



SECTION 4.55 MODIFICATION DEVELOPMENT APPLICATION TO DA2019/1286

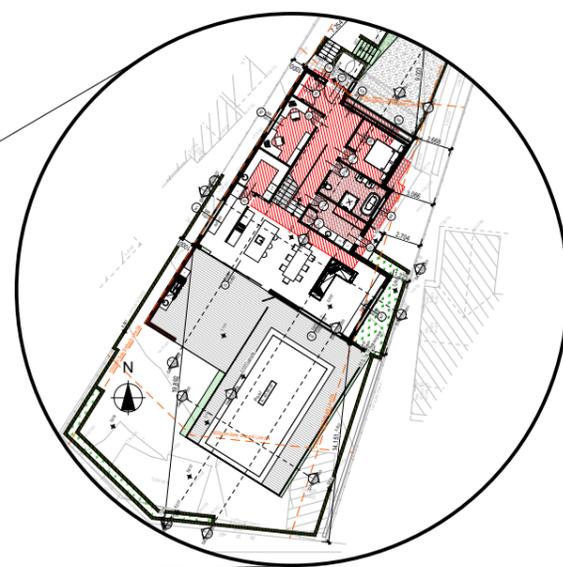
For Greg Beeman

63 Gondola Road, North Narrabeen

Lot 218 D.P. 16212

Project Number: RP1018BEE

Drawing No:	Description	...	Issue/Revision	Date
	Cover Sheet			
DAMOD1001	A4 Notification Plan			17/09/20
DAMOD1002	Survey Plan			17/09/20
DAMOD1003	Survey Plan 2			17/09/20
DAMOD1004	Site Plan			17/09/20
DAMOD1005	Demolition Ground Floor Plan			17/09/20
DAMOD1006	Excavation & Fill Plan			17/09/20
DAMOD1007	Landscape Open Space Plan			17/09/20
DAMOD1008	Landscape Plan			17/09/20
DAMOD1009	Sediment & Erosion Control Plan			17/09/20
DAMOD1010	Waste Management Plan			17/09/20
DAMOD1011	Stormwater Plan			17/09/20
DAMOD2001	Basement/Lower Ground Floor Plan			17/09/20
DAMOD2002	Ground Floor Plan			17/09/20
DAMOD2003	Ground Floor Plan 2			17/09/20
DAMOD2004	First Floor Plan			17/09/20
DAMOD2005	Roof Plan			17/09/20
DAMOD3001	Section 1			17/09/20
DAMOD3002	Section 2			17/09/20
DAMOD3003	Section Pool			17/09/20
DAMOD4001	Elevations 1			17/09/20
DAMOD4002	Elevations 2			17/09/20
DAMOD4003	E/05 North Streetscape			17/09/20
DAMOD5001	Perspective			17/09/20
DAMOD5002	June 21st Shadow - 9am			17/09/20
DAMOD5003	June 21st Shadow - 12pm			17/09/20
DAMOD5004	June 21st Shadow - 3pm			17/09/20
DAMOD5005	Wall Elevation Shadow			17/09/20
DAMOD6001	Material & Colour Sample Board			17/09/20



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1015090S_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1015090S lodged with the consent authority or certifier on 28 August 2019 with application DA2019/0930.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
 Date of issue: Tuesday, 15 September 2020
 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary	
Project name	Beeman_03
Street address	63 Gondola Road North Narrabeen 2101
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited 16212
Lot no.	218
Section no.	-
Project type	separate dwelling house
No. of bedrooms	5
Project score	
Water	40 Target 40
Thermal Comfort	Pass Target Pass
Energy	50 Target 50

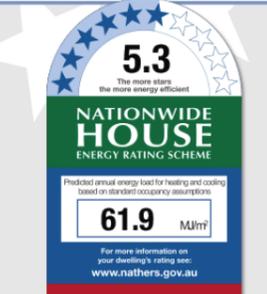
Certificate Prepared by	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

Nationwide House Energy Rating Scheme Certificate

Certificate number: 0003872363-03 Certificate Date: 13 Nov 2019 Star rating: 5.3

BERS Pro v4.3.0.0 (3.13) cannot be used to model 'roof windows'. Roof windows are 'openable or fixed windows in a roof' and do not have a shut, as distinct from skylights which incorporate a built-in shut and are not ventilated. BERS Pro v4.3 can only model skylights. If a roof window is present on the floor plan then this certificate is not valid.

Assessor details
 Accreditation number: VIC/BDV17/1807
 Name: Jamie Bonnefin
 Organisation: Certified Energy
 Email: jamie@certified.energy
 Phone: 1300 443 674
 Declaration of interest: None
 Software: BERS Pro v4.3.0.2d (3.13)
 AAC: BDAV



Overview

Street: 63 Gondola Road
 Suburb: North Narrabeen
 State: NSW Postcode: 2101
 Type: New Dwelling NCC Class: 1A
 NatHERS climate zone: 56
 LADP number: 218/16212 Exposure: Suburban

Key construction and insulation materials

Construction: Weatherboard Cavity Panel Direct Fix
 Corrugated Iron
 Suspended Timber Floor
 R2.5 wall insulation
 R3.5 ceiling insulation
 R2.0 floor insulation
 Glazing: ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Net floor area (m ²)	Annual thermal performance loads (MJ/m ²)
Unconditioned: 257.0	Heating: 40.5
Conditioned: 126.0	Cooling: 21.4
Garage: 90.0	TOTAL: 61.9
TOTAL: 377.0	

Plan documents
 Plan refidate: DA Issue 14/05/2019
 Prepared by: Rapid Plans

Ceiling penetrations	
Sealed:	0
Unsealed:	0
TOTAL**	0

Principle daylight type: Unknown
 Window selection - default windows only
 Note on allowable window values: Only a 5% tolerance to the restricted SHGC window values shown on page 2 can be used with this rating.
 Note: Only a +/- 5% SHGC tolerance is allowed with this rating.
 Note: This tolerance ONLY applies to SHGC. The U-value can always be lower but not higher than the values listed on page 2.
 If any of windows selected are outside the 5% tolerance then this certificate is no longer valid and the dwelling will need to be re-rated to confirm compliance.



TRUE NORTH

A	FIRST ISSUE	03/03/17
<p>BOUNDARIES HAVE NOT BEEN DEFINED (TITLE DIMENSIONS</p> <p>TREE SIZES ARE ESTIMATES ONLY.</p> <p>ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.</p> <p>THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF BEAMS BUILDING</p> <p>IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE</p> <p>RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS MARKED.</p>		
<p>DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY</p> <p>Watervies SURVEYING SERVICES</p> <p>1A Mona Street Mona Vale NSW 2103 ACN 610 583 572 michael@wvsurveying.com.au 0474 843 180</p>		
<p>Vertical Datum</p> <p>DATUM: AUSTRALIAN HEIGHT DATUM (AHD) B.M. PM 5313 R.L. 4.199 SOURCE: S.C.I.M.S.</p>		
<p>Client Details</p> <p>BEAMS BUILDING 63 GONDOLA ROAD WITH RESPECT NORTH NARRABEEN NSW 2101.</p>		
<p>Drawing Title</p> <p>DETAIL AND LEVELS OVER 63 GONDOLA ROAD NORTH NARRABEEN NSW 2101 BEING LOT 218 IN DP.16212</p>		
PROJECT: 629	PAGE 1 OF 1	
DATE: 28/02/17	DRAWING NO: 629detail 1	
Scale: 1:100	Rev: A	
<p>UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL</p>		

- LEGEND
- BL BALCONY
 - BMPL BENCH MARK PLACED
 - CL CENTERLINE
 - CON CONCRETE
 - DHWFD DRILL HOLE AND WING FOUND
 - DS DOOR SILL LEVEL
 - ELO ELECTRICITY OVERHEAD
 - LAN LANDING
 - NS NATURAL SURFACE
 - PAT PATIO
 - PP POWER POLE NETWORK
 - RF ROOF
 - RR ROOF RIDGE
 - SMH SEWER MAN HOLE
 - STN STATION
 - STR STAIRS
 - TG TOP OF GUTTER
 - TKB TOP OF KERB
 - TW TOP OF WALL
 - VC VEHICLE CROSSING
 - WM WATER METER



1 Survey 1:200

Builder to Check and Confirm all Measurements Prior to Commencement

DA APPLICATION ONLY NOT FOR CONSTRUCTION



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Project North

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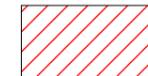
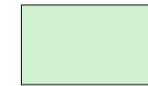
Client:
Greg Beeman

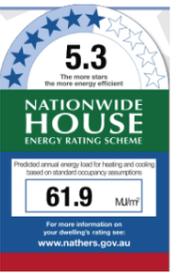
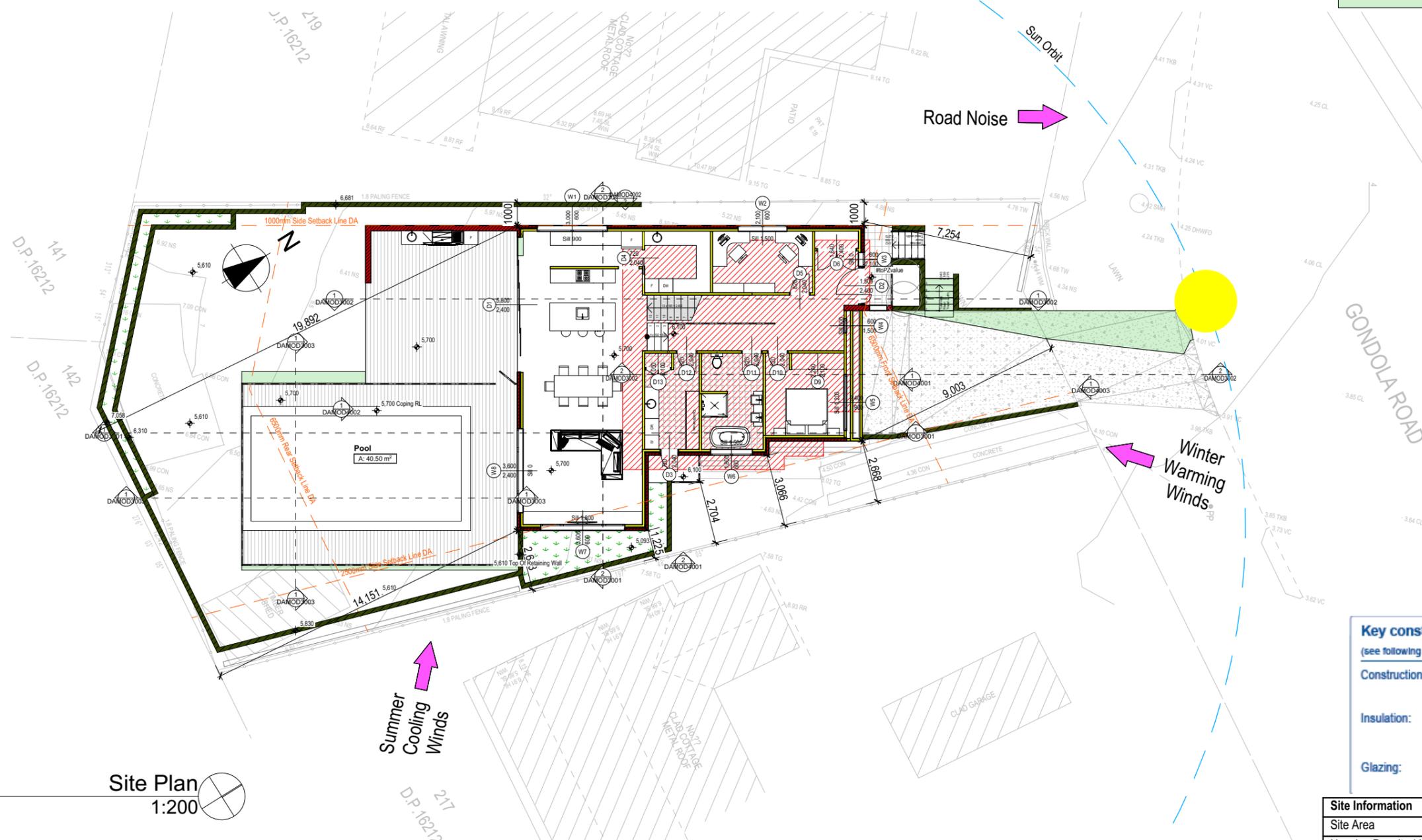
Project Name:
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Site Plans - Survey Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD1002

 Denotes Demo Works
 Denotes New Works Under This Application



Key construction and insulation materials
 (see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
 Corrugated Iron
 Suspended Timber Floor

Insulation: R2.5 wall insulation
 R3.5 ceiling insulation
 R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
 High Solar Gain low-E -Clear

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

1 Site Plan 1:200

 Denotes Existing House To Be Demolished

Wall Legend

 Denotes New Timber Framed Wall
 Denotes New Masonry Wall
 Denotes New Concrete Block Wall

DA MODIFICATION ONLY
 NOT FOR CONSTRUCTION

NOTES
 63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
 63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
 Timber and Concrete, Timber and Masonry Walls
 Roof Timber to have R5.0 Insulation
 Insulation to External Timber and Masonry Walls R2.5
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1016487S & NatHERS No.0003872363-03
 All Plans to be read in conjunction with Basix & NatHERS Certificates
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m²,
 b) insulation specified is not required for parts of altered construction where insulation already exists.
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 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



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Project North

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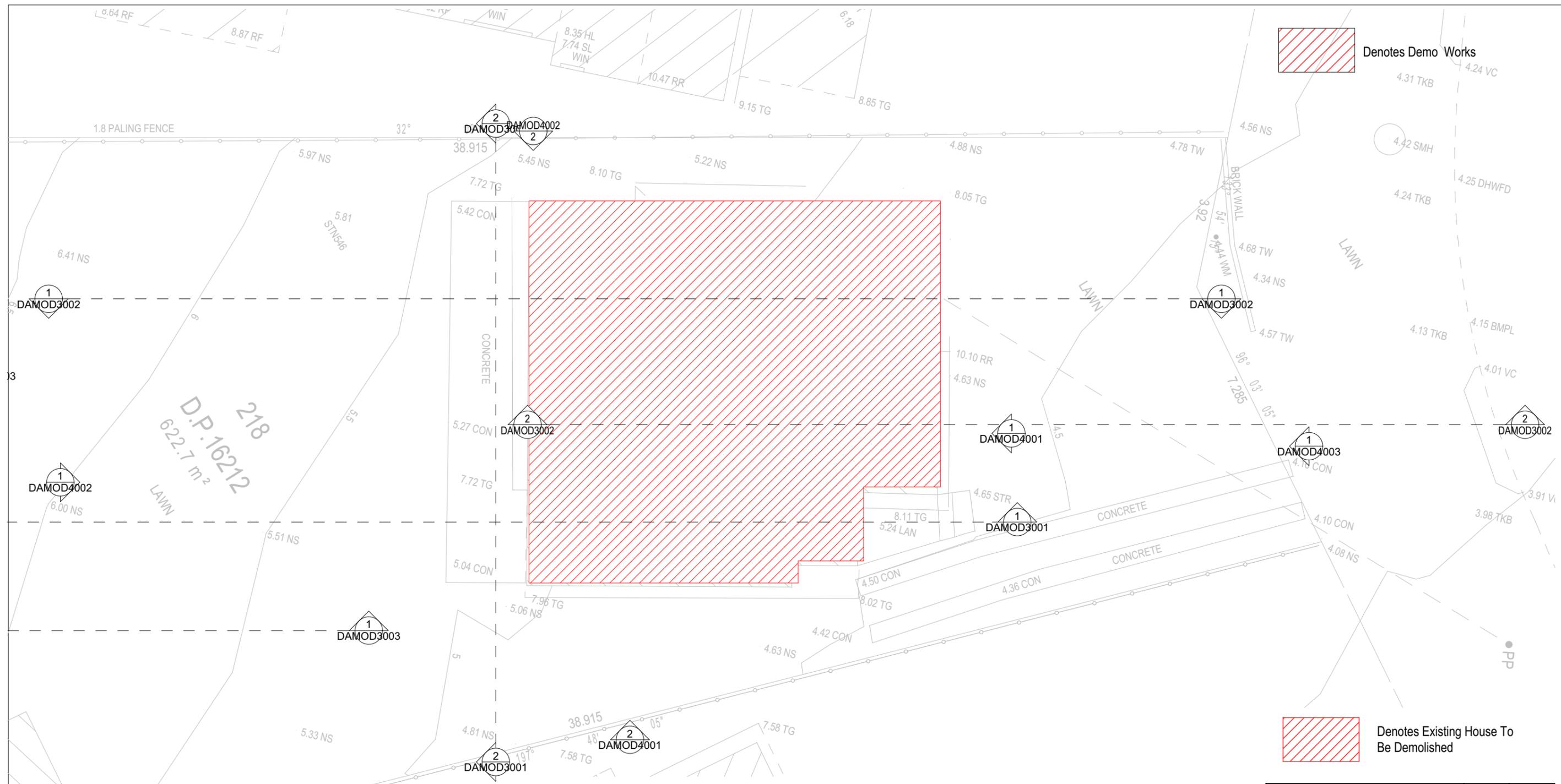
Client: Greg Beeman

Client: Greg Beeman
 Project Name: New Dwelling
 63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
 Drawing Title: Site Plans - Site Plan
 Site Plan

Scale: A3 as noted
 Status: DA Mod Rev4
 Project No: RP1018BEE

Date: 17/09/20
 Checked By: GBJ
 Drawing No: DAMOD100



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



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1 Demolition Ground Floor
1:100

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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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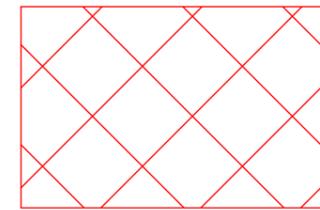
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

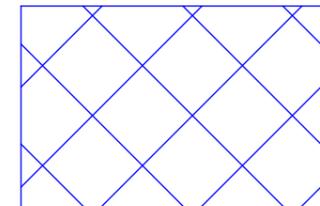
Lot 218 D.P. 16212
Drawing Title:
Site Plans - Demolition Ground
Floor Plan
Demolition Ground Floor

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

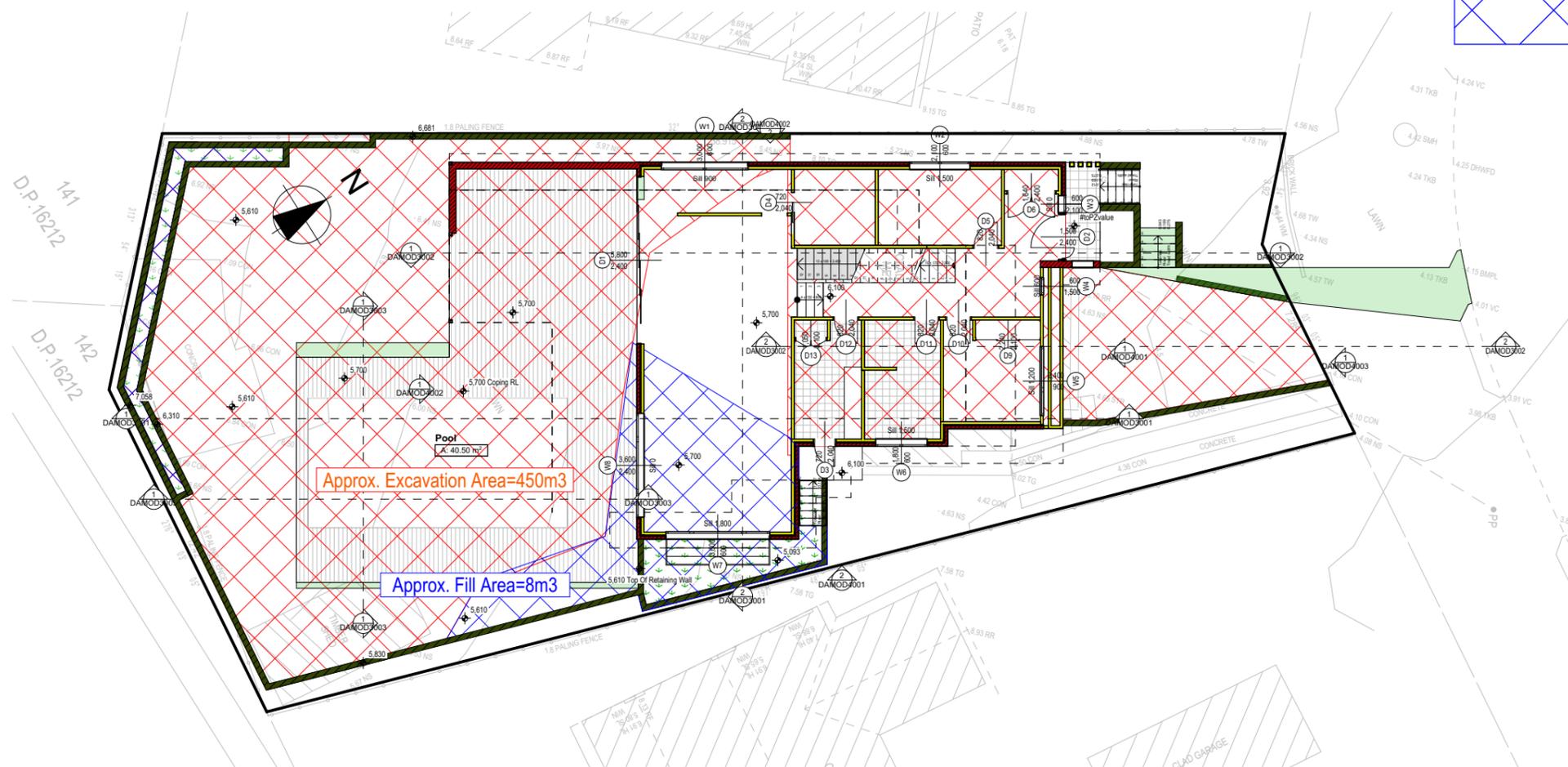
Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD100



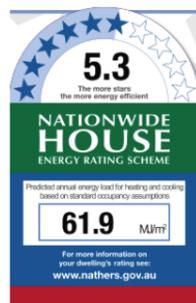
Denotes Excavation Area



Denotes Fill Area



1 Excavation & Fill Plan 1:200



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DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Certifying
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Construction
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Site Plans - Excavation & Fill
Plan
Excavation & Fill Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD100

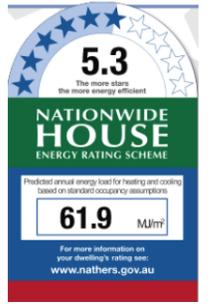
- Wall Legend**
-  Denotes New Timber Framed Wall
 -  Denotes New Masonry Wall
 -  Denotes Existing Wall
 -  Denotes Demolished Item
 -  Denotes Impervious Area
 -  Denotes Pervious Area

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
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Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Description	Area (m2)	Percentage
Site Area	622.7m2	100%
Proposed Open Landscape Area	311.57m2	50%
Proposed Impervious Area	311.13m2	50%

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m2)	311.13m2	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Project North



DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

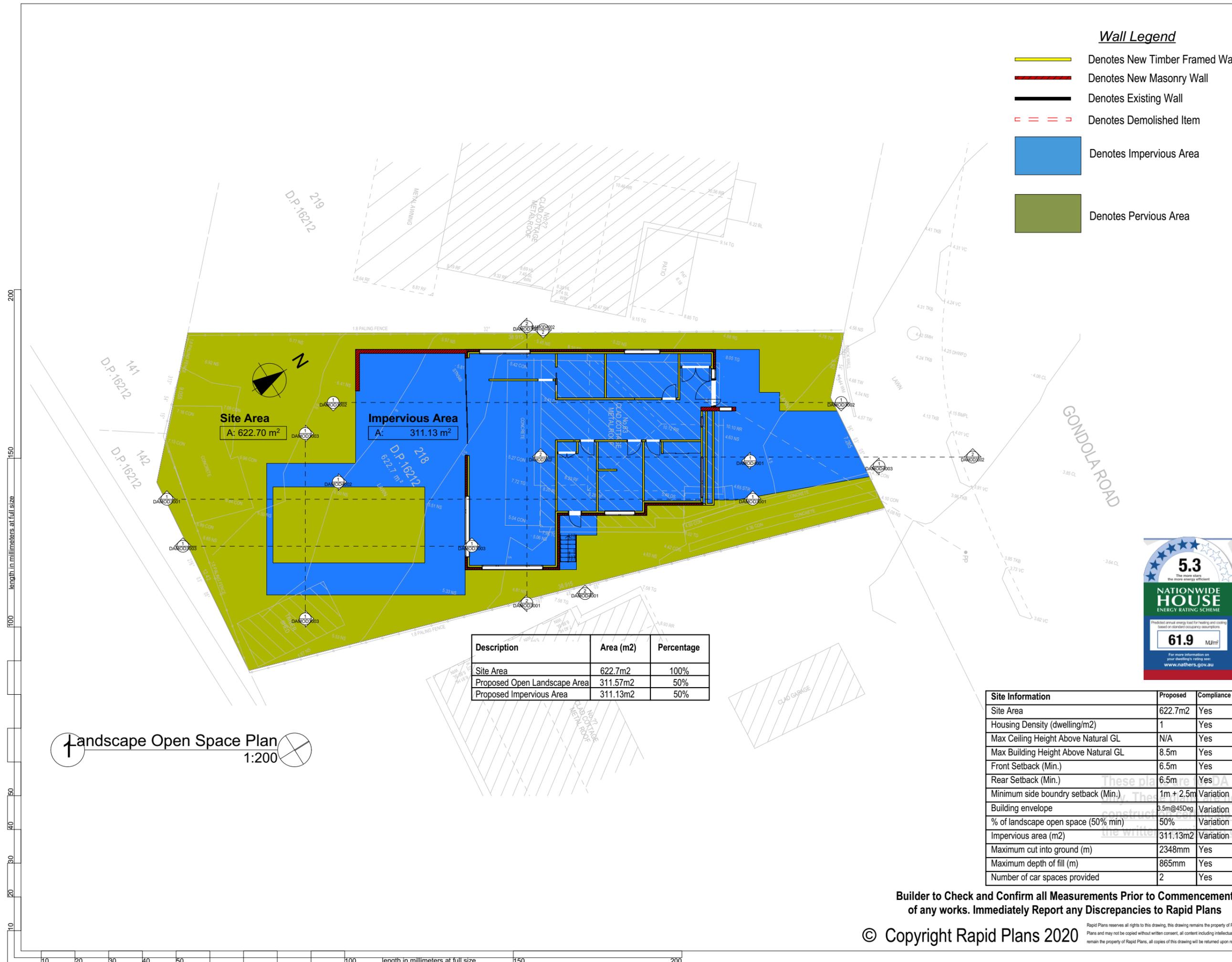
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Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title: **Site Plans - Landscape Open Space Plan**
Landscape Open Space Plan

Scale: A3 as noted Date: 17/09/20
Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE Drawing No: DAMOD1007

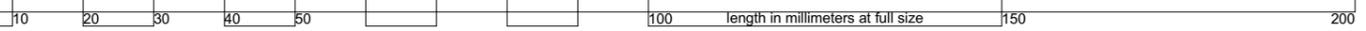
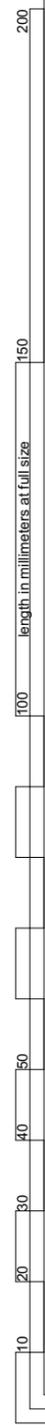


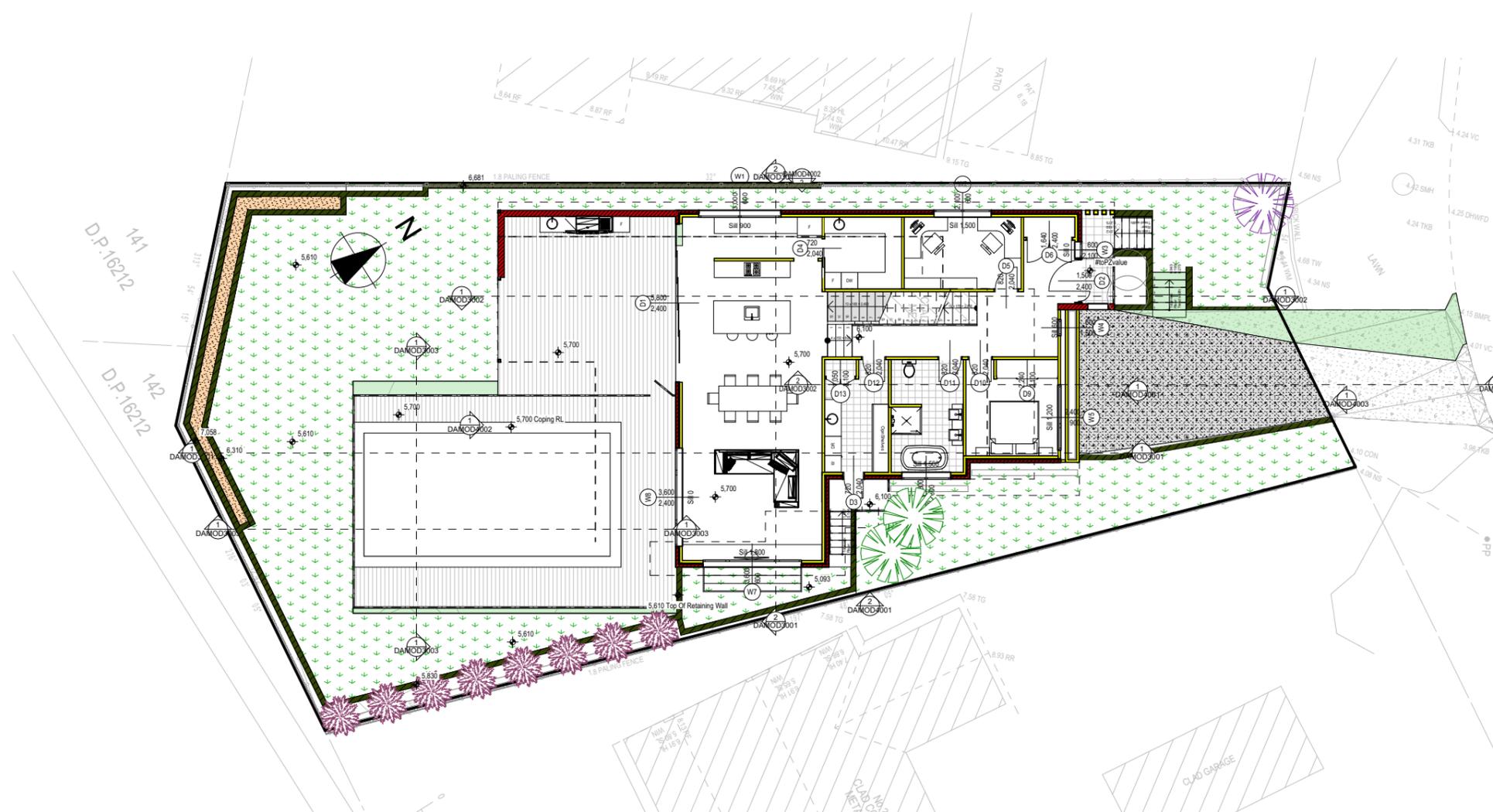
Landscape Open Space Plan 1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		Syzygium paniculatum	Magenta Lilly Pilly	H= 3000mm W= 1500mm
		Callistemon spp	Bottle Brush	H= 4000mm W= 3000mm
		Angophora Hispid	Dwarf Apple	H= 4000mm W= 3000mm

Ground Covers Schedule	
Symbol	Common Name
	Tiled Patio
	Mulch Area
	Concrete Drive
	New Masonry Retaining Wall
	New Glass Pool Handrail

NOTES
 63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
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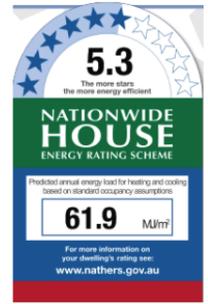
Construction
 Timber and Concrete, Timber and Masonry Walls
 Roof Timber to have R5.0 Insulation
 Insulation to External Timber and Masonry Walls R2.5
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1016487S & NatHERS No.0003872363-03
 All Plans to be read in conjunction with Basix & NatHERS Certificates
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m²,
 b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Water Commitments	
Landscape	The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures	The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development. The applicant must install taps with a minimum rating of 3 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.
Alternative water	Rainwater tank The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • all toilets in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
Swimming pool	The swimming pool must not have a volume greater than 69 kilolitres.
Water Commitments	The swimming pool must have a pool cover. The swimming pool must be outdoors.

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



1 Landscape Plan 1:200

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 www.rapidplans.com.au
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 Email: greg@rapidplans.com.au



Project North

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Client:
 Greg Beeman

Client:
 Greg Beeman
 Project Name
New Dwelling
 63 Gondola Road, North Narrabeen
 2101

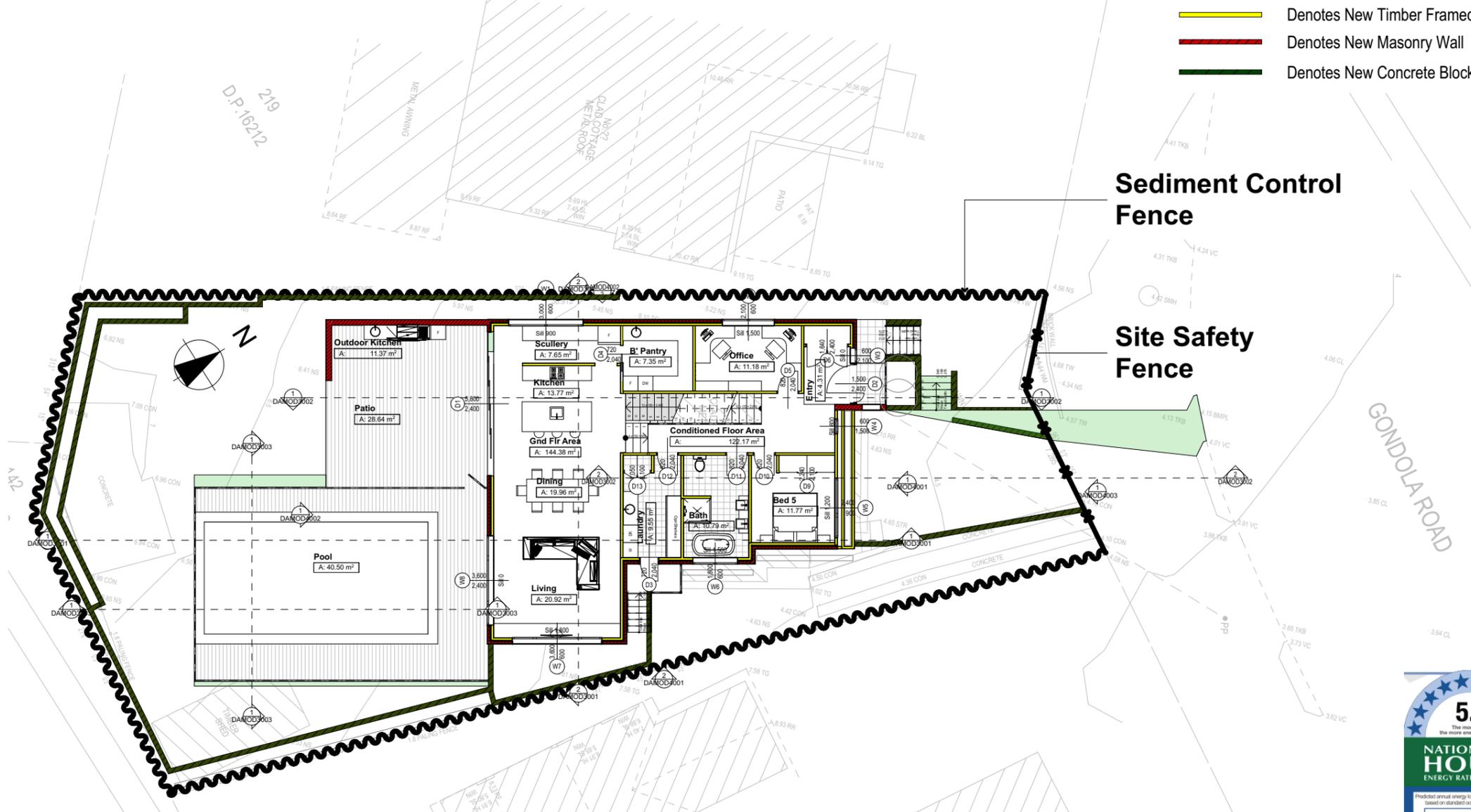
Lot 218 D.P. 16212
 Drawing Title:
 Site Plans - Landscape Plan
 Landscape Plan

Scale: A3 as noted
 Status: DA Mod Rev4
 Project No.
 RP1018BEE

Date: 17/09/20
 Checked By: GBJ
 Drawing No.
DAMOD100

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall



NOTES
 63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 63 Gondola Road, North Narrabeen is not considered a heritage item.

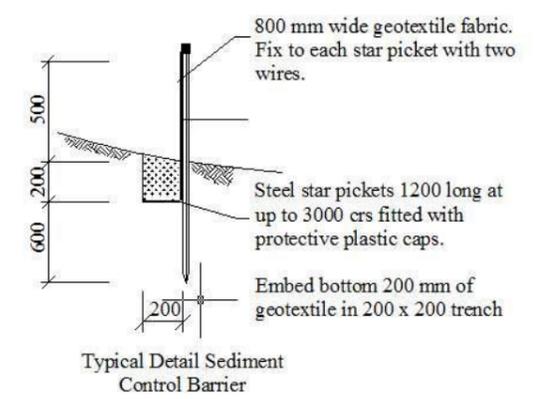
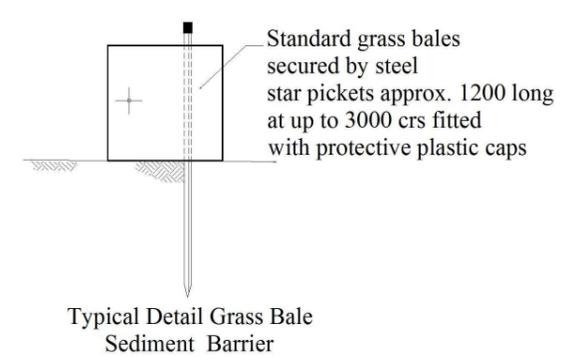
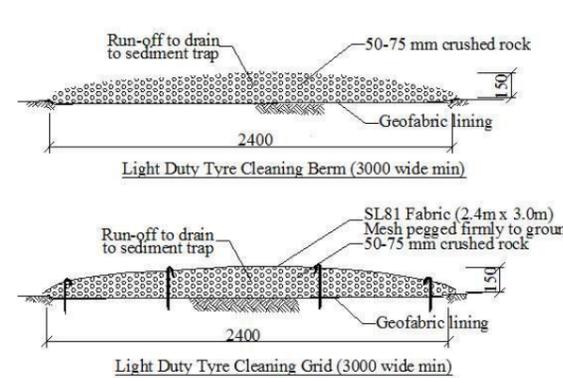
Construction
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 Roof Timber to have R5.0 Insulation
 Insulation to External Timber and Masonry Walls R2.5
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS1288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
 Basix Certificate Number 1016487S & NatHERS No.0003872363-03
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 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Sediment & Erosion Control Plan
 1:200



Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m ²)	311.13m ²	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Check and Confirm all Measurements Prior to Commencement works. Immediately Report any Discrepancies to Rapid Plans

Project North



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NOT FOR CONSTRUCTION

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Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
 Drawing Title: **Site Plans - Sediment & Erosion Control Plan**
 Scale: A3 as noted
 Date: 17/09/20
 Status: DA Mod Rev4
 Checked By: GBJ
 Project No: **RP1018BEE**
 Drawing No: **DAMOD1009**

length in millimeters at full size

length in millimeters at full size

Wall Legend

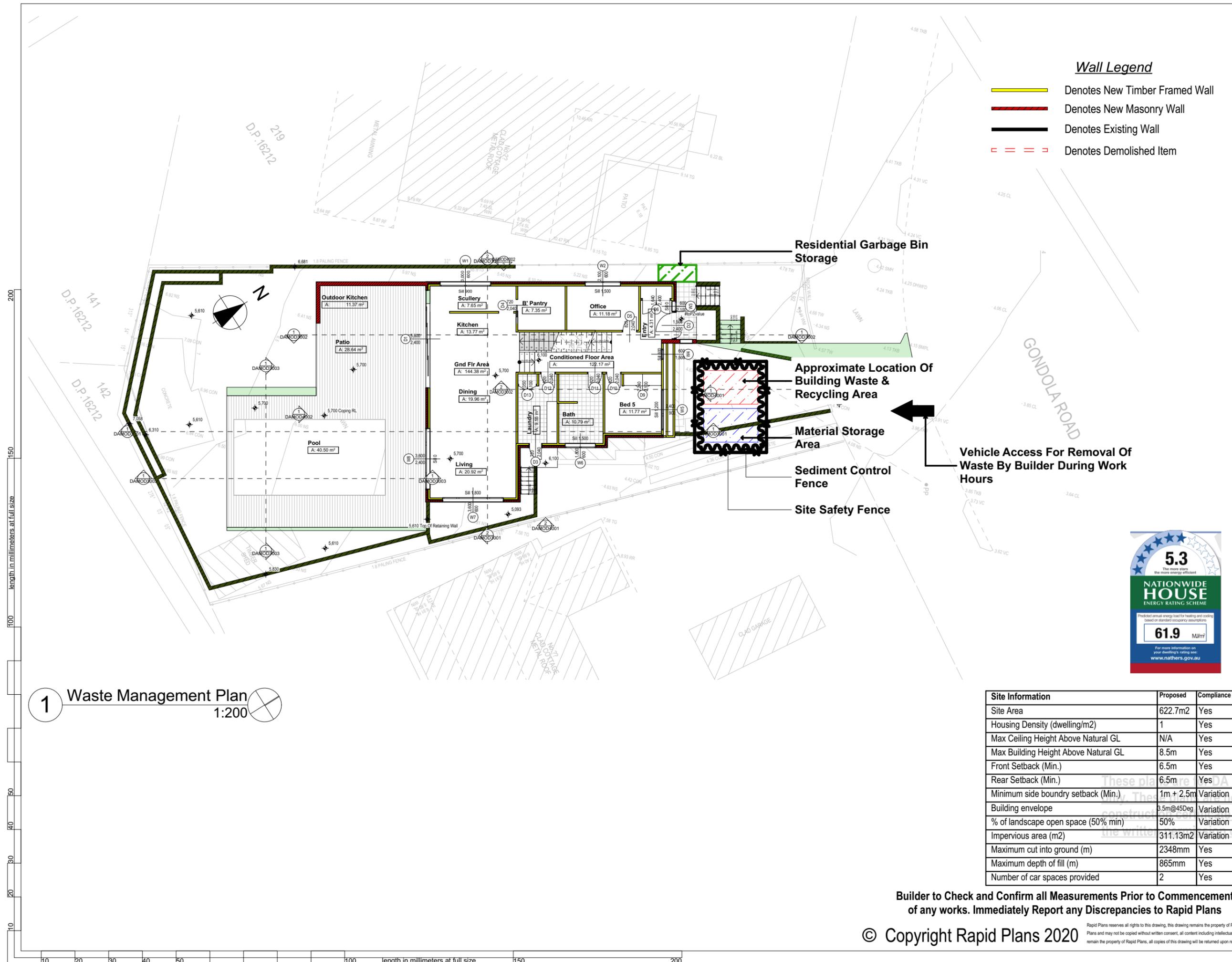
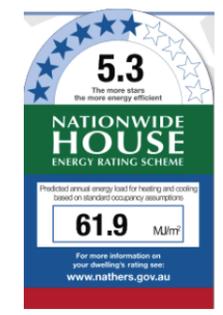
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

NOTES
 63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue.
 63 Gondola Road, North Narrabeen is not considered a heritage item.

Construction
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 Roof Timber to have R5.0 Insulation
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Residential Garbage Bin Storage

Approximate Location Of Building Waste & Recycling Area

Material Storage Area

Sediment Control Fence

Site Safety Fence

Vehicle Access For Removal Of Waste By Builder During Work Hours

1 Waste Management Plan
 1:200

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m ²)	311.13m ²	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

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Project North



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Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen
 2101
 Lot 218 D.P. 16212

Drawing Title:
Site Plans - Waste Management Plan
 Waste Management Plan

Scale: A3 as noted Date: 17/09/20
 Status: DA Mod Rev4 Checked By: GBJ

Project No:
RP1018BEE DAMOD1010

length in millimeters at full size

length in millimeters at full size

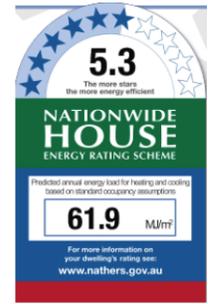
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 Glazing to BCA and AS01288-2047
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Basix
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Project North



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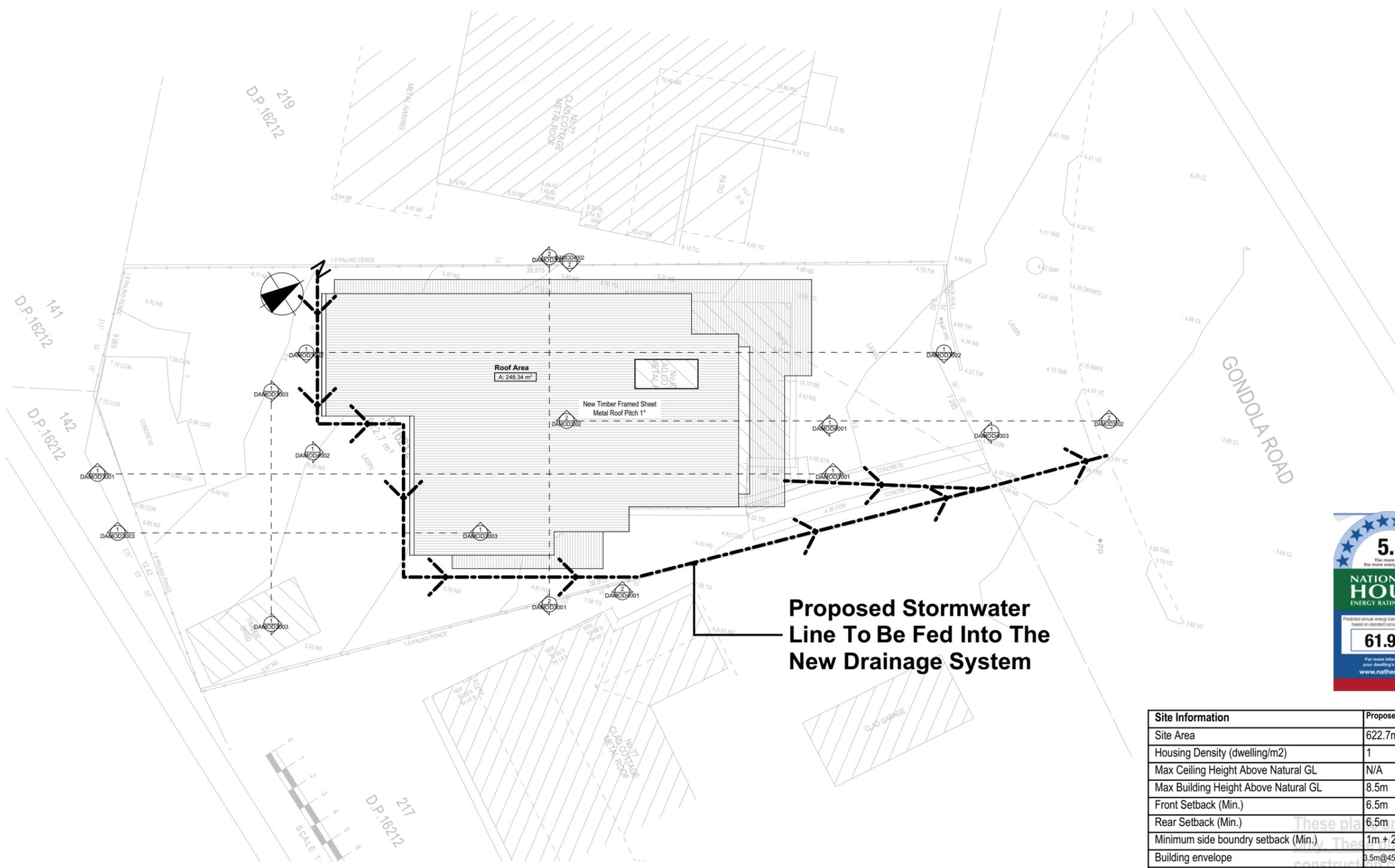
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Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen
 Lot 218 D.P. 16212

Drawing Title: **Site Plans - Stormwater Plan**
Stormwater Plan

Scale: A3 as noted Date: 17/09/20
 Status: DA Mod Rev4 Checked By: GBJ

Project No: **RP1018BEE** Drawing No: **DAMOD1011**



Proposed Stormwater Line To Be Fed Into The New Drainage System



Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

Builder to Refer to Site Drainage Plan By Greenwood Consulting Engineers

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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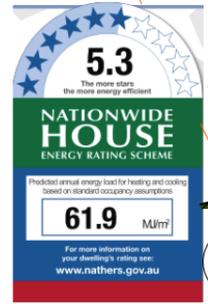
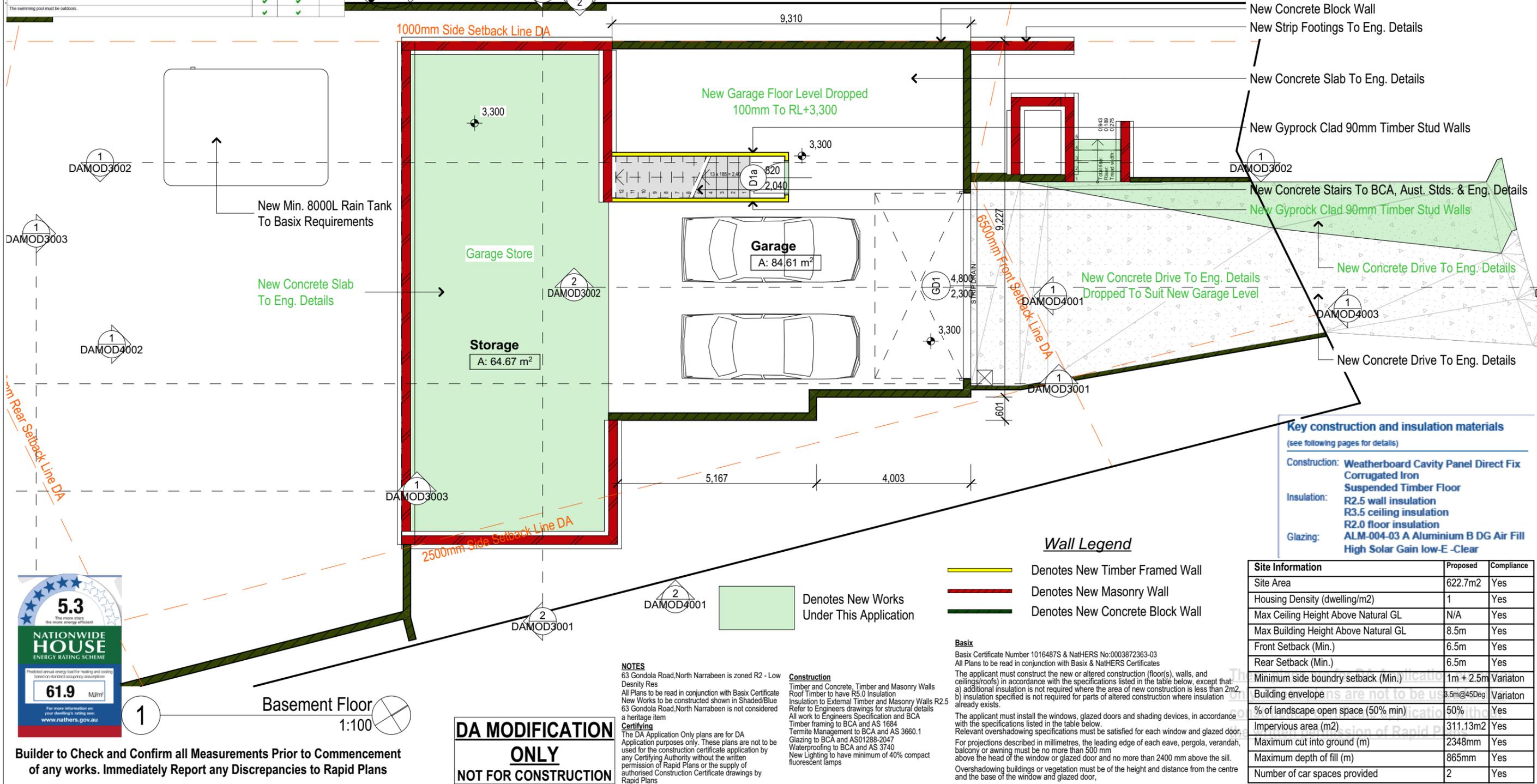
length in millimeters at full size

length in millimeters at full size

Water Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Landscape The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓	✓	✓
Fixtures The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.	✓	✓	✓
Alternative water Rainwater tank The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 24% of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or gable dam). The applicant must connect the rainwater tank to: - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply).	✓	✓	✓
Swimming pool The swimming pool must not have a volume greater than 60 kilolitres. The swimming pool must have a pool cover.	✓	✓	✓
Water Commitments The swimming pool must be shaded. The swimming pool must be outdoors.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, in accordance with a performance of 4 stars.	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5. The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5.	✓	✓	✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5. The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5.	✓	✓	✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a Kitchen: individual fan, ducted to outside or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a	✓	✓	✓
Artificial lighting The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: - at least 1 of the bedrooms / study, dedicated - at least 1 of the living / dining rooms, dedicated - the kitchen, dedicated	✓	✓	✓

Thermal Comfort Commitments
Simulation Method The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.



1



Rapid Plans
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PO Box 6193 Frenchs Forest
DC NSW 2086
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Project North

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Client:
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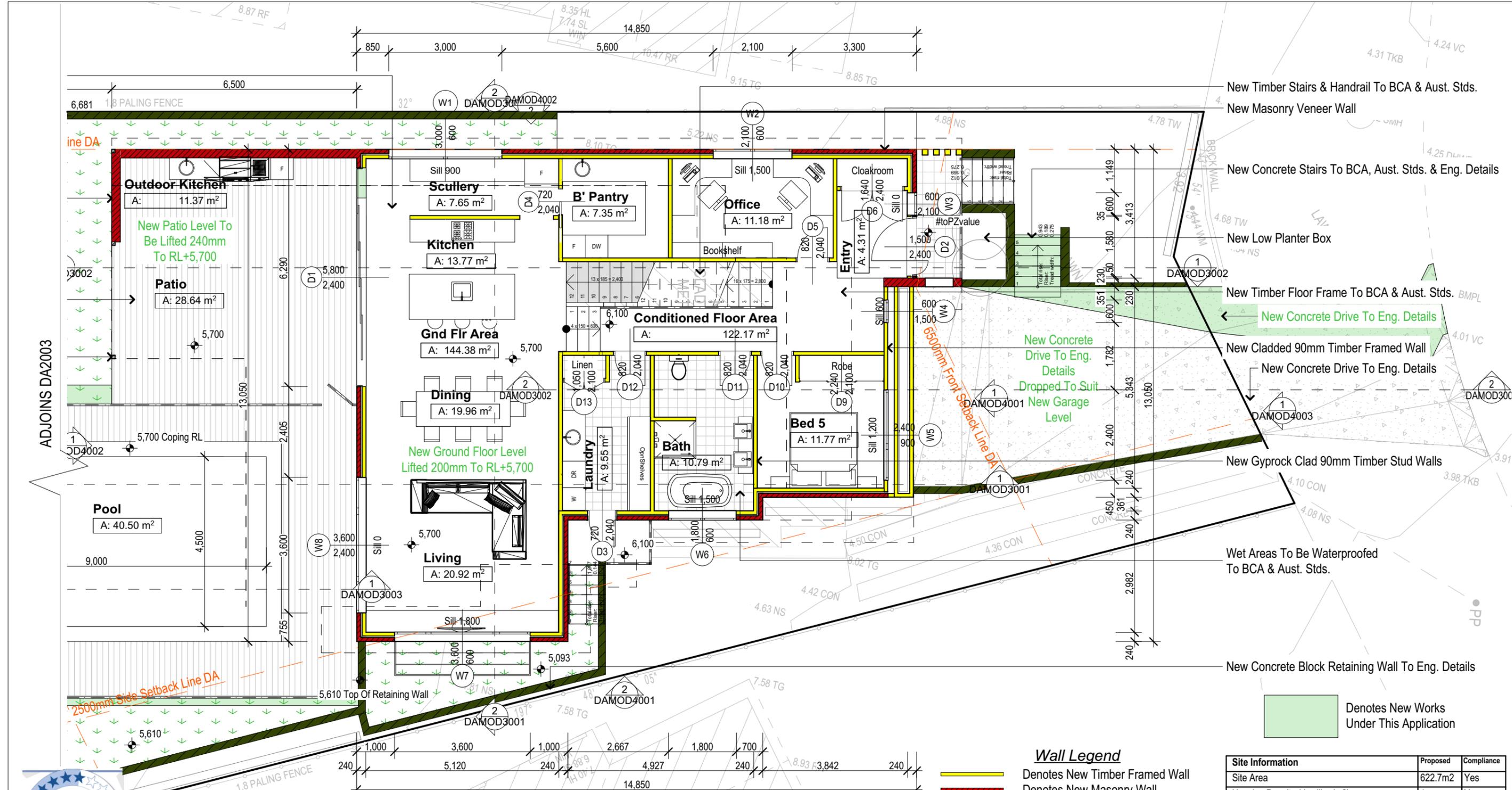
Client:
Greg Beeman
Project Name:
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Plans - Basement/Lower
Ground Floor Plan
Basement Floor

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD200

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



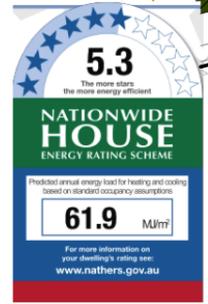
1 Ground Floor Plan
1:100

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
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Max Building Height Above Natural GL	8.5m	Yes
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Building envelope	3.5m@45Deg	Variation
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Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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Fax: (02) 9905-8865
Mobile: 0414-945-024
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Project North

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Client: Greg Beeman

Client: Greg Beeman
Project Name: New Dwelling
63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
Drawing Title: Plans - Ground Floor Plan
Ground Floor Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No: RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No: DAMOD200

New Concrete Slab To Eng. Details

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

New Concrete Slab To Eng. Details

New Steel Post To Eng. Details

Reduced Paving Area

New Concrete Slab To Eng. Details
With Decking Over

New Coping Level To Be Lifted
240mm To RL+5,700

Reduced Heights Of
Retaining Walls

Reduced Paving Area

New Min. 1200 high Pool Safety
Barrier To BCA & Aust. Stds.

New 69kL Pool To
Eng. Details

New Concrete Block Retaining
Wall To Eng. Details



**Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans**

Ground Floor Plan

1:100

**DA MODIFICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Denotes New Works Under This Application

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall



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Project North

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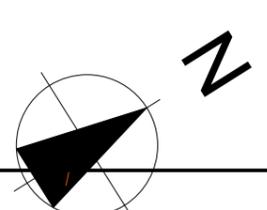
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Plans - Ground Floor Plan 2
Ground Floor Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

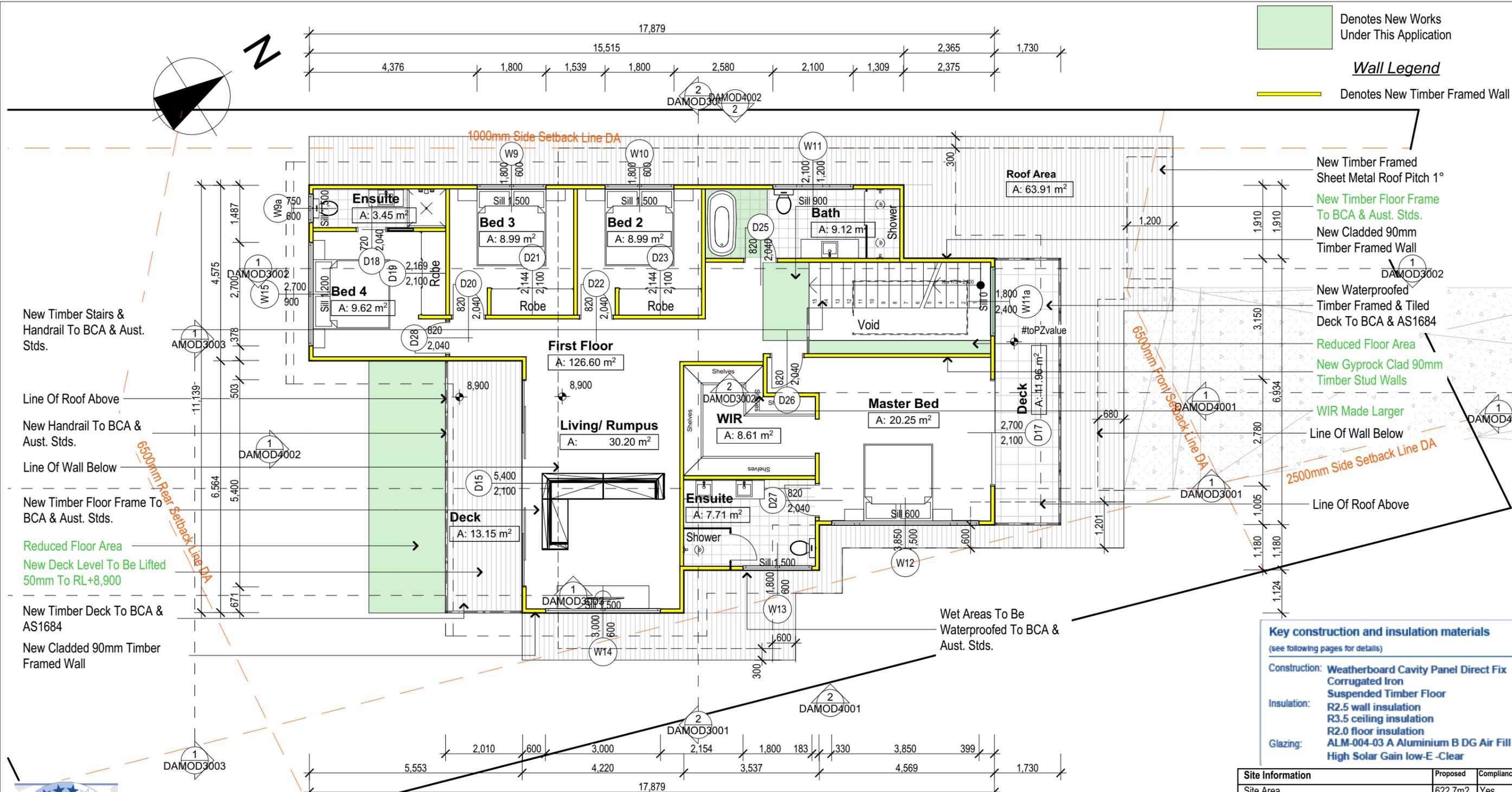
Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD200



Denotes New Works Under This Application

Wall Legend

Denotes New Timber Framed Wall



New Timber Stairs & Handrail To BCA & Aust. Stds.

Line Of Roof Above

New Handrail To BCA & Aust. Stds.

Line Of Wall Below

New Timber Floor Frame To BCA & Aust. Stds.

Reduced Floor Area

New Deck Level To Be Lifted 50mm To RL+8,900

New Timber Deck To BCA & AS1684

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°

New Timber Floor Frame To BCA & Aust. Stds.

New Cladded 90mm Timber Framed Wall

New Waterproofed Timber Framed & Tiled Deck To BCA & AS1684

Reduced Floor Area

New Gyprock Clad 90mm Timber Stud Walls

WIR Made Larger

Line Of Wall Below

Line Of Roof Above

Wet Areas To Be Waterproofed To BCA & Aust. Stds.

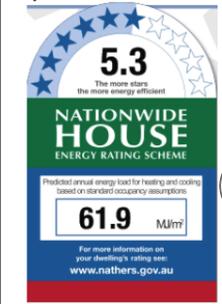
Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E-Clear

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



1 First Floor Plan 1:100

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Certifying
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Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Plans - First Floor Plan
First Floor Plan

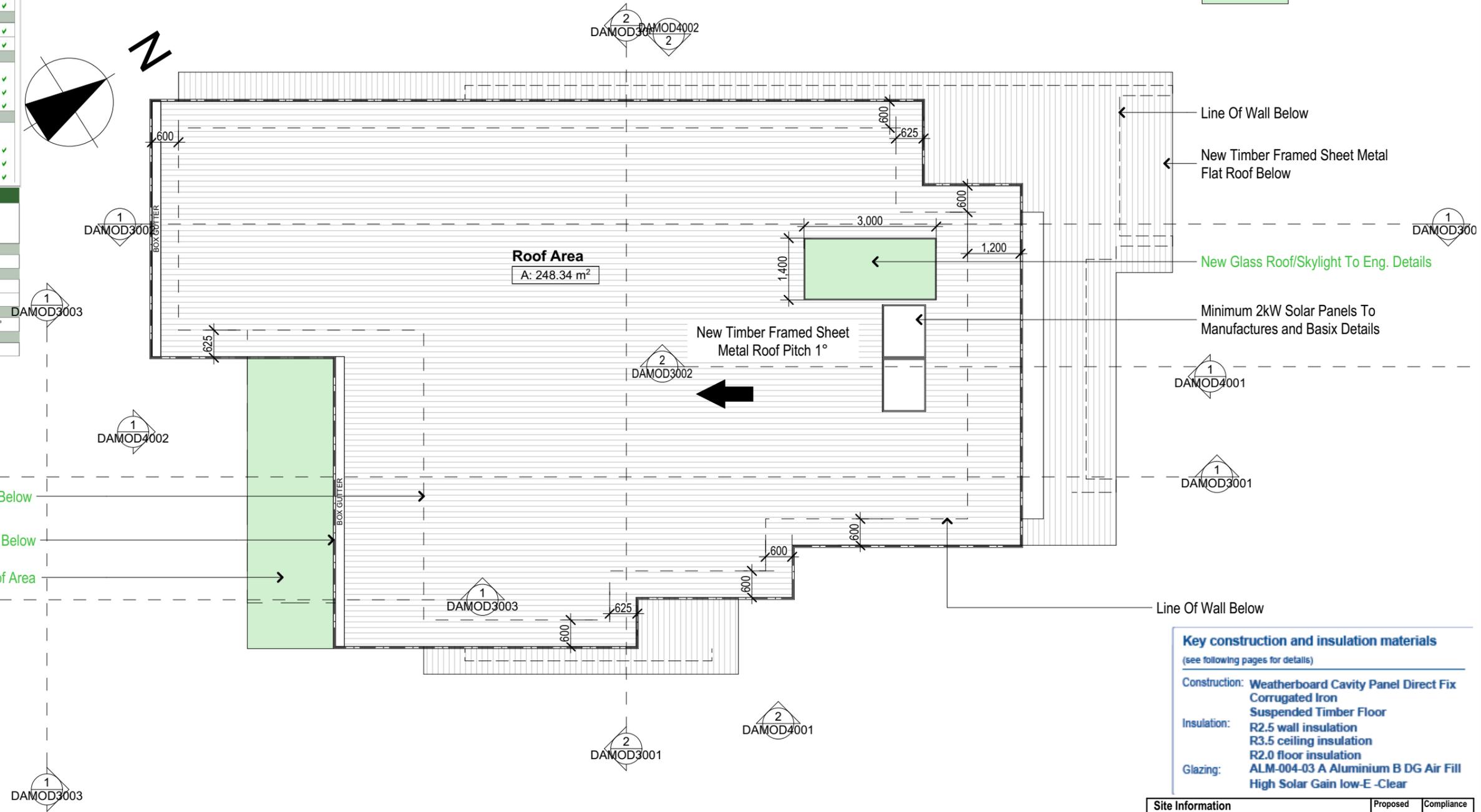
Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD200

Energy Commitments	Show on DA plans	Show on COCC plans & specs	Certifier check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, in accordance with a performance of 4.5 stars.	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area. 3-phase air conditioning. Energy rating EER 10 - 35.	✓	✓	✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area. 3-phase air conditioning. Energy rating EER 10 - 35.	✓	✓	✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural). Operation control: via Kitchen: individual fan, ducted to outside or roof. Operation control: manual switch outlet Laundry: natural ventilation only, or no laundry. Operation control: via	✓	✓	✓
Artificial lighting The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: - at least 1 of the bedrooms / study; dedicated - at least 1 of the living / dining rooms; dedicated - the kitchen; dedicated	✓	✓	✓

Energy Commitments
- all bathrooms/toilets; - the laundry; - all hallways;
Natural lighting The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Swimming pool The development must not incorporate any heating system for the swimming pool. The applicant must install a timer for the swimming pool pump in the development.
Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

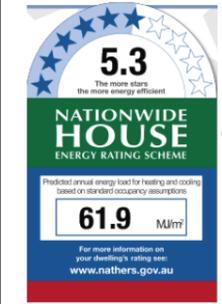
Denotes New Works Under This Application



Line Of Wall Below
Line Of Deck Below
Reduced Roof Area

Key construction and insulation materials	
(see following pages for details)	
Construction:	Weatherboard Cavity Panel Direct Fix Corrugated Iron Suspended Timber Floor
Insulation:	R2.5 wall insulation R3.5 ceiling insulation R2.0 floor insulation
Glazing:	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



Roof Plan 1:100

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Certifying
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Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Project North

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Client: Greg Beeman

Client: Greg Beeman
Project Name: New Dwelling
63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
Drawing Title: Plans - Roof Plan
Roof Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No: RP1018BEE

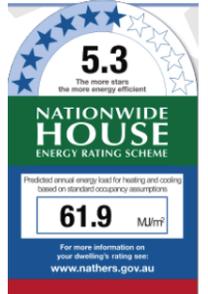
Date: 17/09/20
Checked By: GBJ
Drawing No: DAMOD200

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue.
63 Gondola Road, North Narrabeen is not considered a heritage item.

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number 1016487S & NatHERS No.0003872363-03
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Denotes New Works Under This Application

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

RL +8,900
First

New Timber Floor Frame To BCA & Aust. Stds.

Upr Ground
RL +5,700
Ground

New Concrete Slab To Eng. Details

New Concrete Retaining Wall To Eng. Details

RL +3,300
Basement

New Concrete Drive To Eng. Details Dropped To Suit New Garage Level

Key construction and insulation materials

(see following pages for details)

- Construction:** Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
- Insulation:** R2.5 wall insulation
R2.5 ceiling insulation
R3.0 floor insulation
- Glazing:** ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Wall Legend

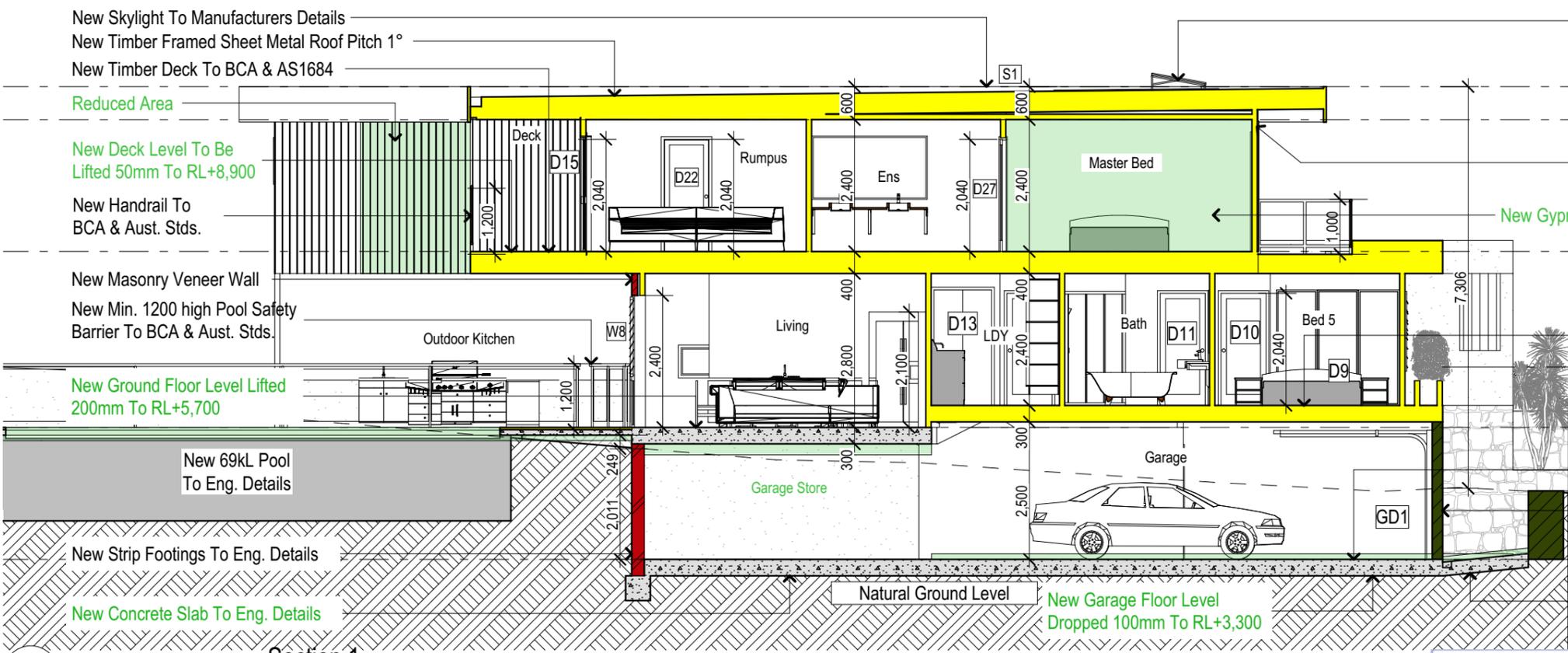
- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m ²)	311.13m ²	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

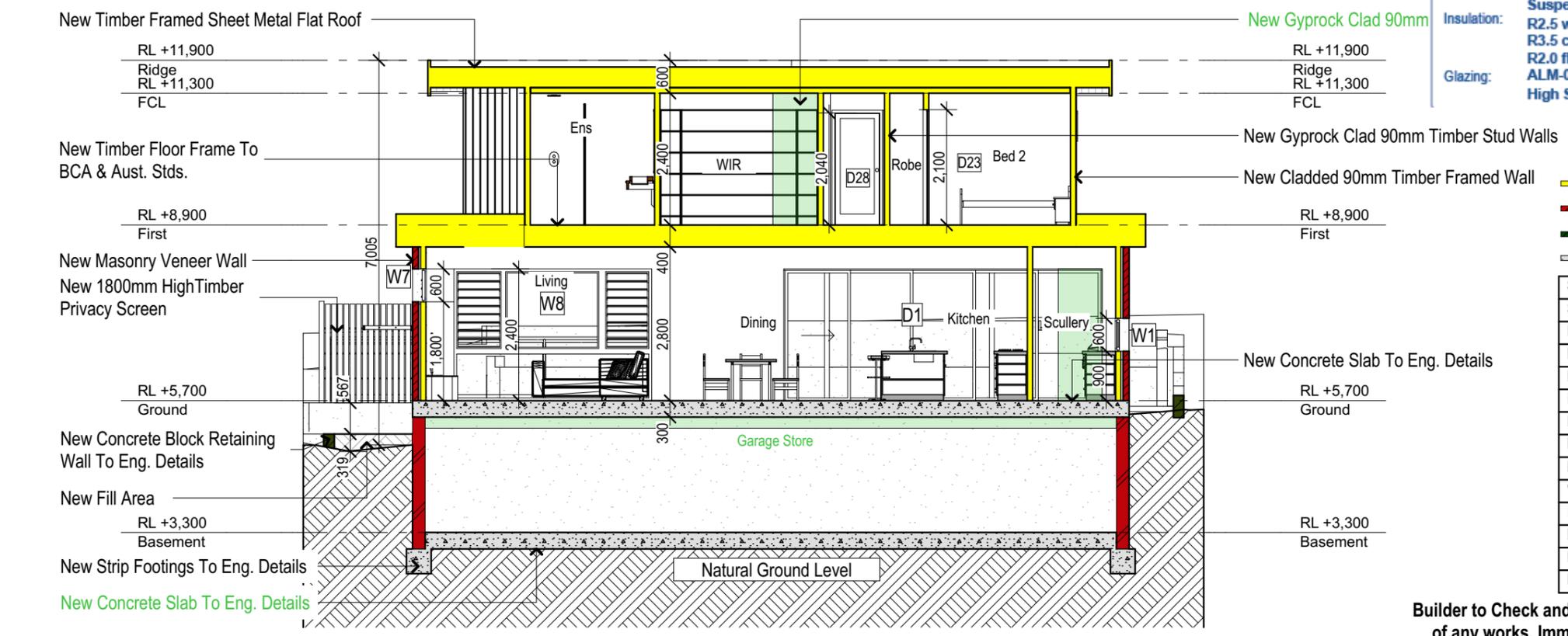
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Section 1
1:100



Section 2
1:100

Project North



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Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212

Drawing Title: Sections - Section 1
Section 1, Section 2

Scale: A3 as noted Date: 17/09/20
Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE
Drawing No: DAMOD3001

New Glass Roof/Skylight To Eng. Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Gyprock Clad 90mm Timber Stud Walls

New Timber Framed Sheet Metal Roof Pitch 1°

RL +8,900
First

New Handrail To BCA & Aust. Stds.

New Timber Floor Frame To BCA & Aust. Stds.

RL +6,100
Upr Ground
RL +5,700
Ground

New Garage Floor Level Dropped 100mm To RL+3,300

New Concrete Stairs To BCA, Aust. Stds. & Eng. Details

RL +3,300
Basement

New Timber Framed Sheet Metal Flat Roof

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

RL +8,900
First

New Timber Stairs & Handrail To BCA & Aust. Stds.

New Ground Floor Level Lifted 200mm To RL+5,700

New Concrete Slab To Eng. Details With Decking Over

RL +5,700
Ground

New Concrete Stairs To BCA, Aust. Stds. & Eng. Details

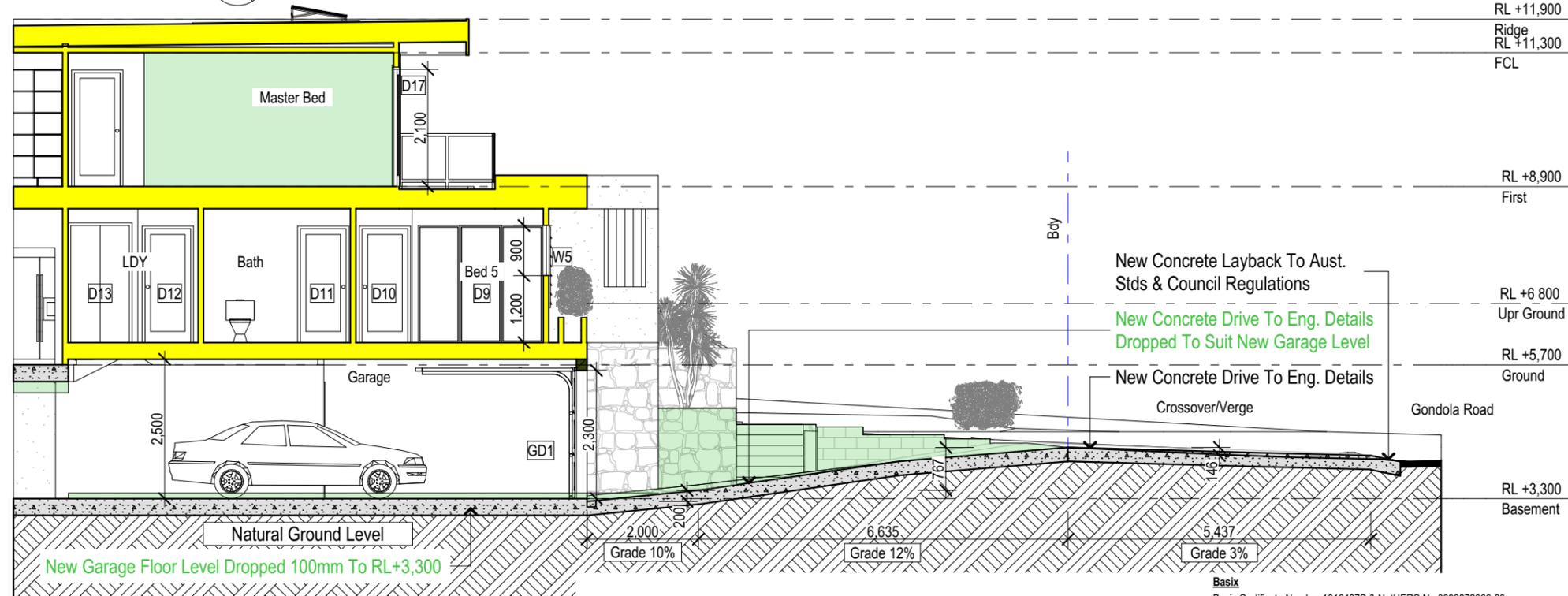
RL +3,300
Basement

New Concrete Slab To Eng. Details

1

Section Stairs

1:100



Section Drive 1:100

1:100

Key construction and insulation materials

- (see following pages for details)
- Construction: Weatherboard Cavity Panel Direct Fix Corrugated Iron Suspended Timber Floor
- Insulation: R2.5 wall insulation, R3.5 ceiling insulation, R2.0 floor insulation
- Glazing: ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

- Denotes New Works Under This Application
- Wall Legend:
 - Denotes New Timber Framed Wall/Floor
 - Denotes New Concrete Block Wall
 - Denotes New Masonry Wall
 - Denotes Concrete Slab/Footing

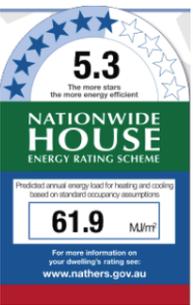
Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
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Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

NOTES
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Certifying
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Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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PO Box 6193 Frenchs Forest
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Email: greg@rapidplans.com.au



Project North

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Client: Greg Beeman

Client: Greg Beeman
Project Name: New Dwelling
63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
Drawing Title: Sections - Section 2
Section Stairs, Section Drive

Scale: A3 as noted
Status: DA Mod Rev4
Project No: RP1018BEE

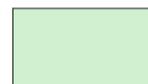
Date: 17/09/20
Checked By: GBJ
Drawing No: DAMOD300

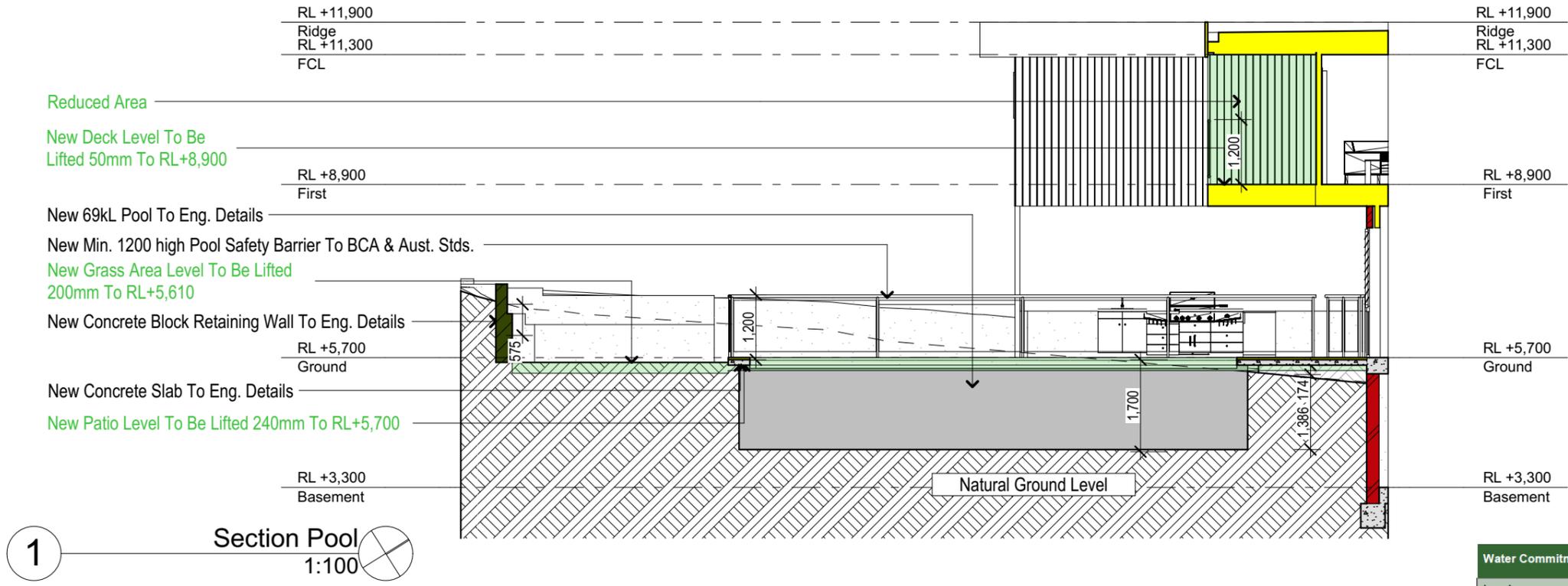
Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

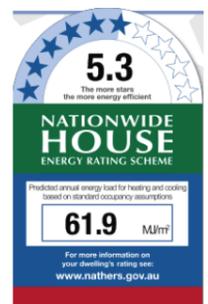
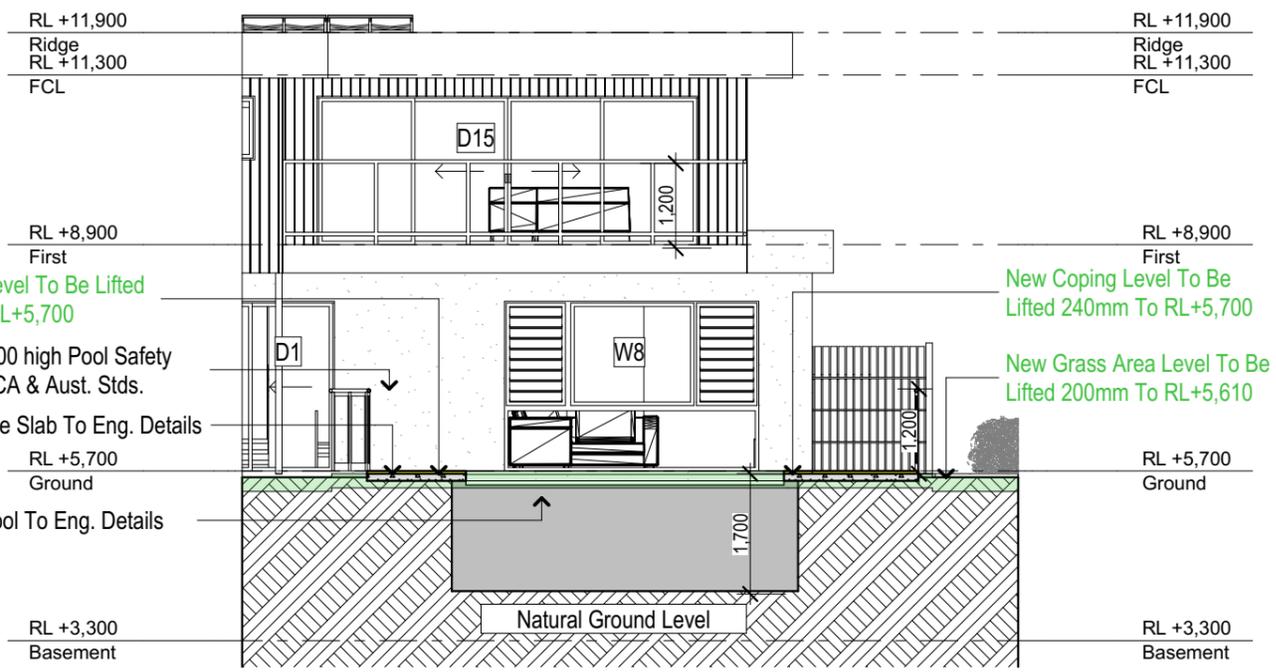
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

 Denotes New Works Under This Application



Water Commitments	
Landscape	The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures	The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.
	The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.
	The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.
	The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.
Alternative water	
Rainwater tank	The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
	The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
	The applicant must connect the rainwater tank to:
	- all toilets in the development
	- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
Swimming pool	
	The swimming pool must not have a volume greater than 69 kilolitres.
Water Commitments	
	The swimming pool must have a pool cover.
	The swimming pool must be outdoors.



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DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
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Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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Project North



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Client: Greg Beeman

Client: Greg Beeman
Project Name: New Dwelling
63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
Drawing Title: Sections - Section Pool
Section Pool

Scale: A3 as noted
Status: DA Mod Rev4
Project No: RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No: DAMOD300

NOTES
 63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 63 Gondola Road, North Narrabeen is not considered a heritage item.

Construction
 Timber and Concrete, Timber and Masonry Walls
 Roof Timber to have R5.0 Insulation
 Insulation to External Timber and Masonry Walls R2.5
 Refer to Engineers drawings for structural details.
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps.
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basix Certificate Number 1016487S & NatHERS No.0003872363-03
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Project North

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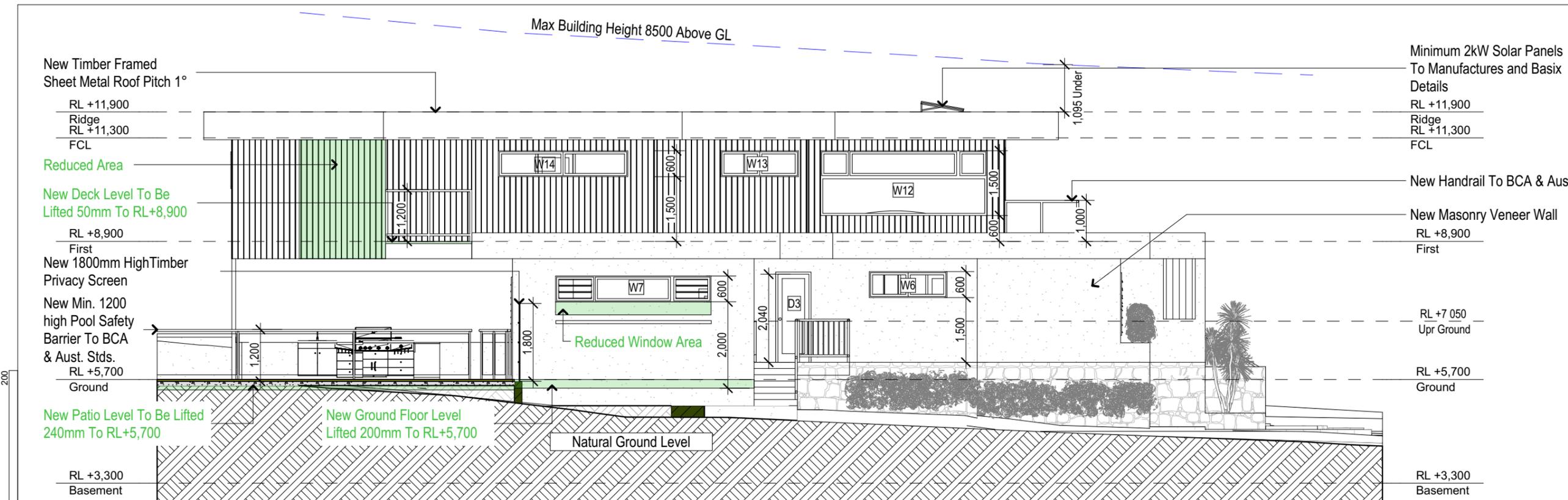
Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
 Drawing Title:

Elevations - Elevations 1
 North, East

Scale: A3 as noted Date: 17/09/20
 Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE
 Drawing No: DAMOD4001



2 East 1:100

Key construction and insulation materials
 (see following pages for details)
Construction: Weatherboard Cavity Panel Direct Fix Corrugated Iron Suspended Timber Floor
Insulation: R2.5 wall insulation R3.5 ceiling insulation R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Roof window and skylight type and performance value

ID	Window type	U-value	SHGC
GEN-04-006a	Single-glazed clear, Timber and Aluminium Frame	0.0	0.00

Roof window and skylight schedule

Location	ID	Roof window/skylight no.	Area (m ²)	Orientation	Outdoor shade	Indoor shade/diffuser
Void FF	GEN-04-006a	1	1.8	NW	None	No

Building features

Window type and performance value

Window ID	Window type	U-value	SHGC
ALM-004-03 A	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear	4.3	0.53
ALM-003-03 A	ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear	4.3	0.47

Window schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	ALM-004-03 A	n/a	900	3600	SE	No Shading
Kitchen/Living	ALM-003-03 A	n/a	2400	5000	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	2400	3600	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	600	3000	NW	No Shading
Bath GF	ALM-004-03 A	n/a	600	1800	SE	No Shading
Office	ALM-004-03 A	n/a	600	2100	NW	No Shading
Bedroom 5	ALM-004-03 A	n/a	900	2400	NE	No Shading
Entry	ALM-004-03 A	n/a	2100	600	NE	No Shading
Hall GF	ALM-004-03 A	n/a	1500	600	NE	No Shading
Bedroom 3	ALM-004-03 A	n/a	600	1800	NW	No Shading
Bedroom 2	ALM-004-03 A	n/a	600	1800	NW	No Shading
Hallway FF	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Bathroom FF	ALM-004-03 A	n/a	1200	2100	NW	No Shading
Master Bedroom	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Master Bedroom	ALM-004-03 A	n/a	500	3850	SE	No Shading
Master Ensuite	ALM-004-03 A	n/a	600	1800	SE	No Shading
Rumpus	ALM-004-03 A	n/a	600	3000	SE	No Shading
Rumpus	ALM-004-03 A	n/a	2100	5400	SW	No Shading
Bedroom 4	ALM-004-03 A	n/a	900	2700	SW	No Shading

Minimum 2kW Solar Panels To Manufactures and Basix Details

Building Envelope Taken From 1st Flr North-west Wall Of Bath

RL +11,900
 Ridge
 RL +11,300
 FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°
 RL +8,900
 First

Building Envelope Taken From 1st Flr North-west Wall Of Hallway

RL +7,050
 Upr Ground

New Handrail To BCA & Aust. Stds.
 RL +5,700
 Ground

New Concrete Stairs To BCA, Aust. Stds. & Eng. Details

RL +3,300
 Basement

New Timber Framed Sheet Metal Roof Pitch 1°
 RL +11,900
 Ridge
 RL +11,300
 FCL

RL +8,900
 First

Building Envelope Taken From 1st Flr North-west Wall Of Bath

Building Envelope Taken From 1st Flr South-east Wall Of Master

RL +7,050
 Upr Ground

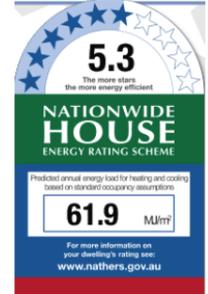
New Concrete Block Wall

RL +5,700
 Ground

1 North 1:100

Denotes New Works Under This Application

Denotes New Concrete Block Wall
 Denotes Concrete Slab/Footing



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

NOTES
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 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 63 Gondola Road, North Narrabeen is not considered a heritage item.

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 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
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Certifying
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Project North

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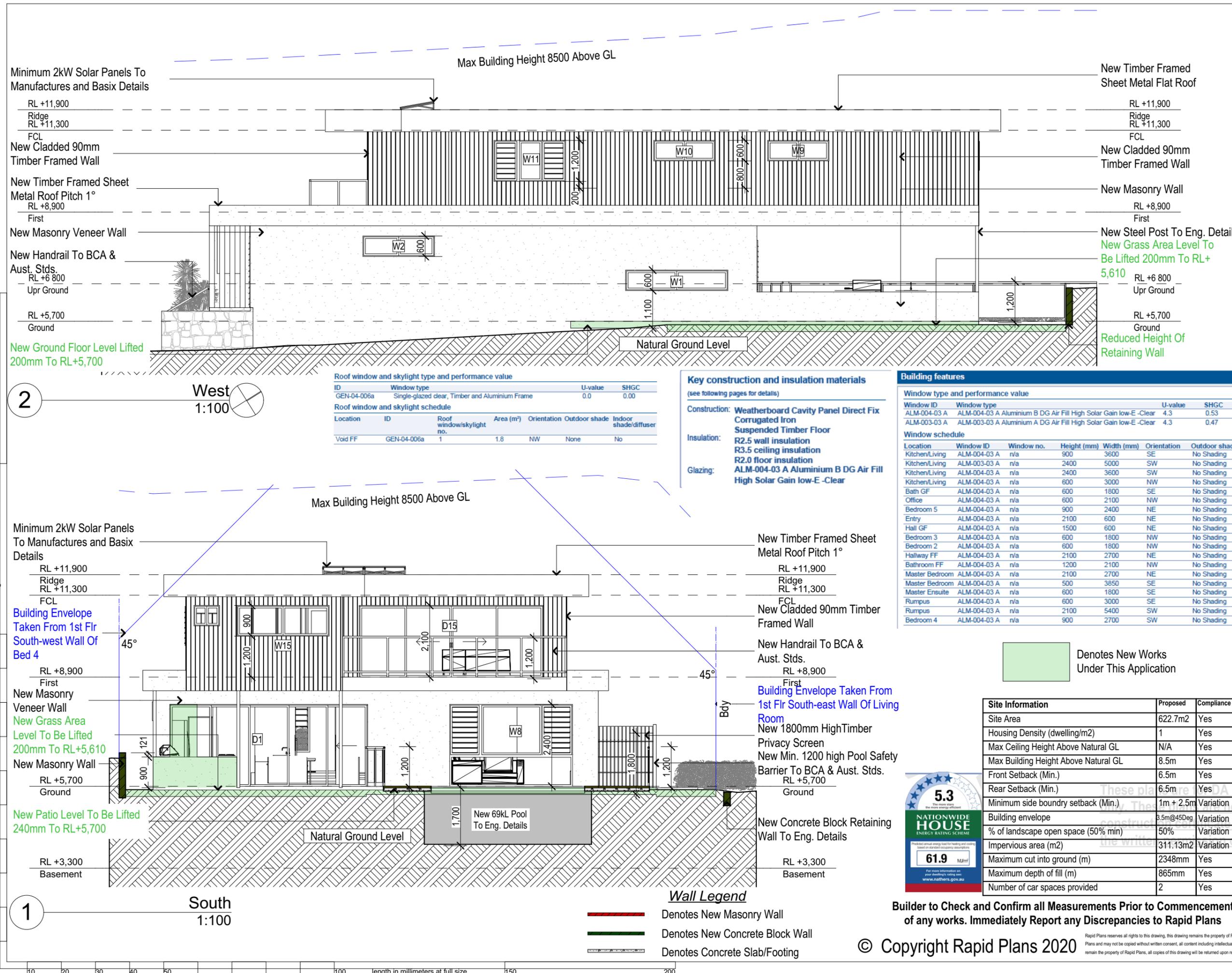
Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212
 Drawing Title:

Elevations - Elevations 2
 South, West

Scale: A3 as noted Date: 17/09/20
 Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE
 Drawing No: DAMOD4002



Roof window and skylight type and performance value

ID	Window type	U-value	SHGC
GEN-04-006a	Single-glazed clear, Timber and Aluminium Frame	0.0	0.00

Roof window and skylight schedule

Location	ID	Roof window/skylight no.	Area (m ²)	Orientation	Outdoor shade	Indoor shade/diffuser
Void FF	GEN-04-006a	1	1.8	NW	None	No

Key construction and insulation materials
 (see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
 Corrugated Iron
 Suspended Timber Floor

Insulation: R2.5 wall insulation
 R3.5 ceiling insulation
 R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Building features

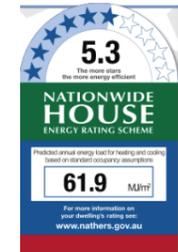
Window type and performance value

Window ID	Window type	U-value	SHGC
ALM-004-03 A	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear	4.3	0.53
ALM-003-03 A	ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear	4.3	0.47

Window schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	ALM-004-03 A	n/a	900	3600	SE	No Shading
Kitchen/Living	ALM-003-03 A	n/a	2400	5000	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	2400	3600	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	600	3000	NW	No Shading
Bath GF	ALM-004-03 A	n/a	600	1800	SE	No Shading
Office	ALM-004-03 A	n/a	600	2100	NW	No Shading
Bedroom 5	ALM-004-03 A	n/a	900	2400	NE	No Shading
Entry	ALM-004-03 A	n/a	2100	600	NE	No Shading
Hall GF	ALM-004-03 A	n/a	1500	600	NE	No Shading
Bedroom 3	ALM-004-03 A	n/a	600	1800	NW	No Shading
Bedroom 2	ALM-004-03 A	n/a	600	1800	NW	No Shading
Hallway FF	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Bathroom FF	ALM-004-03 A	n/a	1200	2100	NW	No Shading
Master Bedroom	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Master Bedroom	ALM-004-03 A	n/a	500	3850	SE	No Shading
Master Ensuite	ALM-004-03 A	n/a	600	1800	SE	No Shading
Rumpus	ALM-004-03 A	n/a	600	3000	SE	No Shading
Rumpus	ALM-004-03 A	n/a	2100	5400	SW	No Shading
Bedroom 4	ALM-004-03 A	n/a	900	2700	SW	No Shading

Denotes New Works Under This Application



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Construction
 Timber and Concrete, Timber and Masonry Walls
 Roof Timber to have R5.0 Insulation
 Insulation to External Timber and Masonry Walls R2.5
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 Glazing to BCA and AS01288-2047
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 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Project North

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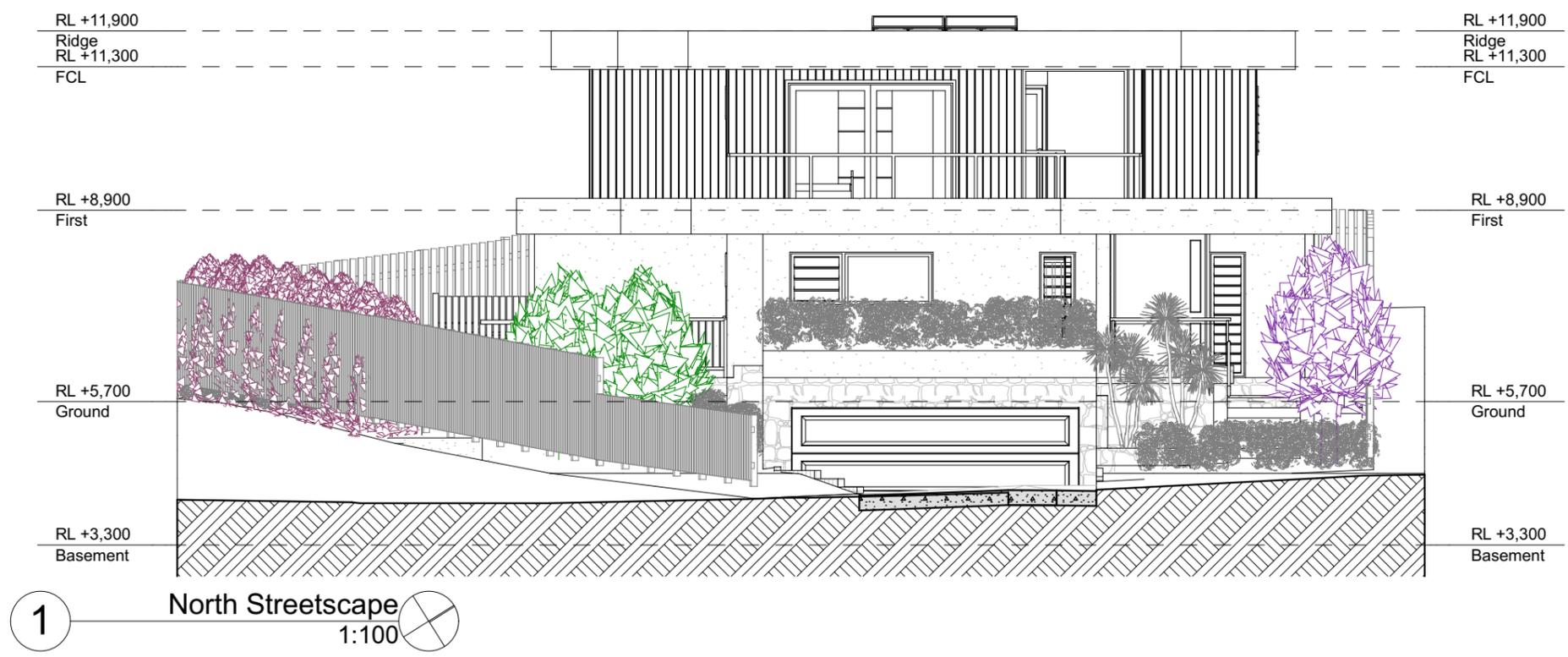
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Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen
 Lot 218 D.P. 16212

Drawing Title:
Elevations - E/05 North Streetscape
North Streetscape

Scale: A3 as noted Date: 17/09/20
 Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE Drawing No: DAMOD4003



Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m ²)	311.13m ²	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

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200
150
100
50
40
30
20
10

10 20 30 40 50 100 150 200 length in millimeters at full size

NOTES
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 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
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Project North



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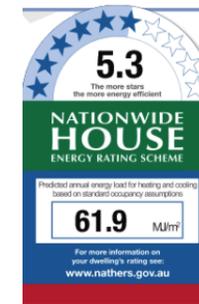
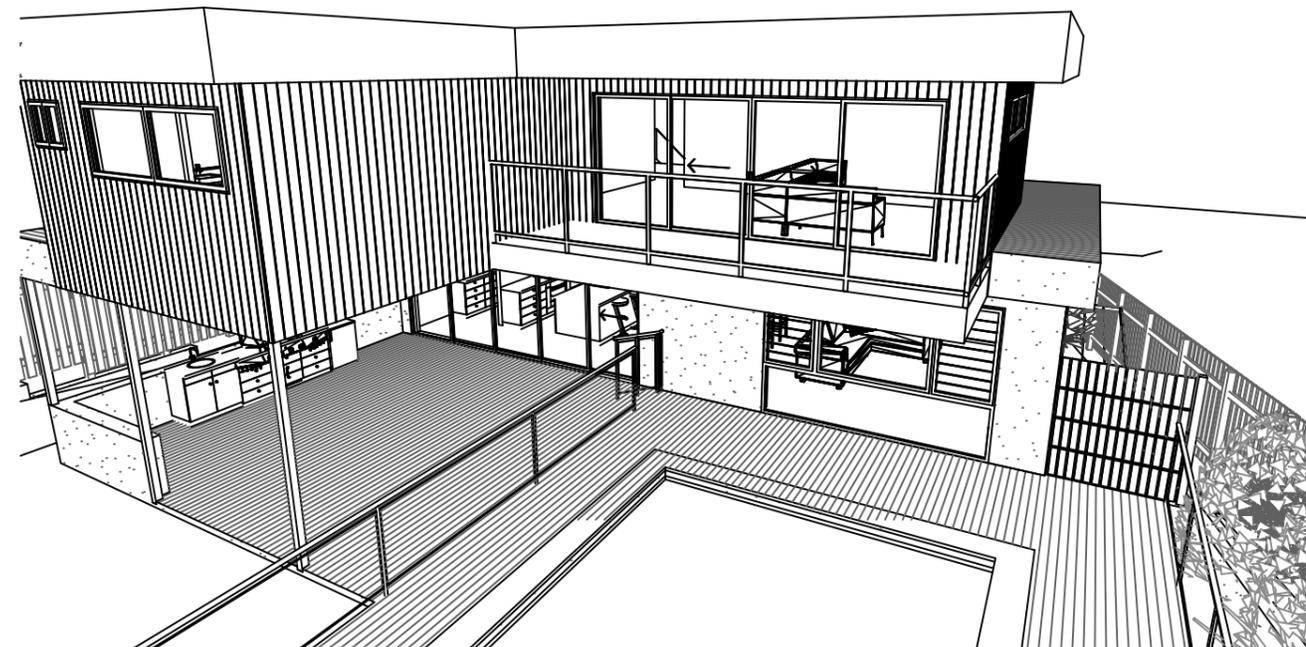
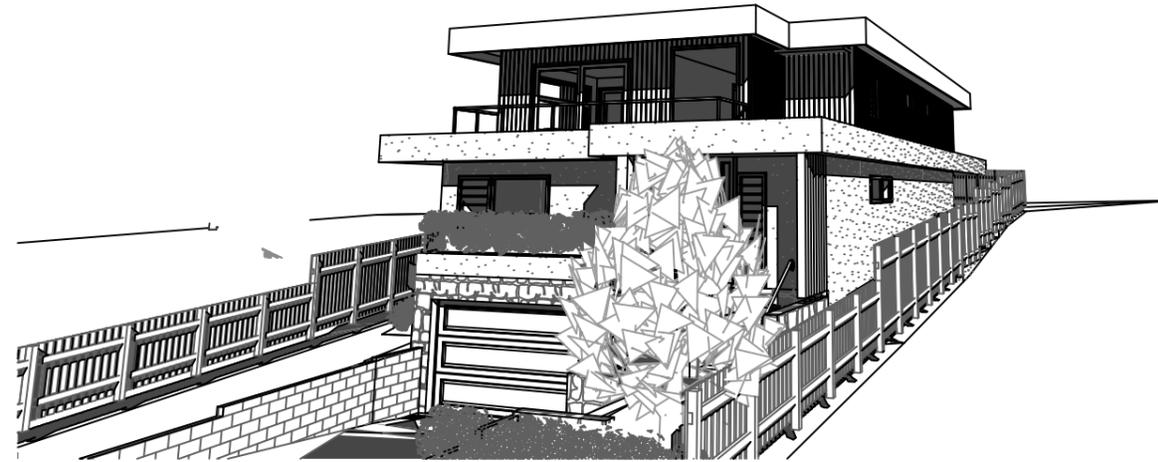
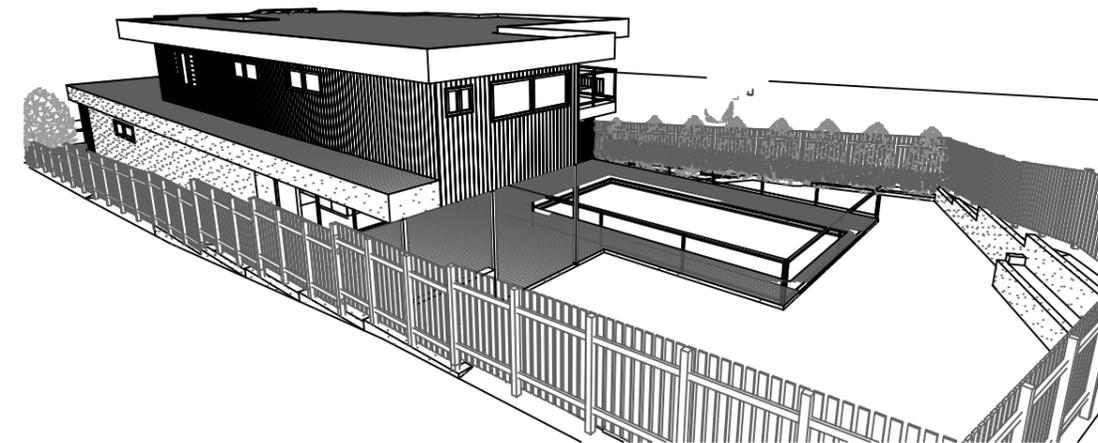
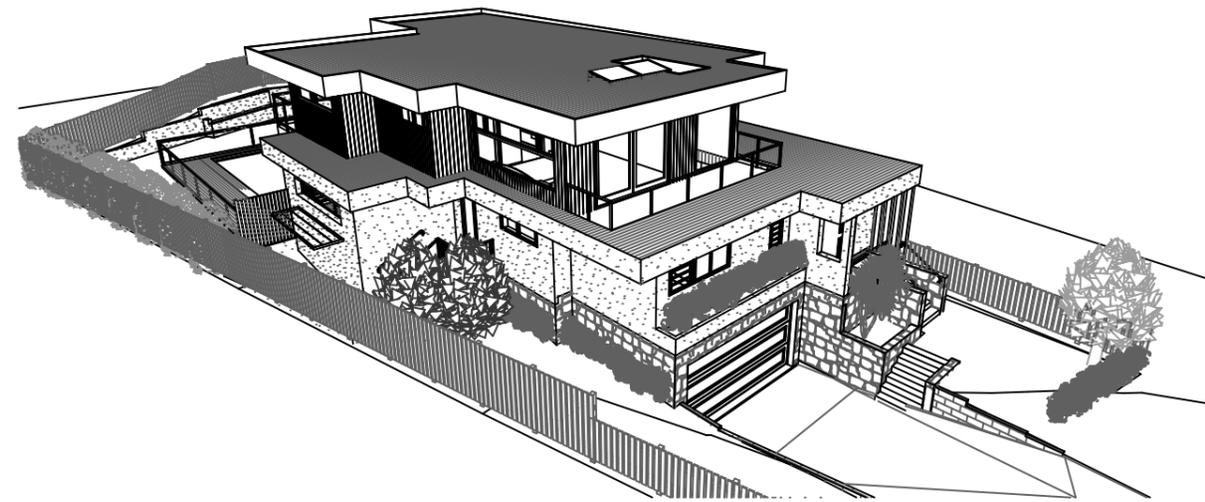
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Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen
 2101
 Lot 218 D.P. 16212

Drawing Title:
Sunstudy - Perspective
 Per 1, Per 2, Per 3, Per 4

Scale: A3 as noted Date: 17/09/20
 Status: DA Mod Rev4 Checked By: GBJ

Project No:
RP1018BEE DAMOD5001



Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m ²)	311.13m ²	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

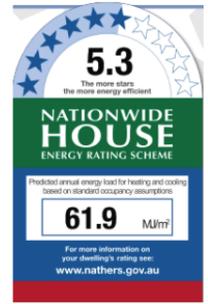
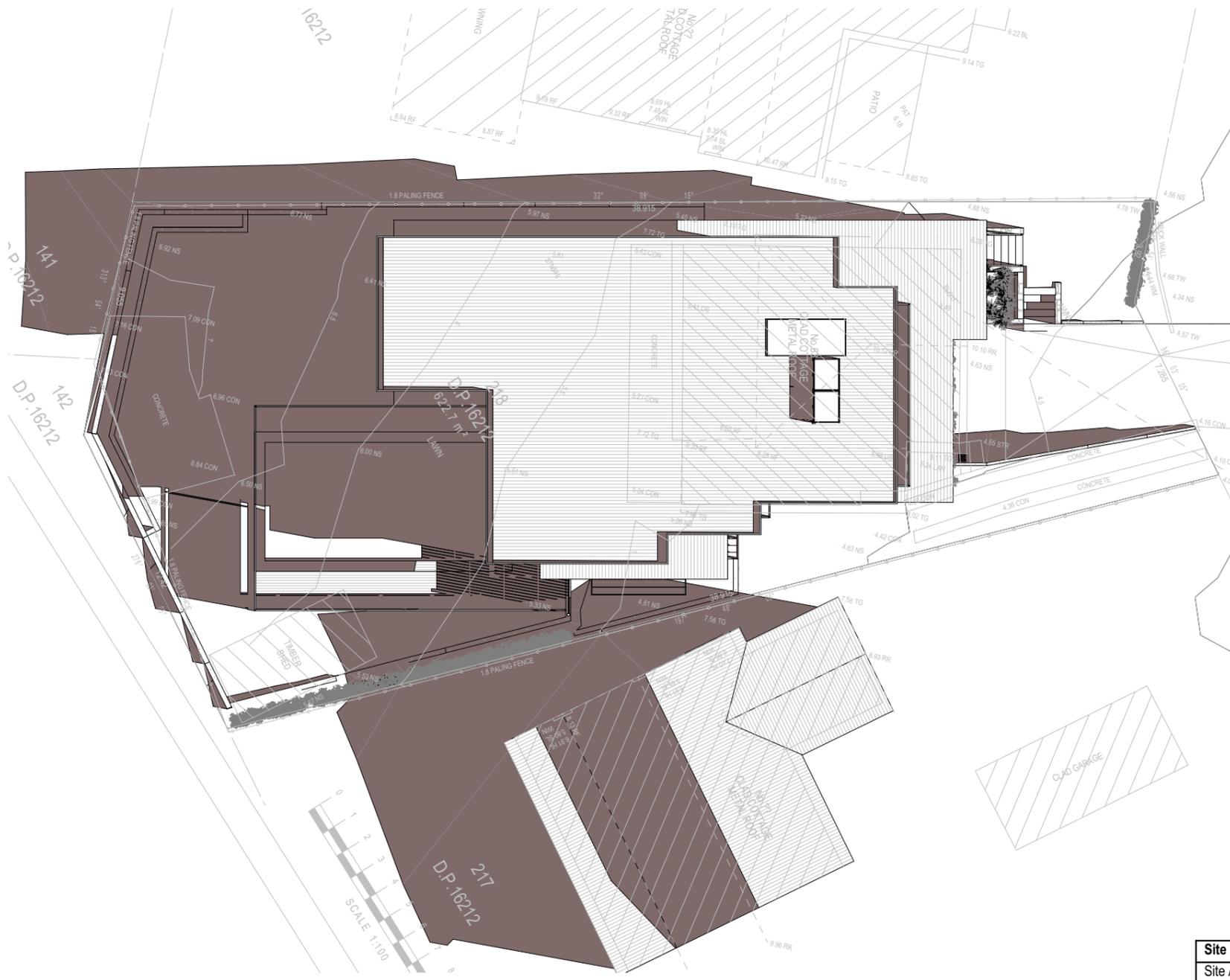
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200
150
100
length in millimeters at full size
50
40
30
20
10

10 20 30 40 50 100 150 200 length in millimeters at full size



1 Jun-21-9am
1:200

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DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
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Maximum depth of fill (m)	865mm	Yes
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Project North

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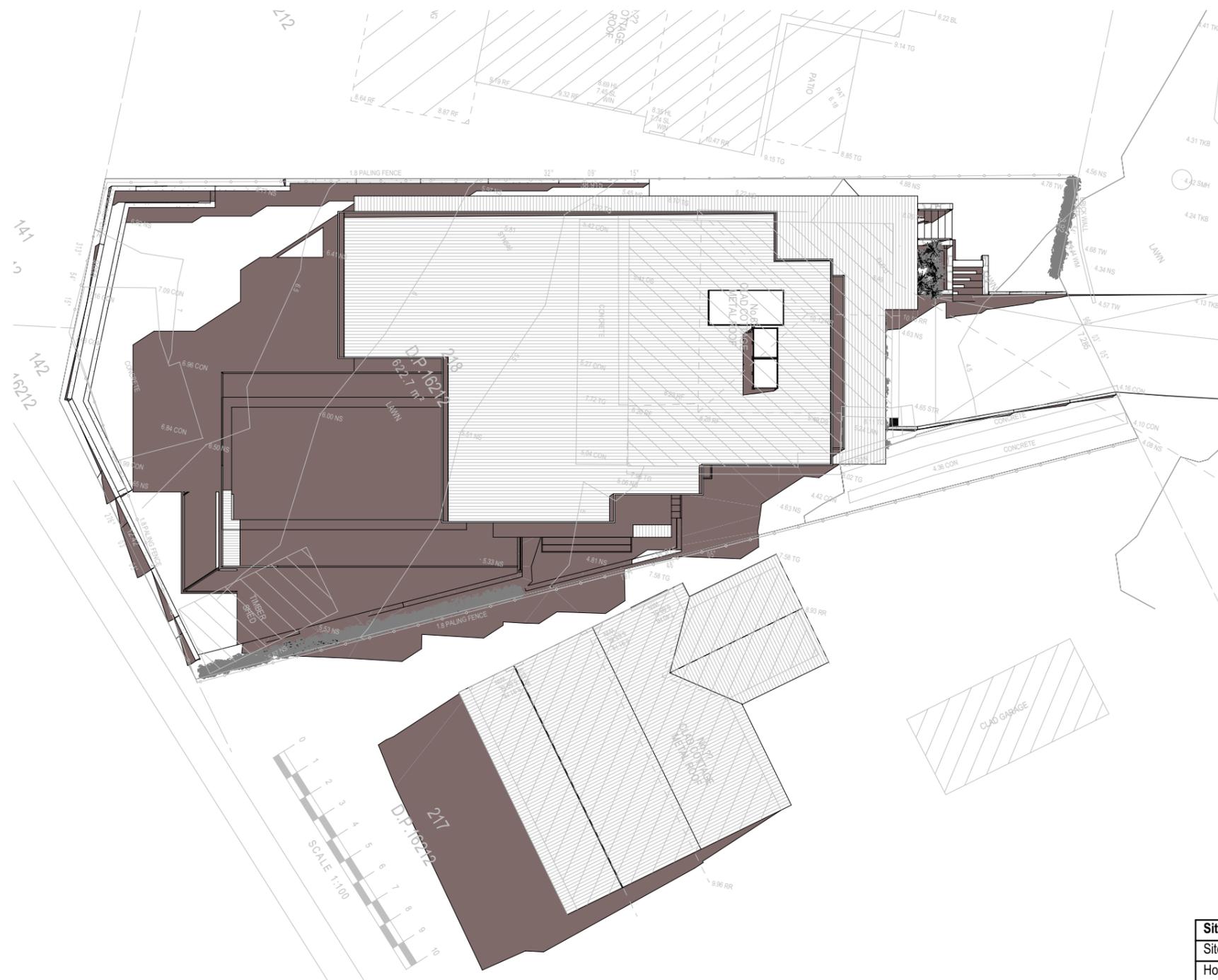
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

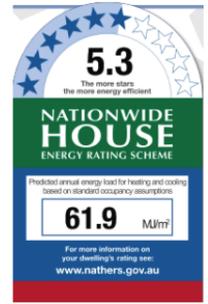
Lot 218 D.P. 16212
Drawing Title:
Sunstudy - June 21st Shadow -
9am
Jun-21-9am

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD500



 Denotes Proposed Shadow



1 ————— Jun-21-12pm
1:200

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Project North



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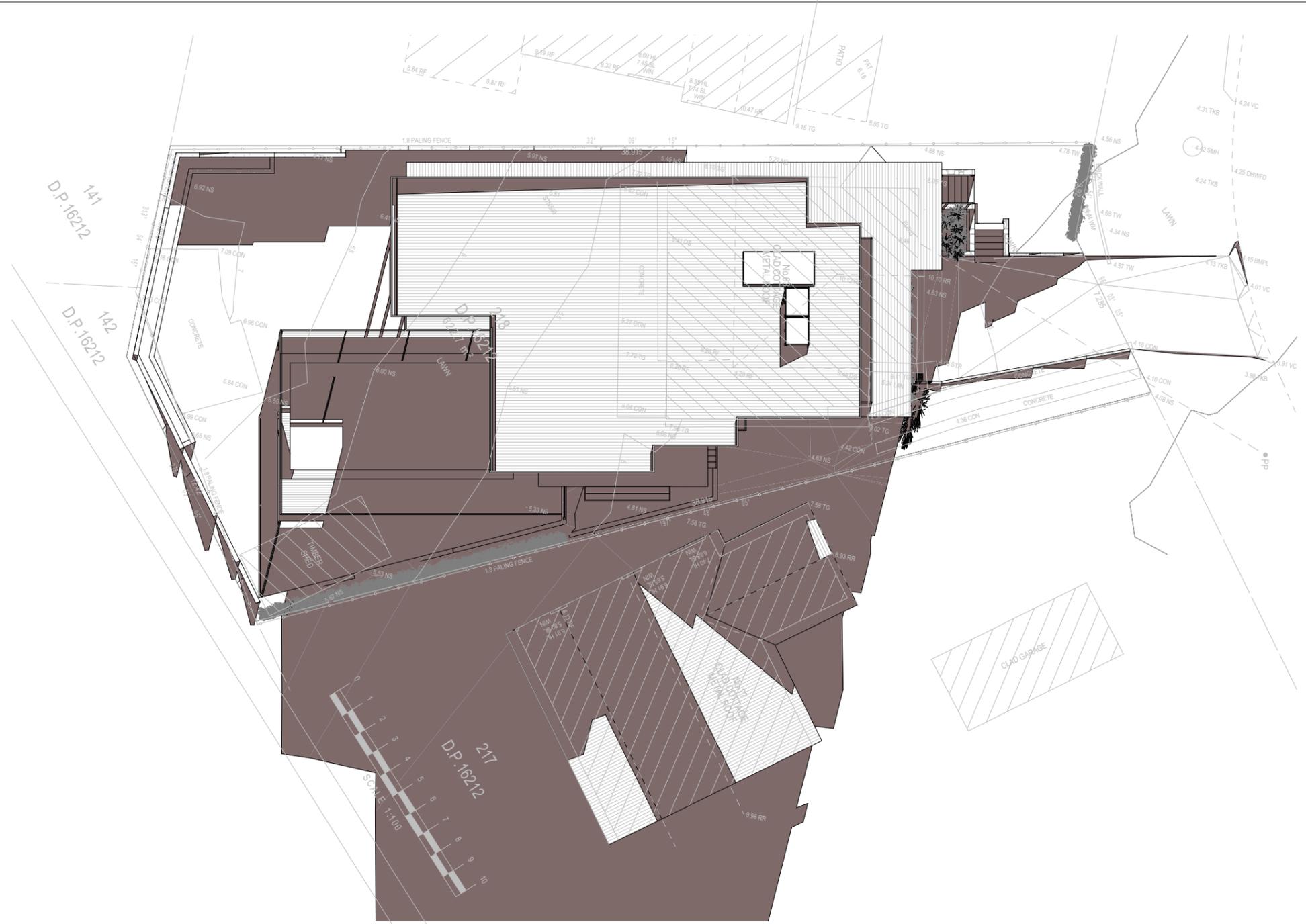
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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Sunstudy - June 21st Shadow -
12pm
Jun-21-12pm

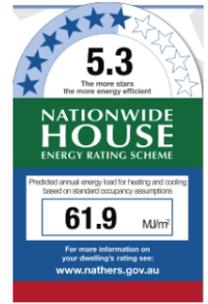
Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD500



 Denotes Proposed Shadow

1 Jun-21-3pm 1:200



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NOTES
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Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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Project North



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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Sunstudy - June 21st Shadow -
3pm
Jun-21-3pm

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD500

NOTES
 63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
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Construction
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 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basix
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



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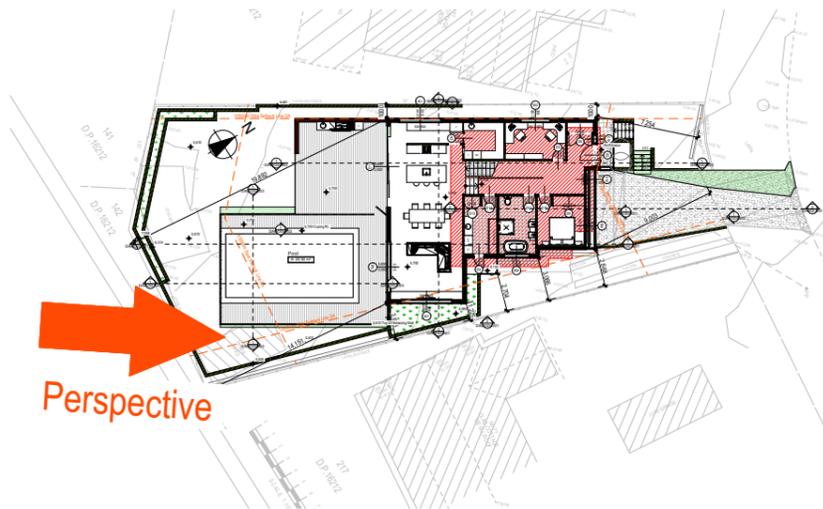
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Client: Greg Beeman
 Project Name: **New Dwelling**
 63 Gondola Road, North Narrabeen 2101
 Lot 218 D.P. 16212

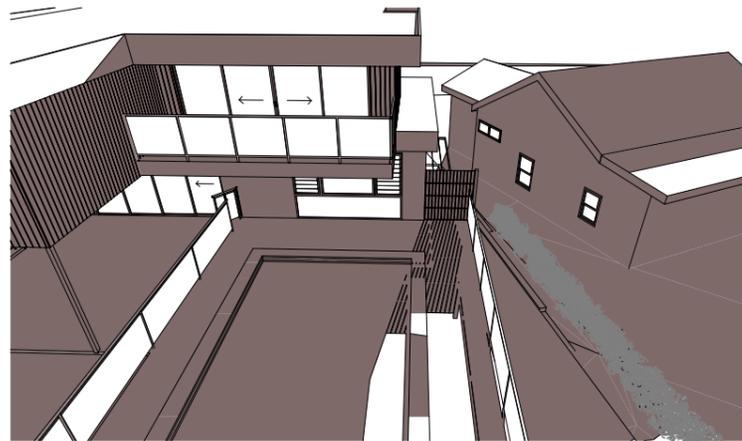
Drawing Title:
Sunstudy - Wall Elevation Shadow
 Wall Elev 9am, Wall Elev 12pm, Wall Elev 3pm,

Site Plan as noted Date: 17/09/20
 Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE
 Drawing No: DAMOD5005



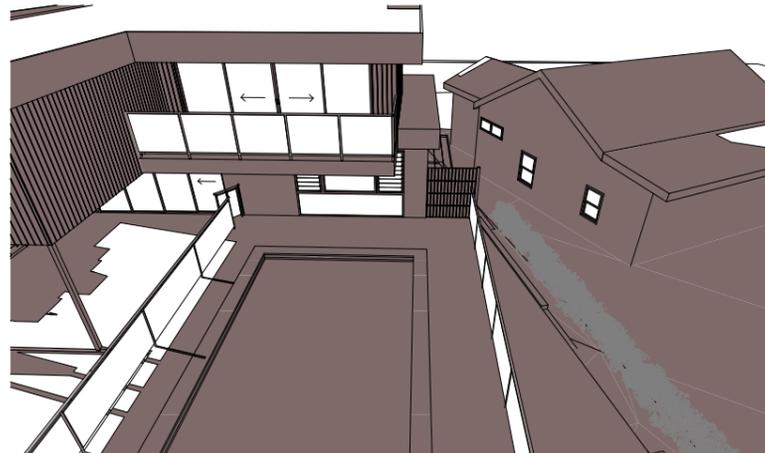
1 Site Plan 1:500



1 Wall Elev 9am 1:100



1 Wall Elev 12pm 1:100



1 Wall Elev 3pm 1:100

Denotes Proposed Shadow

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
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Building envelope	8.5m@45Deg	Variation
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Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

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length in millimeters at full size

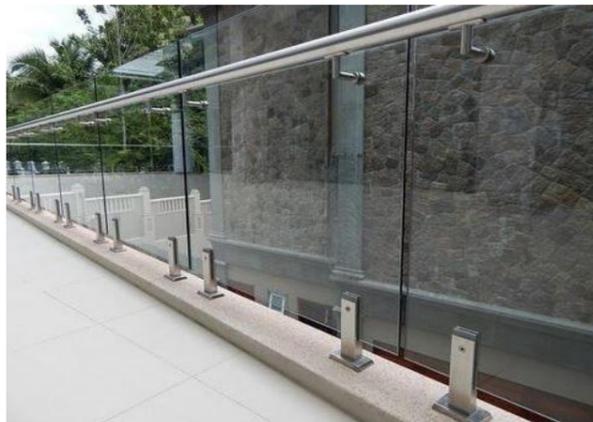
10 20 30 40 50 100 150 200 length in millimeters at full size



Denotes Garage Door (Typical).
Owner To Confirm Colour and Type.



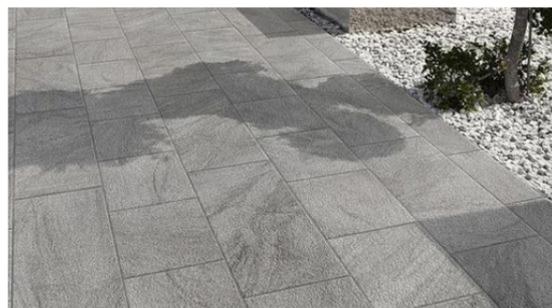
Denotes Concrete Block Retaining Wall (Typical).
Owner To Confirm Colour and Type.



Denotes Glass and Steel Balustrade (Typical).
Owner To Confirm Colour and Type.



Denotes Glass Timber Deck (Typical).
Owner To Confirm Colour and Type.



Denotes Tiled Patio (Typical).
Owner To Confirm Colour and Type.



Denotes Cladded Wall (Typical).
Owner To Confirm Colour and Type.



Denotes Sheet Metal Roofing (Typical).
Owner To Confirm Colour and Type.



Denotes Rendered Wall (Typical).
Owner To Confirm Colour and Type.



Denotes Concrete Stair (Typical).
Owner To Confirm Colour and Type.

Key construction and insulation materials

(see following pages for details)

- Construction:** Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
- Insulation:** R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
- Glazing:** ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

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Project North



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Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen 2101

Lot 218 D.P. 16212

Drawing Title: Schedules - Material & Colour Sample Board

Scale: A3 as noted Date: 17/09/20

Status: DA Mod Rev4 Checked By: GBJ

Project No: RP1018BEE Drawing No: DAMOD6001

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
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length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size