

DA Drawing List

- DA100-A Location Plan, Site Analysis, Roof Plan, Site Photos & Basix
- DA101-A Ground Floor Plan, Existing and Demolition Layout
- DA200-A Elevations and Sections & Finishes Board
- DA800-A FSR & Built Upon Area Calculation
- DA900-A Notification Plan
- DA901-A Notification Elevation

Lodge Street

Exist. Pedestrian Access

Exist. Site Access

02 Site and Roof Plan

Scale: 1:200

Exist. Driveway

Sediment Control Fence

Location of material and waste storage

Existing Bin location to remain

3pm Winter Sun 21 June

Adjoining Residence No.37

Cooling Summer North Easterly Breezes

9am Winter Sun 21 June
Adjoining Residence No.33

Southerly Winds

- GENERAL LEGEND**
- COS Check On Site
 - DAR Dressed All Round
 - E/... Existing (Where E shown at start of abbreviation it is existing)
 - FFL Finished Floor Level
 - FCL Finished Ceiling Level
 - G.L Ground Level
 - MI Mirror Image
 - SFL Structural Floor Level
 - SOS Soffit Of Slab
 - TBC To Be Confirmed
 - TBA To Be Advised
- WINDOWS AND DOORS**
- AW Awning Window
 - CD Concertina Door
 - CSD Cavity Sliding Door
 - CW Casement Window
 - D Door
 - DH Double Hung Window
 - FD Front Door
 - FG Fixed Glass
 - FP Fixed Panel
 - GA Glazed Assembly
 - MI Mirror Image
 - SD Sliding Door
 - SDH Sashless Double Hung
 - SL Sliding Door
 - SW Sliding Window
 - W Window
- FINISHES LEGEND**
- AL Aluminium
 - AR Architrave
 - BBO Barbecue
 - BL Balustrade
 - BVK Brickwork
 - C Cornice
 - CBF Concrete Broom Finish
 - CBG Colour Back Glass
 - CG Concrete Paver
 - CPT Carpet and Underlay
 - CR Cement Render
 - CS Concrete Slab
 - CST Concrete Steel Trowelled
 - CT Ceramic Tile
 - DPS Downpipe
 - DS Downpipe Spreader
 - EF Eaves Fascia
 - EG Eaves Gutter
 - ES Eaves Soffit
 - F Fence
 - FC Fibre Cement
 - FCL Finished Ceiling Level
 - FFL Finished Floor Level
 - FLR Floor Grate
 - FL Flue
 - FP Fixed Panel
 - FPL Fire Place
 - FT Floor Tiles
 - G Gate
 - GC Gas Cock
 - GD Garage Door
 - GR Grated Drain
 - GG Gutter Guard
 - GMT Glass Mosaic Tiles
 - GR Glazed Roof
 - HC Hose cock
 - HR Handrail
 - HVU Hot Water Unit
 - INS Insulation
 - M Metal
 - MC Metal Cladding
 - MFC Metal Fascia Capping
 - MR Membrane Roof
 - MRC Metal Roofing Colorbond
- MS Mild Steel**
- MW Modwood Flooring
 - OF Overflow Spitter
 - P Paint Finish
 - PB Plasterboard Painted
 - PBM Plasterboard Moisture Resistant Paint
 - PCRS Polycarbonate Roof Sheet
 - PR Picture Rail
 - RB Roller Blind
 - RD Roller Door
 - RLC Rendered Lightweight Cladding
 - RJ Rain Water Head
 - RWH Rain Water Head
 - S Steel
 - SC Steel Column
 - SCE Steel Column External
 - SK Skirting
 - SL Skylight
 - SP Self Plaster
 - SPR Spreader
 - SS Stainless Steel
 - SSL Structural Slab Level
 - ST Stone
 - STP Stone Paving
 - STS Stone Slab
 - T Timber
 - TB Timber Battens
 - TC Timber Cladding
 - TD Timber Decking
 - TF Timber Floor
 - TFA Timber Fascia
 - TP Timber Post
 - TPL Timber Pergola
 - TS Timber Screen
 - TSH Timber Shingles
 - TSL Timber Sleeper Wall
 - TSS Timber Screen Sliding
 - TT Timber Tread
 - TV Television
 - VB Villaboard
 - WB Weather Board
 - WRC Western Red Cedar
 - WT Wall Tile

- Structure or Wall To Be Demolished
- Existing Wall To Remain
- Proposed New Stud Walls
- Proposed Brick Veneer Walls

Area of New or Altered Work

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the overshadowing column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	0.89	1.44	1.81	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	N	4.15	1.44	1.18	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	E	6.14	1.85	0.95	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	2.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	2.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	2.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S4	2.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

03 Schedule of Basix Commitments
As per Certificate No.A367058_03



View of Existing Patio (subject of alterations) and the back yard from the rear of the residence



View of Existing Garage (subject of alterations) and WC from the Existing patio of the residence



View of Existing Patio (subject of alterations) at the East boundary



View of Existing Garage and WC (subjects of alterations) from the backyard

A 04/02/20 Issue for DA AS
rev date revision notes by

Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings

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project # 18-766

Proposed Alteration and additions
35 Lodge Street, Balgowlah
Lot 22 Section 2 DP 6154

client

Mr & Mrs Painter

dwg

Location Plan, Site Analysis, Roof Plan, Site Photos & Basix

printed 3/2/20 drawn AS ckd LP scale@A1 1:200, 1:50

DEVELOPMENT APPLICATION

stage drawing # revision

DA 100 A

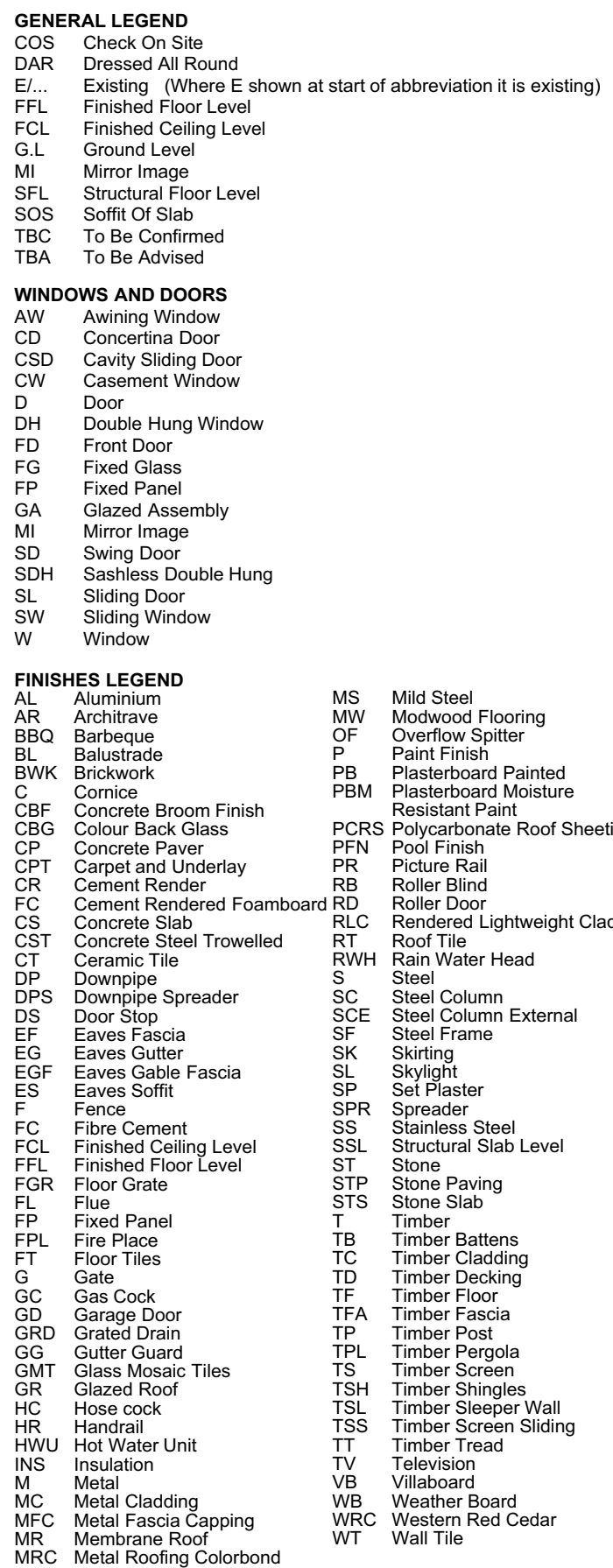
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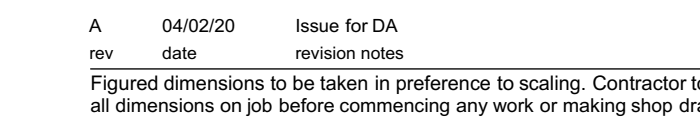
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ARCHITECTS

PLAYOUST CHURCHER



	Structure or Wall To Be Demolished
	Existing Wall To Remain
	Proposed New Stud Walls
	Proposed Brick Veneer Walls



project	project #
Proposed Alteration and additions 35 Lodge Street, Balgowlah Lot 22 Section 2 DP 6154	18

Ground Floor Plan & Existing and Demolition layout

printed	drawn	ckd	sc
3/2/20	AS	LP	

DEVELOPMENT APPLICATION

stage	drawing #
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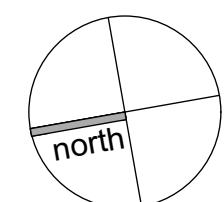
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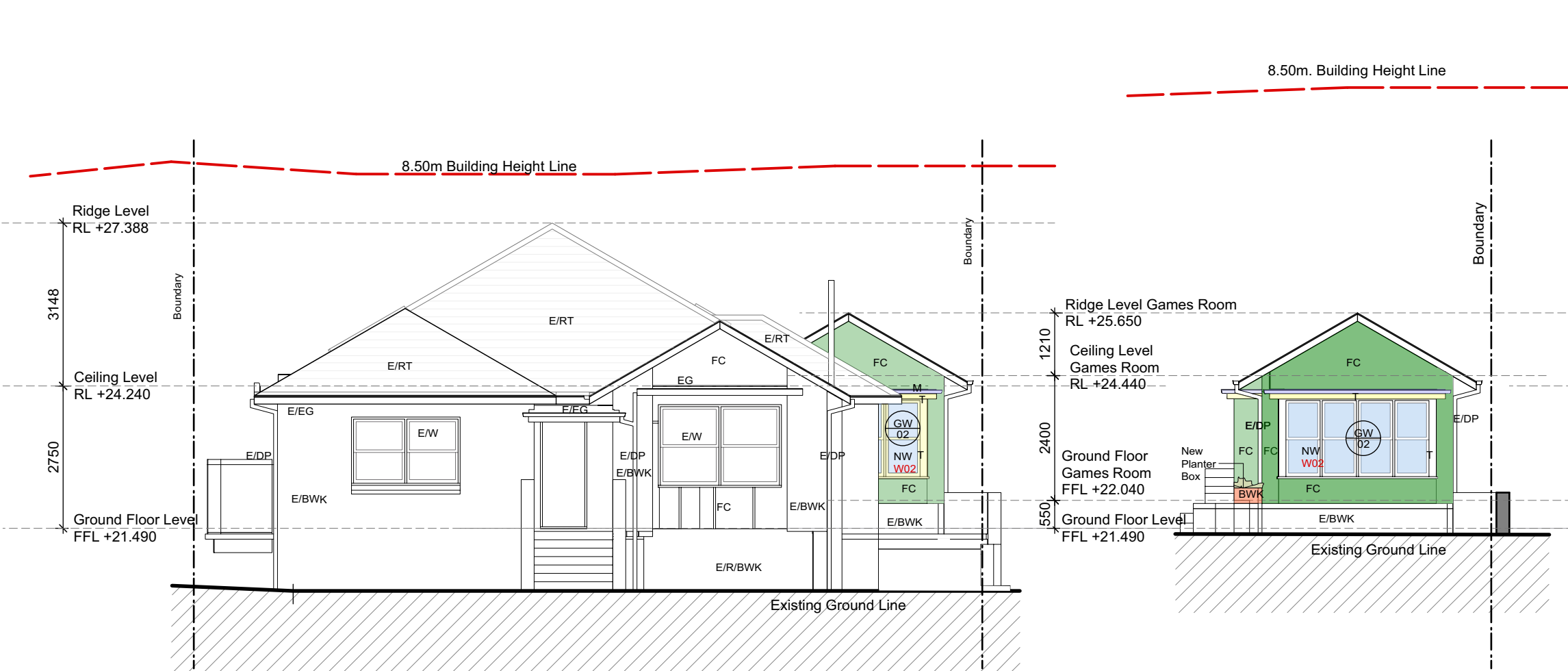
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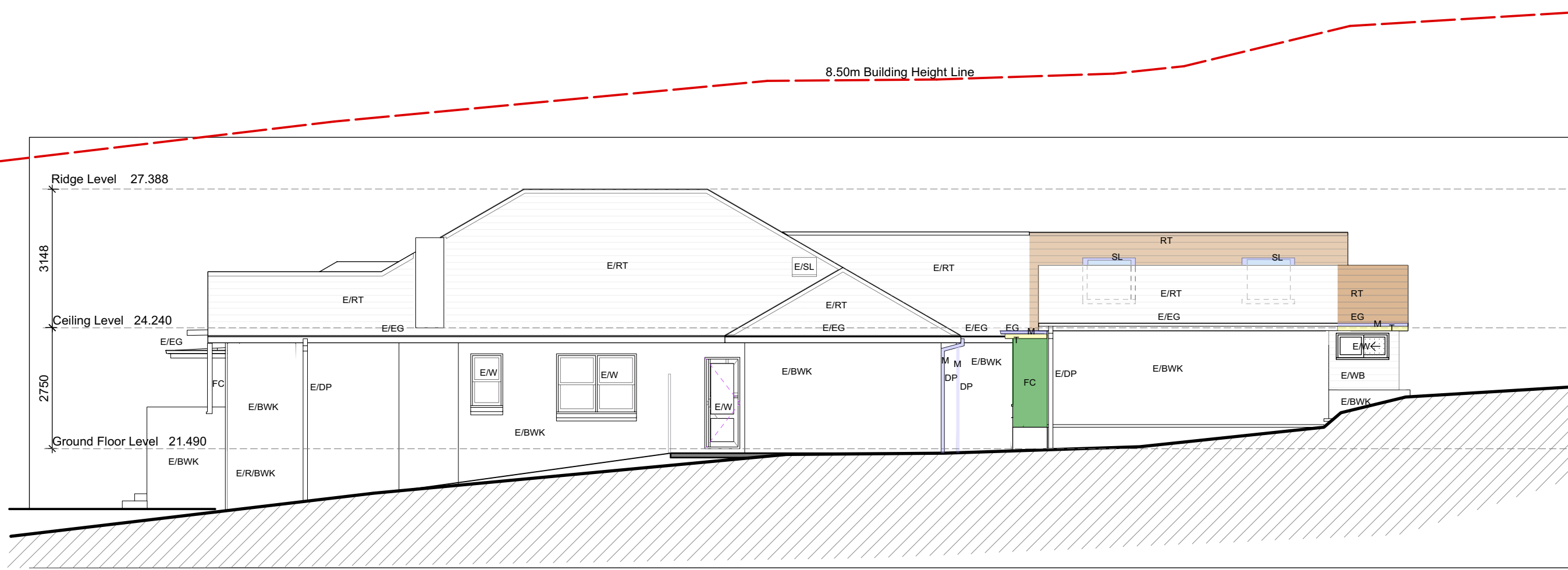
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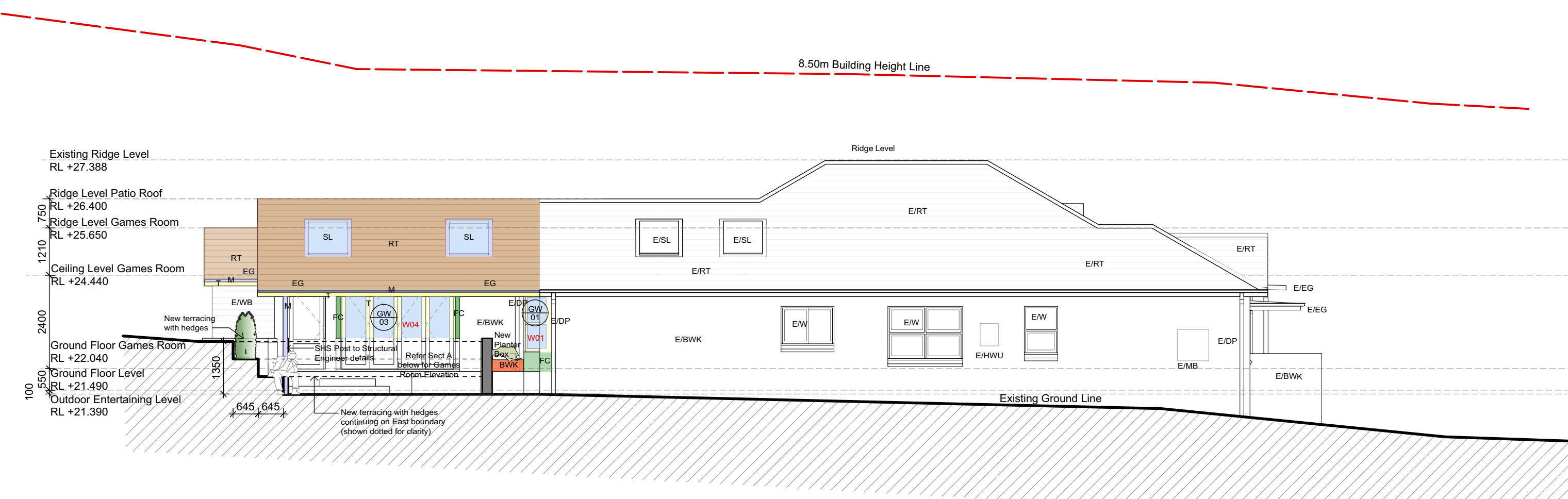


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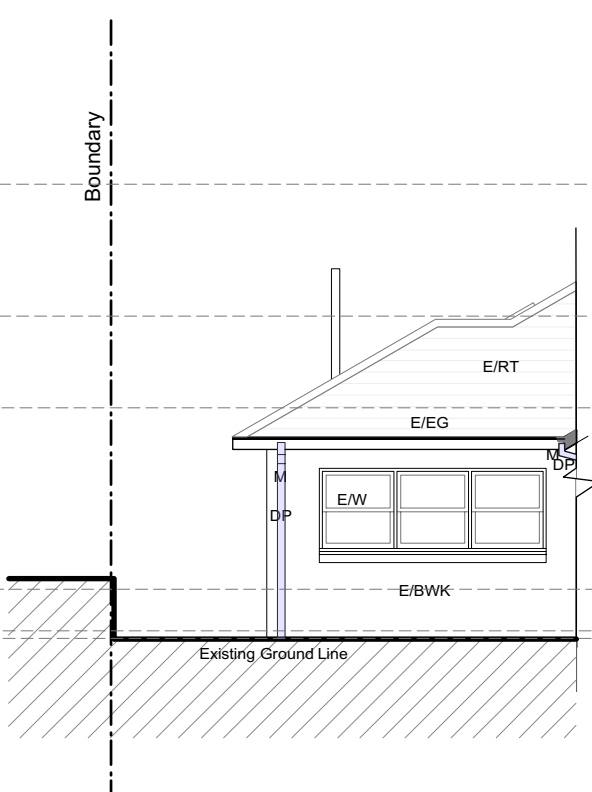
01A North East Elevation - Games Room
Scale 1:100



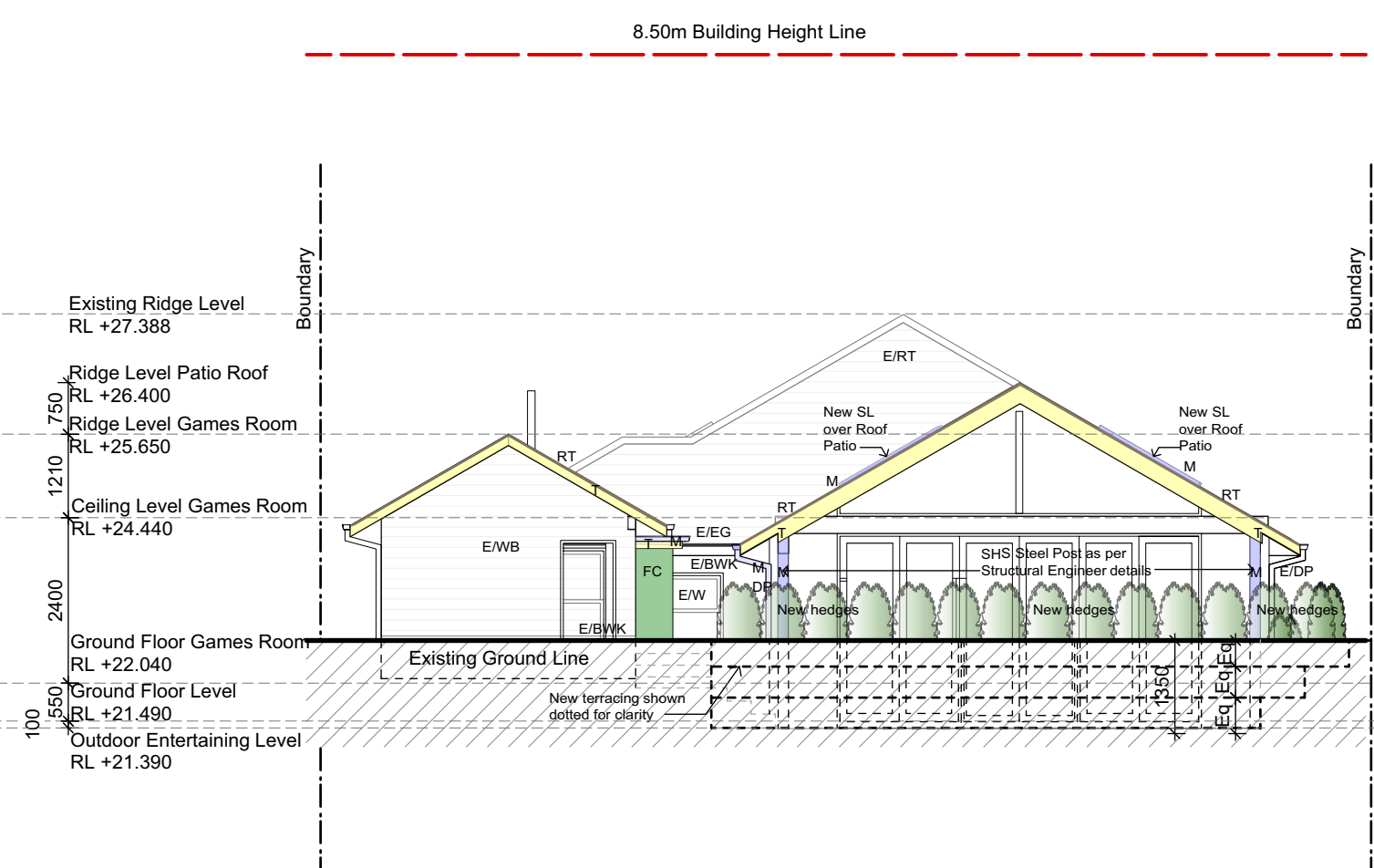
02 North West Elevation
Scale 1:100



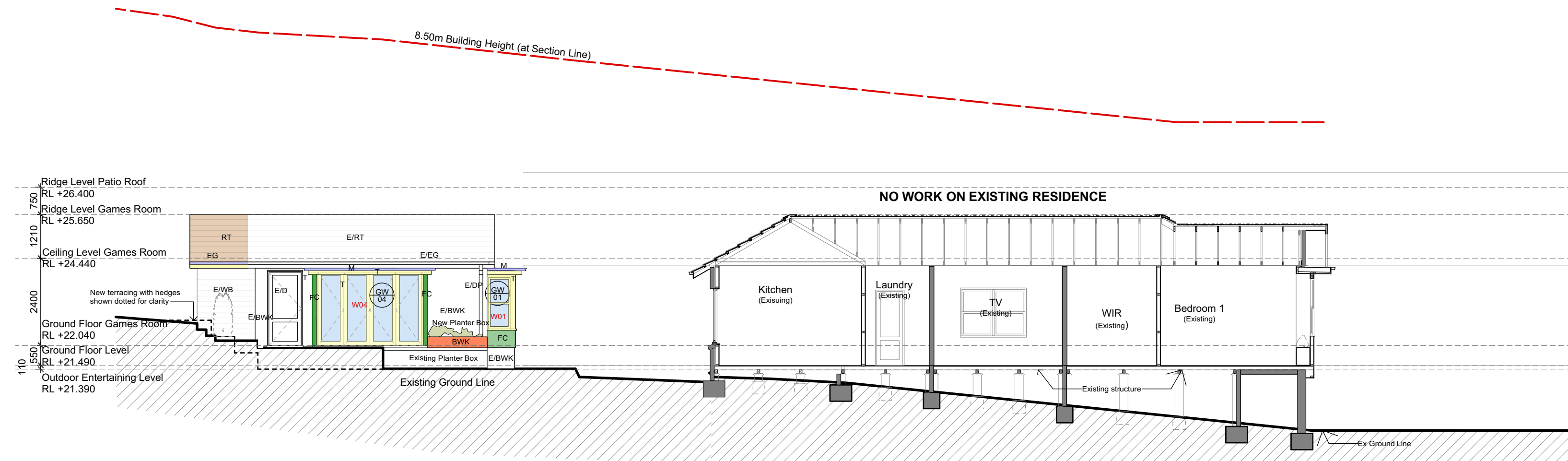
03 East Elevation
Scale 1:100



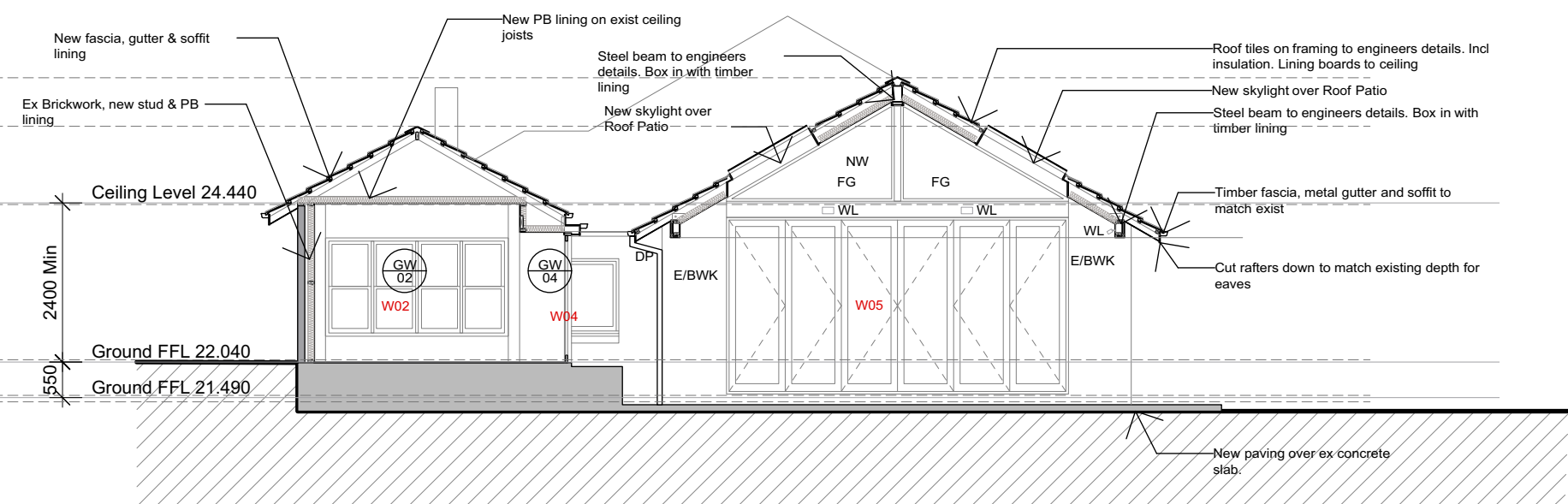
04A South East Elevation Kitchen
Scale 1:100



04 South East Elevation - Rear of Games Room
Scale 1:100



05 Section - A
Scale 1:100



06 Section - B
Scale 1:100

FINISHES LEGEND

Window, Door Frames
Window Frames,
Gutters & Front Gates
Colorbond 'Monument'

Fascia, Downpipes & Posts
Colorbond 'Basalt'

Roof
Monier- Horizon 'Sambuca'

GENERAL LEGEND	
COS	Check On Site
DAR	Dressed All Round
E/...	Existing (Where E shown at start of abbreviation it is existing)
FFL	Finished Floor Level
FCL	Finished Ceiling Level
G.L	Ground Level
MI	Mirror Image
SFL	Structural Floor Level
SOS	Soffit Of Slab
TBC	To Be Confirmed
TBA	To Be Advised
WINDOWS AND DOORS	
AW	Awning Window
CD	Concertina Door
CSD	Cavity Sliding Door
CW	Casement Window
D	Door
DH	Double Hung Window
FD	Front Door
FG	Fixed Glass
FP	Fixed Panel
GA	Glazed Assembly
MI	Mirror Image
SD	Swing Door
SDH	Sashless Double Hung
SL	Sliding Door
SW	Sliding Window
W	Window

FINISHES LEGEND	
AL	Aluminium
AR	Architrave
BBQ	Barbecue
BL	Balustrade
BWK	Brickwork
C	Corice
CBF	Concrete Broom Finish
CBG	Colour Back Glass
CP	Concrete Paver
CPT	Carpet and Underlay
CR	Cement Render
FC	Cement Rendered Foamboard
CS	Concrete Slab
CST	Concrete Steel Trowelled
CT	Ceramic Tile
DPS	Downpipe Spreader
DS	Door Stop
EF	Eaves Fascia
EG	Eaves Gutter
EGF	Eaves Gable Fascia
ES	Eaves Soffit
F	Fence
FC	Fibre Cement
FCL	Finished Ceiling Level
FFL	Finished Floor Level
FOR	Floor Grate
FL	Flue
FP	Fixed Panel
FPL	Fire Place
FT	Floor Tiles
G	Gate
GC	Gas Cock
GD	Garage Door
GRD	Grated Drain
GG	Gutter Guard
GMT	Glass Mosaic Tiles
GR	Glazed Roof
HC	Hose cock
HR	Handrail
HWU	Hot Water Unit
INS	Insulation
M	Metal
MC	Metal Cladding
MFC	Metal Fascia Capping
MR	Membrane Roof
MRC	Metal Roofing Colorbond
MS	Mild Steel
MW	Modwood Flooring
OF	Overflow Spitter
P	Paint Finish
PB	Plasterboard Painted
PBM	Plasterboard Moisture Resistant Paint
PCRS	Polycarbonate Roof Sheet
PFN	Pool Finish
PR	Picture Rail
RB	Roller Blind
RD	Roller Door
RLC	Rendered Lightweight Cladding
RT	Roof Tile
RWH	Rain Water Head
S	Steel
SCE	Steel Column External
SF	Steel Frame
SK	Skirting
SL	Skylight
SP	Sel Plaster
SPR	Spreader
SS	Stainless Steel
SSL	Structural Slab Level
ST	Stone
STP	Stone Paving
STS	Stone Slab
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TV	Television
VB	Villaboard
WB	Weather Board
WRC	Western Red Cedar
WT	Wall Tile

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project 18-766

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35 Lodge Street, Balgowlah
Lot 22 Section 2 DP 6154

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Mr & Mrs Painter

dwg

Elevations and Sections and Finishes Board

printed	drawn	chk	scale@A1
3/2/20	AS	LP	1:100

DEVELOPMENT APPLICATION

stage	drawing #	revision
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DA **200** **A**

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ARCHITECTS

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01 FSR - Ground Floor Plan
Scale 1:100

Site Area	771.100 Sqm
Gross Floor Area Lower	0.000 Sqm
Gross Floor Area Upper	203.450 Sqm
Total GFA Proposed	203.450 Sqm
Max FSR	385.550 Sqm
Max FSR Ratio allowable	0.5000 :1
FSR Proposed	0.2638 :1
Gross Floor Area Existing	200.270 Sqm
Total GFA Existing	200.270 Sqm
FSR Existing	0.260 :1
Open Space Area Required	424.10 Sqm
Open Space Area Existing	415.90 Sqm
Open Space Area Proposed	415.90 Sqm
Soft Landscaping Existing	280.040 Sqm
Soft Landscaping Proposed	340.780 Sqm

FSR Area Proposed

Landscape Area

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----- Existing Wall To Remain

----- Proposed New Stud Walls

----- Proposed Brick Veneer Walls

02 Built Upon Area - Ground Floor Plan
Scale 1:100

A	04/02/20	Issue for DA	AS
rev	date	revision notes	by
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3/2/20	AS	LP	1:100

DEVELOPMENT APPLICATION		
stage	drawing #	revision
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