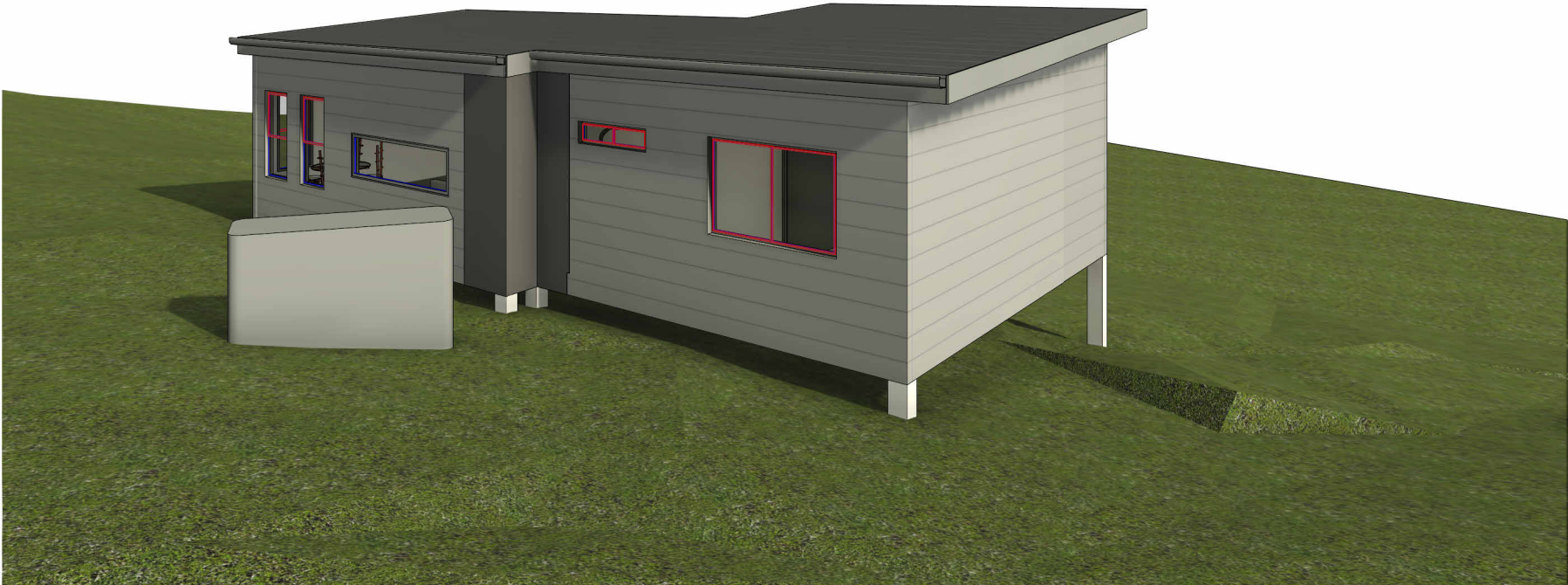


4 WOLLOMBI ROAD BILGOLA PLATEAU

RESIDENCE

SHEET LIST (A)

SHEET NUMBER	SHEET NAME	ISSUE
A 0	3D VIEWS	I
A 1	NOTES	I
A 2	BASIX	I
A 3	SITE AND ROOF PLAN	I
A 4	GROUND FLOOR PLAN	I
A 5	ELEVATIONS AND SECTION	I
A 6	AREA CALCULATIONS	I
A 7	DRIVEWAY SECTION	I



GENERAL NOTES

. All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.

. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.

. In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.

. All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.

. Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

. All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

. All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	date	issue	description
LS	05/08/24	A	ISSUE FOR DA
LS	30/08/24	B	ISSUE FOR DA
LS	06/09/24	C	ISSUE FOR DA
LS	27/09/24	D	ISSUE FOR DA
LS	07/11/24	E	ISSUE FOR DA
LS	10/01/25	F	ISSUE FOR DA
LS	05/03/25	G	ISSUE FOR RFI
LS	18/03/25	H	ISSUE FOR RFI
LS	18/03/25	I	ISSUE FOR RFI

project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client

WADE ORTH

 **Bungalow Homes**

true north	drawing	3D VIEWS
project no	date	sheet no.
24-47	05/08/24	A 0
scale @ A3	issue	checked
	I	?


ACCREDITED
BUILDING DESIGNER

6/7 Parkes Street,
Parramatta NSW 2150
www.rkdesigns.com.au
admin@rkdesigns.com.au
02 9633 4797
abn. 68 659 200 389
spaces designed for life

RK
DESIGNS

PRELIMINARY
DO NOT USE FOR CONSTRUCTION

GENERAL NOTES

- . All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
- . No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- . No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- . In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
- . All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
- . Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
- . All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
- . All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	date	issue	description
LS	05/08/24	A	ISSUE FOR DA
LS	30/08/24	B	ISSUE FOR DA
LS	06/09/24	C	ISSUE FOR DA
LS	27/09/24	D	ISSUE FOR DA
LS	07/11/24	E	ISSUE FOR DA
LS	10/01/25	F	ISSUE FOR DA
LS	05/03/25	G	ISSUE FOR RFI
LS	18/03/25	H	ISSUE FOR RFI
LS	18/03/25	I	ISSUE FOR RFI

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4
WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217
DP16902

client
WADE ORTH



true north



drawing
SITE AND ROOF PLAN

project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	A 3	1 : 200	I	?

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR
DEVELOPMENT APPLICATION PURPOSES ONLY.
THEY ARE NOT ISSUED FOR CONSTRUCTION OR
CONSTRUCTION CERTIFICATE OR FOR THE
PURPOSES OF PRICING BY ANY CONTRACTOR

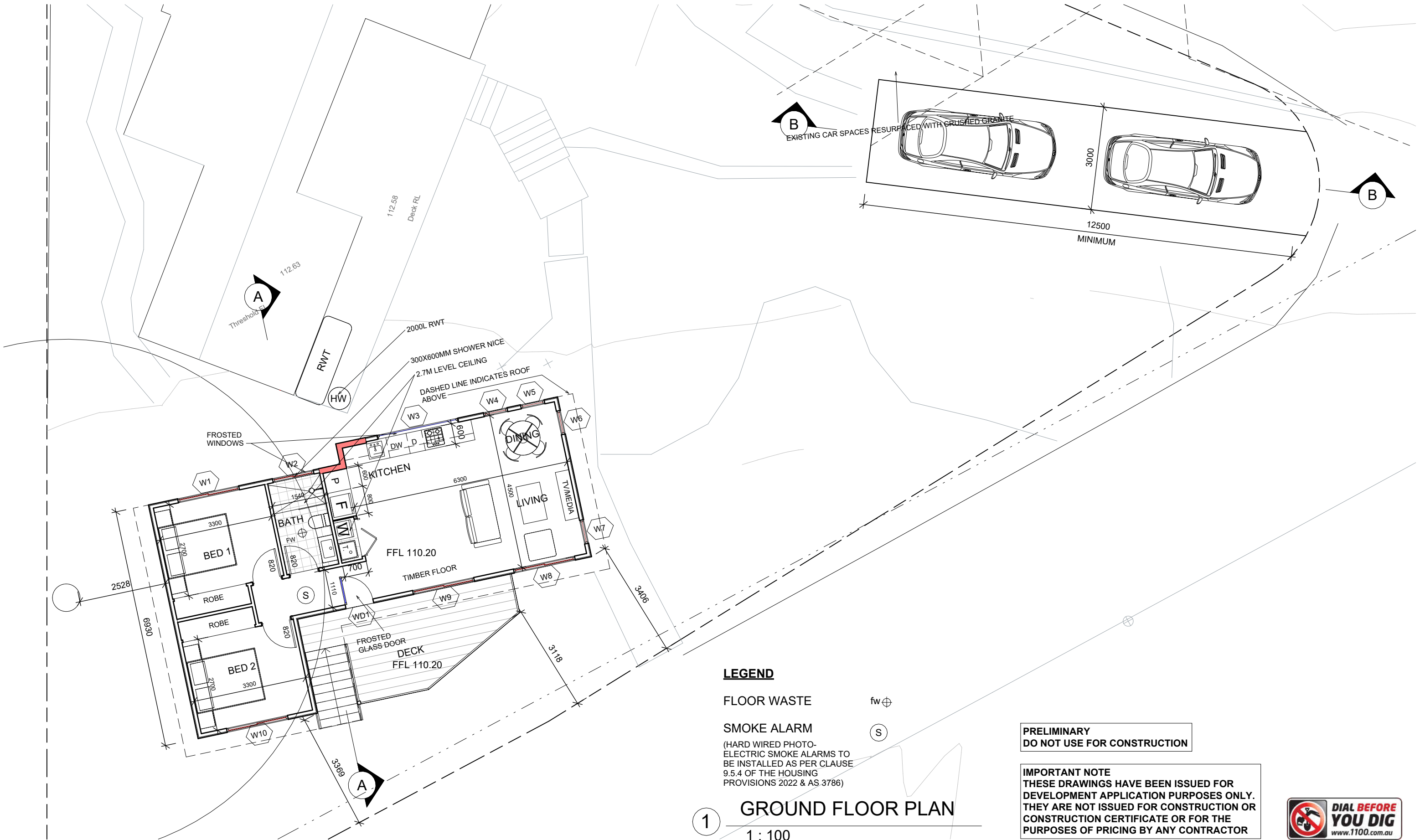
1 SITE AND ROOF PLAN

1 : 200

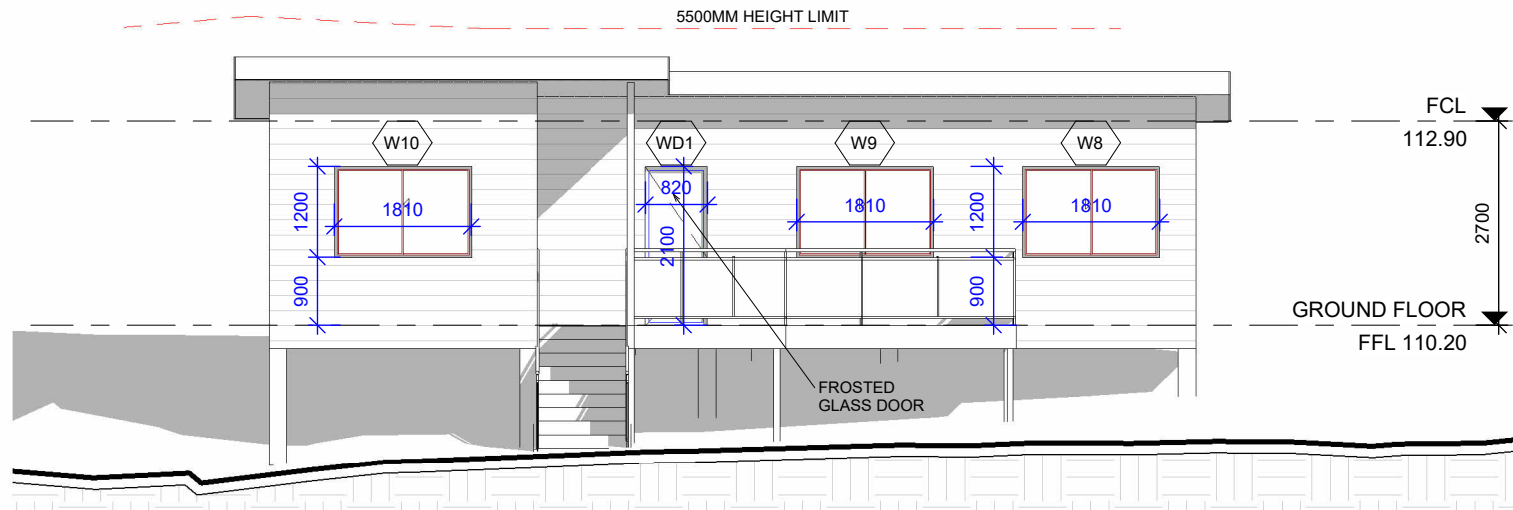


6/7 Parkes Street,
Parramatta NSW 2150
www.rkdesigns.com.au
admin@rkdesigns.com.au
02 9633 4797
abn. 66 659 200 389
spaces designed for life

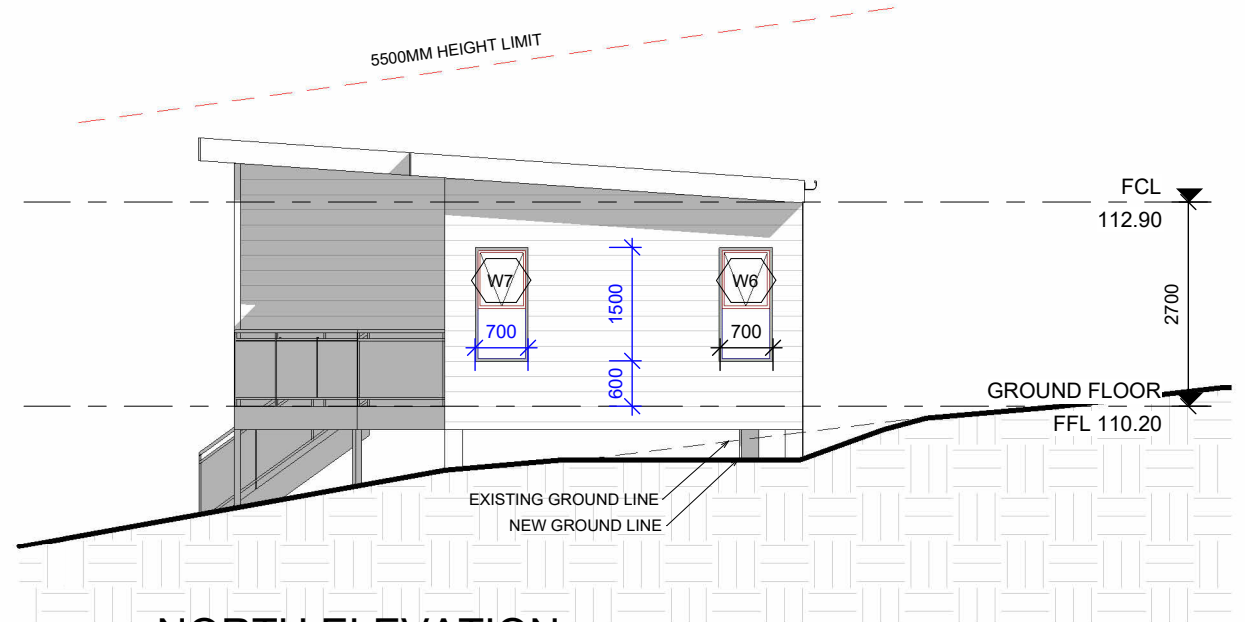
RK
DESIGNS



<div>GENERAL NOTES</div> <div><div><div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div><div><div></div><div></div></div></div></div></div>		
--	--	--

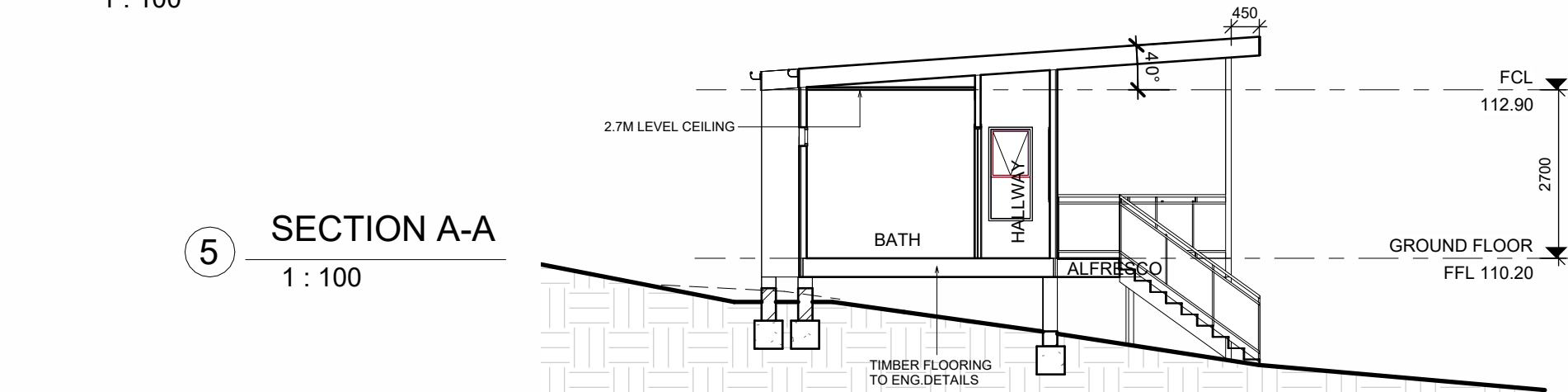


1 EAST ELEVATION
1 : 100

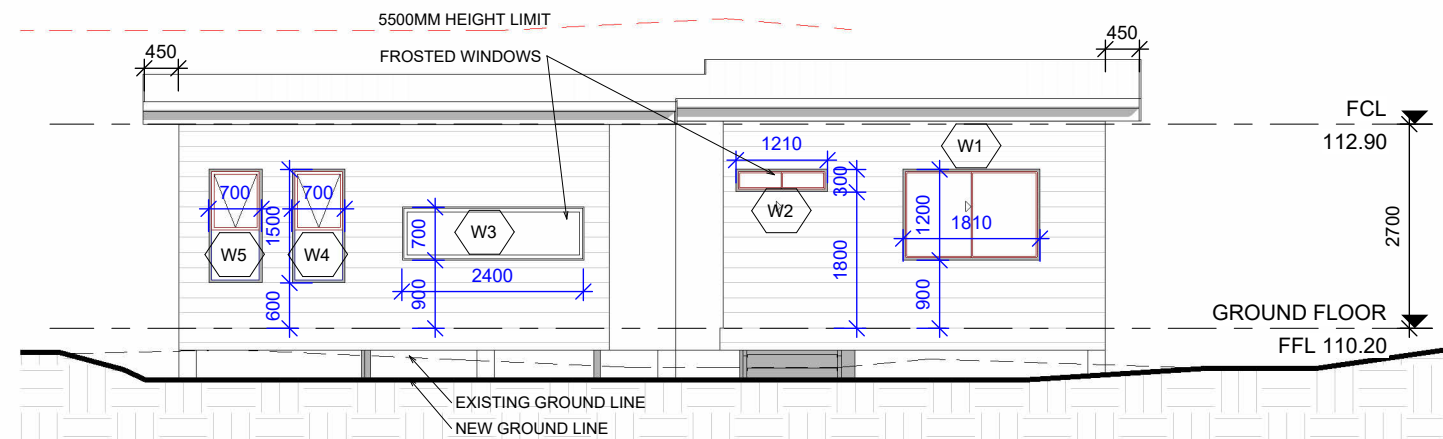


2 NORTH ELEVATION
1 : 100

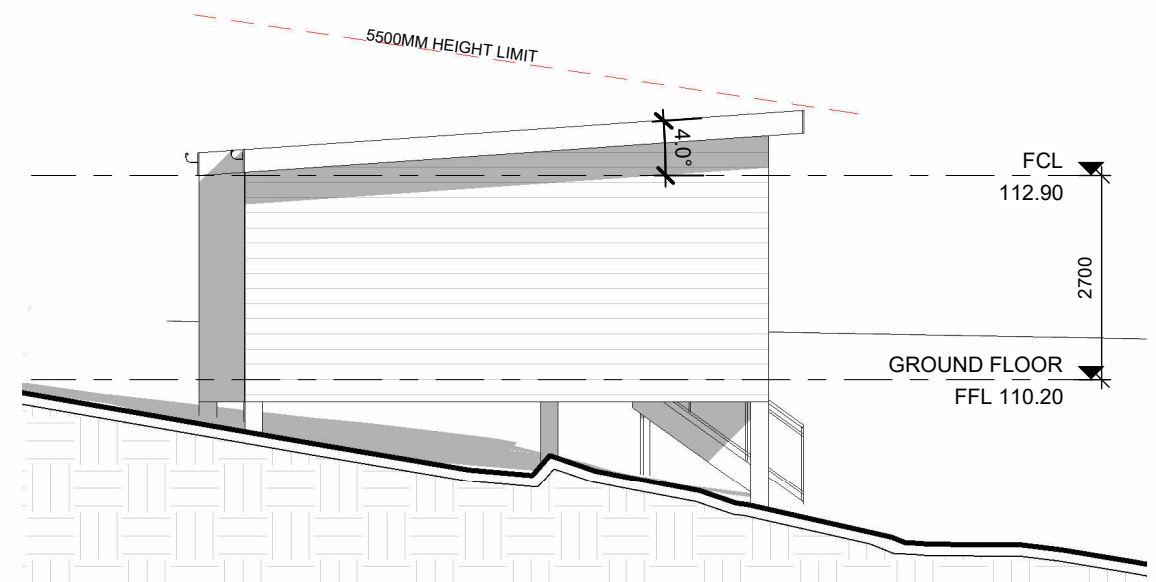
IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR



5 SECTION A-A
1 : 100



3 WEST ELEVATION
1 : 100



4 SOUTH ELEVATION
1 : 100

GENERAL NOTES

- . All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
- . No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- . No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- . In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
- . All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
- . Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
- . All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
- . All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	date	issue	description
LS	05/08/24	A	ISSUE FOR DA
LS	30/08/24	B	ISSUE FOR DA
LS	06/09/24	C	ISSUE FOR DA
LS	27/09/24	D	ISSUE FOR DA
LS	07/11/24	E	ISSUE FOR DA
LS	10/01/25	F	ISSUE FOR DA
LS	05/03/25	G	ISSUE FOR RFI
LS	18/03/25	H	ISSUE FOR RFI
LS	18/03/25	I	ISSUE FOR RFI

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client
WADE ORTH

true north

drawing
ELEVATIONS AND SECTION

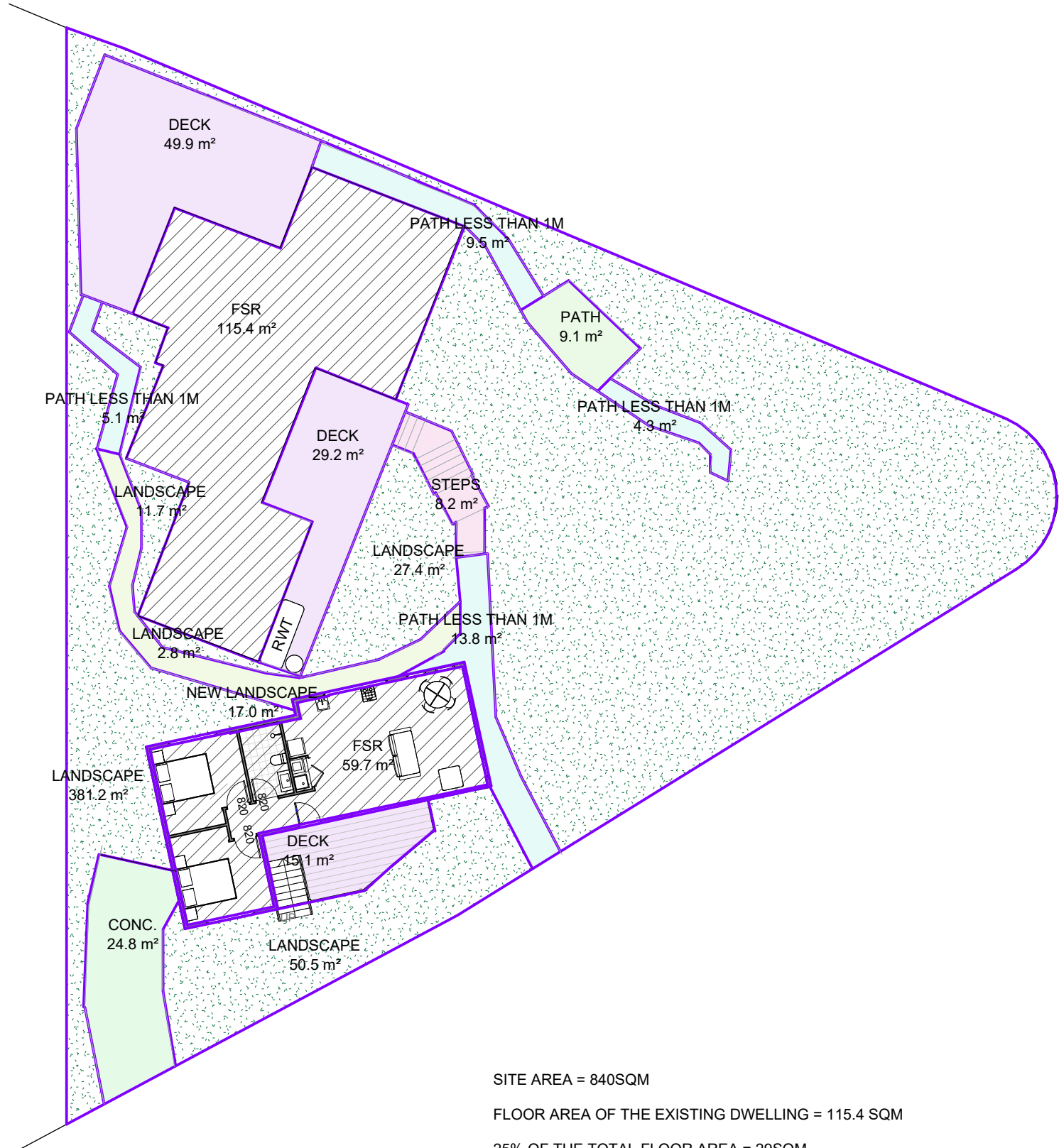
project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	A 5	1 : 100	I	?

Bungalow Homes

bdag
ACCREDITED
BUILDING DESIGNER

6/7 Parkes Street,
Parramatta NSW 2150
www.rkdesigns.com.au
admin@rkdesigns.com.au
02 9633 4797
abn. 68 659 200 389
spaces designed for life

RK
DESIGNS



1 GROUND FLOOR
1 : 200

SITE AREA = 840SQM
FLOOR AREA OF THE EXISTING DWELLING = 115.4 SQM
25% OF THE TOTAL FLOOR AREA = 29SQM
TOTAL FLOOR AREA OF THE SECONDARY DWELLING =60SQM
MINIMUM REQUIRED LANDSCAPED AREA = 60% = 504SQM
PROPOSED LANDSCAPED AREA =509.4 SQM INCLUDING IMPERVIOUS AREAS LESS THAN 1M WIDE
THEREFORE THE PROPOSAL COMPLIES WITH PDCP

AREA CALCULATIONS SCHEDULE

NAME	LEVEL	COUNT	TOTAL
CONC.	GROUND FLOOR	1	24.8 m²
CONC.: 1			24.8 m²
CONC.DRIVEWAY	Not Placed	1	0.0 m²
CONC.DRIVEWAY: 1			0.0 m²
DECK	GROUND FLOOR	3	94.3 m²
DECK: 3			94.3 m²
FSR	Not Placed	2	0.0 m²
FSR	GROUND FLOOR	2	175.1 m²
FSR: 4			175.1 m²
LANDSCAPE	Not Placed	5	0.0 m²
LANDSCAPE	GROUND FLOOR	5	473.6 m²
LANDSCAPE: 10			473.6 m²
NEW CONC.AREA	Not Placed	1	0.0 m²
NEW CONC.AREA: 1			0.0 m²
NEW LANDSCAPE	GROUND FLOOR	1	17.0 m²
NEW LANDSCAPE: 1			17.0 m²
PATH	Not Placed	3	0.0 m²
PATH	GROUND FLOOR	1	9.1 m²
PATH: 4			9.1 m²
PATH LESS THAN 1M	Not Placed	1	0.0 m²
PATH LESS THAN 1M	GROUND FLOOR	4	32.6 m²
PATH LESS THAN 1M: 5			32.6 m²
STEPS	GROUND FLOOR	1	8.2 m²
STEPS: 1			8.2 m²

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR

GENERAL NOTES
. All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
. In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
. All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
. Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
. All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
. All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	date	issue	description
LS	05/08/24	A	ISSUE FOR DA
LS	30/08/24	B	ISSUE FOR DA
LS	06/09/24	C	ISSUE FOR DA
LS	27/09/24	D	ISSUE FOR DA
LS	07/11/24	E	ISSUE FOR DA
LS	10/01/25	F	ISSUE FOR DA
LS	05/03/25	G	ISSUE FOR RFI
LS	18/03/25	H	ISSUE FOR RFI
LS	18/03/25	I	ISSUE FOR RFI

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client
WADE ORTH



true north



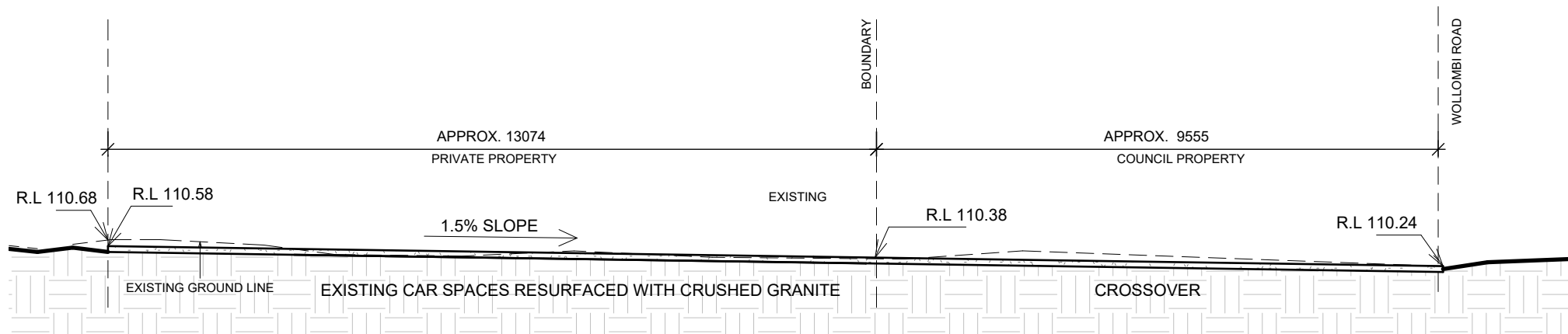
drawing
AREA CALCULATIONS

project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	A 6	1 : 200	I	?



6/7 Parkes Street,
Parramatta NSW 2150
www.rkdesigns.com.au
admin@rkdesigns.com.au
02 9633 4797
abn. 66 659 200 389
spaces designed for life

RK
DESIGNS



1 SECTION B-B
1 : 100

GENERAL NOTES

- . All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
- . No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- . No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- . In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
- . All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
- . Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
- . All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
- . All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.


drawn	date	issue	description
LS	05/08/24	A	ISSUE FOR DA
LS	30/08/24	B	ISSUE FOR DA
LS	06/09/24	C	ISSUE FOR DA
LS	27/09/24	D	ISSUE FOR DA
LS	07/11/24	E	ISSUE FOR DA
LS	10/01/25	F	ISSUE FOR DA
LS	05/03/25	G	ISSUE FOR RFI
LS	18/03/25	H	ISSUE FOR RFI
LS	18/03/25	I	ISSUE FOR RFI

project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client

WADE ORTH




Bungalow Homes

true north

drawing

DRIVEWAY SECTION

project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	A 7	1 : 100	I	?



ACCREDITED BUILDING DESIGNER

6/7 Parkes Street,
Parramatta NSW 2150
www.rkdesigns.com.au
admin@rkdesigns.com.au
02 9633 4797
abn. 66 659 200 389
spaces designed for life

RK
DESIGNS