Gain low-E-Clear**

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1 Ground Floor Plan  
1:100

**DA MODIFICATION ONLY**  
**NOT FOR CONSTRUCTION**

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All Plans to be read in conjunction with Basic Certificate Number 10164875 & NatHERS No.0003872363-03  
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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Wall Legend**  
Denotes New Timber Framed Wall  
Denotes New Masonry Wall  
Denotes New Concrete Block Wall

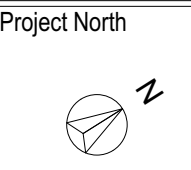
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Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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PO Box 6193 Frenchs Forest  
DC NSW 2086  
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Mobile: 0414-945-024  
Email: greg@rapidplans.com.au



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.  
Client:  
Greg Beeman

Client  
Greg Beeman  
Project Name  
New Dwelling  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Plans - Ground Floor Plan  
Ground Floor Plan

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No.  
RP1018BEE

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
DAMOD200

New Concrete Slab To Eng. Details

#### Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix  
Corrugated Iron

Insulation: R2.5 wall insulation  
R3.5 ceiling insulation  
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill  
High Solar Gain low-E -Clear

New Concrete Slab To Eng. Details

New Steel Post To Eng. Details

Reduced Paving Area

New Concrete Slab To Eng. Details  
With Decking Over

New Coping Level To Be Lifted  
240mm To RL+5,700

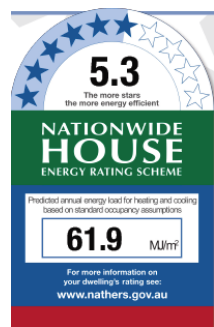
Reduced Heights Of  
Retaining Walls

Reduced Paving Area

New Min. 1200 high Pool Safety  
Barrier To BCA & Aust. Stds.

New 69KL Pool To  
Eng. Details

New Concrete Block Retaining  
Wall To Eng. Details



Builder to Check and Confirm all Measurements Prior to Commencement  
of any works. Immediately Report any Discrepancies to Rapid Plans

**DA MODIFICATION  
ONLY  
NOT FOR CONSTRUCTION**

#### NOTES

63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
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permission of Rapid Plans or the supply of  
authorised Construction Certificate drawings by  
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#### Construction

Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact  
fluorescent lamps

#### Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates

The applicant must construct the new or altered construction (floor(s), walls, and  
ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>,  
b) insulation specified is not required for parts of altered construction where insulation  
already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance  
with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah,  
balcony or awning must be no more than 500 mm  
above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre  
and the base of the window and glazed door.



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Project North



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used for construction purposes until issued by the Designer for construction.

Client:  
Greg Beeman

Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

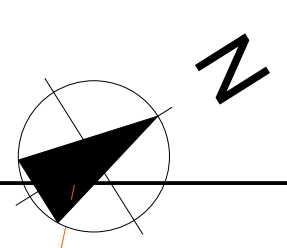
Lot 218 D.P. 16212  
Drawing Title:  
**Plans - Ground Floor Plan 2**  
Ground Floor Plan

Scale: A3 as noted  
Status: **DA Mod Rev4**  
Project No.  
**RP1018BEE**

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
**DAMOD200**

Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

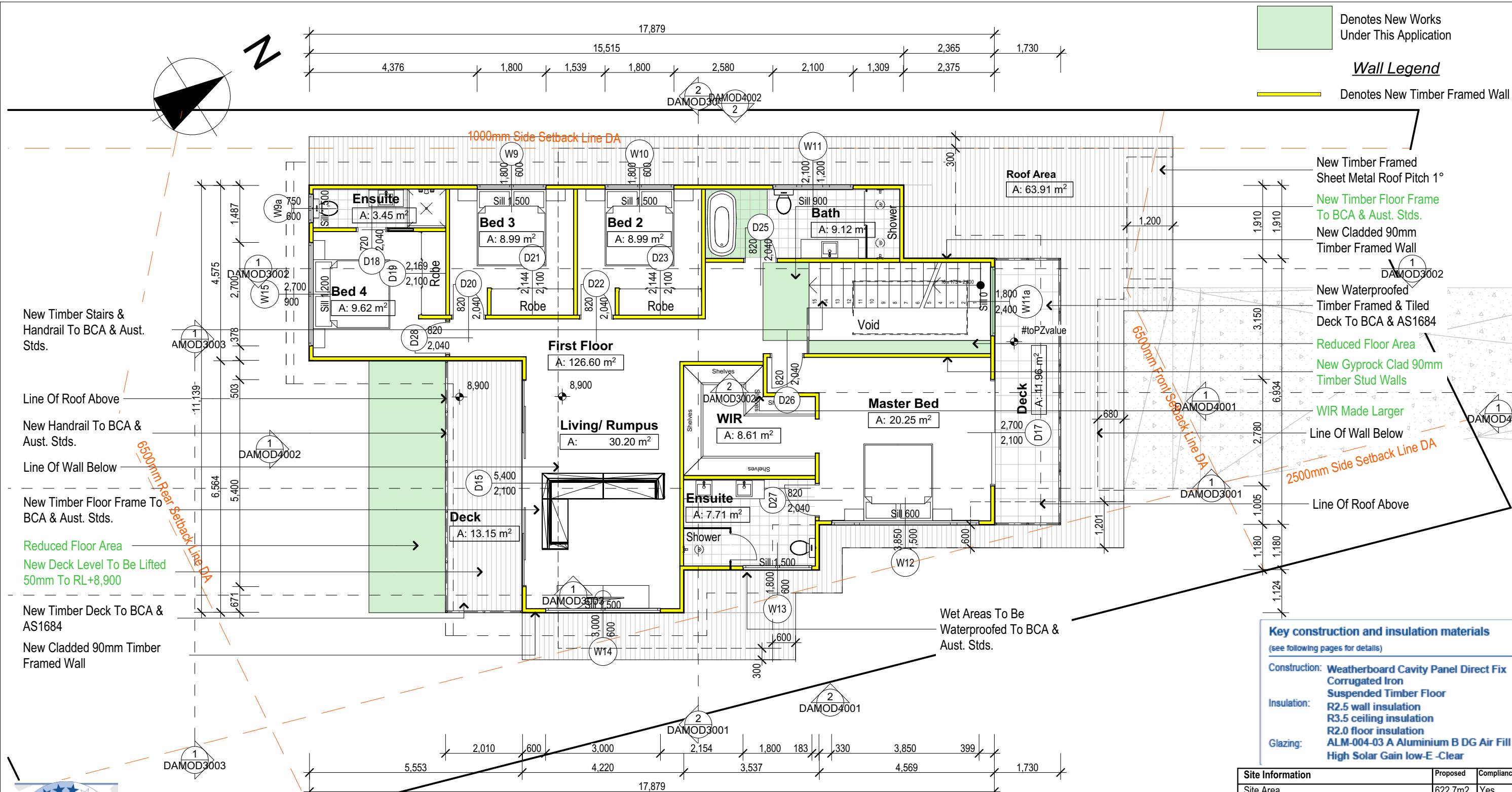




Denotes New Works Under This Application

**Wall Legend**

Denotes New Timber Framed Wall



New Timber Stairs & Handrail To BCA & Aust. Stds.

Line Of Roof Above

New Handrail To BCA & Aust. Stds.

Line Of Wall Below

New Timber Floor Frame To BCA & Aust. Stds.

Reduced Floor Area

New Deck Level To Be Lifted 50mm To RL+8,900

New Timber Deck To BCA & AS1684

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°

New Timber Floor Frame To BCA & Aust. Stds.

New Cladded 90mm Timber Framed Wall

New Waterproofed Timber Framed & Tiled Deck To BCA & AS1684

Reduced Floor Area

New Gyprock Clad 90mm Timber Stud Walls

WIR Made Larger

Line Of Wall Below

Line Of Roof Above

2500mm Side Setback Line DA

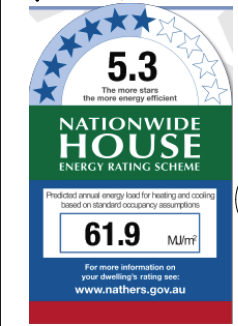
**Key construction and insulation materials**  
(see following pages for details)

**Construction:** Weatherboard Cavity Panel Direct Fix Corrugated Iron Suspended Timber Floor

**Insulation:** R2.5 wall insulation R3.5 ceiling insulation R2.0 floor insulation

**Glazing:** ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E-Clear

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

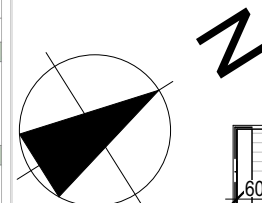
**DA MODIFICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
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**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number 10164875 & NatHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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b) insulation specified is not required for parts of altered construction where insulation already exists  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

<b>Energy Commitments</b>	<ul style="list-style-type: none"> <li>• all bathrooms/toilets;</li> <li>• the laundry;</li> <li>• all hallways;</li> </ul>
<b>Natural lighting</b>	<p>The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.</p>
<b>Swimming pool</b>	<p>The development must not incorporate any heating system for the swimming pool.</p> <p>The applicant must install a timer for the swimming pool pump in the development.</p>
<b>Alternative energy</b>	<p>The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.</p>
<b>Other</b>	<p>The applicant must install a gas cooktop &amp; electric oven in the kitchen of the dwelling.</p>



1  
DAMOD3003

1  
DAMOD4002

Line Of Wall Below

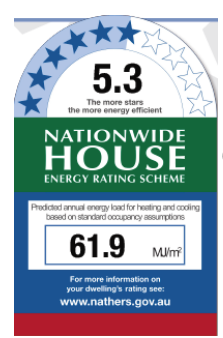
Line Of Deck Below

### Reduced Roof Area

D3003

1  
DAMOD3003

Roof Plan  
1:100



**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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Project North
---------------



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**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
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**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

### Basis

Basix Certificate Number 1016487S & NatHERS No:0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

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- insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

<p>this</p> <p>e</p> <p>not</p> <p>all</p>	<p>The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p>
--	--

Client:  
**Greg Beeman**

Client  
Greg Beerman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212
Drawing Title: Plans - Roof Plan Roof Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No.  RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.

**DAMOD200**

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 63 Gondola Road, North Narrabeen is not considered a heritage item.

**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5 Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basix**  
Basix Certificate Number 1016487S & NatHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates  
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



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Client: Greg Beeman  
Project Name: **New Dwelling**  
63 Gondola Road, North Narrabeen  
2101  
Lot 218 D.P. 16212

Drawing Title:

Sections - Section 1

Section 1, Section 2

Scale: A3 as noted Date: 17/09/20

Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE Drawing No.

DAMOD3001

Denotes New Works Under This Application

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900

Ridge

RL +11,300

FCL

New Cladded 90mm Timber Framed Wall

RL +8,900

First

New Timber Floor Frame To BCA & Aust. Stds.

Upr Ground

RL +5,700

Ground

New Concrete Slab To Eng. Details

New Concrete Retaining Wall To Eng. Details

RL +3,300

Basement

New Concrete Drive To Eng. Details  
Dropped To Suit New Garage Level

**Key construction and insulation materials**

(see following pages for details)

**Construction:** Weatherboard Cavity Panel Direct Fix

Corrugated Iron

Suspended Timber Floor

**Insulation:** R2.5 wall insulation

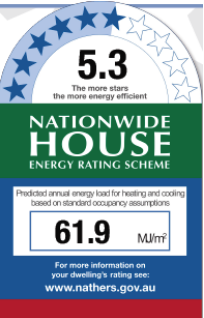
R3.5 ceiling insulation

R2.0 floor insulation

ALM-004-03 A Aluminium B DG Air Fill

High Solar Gain low-E -Clear

**Glazing:**



**Wall Legend**

- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing

Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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New Skylight To Manufacturers Details  
New Timber Framed Sheet Metal Roof Pitch 1°  
New Timber Deck To BCA & AS1684

Reduced Area

New Deck Level To Be Lifted 50mm To RL+8,900

New Handrail To BCA & Aust. Stds.

New Masonry Veneer Wall

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.

New Ground Floor Level Lifted 200mm To RL+5,700

New 69KL Pool To Eng. Details

New Strip Footings To Eng. Details

New Concrete Slab To Eng. Details

**Section 1**  
1:100

New Timber Framed Sheet Metal Flat Roof

RL +11,900

Ridge

RL +11,300

FCL

New Timber Floor Frame To BCA & Aust. Stds.

RL +8,900

First

New Masonry Veneer Wall

New 1800mm High Timber Privacy Screen

RL +5,700

Ground

New Concrete Block Retaining Wall To Eng. Details

New Fill Area

RL +3,300

Basement

New Strip Footings To Eng. Details

New Concrete Slab To Eng. Details

**Section 2**  
1:100

2

length in millimeters at full size

length in millimeters at full size

200

New Glass Roof/Skylight To Eng. Details

RL +11,900  
Ridge  
RL +11,300  
FCL

New Cladded 90mm Timber Framed Wall

New Gyprock Clad 90mm Timber Stud Walls

New Timber Framed Sheet Metal Roof Pitch 1°

RL +8,900  
First

New Handrail To BCA & Aust. Stds.

New Timber Floor Frame To BCA & Aust. Stds.

RL +5,700  
Ground

New Garage Floor Level Dropped  
100mm To RL+3,300

New Concrete Stairs To BCA,  
Aust. Stds. & Eng. Details

RL +3,300  
Basement

1

Section Stairs

1:100

New Timber Framed  
Sheet Metal Flat Roof

RL +11,900  
Ridge  
RL +11,300  
FCL

New Cladded 90mm  
Timber Framed Wall

RL +8,900  
First

New Timber Stairs & Handrail  
To BCA & Aust. Stds.

New Ground Floor Level Lifted  
200mm To RL+5,700  
New Concrete Slab To Eng.  
Details With Decking Over

RL +5,700  
Ground

New Concrete Stairs  
To BCA, Aust. Stds. &  
Eng. Details

RL +3,300  
Basement

New Concrete Slab To  
Eng. Details

**Key construction and insulation materials**

(see following pages for details)

**Construction:** Weatherboard Cavity Panel Direct Fix  
Corrugated Iron

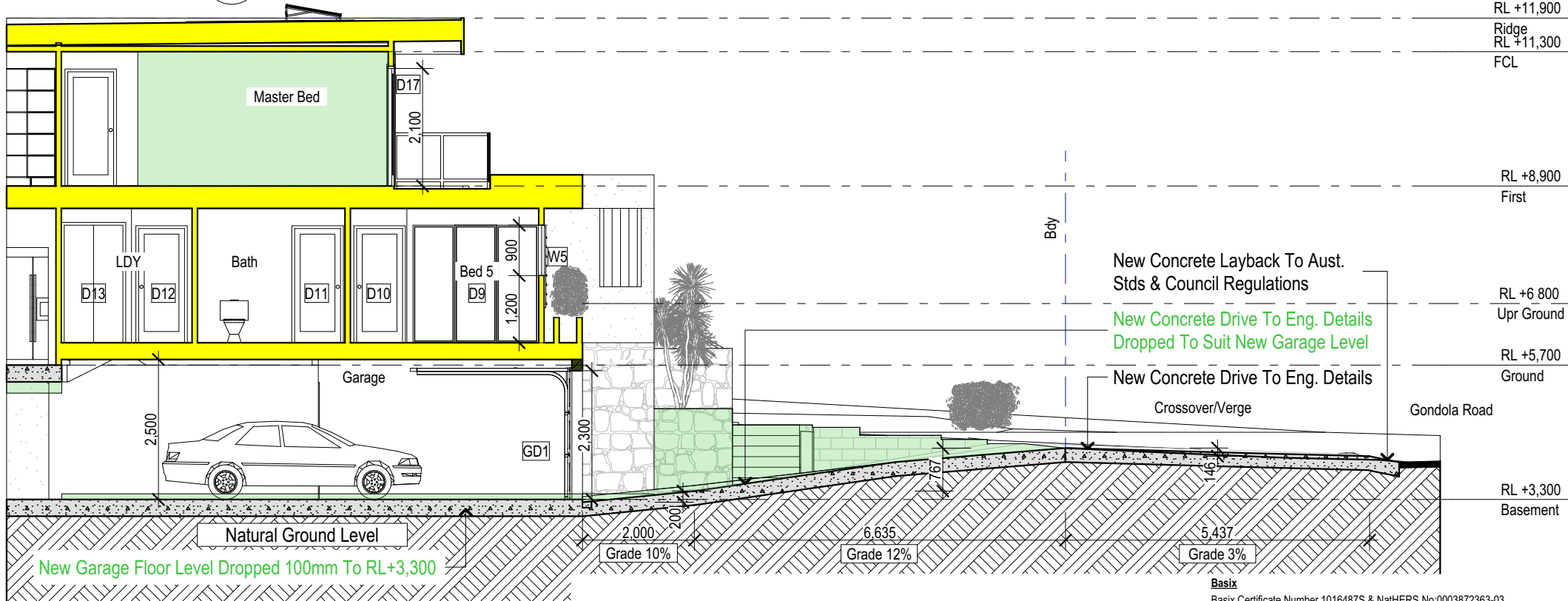
**Insulation:** Suspended Timber Floor  
R2.5 wall insulation  
R3.5 ceiling insulation  
R2.0 floor insulation

**Glazing:** ALM-004-03 A Aluminium B DG Air Fill  
High Solar Gain low-E -Clear

Denotes New Works  
Under This Application

**Wall Legend**

Denotes New Timber Framed Wall/Floor  
Denotes New Concrete Block Wall  
Denotes New Masonry Wall  
Denotes Concrete Slab/Footing



Section Drive

1:100

New Concrete Layback To Aust.  
Stds & Council Regulations

New Concrete Drive To Eng. Details  
Dropped To Suit New Garage Level

New Concrete Drive To Eng. Details

Crossover/Verge

Gondola Road

New Garage Floor Level Dropped 100mm To RL+3,300

**NOTES**

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New Works to be constructed shown in Shaded/Blue  
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**Construction**

Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number 10164875 & NatHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**DA MODIFICATION ONLY**  
**NOT FOR CONSTRUCTION**

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Client:  
Greg Beeman

Client  
Greg Beeman  
Project Name  
New Dwelling  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

Sections - Section 2

Section Stairs, Section Drive

Scale: A3 as noted

Status: DA Mod Rev4  
Project No.

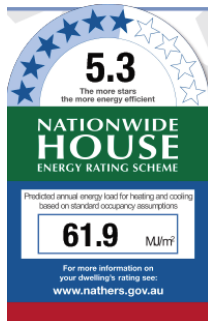
RP1018BEE

Date: 17/09/20

Checked By: GBJ

Drawing No.

DAMOD300



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**Key construction and insulation materials**  
(see following pages for details)

**Construction:** Weatherboard Cavity Panel Direct Fix  
Corrugated Iron  
Suspended Timber Floor

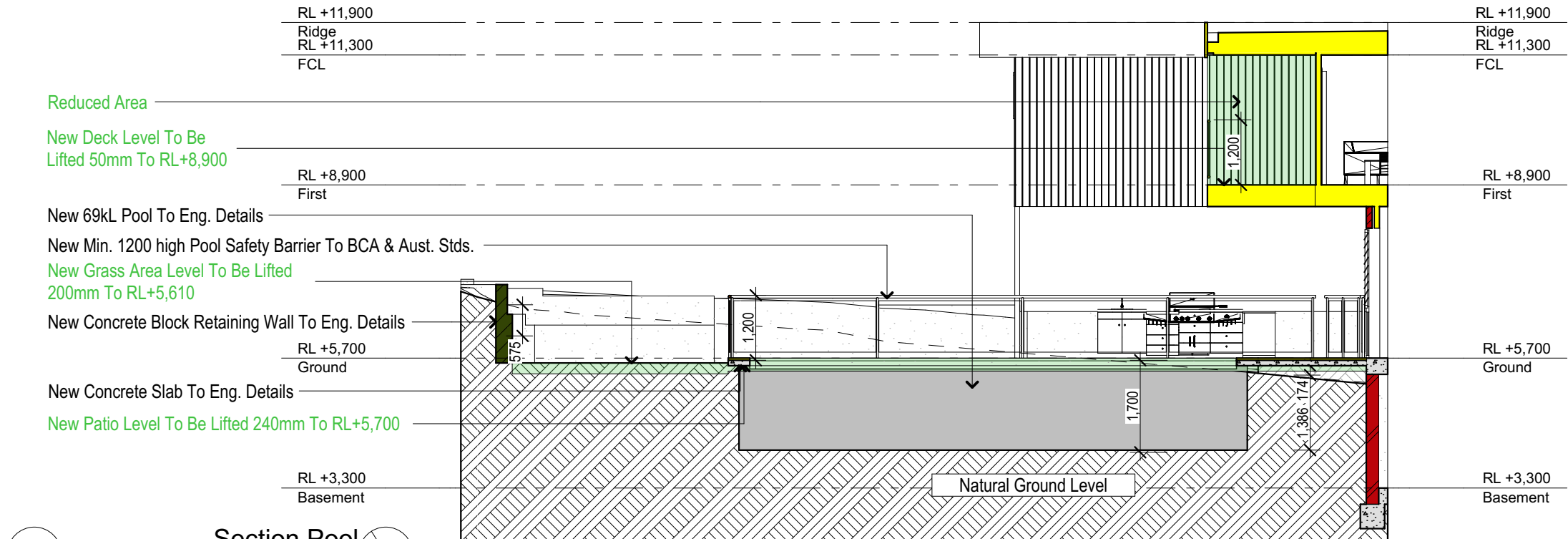
**Insulation:** R2.5 wall insulation  
R3.5 ceiling insulation  
R2.0 floor insulation

**Glazing:** ALM-004-03 A Aluminium B DG Air Fill  
High Solar Gain low-E -Clear

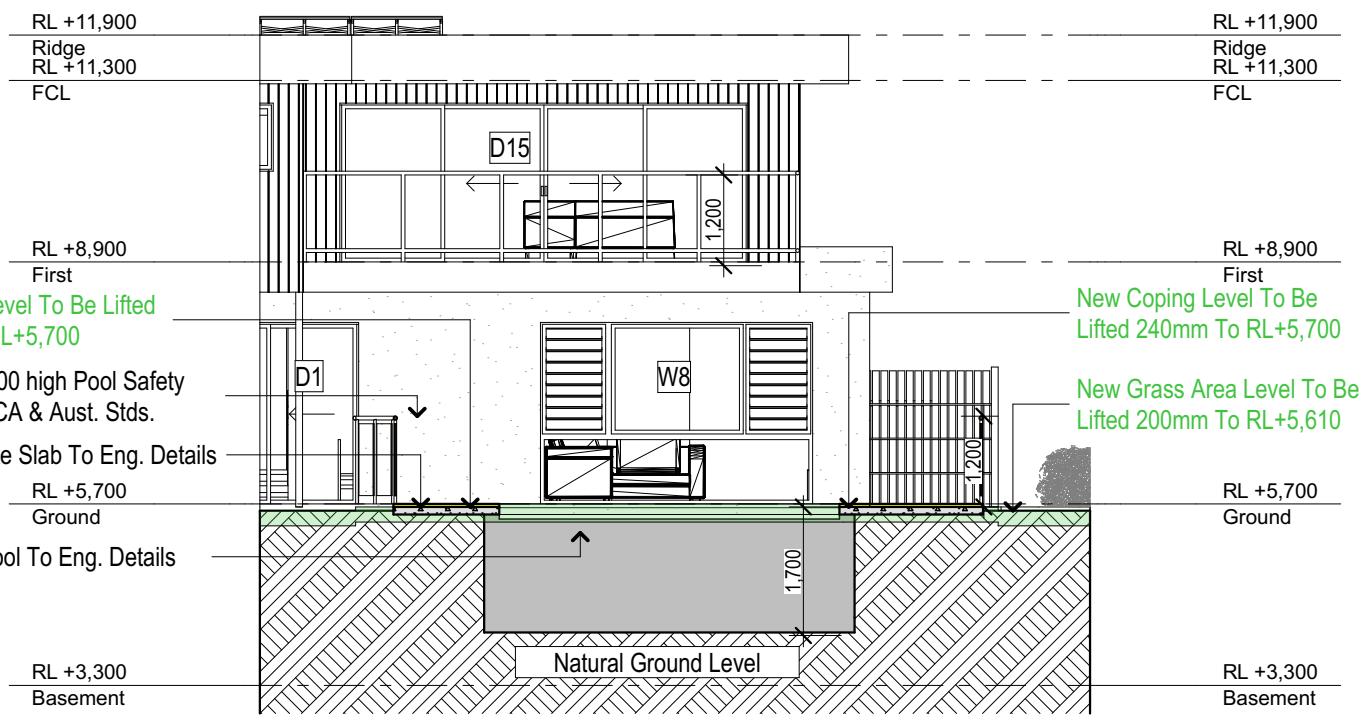
Denotes New Works  
Under This Application

Water Commitments		
Landscape		
The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.		
Fixtures		
The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.		
The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.		
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		
Alternative water		
Rainwater tank		
The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		
The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		
The applicant must connect the rainwater tank to:		
• all toilets in the development		
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		
Swimming pool		
The swimming pool must not have a volume greater than 69 kilolitres.		
Water Commitments		
The swimming pool must have a pool cover.		
The swimming pool must be outdoors.		

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



1 Section Pool 1:100



1 Section Pool 1:100


**DA MODIFICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
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**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number 1016487S & NatHERS No.0003872363-03  
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Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
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**BUILDING DESIGNERS AUSTRALIA**  
NSW

Project North



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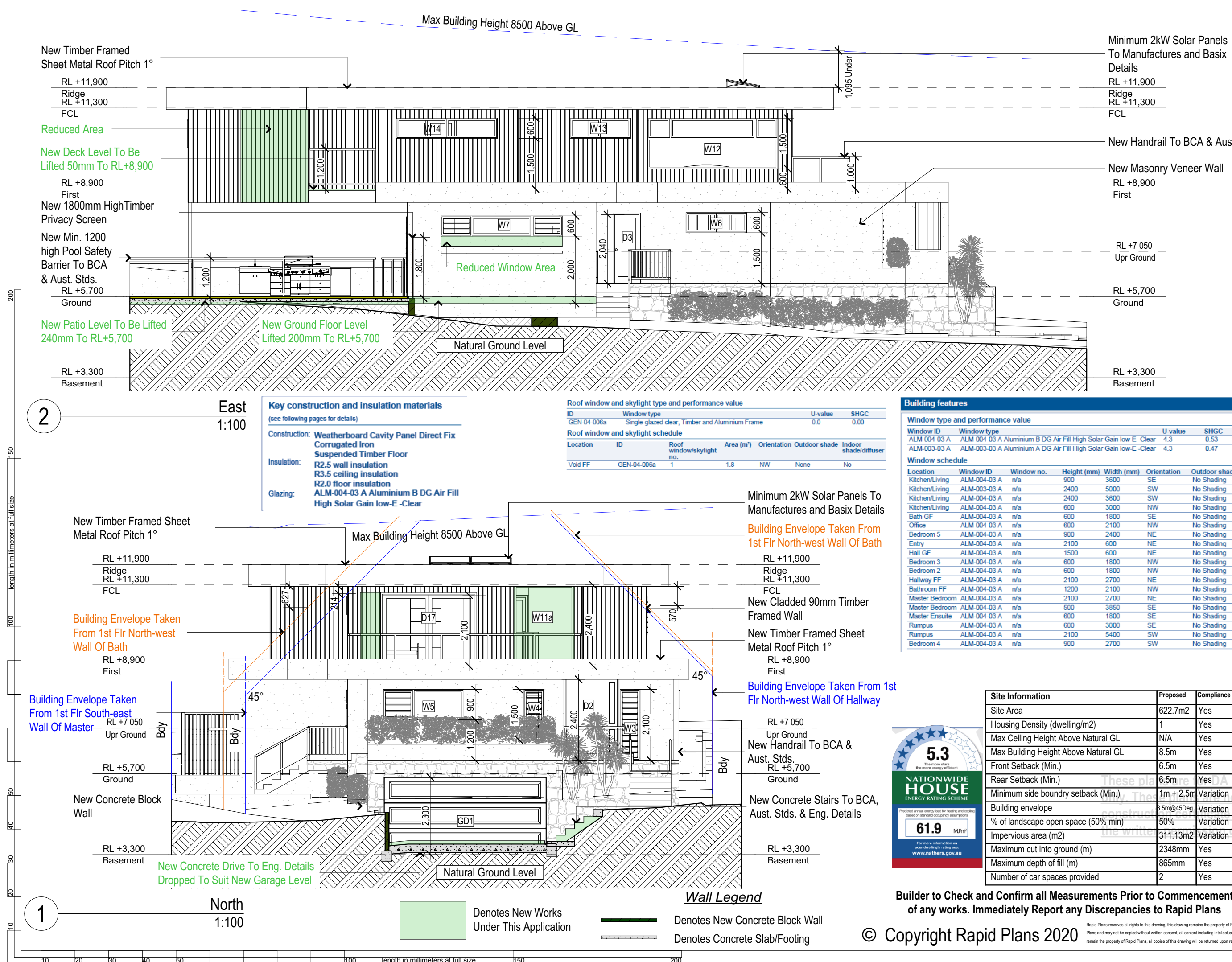
Client:  
Greg Beeman

Client:  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Sections - Section Pool  
Section Pool

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No.  
RP1018BEE

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
**DAMOD300**



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**BD&A** BUILDING DESIGNERS AUSTRALIA NSW

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**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5 Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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**Project North**

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Client: Greg Beeman  
Project Name: **New Dwelling**  
63 Gondola Road, North Narrabeen 2101  
Lot 218 D.P. 16212  
Drawing Title:  
**Elevations - Elevations 1**  
North, East

Scale: A3 as noted	Date: 17/09/20
Status: DA Mod Rev4	Checked By: GBJ
Project No: RP1018BEE	Drawing No. DAMOD4001

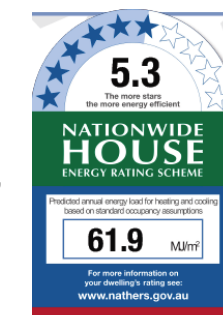
**Site Information**

Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

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**NOTES**  
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All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 63 Gondola Road, North Narrabeen is not considered a heritage item.

**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
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Project North

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Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101  
Lot 218 D.P. 16212

Drawing Title:  
**Elevations - Elevations 2**  
**South, West**

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No:  
**RP1018BEE**

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
**DAMOD4002**

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900  
Ridge  
RL +11,300  
FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°  
RL +8,900

First  
New Masonry Veneer Wall

New Handrail To BCA & Aust. Stds.  
RL +6 800  
Upr Ground

RL +5,700  
Ground

New Ground Floor Level Lifted 200mm To RL+5,700

West  
1:100

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900  
Ridge  
RL +11,300  
FCL

Building Envelope Taken From 1st Flr South-west Wall Of Bed 4

RL +8,900  
First

New Masonry Veneer Wall

New Grass Area Level To Be Lifted 200mm To RL+5,610

New Masonry Wall

RL +5,700  
Ground

New Patio Level To Be Lifted 240mm To RL+5,700

RL +3,300  
Basement

South  
1:100

1

length in millimeters at full size

Max Building Height 8500 Above GL

Roof window and skylight type and performance value						
ID	Window type		U-value		SHGC	
GEN-04-006a	Single-glazed clear, Timber and Aluminium Frame		0.0		0.00	
Roof window and skylight schedule						
Location	ID	Roof window/skylight no.	Area (m²)	Orientation	Outdoor shade	Indoor shade/diffuser
Void FF	GEN-04-006a	1	1.8	NW	None	No

**Key construction and insulation materials**  
(see following pages for details)

**Construction:** Weatherboard Cavity Panel Direct Fix  
Corrugated Iron  
Suspended Timber Floor  
R2.5 wall insulation  
R3.5 ceiling insulation  
R2.0 floor insulation  
ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

**Insulation:**

**Glazing:**

Building features						
Window type and performance value						
Window ID	Window type				U-value	SHGC
ALM-004-03 A	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear				4.3	0.53
ALM-003-03 A	ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear				4.3	0.47
Window schedule						
Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	ALM-004-03 A	n/a	900	3600	SE	No Shading
Kitchen/Living	ALM-003-03 A	n/a	2400	5000	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	2400	3600	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	600	3000	NW	No Shading
Bath GF	ALM-004-03 A	n/a	600	1800	SE	No Shading
Office	ALM-004-03 A	n/a	600	2100	NW	No Shading
Bedroom 5	ALM-004-03 A	n/a	900	2400	NE	No Shading
Entry	ALM-004-03 A	n/a	2100	600	NE	No Shading
Hall GF	ALM-004-03 A	n/a	1500	600	NE	No Shading
Bedroom 3	ALM-004-03 A	n/a	600	1800	NW	No Shading
Bedroom 2	ALM-004-03 A	n/a	600	1800	NW	No Shading
Hallway FF	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Bathroom FF	ALM-004-03 A	n/a	1200	2100	NW	No Shading
Master Bedroom	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Master Bedroom	ALM-004-03 A	n/a	500	3850	SE	No Shading
Master Ensuite	ALM-004-03 A	n/a	600	1800	SE	No Shading
Rumpus	ALM-004-03 A	n/a	600	3000	SE	No Shading
Rumpus	ALM-004-03 A	n/a	2100	5400	SW	No Shading
Bedroom 4	ALM-004-03 A	n/a	900	2700	SW	No Shading

New Timber Framed Sheet Metal Roof Pitch 1°  
RL +11,900  
Ridge  
RL +11,300  
FCL

New Cladded 90mm Timber Framed Wall

New Handrail To BCA & Aust. Stds.  
RL +8,900  
First

Building Envelope Taken From 1st Flr South-east Wall Of Living Room

New 1800mm High Timber Privacy Screen

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.  
RL +5,700  
Ground

New Concrete Block Retaining Wall To Eng. Details

RL +3,300  
Basement

New 69kL Pool To Eng. Details

1,700

1,200

1,200

1,200

1,200

1,200

1,200

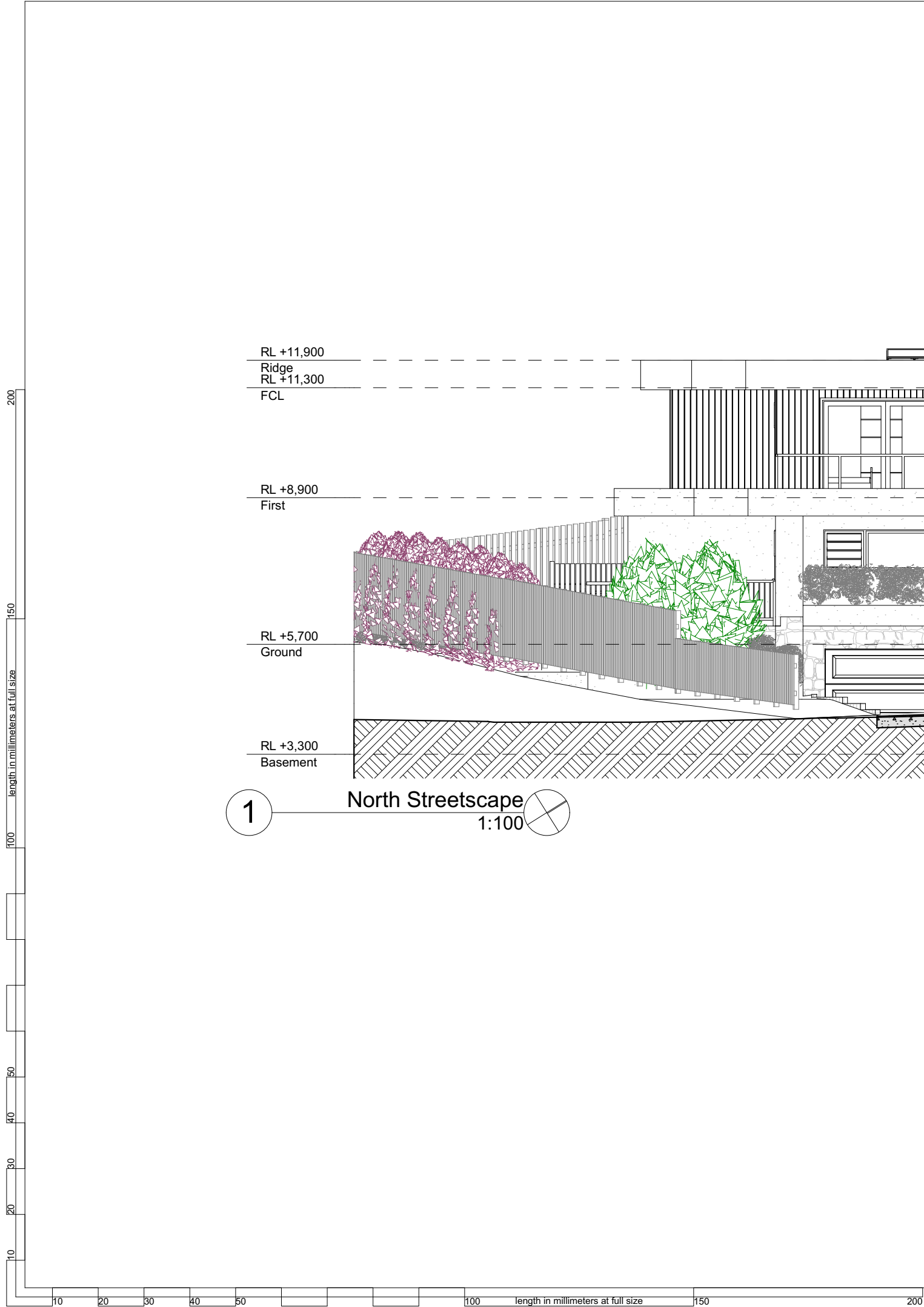
**Wall Legend**

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing

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Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundry setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m2)	311.13m2	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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BUILDING  
DESIGNERS  
AUSTRALIA NSW


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Project North



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Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212	
Drawing Title:	
Elevations - E/05 North Streetscape	
North Streetscape	
Scale: A3 as noted	Date: 17/09/20
Status: DA Mod Rev4	Checked By: GBJ
Project No:	Drawing No.
RP1018BEE	DAMOD4003



200

150

length in millimeters at full size

100

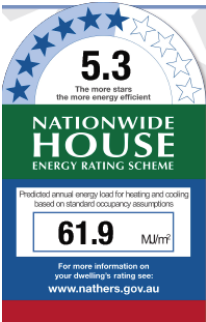
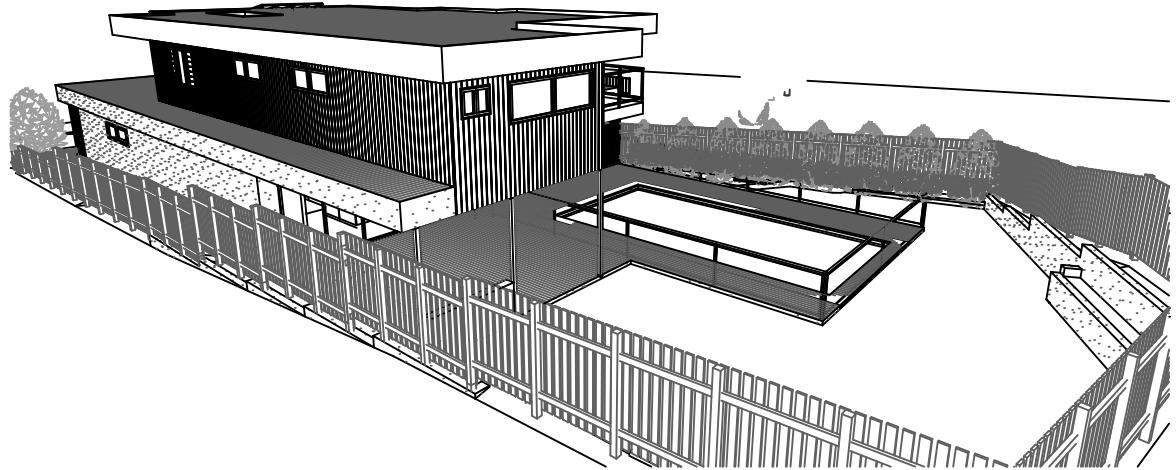
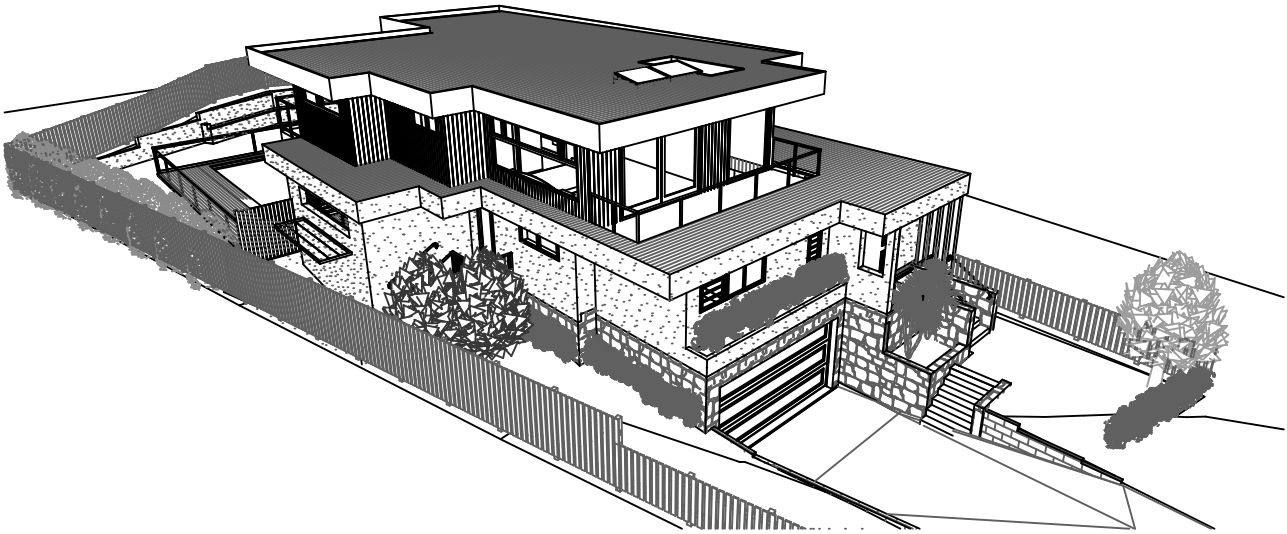
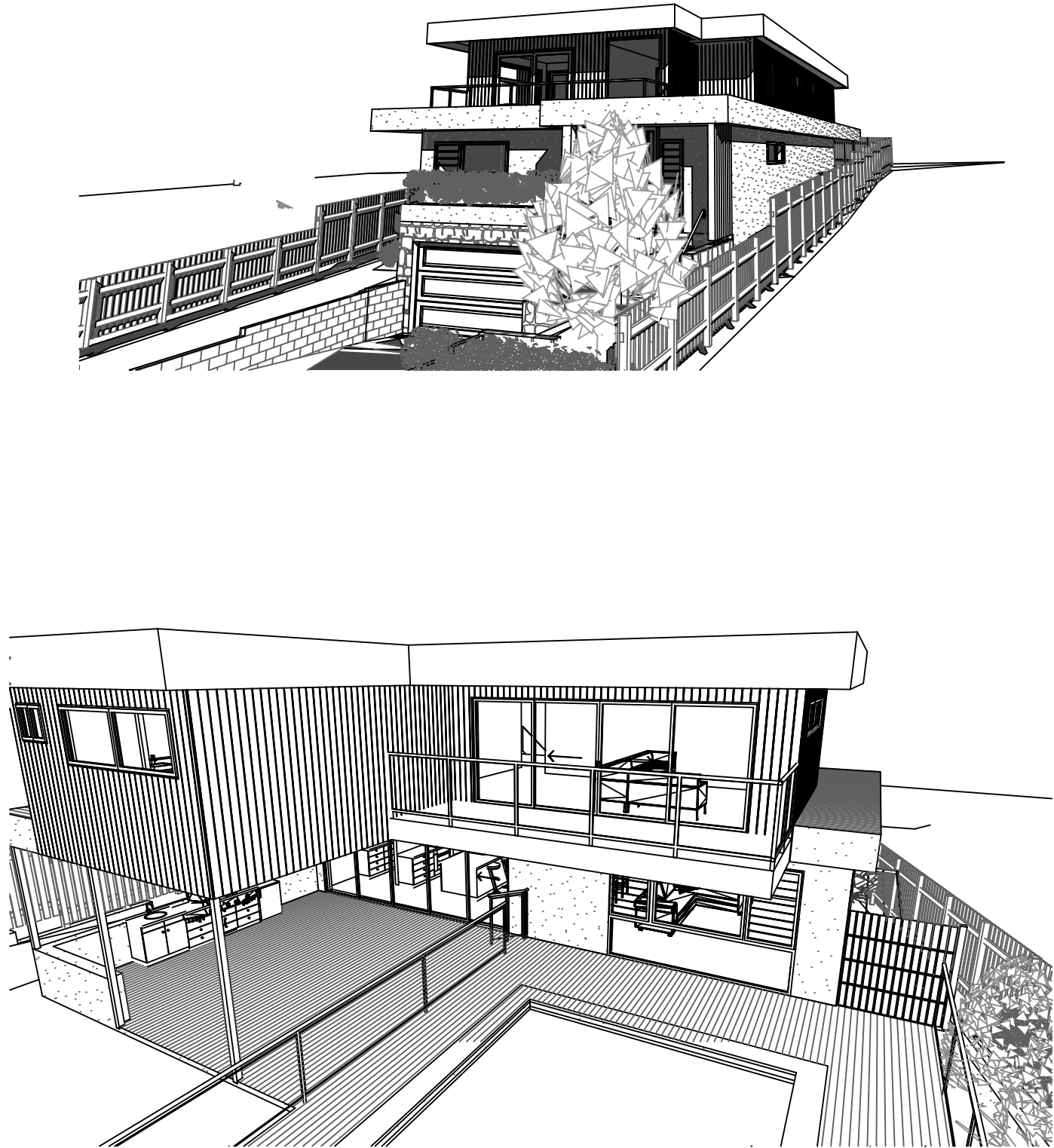
150

40

30

20

10



Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
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Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

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**Construction**  
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Insulation to External Timber and Masonry Walls R2.5  
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Glazing to BCA and AS01288-2047  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



**DA MODIFICATION ONLY**  
**NOT FOR CONSTRUCTION**

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Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

**Sunstudy - Perspective**

**Per 1, Per 2, Per 3, Per 4**

Scale: A3 as noted

Date: 17/09/20

Status: DA Mod Rev4

Checked By: GBJ

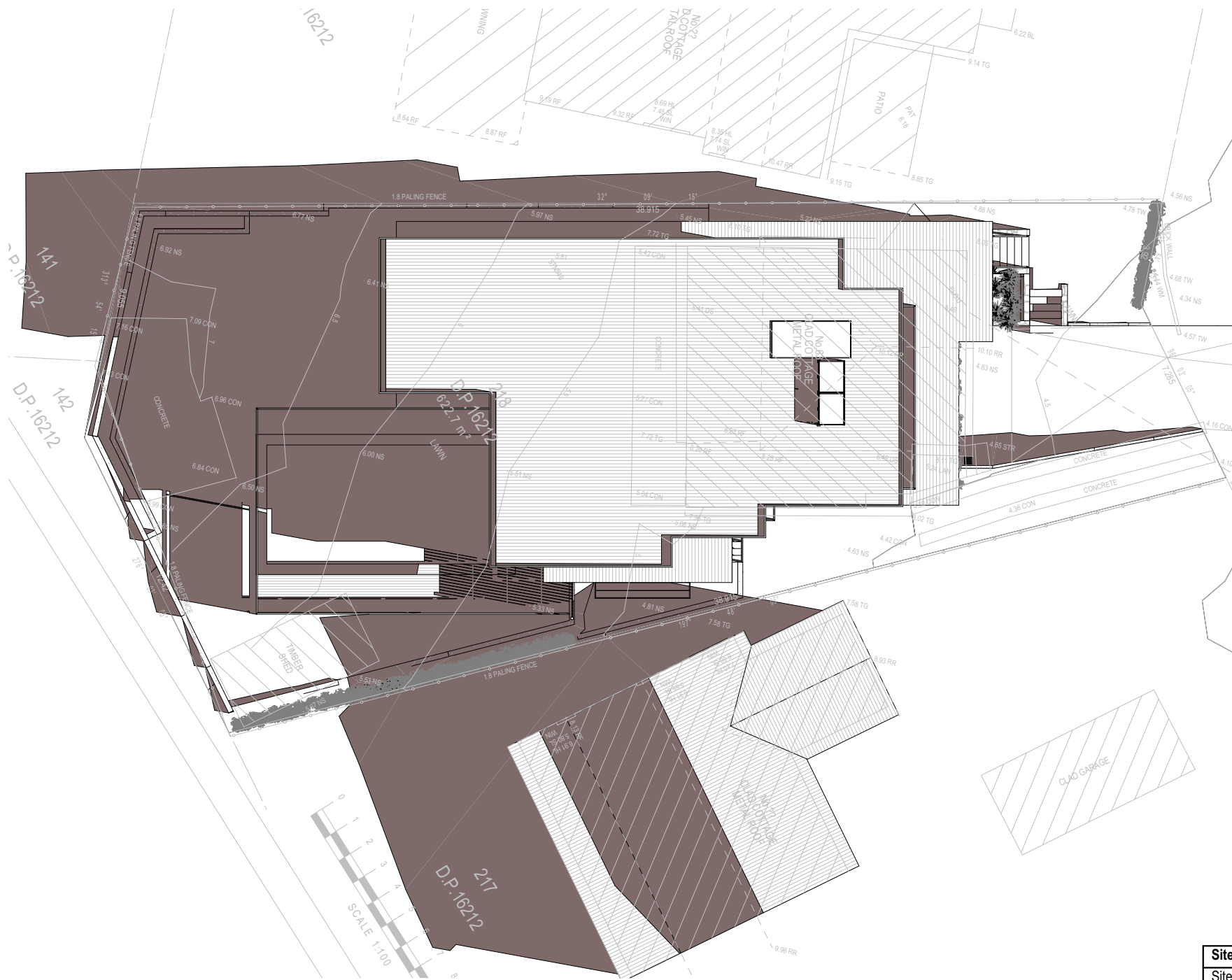
Project No:

**RP1018BEE**

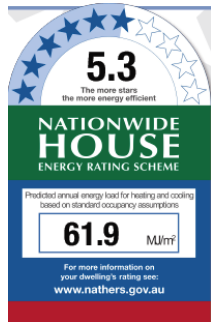
Drawing No.

**DAMOD5001**





Denotes Proposed Shadow



1 Jun-21-9am 1:200

DA MODIFICATION ONLY NOT FOR CONSTRUCTION

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number 10164875 & NatHERS No.0003872363-03  
All Plans to be read in conjunction with Basix & NatHERS Certificates

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variaton
Building envelope	3.5m@45Deg	Variaton
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
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Email : gregg@rapidplans.com.au



Project North

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Client:  
Greg Beeman

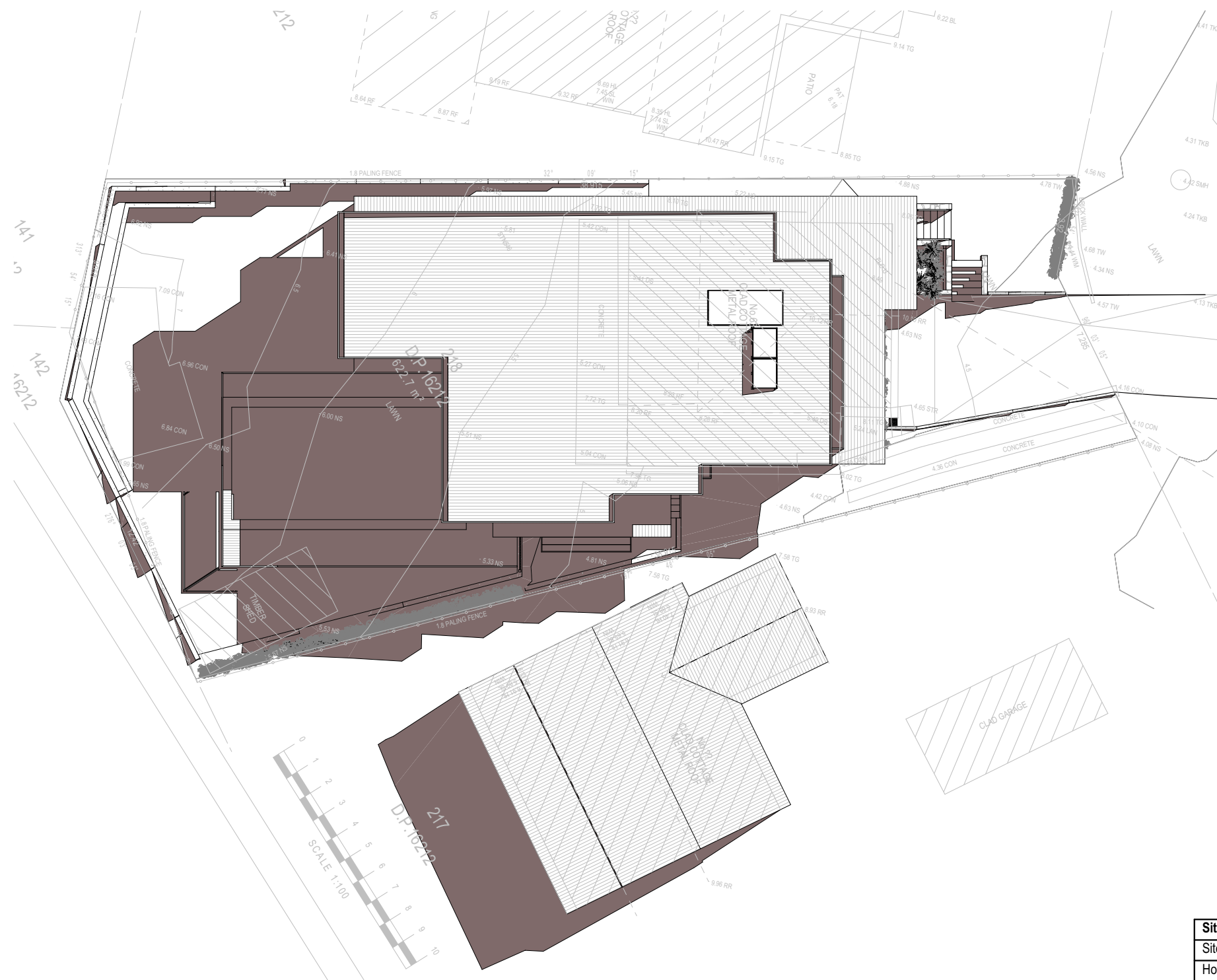
Client  
Greg Beeman  
Project Name  
New Dwelling  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Sunstudy - June 21st Shadow -  
9am  
Jun-21-9am

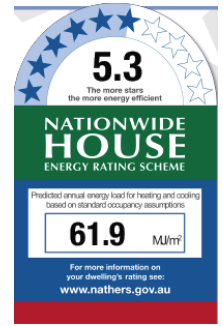
Scale: A3 as noted  
Status: DA Mod Rev4  
Project No.  
RP1018BEE

Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
DAMOD500.





Denotes Proposed Shadow



1 Jun-21-12pm 1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA MODIFICATION ONLY NOT FOR CONSTRUCTION

NOTES 63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 63 Gondola Road, North Narrabeen is not considered a heritage item

Construction Timber and Concrete, Timber and Masonry Walls Roof Timber to have R5.0 Insulation Insulation to External Timber and Masonry Walls R2.5 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps

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Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variaton
Building envelope	3.5m@45Deg	Variaton
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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Project North

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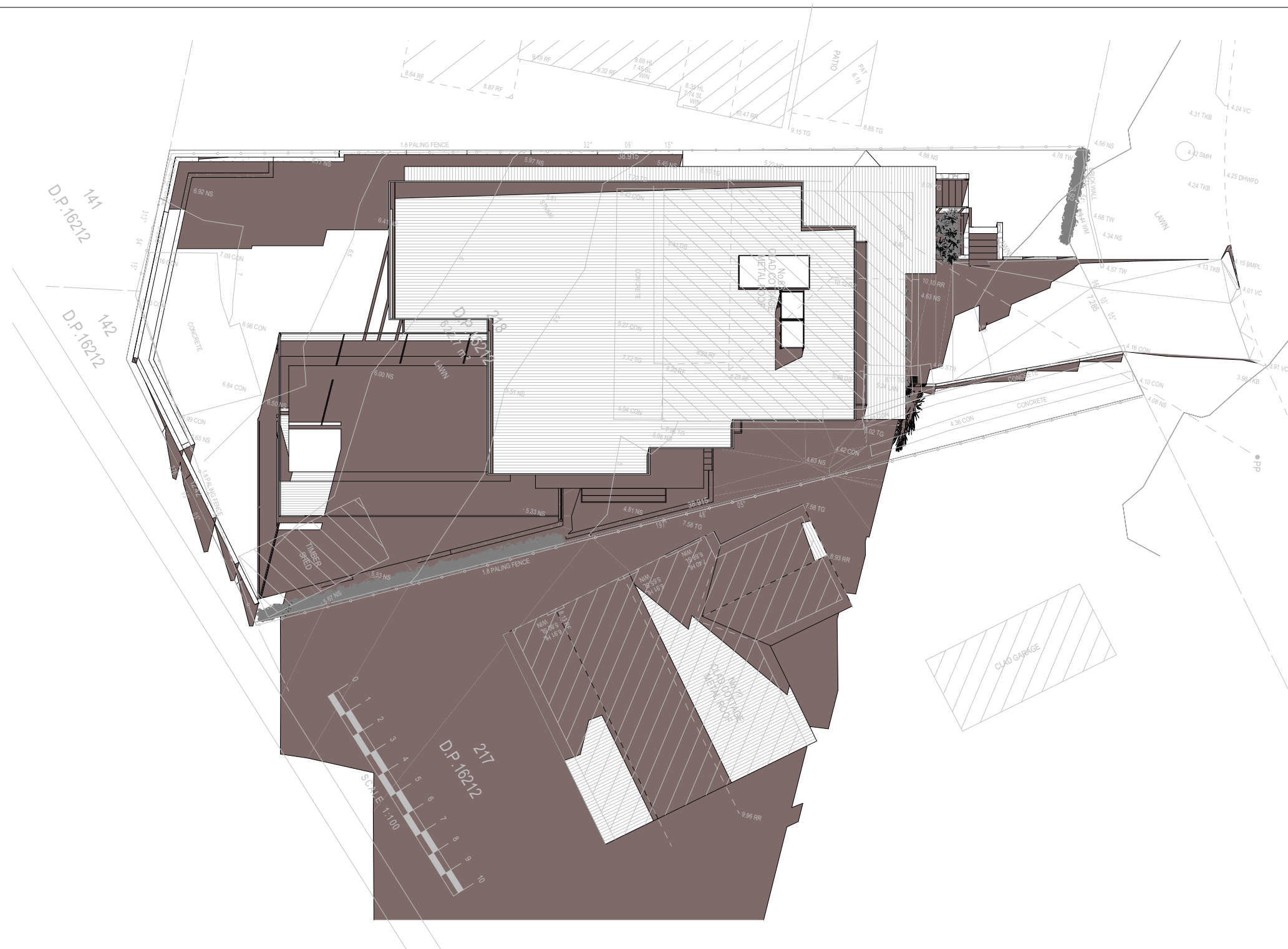
Client: Greg Beeman

Client: Greg Beeman Project Name: New Dwelling 63 Gondola Road, North Narrabeen 2101

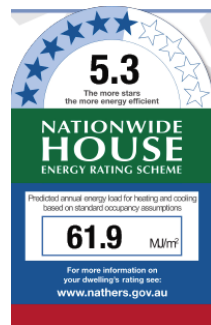
Lot 218 D.P. 16212 Drawing Title: Sunstudy - June 21st Shadow - 12pm Jun-21-12pm

Scale: A3 as noted Status: DA Mod Rev4 Project No. RP1018BEE

Date: 17/09/20 Checked By: GBJ Drawing No. DAMOD500



Denotes Proposed Shadow



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

1

Jun-21-3pm

1:200

**DA MODIFICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**

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All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
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Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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Project North



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Client:  
Greg Beeman

Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Sunstudy - June 21st Shadow -  
3pm  
Jun-21-3pm

Scale: A3 as noted  
Status: DA Mod Rev4  
Project No.  
RP1018BEE  
Date: 17/09/20  
Checked By: GBJ  
Drawing No.  
**DAMOD500**



**NOTES**  
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Project North



## DA MODIFICATION ONLY

### NOT FOR CONSTRUCTION

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Client: Greg Beeman  
Project Name: **New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

**Sunstudy - Wall Elevation Shadow**

Wall Elev 9am, Wall Elev 12pm, Wall Elev 3pm,

Site Plan as noted

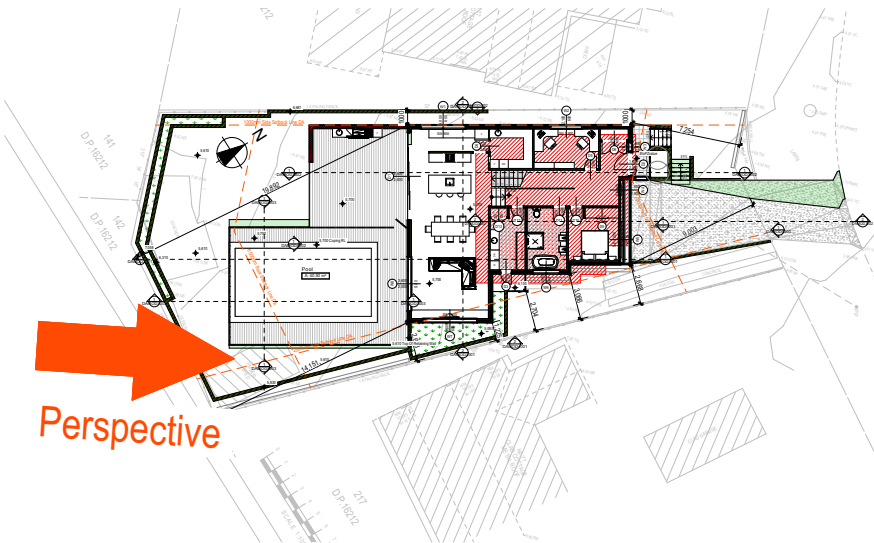
Status: DA Mod Rev4

Checked By: GBJ

Project No:

Drawing No.

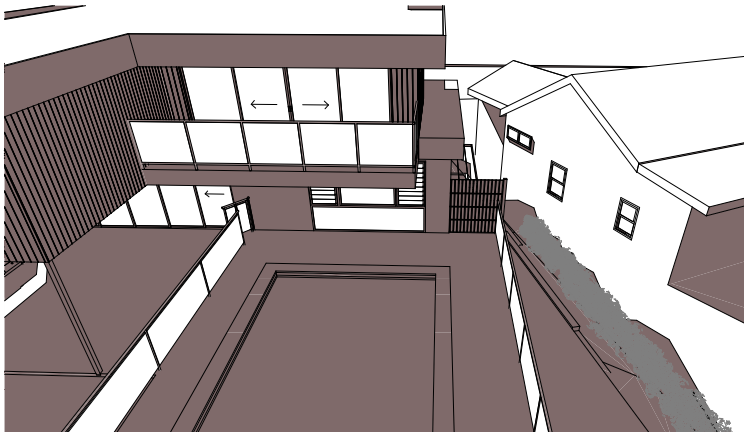
**RP1018BEE DAMOD5005**



1

Site Plan

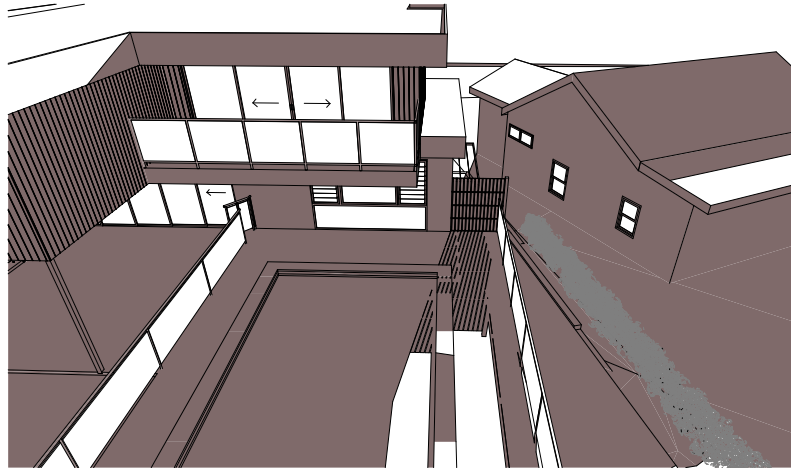
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Wall Elev 12pm

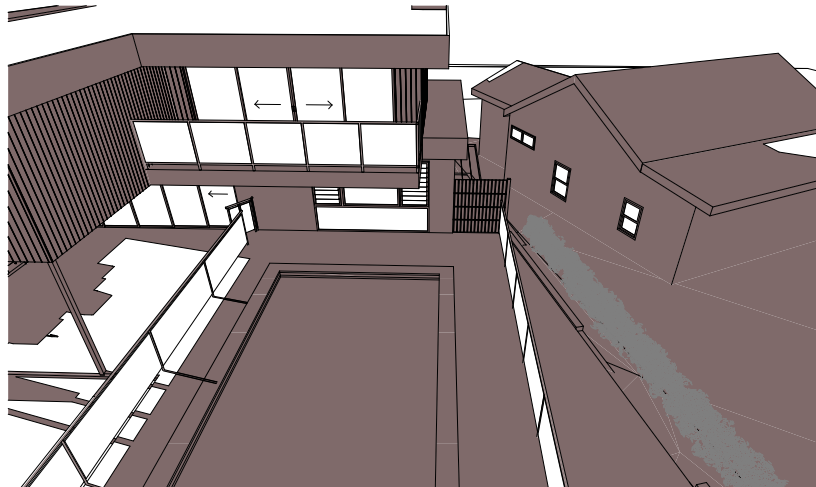
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1

Wall Elev 9am

1:100



1

Wall Elev 3pm

1:100



Denotes Proposed Shadow

Site Information	Proposed	Compliance
Site Area	622.7m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m <sup>2</sup> )	311.13m <sup>2</sup>	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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Denotes Garage Door (Typical).  
Owner To Confirm Colour and Type.



Denotes Concrete Block Retaining Wall (Typical).  
Owner To Confirm Colour and Type.



Denotes Glass and Steel Balustrade (Typical).  
Owner To Confirm Colour and Type.



Denotes Glass Timber Deck (Typical).  
Owner To Confirm Colour and Type.



Denotes Tiled Patio (Typical).  
Owner To Confirm Colour and Type.



Denotes Cladded Wall (Typical).  
Owner To Confirm Colour and Type.



Denotes Sheet Metal Roofing (Typical).  
Owner To Confirm Colour and Type.



Denotes Rendered Wall (Typical).  
Owner To Confirm Colour and Type.



Denotes Concrete Stair (Typical).  
Owner To Confirm Colour and Type.

Key construction and insulation materials

(see following pages for details)

Construction:

Weatherboard Cavity Panel Direct Fix

Corrugated Iron

Suspended Timber Floor

Insulation:

R2.5 wall insulation

R3.5 ceiling insulation

R2.0 floor insulation

Glazing:

ALM-004-03 A Aluminium B DG Air Fill

High Solar Gain low-E -Clear

Site Information	Proposed	Compliance
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Rapid Plans

Building Design and Architectural Drafting

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Mobile: 0414-945-024

Email : gregg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

NOTES

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All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

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Insulation to External Timber and Masonry Walls R2.5

Refer to Engineers drawings for structural details

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Project North

DA MODIFICATION ONLY

NOT FOR CONSTRUCTION

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Client

Greg Beeman

Project Name

New Dwelling

63 Gondola Road, North Narrabeen

2101

Lot 218 D.P. 16212

Drawing Title:

Schedules - Material & Colour Sample Board

Scale: A3 as noted

Date: 17/09/20

Status: DA Mod Rev4

Checked By: GBJ

Project No:

Drawing No:

RP1018BEE

DAMOD6001