

# **STATEMENT OF ENVIRONMENTAL EFFECTS**

**PROJECT**  
**PROPOSED CONSTRUCTION OF**  
**A GRANNY FLAT**

**PROPERTY**  
**1 GILLES CRESENT, BEACON HILL**

**CLIENT**  
**MR. JASON EMMELKAMP**

**JOB NO 19-103**

**DATED 22 May 2020**

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## **1.0 INTRODUCTION**

The purpose of this submission is to enlighten Council on some of the thoughts behind the design development of the proposed secondary dwelling the Proprietors wish to construct on the property at 1 Gilles Crescent, Beacon Hill.

This presentation also outlines the design mechanisms implemented to ensure that the impact of the proposal on the adjoining amenity is lessened.

## **2.0 THE SITE AND EXISTING BUILDING**

The property is located at 1 Gilles Crescent, Beacon Hill on the corner of McKillop Road. The block of land is approximately 653sqm in site area, faces north on Gilles Crescent and east on McKillop Road. The site slopes down towards East boundary (McKillop Road).

A two storey dwelling and an attached garage exist on the property. There is a vehicle crossing on Gilles Crescent and a driveway runs to lead into the attached garage. Refer to image 1,2 and 3.



Image 1. 1 Gilles Crescent, Beacon Hill



Image 2. View from McKillop Road, Beacon Hill

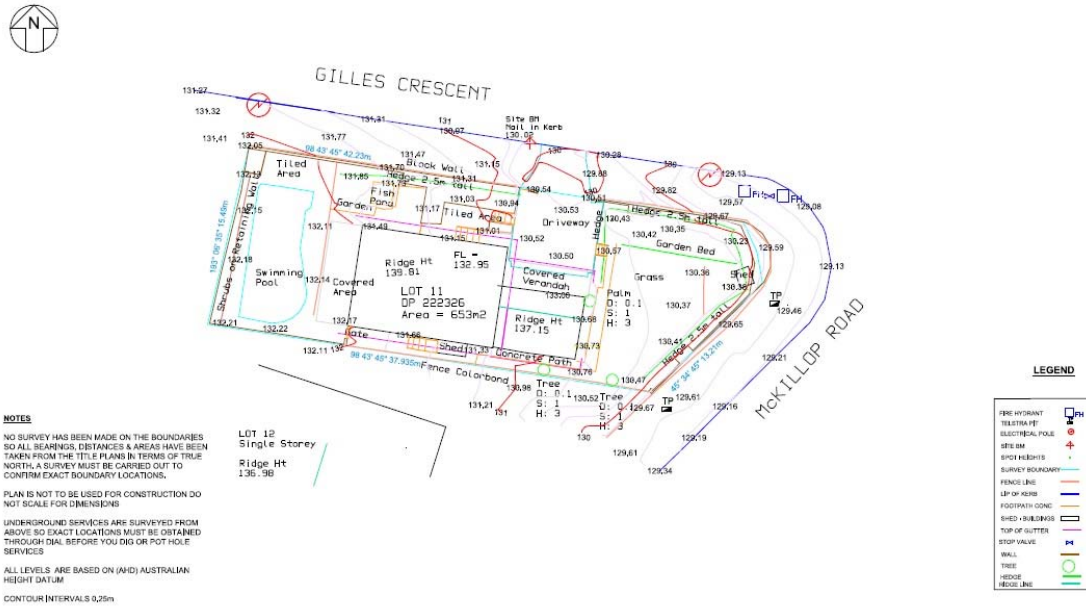


Image 3. Survey



### **3.0 EXISTING STREETScape**

To the immediate west of the subject property, at 3 Gilles Crescent, Beacon Hill, a two storey dwelling exists. Refer to image 4.



Image 4. 3 Gilles Crescent, Beacon Hill

To the immediate South of the subject property, at 2 McKillop Road, Beacon Hill, a two storey dwelling exists. Refer to image 5.



Image 5. 2 McKillop Road, Beacon Hill

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Across the road of the subject property, at 4 Gilles Crescent, Beacon Hill, a two storey dwelling exists. Refer to image 6.



Image 6. 4 Gilles Crescent, Beacon Hill

Across the road of the subject property, at 162 Warringah Road, Beacon Hill, a single storey dwelling exists. Refer to image 7.



Image 7. 162 Warringah Road, Beacon Hill

## **4.0 THE PROPOSAL**

### **Object**

The Proprietors of 1 Gilles Crescent, Beacon Hill, requested RK Designs to design a secondary dwelling that will cater for and complement the needs and lifestyle of two families. We believe that this has been adequately carried out in our proposal presently before Council.

### **Privacy**

A new entry had been created to give a sense of intimacy to the secondary dwelling. Private open spaces are separated for primary and secondary dwelling where they could enjoy outdoor activities with privacy. Further, the privacy issue can be resolved through the positioning of openings. Openings of the proposed secondary dwelling do not overlook to existing openings of surrounding buildings (3 Gilles Crescent, 2 McKillop Road and principal residence). Also the secondary dwelling is placed with the good distance to achieve high privacy and tranquillity of residents.

### **Amenity**

To increase the amenity, habitable areas including living, kitchen and dining are placed towards North. North facing openings allow the space to achieve sufficient penetration of daylight and cross ventilation into the building. The simple open plan of the secondary dwelling generates a compact yet pleasant space for uses. Openings towards rear garden will connect the space with green area visually and encourage uses for outdoor living and family entertainment.

### **Context consideration**

The form and finishes of the proposed secondary dwelling also reflect the surrounding characteristics of the existing streetscape. It has adopted the architectural style of a double skillion roof with a similar colour tone of the surroundings. Furthermore, the addition of a secondary dwelling will also satisfy the need for affordable rental housing demand of the area with high amenity for residents.



## **5.0 COMPLIANCE WITH THE WARRINGAH DCP 2011 AND WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011**

The requirements of the Northern Beaches Council, the Warringah Local Environmental Plan 2011 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

### **Warringah Local Environmental Plan 2011**

#### **Zone R2 Low Density Residential**

##### **1 Objectives of zone**

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

##### **2 Permitted without consent**

Home-based child care; Home occupations

##### **3 Permitted with consent**

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Respite day care centres; Roads; **Secondary dwellings**; Tank-based aquaculture; Veterinary hospitals

##### **4 Prohibited**

Any development not specified in item 2 or 3

Therefore, the development is permissible with consent.



## **5.1 STREETScape AND DEVELOPMENT APPLICATION DESIGN**

The requirements of the Northern Beaches Council, part D10 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

### **Objectives**

- To ensure the colours and materials of new or altered buildings and structures are sympathetic to the surrounding natural and built environment.

### **Requirements**

1. In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.
2. The colours and materials of development on sites adjoining, or in close proximity to, bushland areas, waterways or the beach must blend in to the natural landscape.
3. The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.
4. The holiday/fisherman shack character of the waterfront of Cottage Point is to be enhanced by the use of building materials which are sympathetic to the small timber and fibro cottages currently in existence on the waterfront. All buildings visible from the water are to utilise materials such as weatherboard, fibre cement, corrugated steel and timber. The use of masonry is discouraged.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural drawings.

## **5.2 FLOOR SPACE**

The requirements of the Northern Beaches Council, part 5.4 of the Warringah Local Environmental Plan 2011 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

### Secondary dwellings

If development for the purposes of a secondary dwelling is permitted under this Plan, the total floor area of the dwelling (excluding any area used for parking) must not exceed whichever of the following is the greater—

- (a) 60 square metres,
- (b) 11% of the total floor area of the principal dwelling

Proposed floor space of the secondary dwelling – 60sqm

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural drawings.

### **5.3 BUILDING HEIGHT**

The requirements of the Northern Beaches Council, part B1 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

Allowable height - 8.5 metres to the highest point of the roof.

Proposed height - 4.3 metres maximum to the highest point of the roof.

The proposed building is one storey in height with a 3 & 19 degree double skillion roof.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural drawings.

#### **5.4 LANDSCAPED AREA AND PRIVATE OPEN SPACE**

The requirements of the Northern Beaches Council, part D1 and D2 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

**SITE AREA** = 653sqm

##### **LANDSCAPED AREA**

Required Landscaping = 40 % of Site Area = 261.2sqm  
(Minimum landscape dimension not less than 1m)

Proposed Landscaped area = 262.7sqm  
Proposed Landscaped area as % of Site Area = 40.3%.

##### **PRIVATE OPEN SPACE**

Required Private Open Space = 60 sqm  
(Minimum P.O.S dimension not less than 5m)

Proposed P.O.S = 60sqm

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Area Calculation Sheet.

## **5.5 BUILDING SETBACKS**

The requirements of the Northern Beaches Council, part B5 and B7 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

### **Required setbacks**

Primary Front	-	6.5 metres
Secondary Front	-	3.5 metres
Side	-	0.9 metres
Rear	-	Not Applicable

### **Proposed setbacks**

Primary Front	-	4.1 metres
Secondary Front	-	30.0 metres
Side	-	0.9 metres
Rear	-	Not Applicable

Front setback does not comply with the requirements of the Development Control Plan. Refer to 5.6 variation of front setback.



## **5.6 VARIATION OF THE FRONT SETBACK**

### Objectives

- To create a sense of openness.
- To maintain the visual continuity and pattern of buildings and landscape elements.
- To protect and enhance the visual quality of streetscapes and public spaces.
- To achieve reasonable view sharing.

The proposed front setback creates a sense of openness.

Visual continuity and pattern of buildings and landscape elements are maintained.

The visual quality of the streetscape and public spaces is protected.

View sharing is within reasonable achievement.

The majority of the building conforms to the Council DCP requirements.

However, there is minor noncompliance to the North ( Primary Front) setback. We have proposed 4.1 metres to the proposed deck and 5.9m to the building line.

Therefore, we ask that the Council take into consideration the existing site. The existing west boundary adjoins to the driveway for access of 3 Gilles Crescent, Beacon Hill. There is no existing habitable dwelling structure. There will be no adverse impact on the adjoining existing/future property of the site when deliberating on a variation of the setback requirement. Refer to image 8.



Image 8. Aerial view of the subject property

Image 9. Distance between 2 McKillop Road, Beacon Hill



Further, the encroachment of the front setback is limited to less than a metre. The development is 30 metres setback from the secondary road (McKillop Road). There is a sufficient amount of openness, visual continuity and visual quality of the streetscape created.

Furthermore, it is noted that the proposed secondary dwelling is only a single storey building. The bulk and scale of the built form is minimised, and a reasonable level of privacy, amenity and solar access are provided.

Therefore, the proposal complies with the requirements of the Development Control Plan.

Refer to the Architectural drawings.

## **5.7 VEHICLE ACCESS AND PARKING**

The requirements of the Northern Beaches Council, part B5 and B7 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

Provide 2 car spaces per dwelling

The proposal presently before Council has addressed the requirements for the vehicle access and parking. The existing garage conform to the DCP requirements in regard to location, setbacks, height, car spaces, width and length requirements of the car garage and the like.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Area Calculation Sheet.

## **5.8 PRIVACY**

Refer the privacy issues addressed in Section 4.0 The Proposal of this Statement of Environmental Effects.



## **5.9 OTHER REQUIREMENTS**

The proposal presently before Council has also addressed other requirements such as privacy and car parking. Other items such as energy efficiency and sustainability, site/waste management, soil, water and waste management, site analysis and context, streetscape, materials and finishes, erosion and sediment control, drainage, landscaping and the like have also been addressed in detail in this development application. As a result the proposal complies with the Development Control Plan requirements for all of these items.

## **6.0 CONCLUSION**

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our Client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters mentioned above and deliberate on the proposal in such a manner that will assist the Proprietors to achieve their ultimate goals for their family residence and property in general.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the Proprietors for your efforts.

Should you require any further information, however, please do not hesitate to contact our office.

Rammi Kanj  
RK Designs