

SITE RATIO'S - EXISTING:

SITE AREA	689.90m ²
BUILDING FOOTPRINT	92.70m ²
CARPORT FOOTPRINT	33.26m ²
OUTBUILDINGS FOOTPRINT	54.42m ²
DECK/FRONT PORCH	66.84m ²
PAVED AREAS AND DRIVEWAY	105.80m ²
AREAS UNDER 2m WIDE	33.06m ²

SUM TOTAL 386.08m²

EXISTING LANDSCAPED AREA 303.82m²
44%

SITE RATIO'S - PROPOSED:

SITE AREA	689.90m ²
BUILDING FOOTPRINT	104.10m ²
CARPORT FOOTPRINT	34.33m ²
OUTBUILDINGS FOOTPRINT	54.42m ²
DECK/FRONT PORCH	121.15m ²
PAVED AREAS AND DRIVEWAY	53.67m ²
AREAS UNDER 2m WIDE	46.08m ²

SUM TOTAL 413.75m²

PROPOSED LANDSCAPED AREA 276.15m²
40%

160m TO PUBLIC
TRANSPORT

2km TO DEE WHY
VILLAGE SHOPPING
CENTRE

700m TO PUBLIC
HIGH SCHOOL

950m TO PUBLIC
PRIMARY SCHOOL

Note- Proposed stormwater will
connect to the existing system
which drains to the street

1

SITE PLAN

1:200

& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

NOTES

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Finished ground levels on the plan are subject to site conditions.

Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.

All figured dimensions to be checked on site.

BASIC INFORMATION REQUIREMENTS:

LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

INSULATION REQUIREMENTS:

External walls: The external walls shall be framed (weatherboard and shall meet minimum R1.70 (including construction)

Floors: The suspended floor with endosed subfloor shall meet minimum R1.30 (including construction)

Ceilings: The new flat ceiling/pitched roof ceilings shall meet minimum R1.20 (up).

Roof: The roof shall have a foil backed blanket (55mm) and be of light colour (solar absorption <0.475)

WINDOWS, GLAZED DOORS & SKYLIGHTS:

All window, door & skylight numbers shown on the window/door/skylight schedule correspond to matching window/door/skylight numbers shown in the Basic certificate.

Sizes: The total area of glazing for each window/door/skylight shall be no greater than that shown on the Basic certificate

Shading devices: Shading devices shall be installed in accordance with the Basic certificate
Frames and glazing: Frame and glazing types shall meet the requirements of the Basic certificate



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Client

MR. & MRS. CALDER

Project Name

PROPOSED ALTERATIONS + ADDITIONS

15 MICHELE ROAD

LOT 12, DP 30093

CROMER NSW 2099

JAH
DESIGN SERVICES

ABN 22 630 690 834
BUILDING 6, 49 FRENCH'S FOREST ROAD EAST, FRENCH'S FOREST NSW 2086
P.H. 0410 410 064 EMAIL juke@jahdesigns.com.au

Drawing Title:

SITE PLAN

Scale:

1:200 @ A3

Date:

APRIL 2022

Status:

DA submission

Checked By:

JAH

Project No:

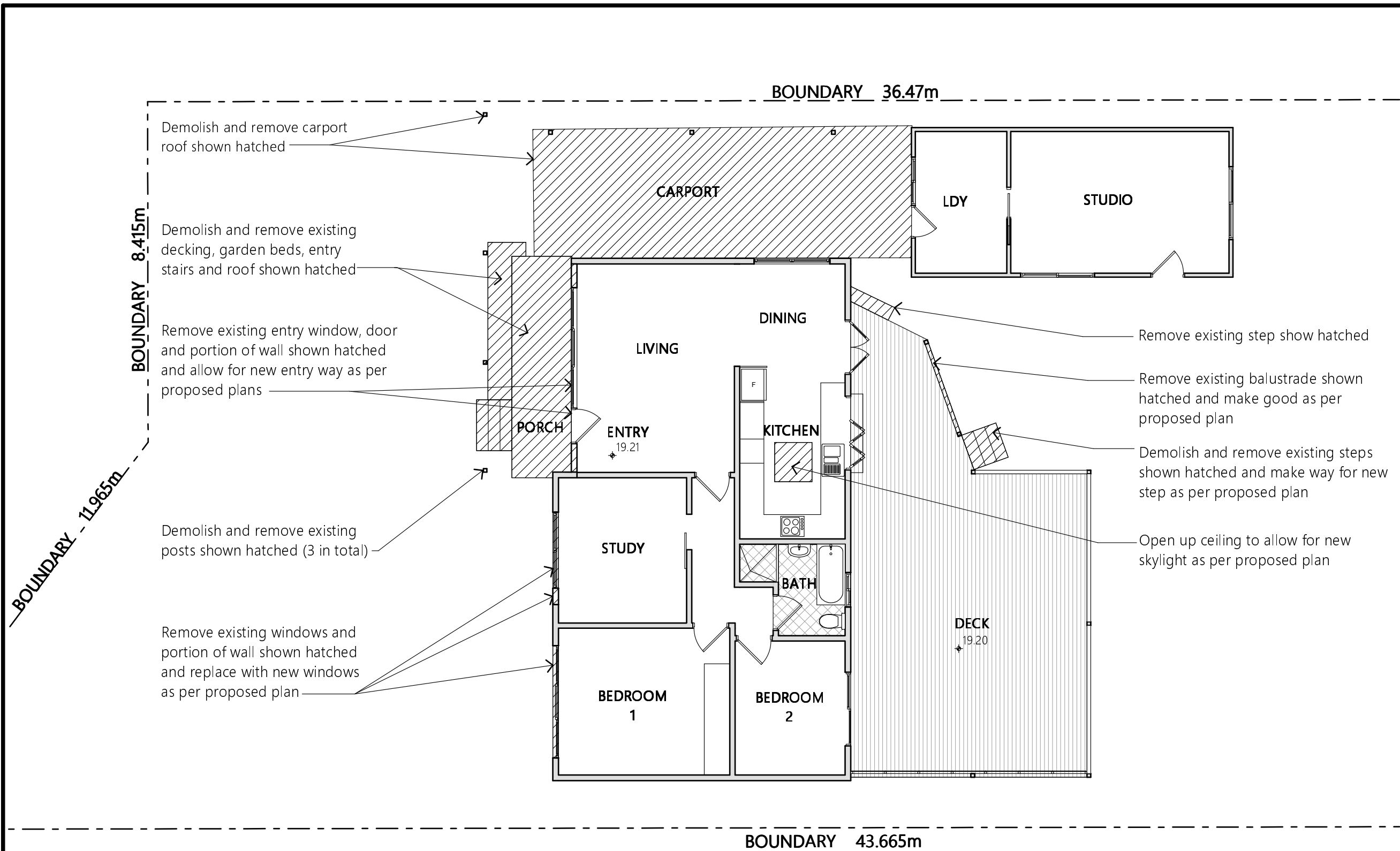
1926

Drawing No.:

DA01

Plot Date:

2/05/2022



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Project Name

PROPOSED ALTERATIONS + ADDITIONS

15 MICHELE ROAD

LOT 12 , DP 30093

CROMER NSW 2099

ABN 22 630 690 834

BUILDING 6, 49 FRENCH'S FOREST ROAD EAST, FRENCH'S FOREST NSW 2086

PH. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:

EXISTING FLOOR PLAN

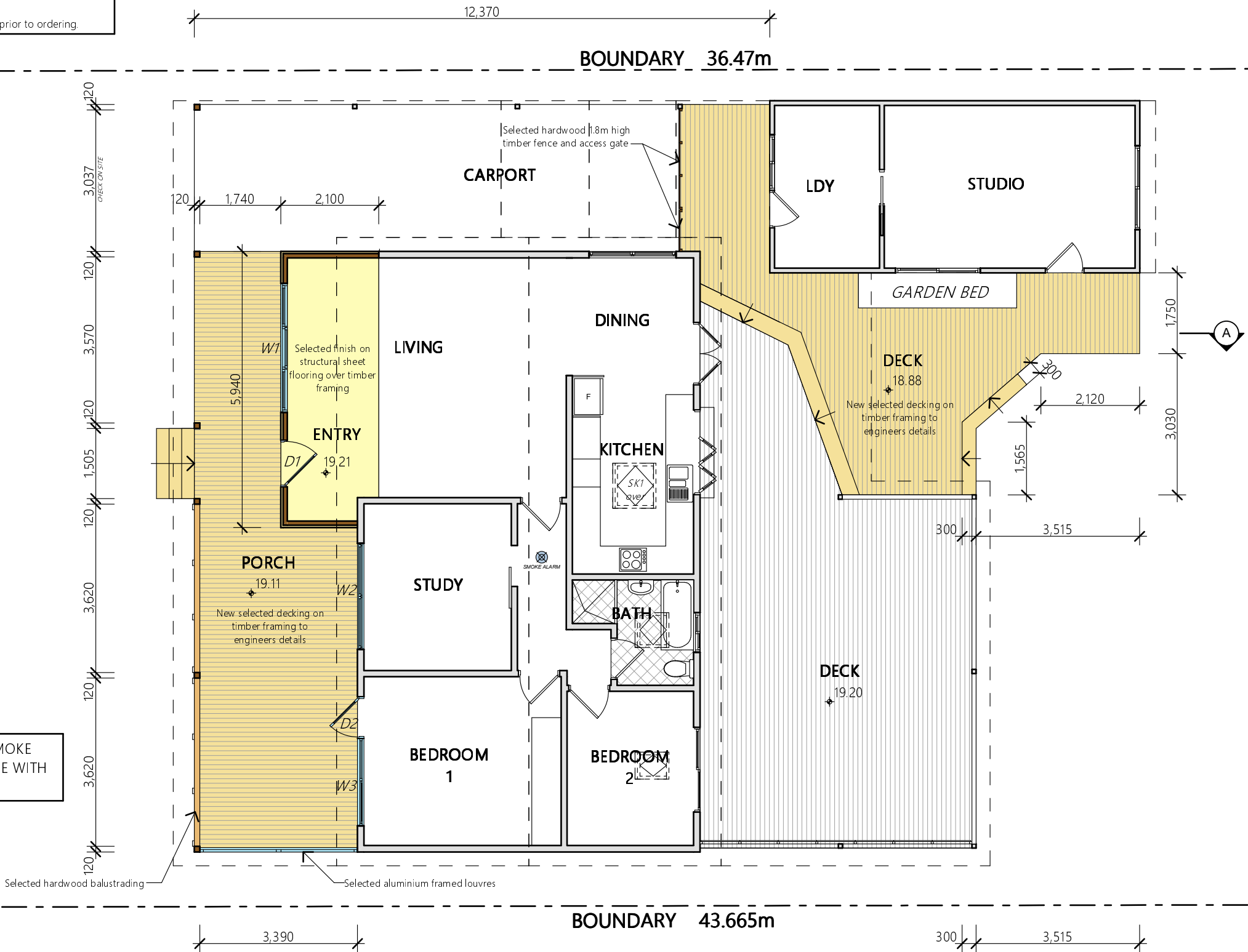
Scale: 1:100 @ A3	Date: APRIL 2022
Status: DA submission	Checked By: JAH
Project No: 1926	Drawing No.: DA02
Plot Date:	2/05/2022

1

EXISTING FLOOR PLAN

1:100

WINDOW / DOOR / SKYLIGHT SCHEDULE		
W 1	2775w x 2100h	Selected UPVC Framed Window
W 2	2280w x 1480h	Selected UPVC Framed Window to fit existing opening
W 3	1880w x 2100h	Selected UPVC Framed Window to fit existing opening with D2
D 1	1000w x 2100h	Selected UPVC Framed Entry Door Set
D 2	900w x 2100h	Selected UPVC Framed Door to fit existing opening with W3
SK 1	970w x 970h	Selected UPVC Framed Skylight
Note: The Builder shall check measure all windows and doors on site prior to ordering.		



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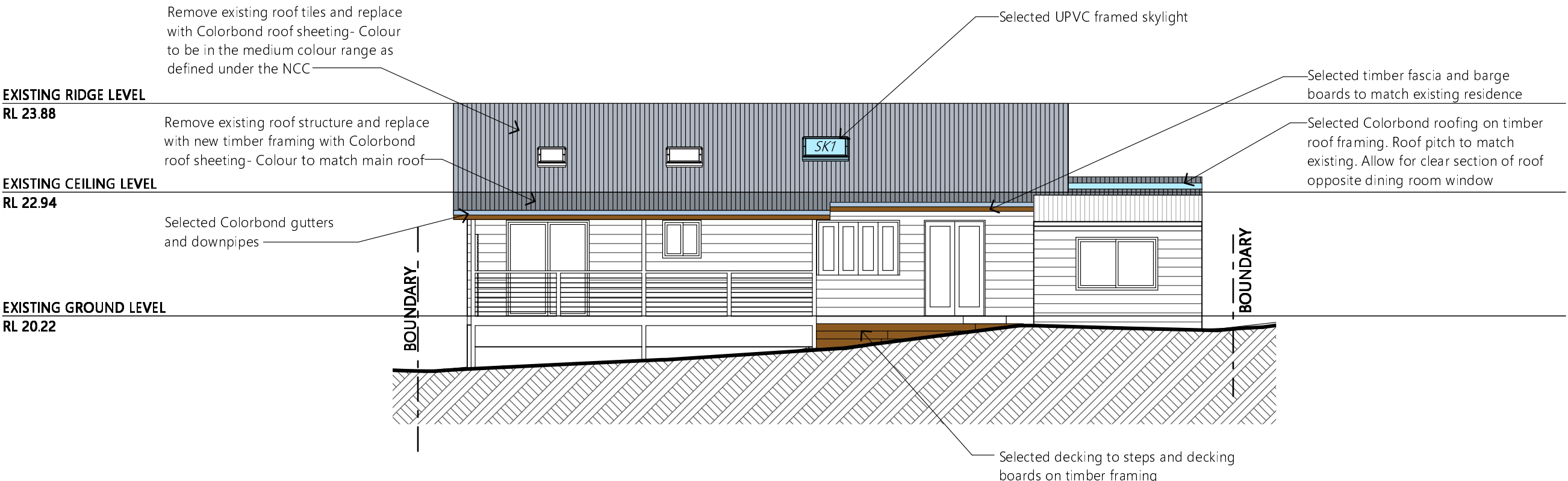
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Client
MR. & MRS. CALDER
Project Name
PROPOSED ALTERATIONS + ADDITIONS
15 MICHELE ROAD
LOT 12, DP 30093
CROMER NSW 2099

JAH
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ABN 22 630 690 834
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P.H. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:
PROPOSED FLOOR PLAN

Scale: 1:100 @ A3 Date: APRIL 2022
Status: DA submission Checked By: JAH
Project No: 1926 Drawing No.: DA03
Plot Date: 2/05/2022



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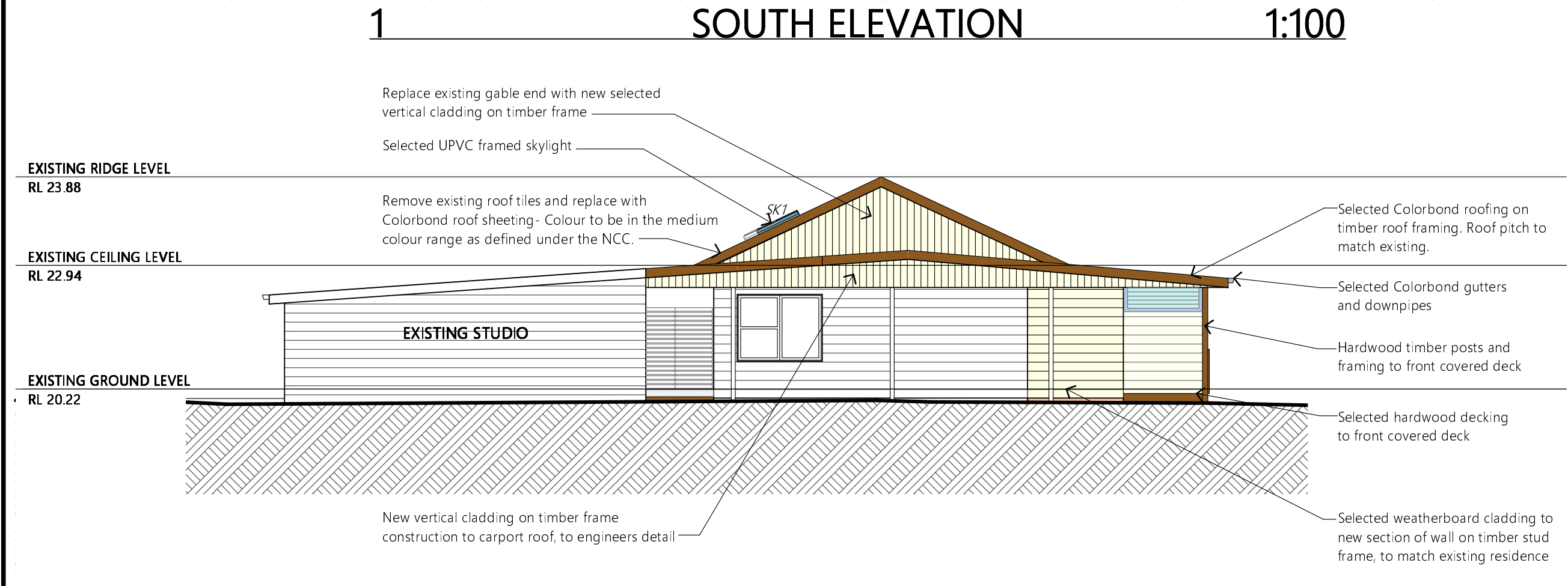
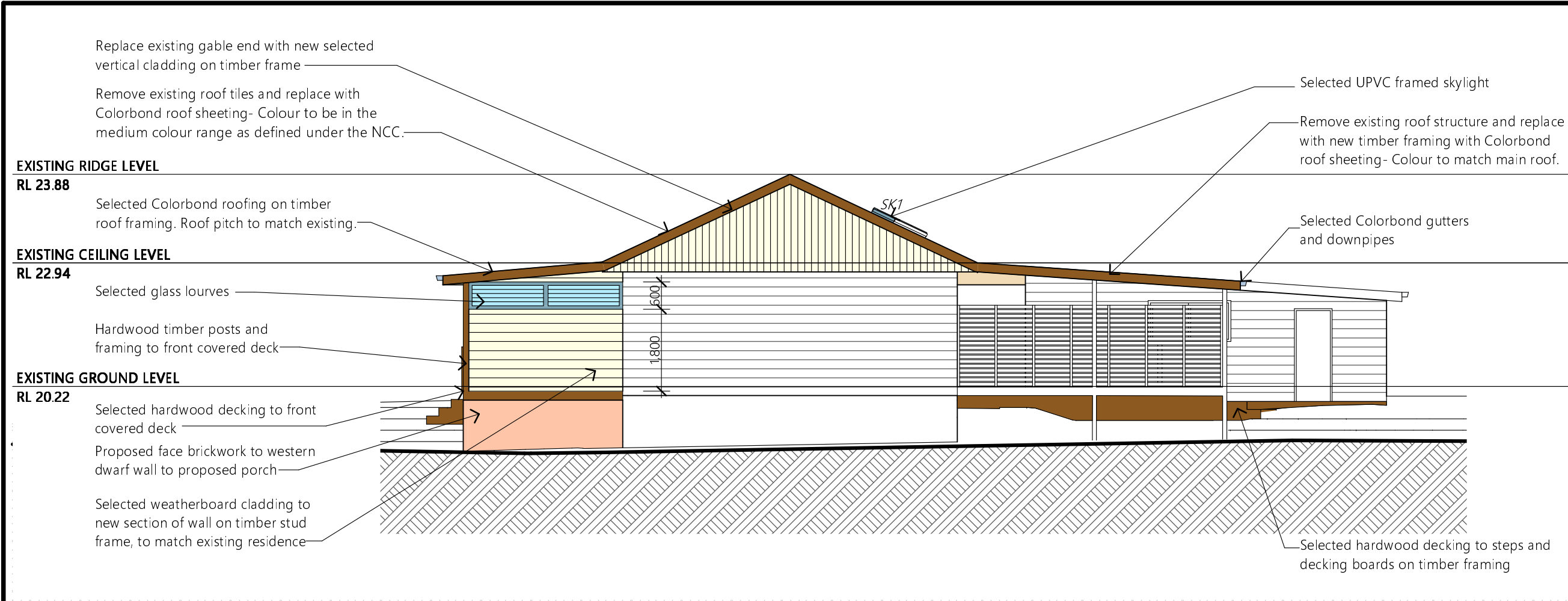
Client
MR. & MRS. CALDER
Project Name
PROPOSED ALTERATIONS + ADDITIONS
15 MICHELE ROAD
LOT 12 , DP 30093
CROMER NSW 2099


ABN 22 630 690 834
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086
P.H. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:
EAST & WEST ELEVATIONS

Scale: 1:100 @ A3	Date: APRIL 2022
Status: DA submission	Checked By: JAH
Project No: 1926	Drawing No.: DA04

Plot Date: 2/05/2022



NOTES <p>All work is to comply with the Building Code of Australia, the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards by the Standards Association of Australia.</p> <p>The Builder is to give all notices, obtain all permits and pay all fees.</p> <p>Finished ground levels on the plan are subject to site conditions.</p> <p>Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.</p> <p>All figured dimensions to be checked on site.</p>	
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Client MR. & MRS. CALDER Project Name PROPOSED ALTERATIONS + ADDITIONS 15 MICHELE ROAD LOT 12 , DP 30093 CROMER NSW 2099	
 <p>ABN 22 630 690 834 BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST NSW 2086 PH. 0410 410 064 EMAIL julie@jahdesigns.com.au</p>	
Drawing Title: NORTH & SOUTH ELEVATIONS	
Scale: 1:100 @ A3	Date: APRIL 2022
Status: DA submission	Checked By: JAH
Project No: 1926	Drawing No.: DA05
Plot Date:	2/05/2022



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Plot Date: 2/05/2022