

SITE NOTE:
BEFORE STARTING WORK ON SITE CHECKING FOLLOWING:
1. SERVICE LOCATIONS.
2. SEWER CONNECTION POSITION.
3. DRIVEWAY ALIGNMENT & LEVELS.
DP INDICATES DOWNPIPE LOCATION

BAS

- WARNING -
UNREGISTERED PLAN

LEGEND

DT - DENOTES DEAD TREE	PP - POWER POLE
EB - ELECTRICAL BOX	SMH - SEWER MAN HOLE
EM - ELECTRICAL METER	SIO - SEWER INSPECTION OPENING
G - GAS METER	SV - SEWER VENT PIPE STOP VALVE
H - HYDRANT	S - DENOTES TREE STUMP
R - HYDRANT RECYCLED	SWP - DENOTES STORM WATER PIT
KO - DENOTES KERB OUTLET	T - DENOTES TREE
LP - LIGHT POLE	TP - TELESTRA PIT
LH - LAMP POLE	WT - WATER TAG
MH - MAN HOLE	WM - WATER METER
▲ - BENCH MARK	▭ - GULLY PIT
① - PHOTO POINT	▬ - VEHICULAR CROSSING

DRIVEWAY AND FRONT PATH TO COMPLY WITH AS2890

0.65M FALL ACROSS BUILDING ENVELOPE

N2 WIND CATEGORY

GENERAL SITING NOTES

- ALL PROPOSED FINISH FLOOR LEVELS AND CUT/FILL REQUIREMENTS SUBJECT TO CONFIRMATION UPON COMPLETION OF ARCHITECTURAL PLANS.
- ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.
- ALL FLOOR AREA CALCULATIONS ARE TO BE CONFIRMED UPON THE COMPLETION OF FINAL ARCHITECTURAL PLANS.
- ALL ALLOWANCES FOR STEPS/STAIRS THAT MAY BE REQUIRED ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.
- ALL ALLOWANCES FOR RETAINING WALLS ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.

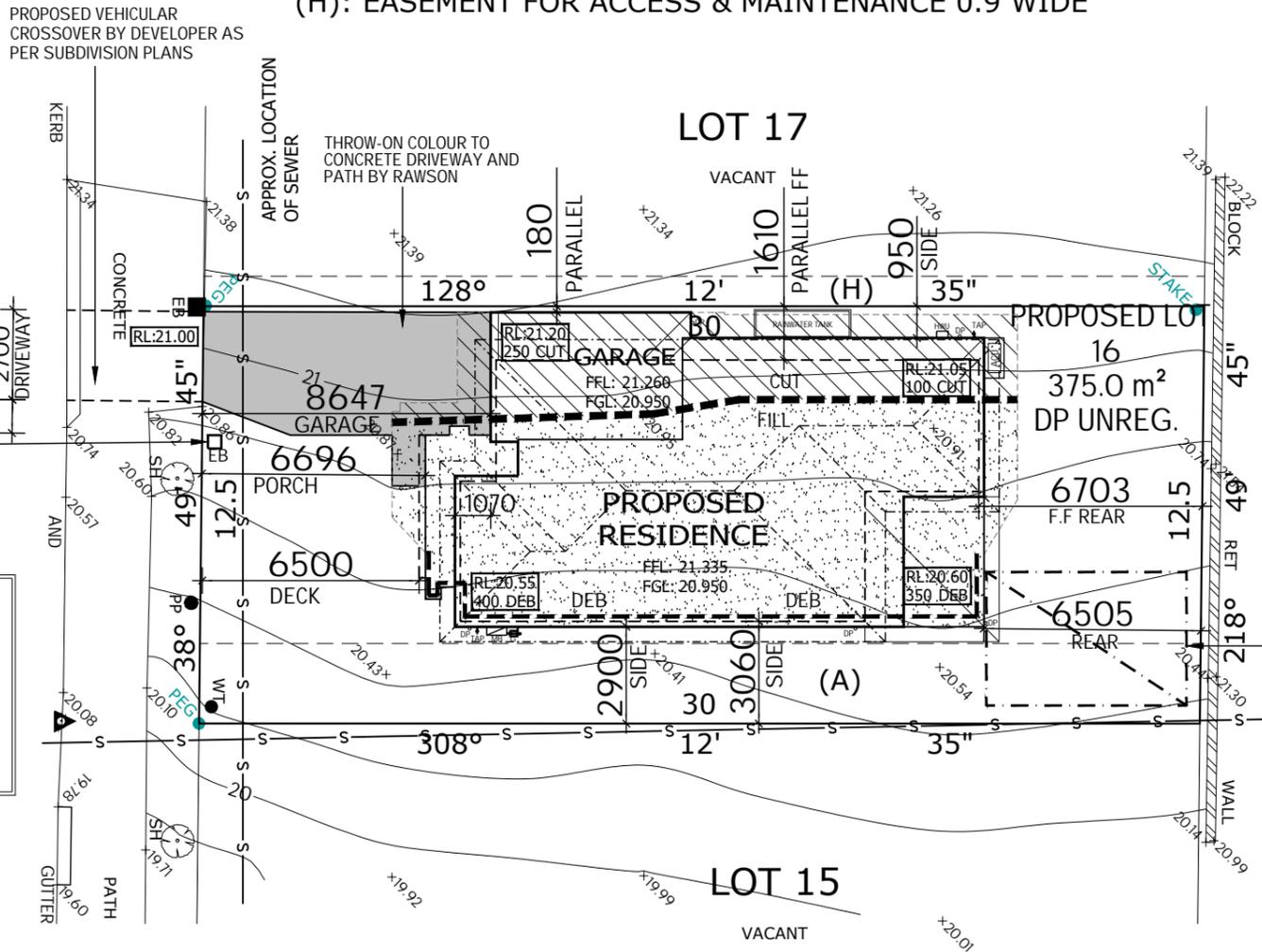
EXISTING TREES GREATER THAN 8m IN HEIGHT WITHIN 3m OF THE PROPOSED BUILDING OR ANY TREES WITHIN PROPOSED DRIVEWAY TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION



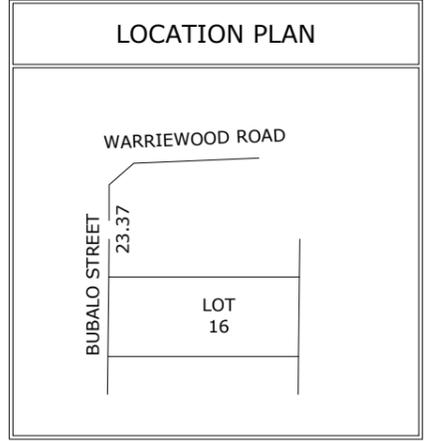
APPROX. LOCATION OF ELECTRICAL BOARD RELOCATED BY DEVELOPER

PROPOSED ROAD

BENCH MARK
BM 15 NAIL IN KERB
RL 20.00 (ASSUMED)

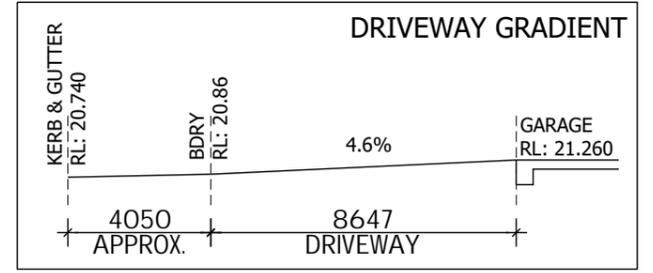


(A): EASEMENT FOR SEWER PURPOSES 5 WIDE (VIDE 6390813)
(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE



SITE CALCULATIONS DA

GROUND FLOOR	104.98 m ²
FIRST FLOOR	104.51 m ²
TOTAL LIVING AREA	209.49 m ²
SITE AREA	375.00 m ²
BUILDING FOOTPRINT	143.05 m ²
DRIVEWAY & PATH	31.88 m ²
TOTAL LANDSCAPE AREA	200.07 m ²
LANDSCAPE AREA (%)	53.35 %
FLOOR SPACE RATIO	0.56 :1
SITE COVERAGE	38.15 %



NOTES:
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RAWSON HOMES
1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C

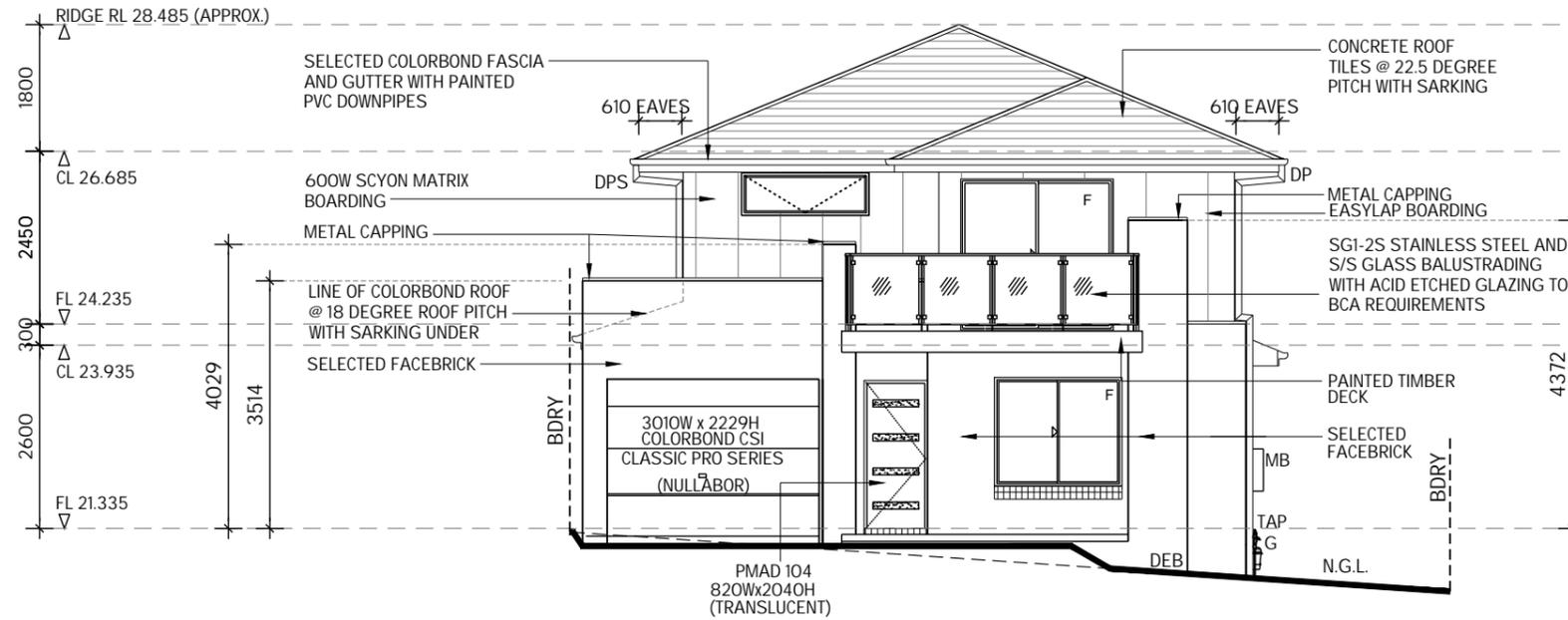


CLIENT:
Mr ROBERT ALEXANDER MCDONALD BAXTER
SITE ADDRESS:
PROPOSED LOT 16, UNREGISTERED,
PROPOSED ROAD
WARRIEWOOD NSW 2102

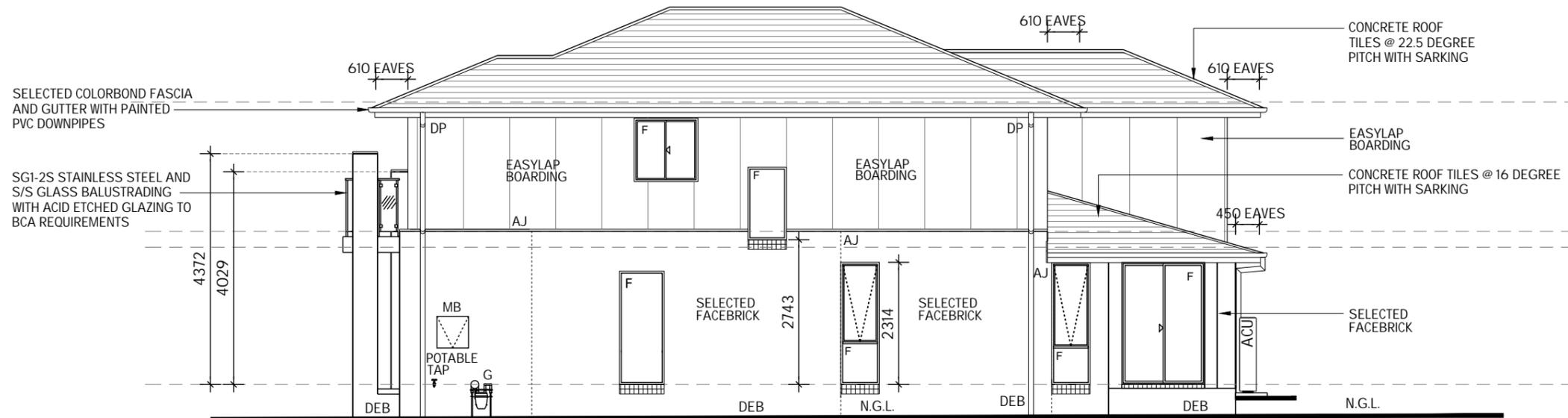
HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX
DRAWING TITLE:
SITE PLAN

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:200	
JOB No: A008108	DRWG No.: 02	ISSUE: D	

NOTE:
NYLON MESH FLYSCREENS TO ALL OPENING
WINDOWS, SLIDING & STACKER DOORS
(EXCLUDING HINGED DOORS)



FRONT ELEVATION - 1



SIDE ELEVATION - 2

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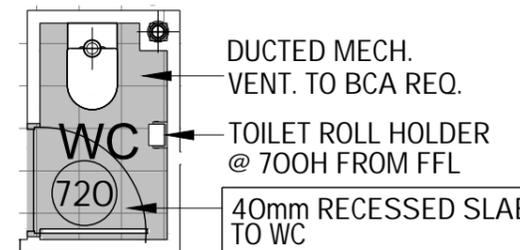
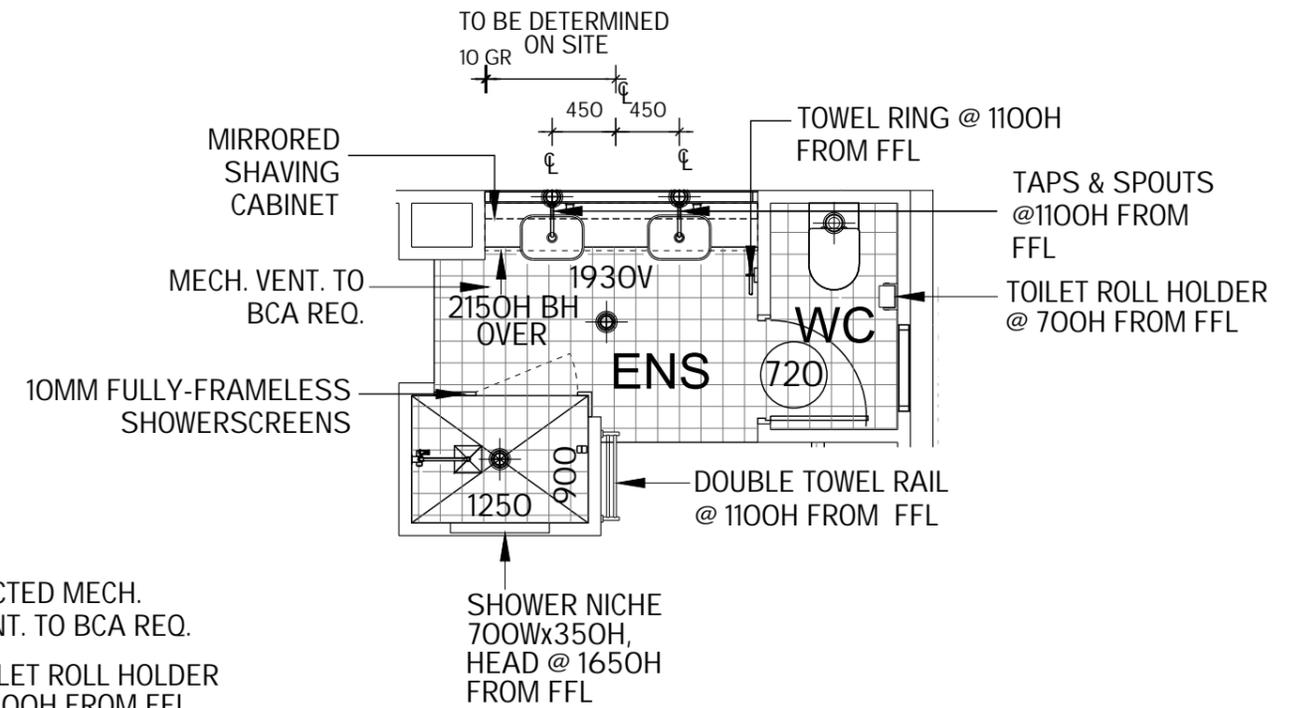
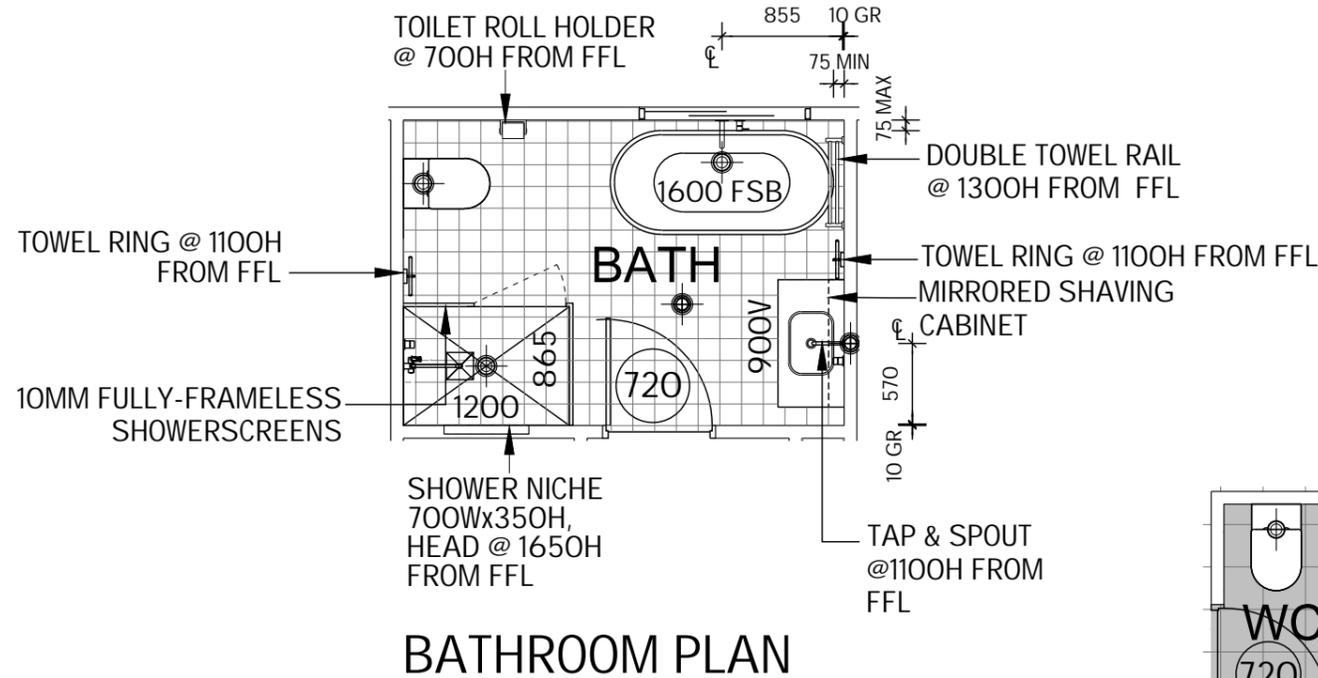
HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
ELEVATIONS 1 & 2

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:100	
JOB No: A008108	DRWG No.:	ISSUE:	
	05	D	

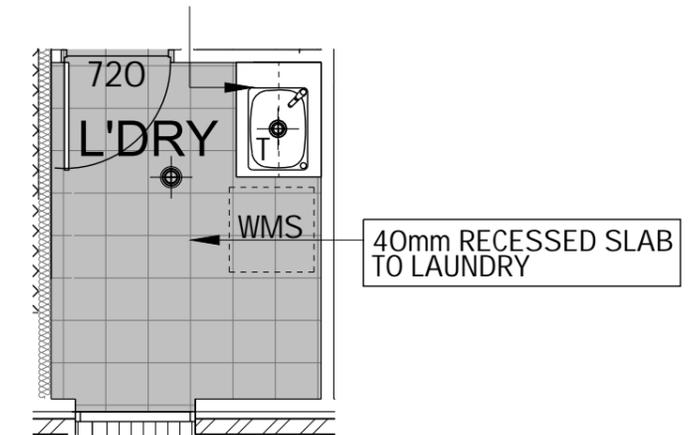
REFER TO ELBA DESIGN FOR DETAILS

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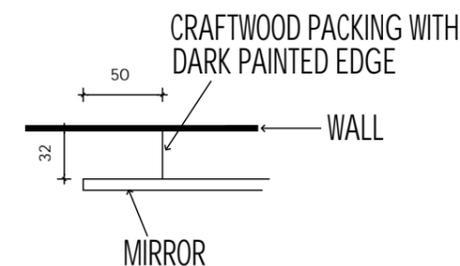


BED 1 ENSUITE

810W LAUNDRY BENCH WITH O'HEAD & U'BENCH C'BOARDS



NOTE: WASHING MACHINE TAPS UNDER TUB
650H TILED SPLASHBACK AROUND TUB



REFER TO TILE DIRECT QUOTE SIGNED & DATED 10.04.18 FOR DETAILS.

NOTES:

- PROVIDE 900mm HEAD HEIGHT TO BATHROOM & ENSUITE VANITY BENCHTOPS
- PROVIDE FULL HEIGHT CERAMIC WALL TILING TO MAIN BATHROOM & BEDROOM 1 ENSUITE (EX. SEPARATE WC)
- HEIGHT OF SHOWER SCREENS 2100mm
- 1/2 SKIRTING TILE TO REMAINDER OF POWDER, LAUNDRY & WC
- WALL MOUNTED SPOUT TO BATH & VANITY
- SQ. EDGE POLISHED FLOATING MIRRORS MOUNTED ON 32mm BOARD, 130mm OFFSET FROM EDGE OF VANITY & HEAD HEIGHT @ 2020mm FROM FFL. SPLASHBACK BETWEEN VANITY & MIRROR
- SMART FLOOR WASTES TO ALL WET AREAS
- 1900 SHOWER HEAD FROM FFL TO UNDER SIDE OF SHOWER HEAD

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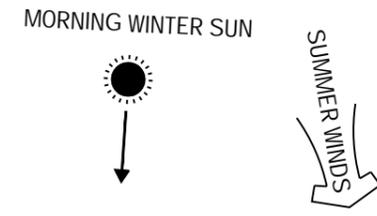
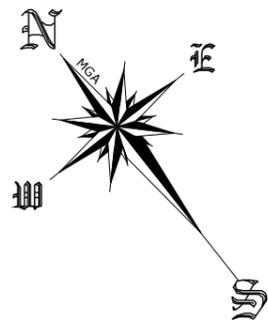
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SITE ADDRESS:
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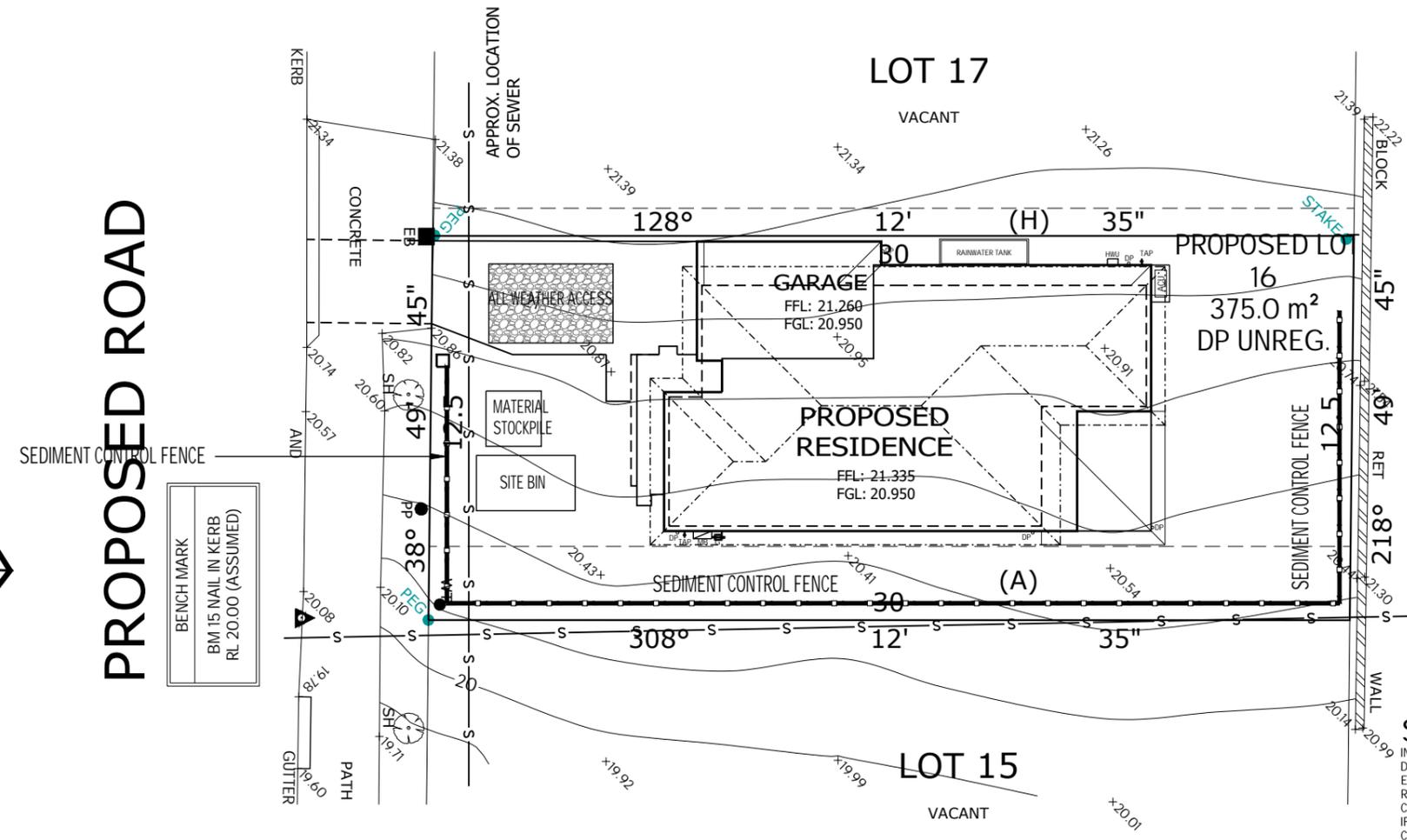
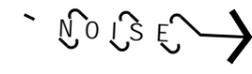
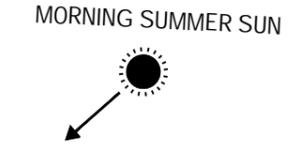
HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
WET AREA DETAILS

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:50	
JOB No: A008108	DRWG No.: 08	ISSUE: D	

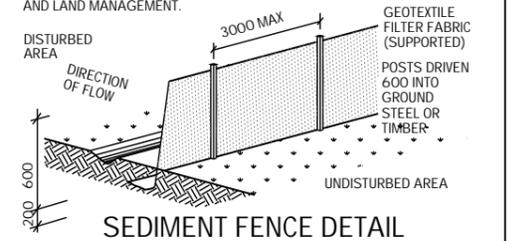


(A): EASEMENT FOR SEWER PURPOSES 5 WIDE (VIDE 6390813)
 (H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE



SEDIMENT CONTROL
 INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENT FENCE DETAIL
 SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX



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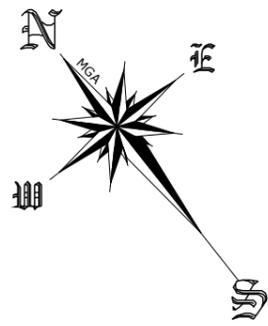
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 RHODES NSW 2138
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 PROPOSED ROAD
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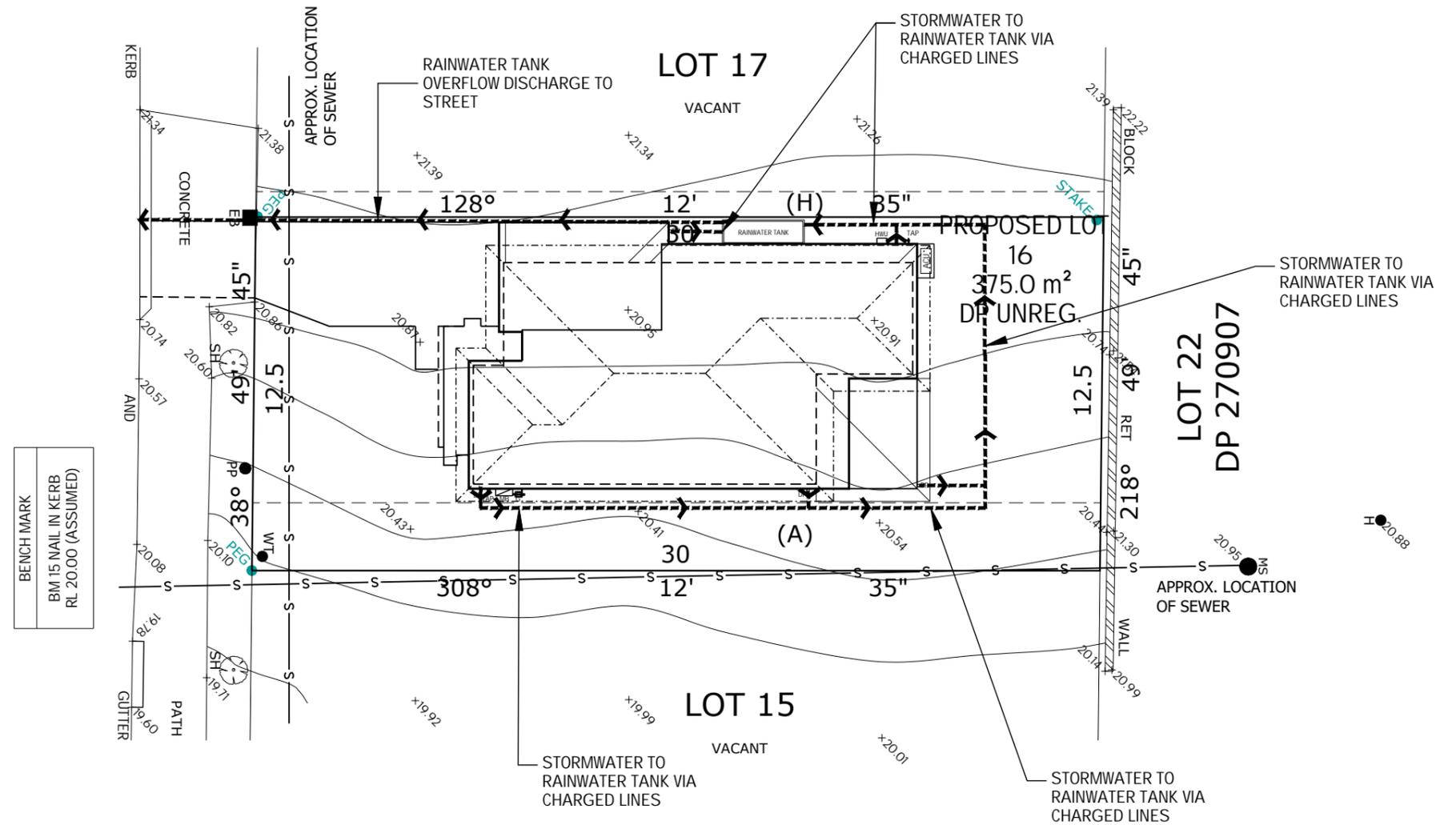
HOUSETYPE:
 MODEL: BENHAM 24 MKII
 FACADE: TREND
 TYPE: GARAGE
 SPECIFICATION: LUX
 DRAWING TITLE:
SEDIMENT & SITE ANALYSIS

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:200	
JOB No: A008108	DRWG No.: 10	ISSUE: D	



(A): EASEMENT FOR SEWER PURPOSES 5 WIDE (VIDE 6390813)
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PROPOSED ROAD



BENCH MARK
BM 15 NAIL IN KERB
RL 20.00 (ASSUMED)



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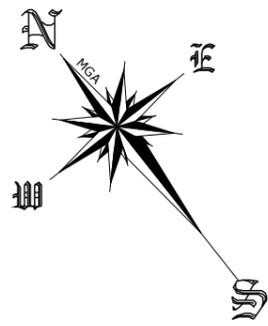
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PROPOSED ROAD
WARRIEWOOD NSW 2102

HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
STORMWATER PLAN

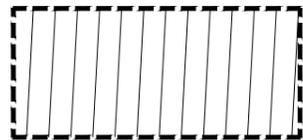
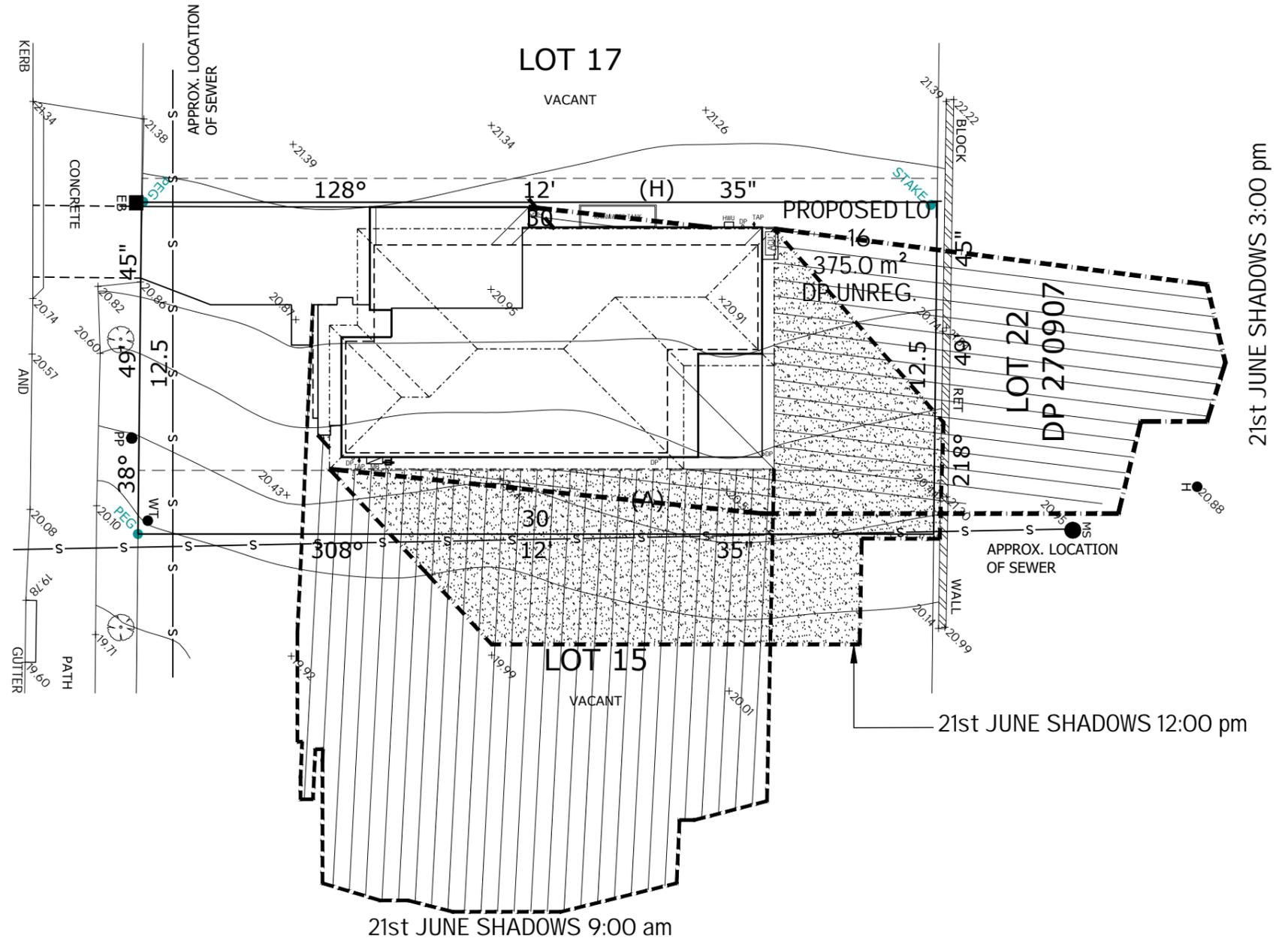
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COUNCIL AREA: PITTWATER		SCALE: 1:200	
JOB No: A008108	DRWG No.: 11	ISSUE: D	



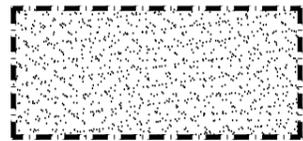
(A): EASEMENT FOR SEWER PURPOSES 5 WIDE (VIDE 6390813)
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PROPOSED ROAD

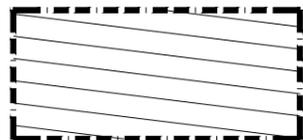
BENCH MARK
BM 15 NAIL IN KERB
RL 20.00 (ASSUMED)



21st JUNE SHADOWS 9:00 am



21st JUNE SHADOWS 12:00 pm



21st JUNE SHADOWS 3:00 pm

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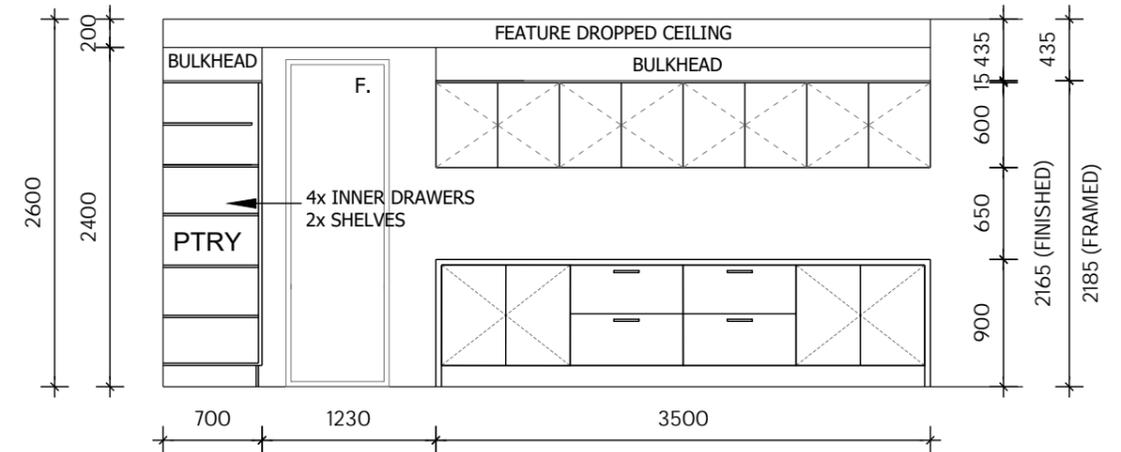
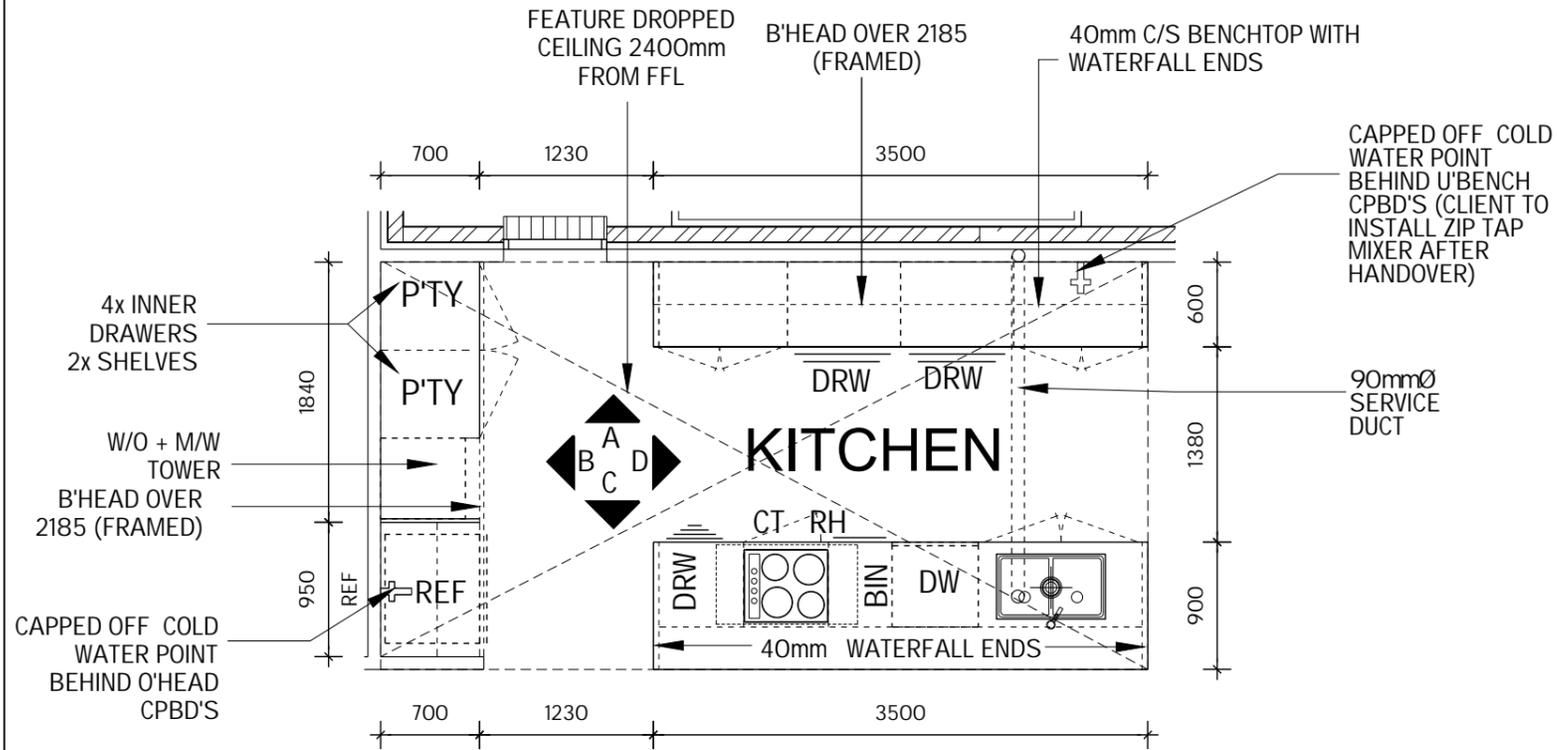
CLIENT:
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PROPOSED LOT 16, UNREGISTERED,
PROPOSED ROAD
WARRIEWOOD NSW 2102

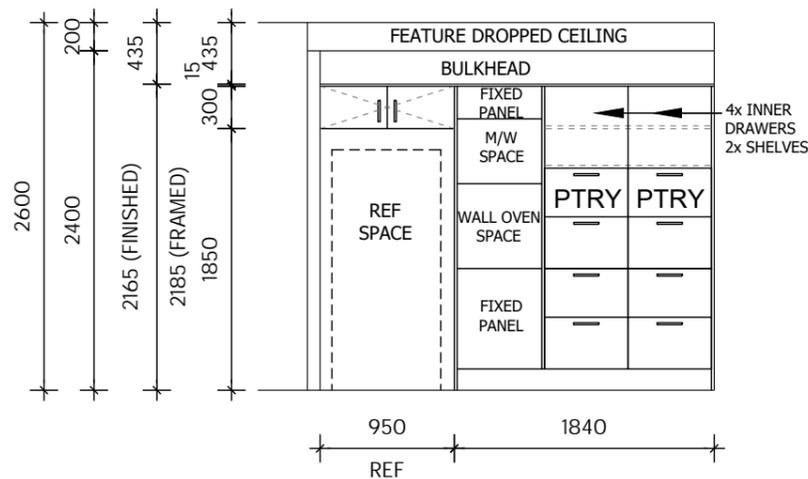
HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
SHADOW DIAGRAM

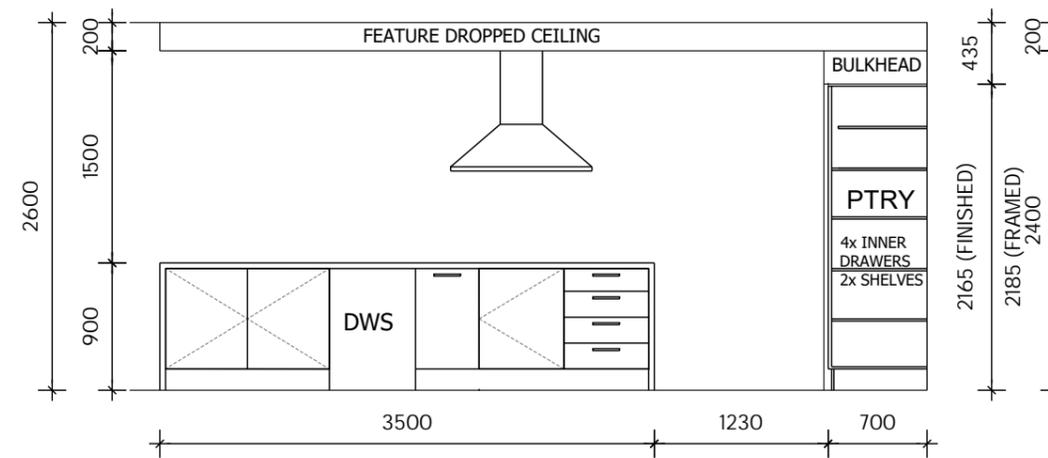
DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:200	
JOB No: A008108	DRWG No.: 12	ISSUE: D	



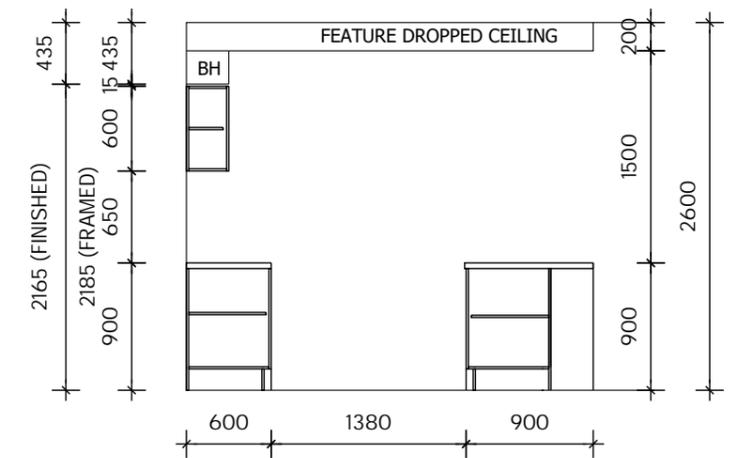
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

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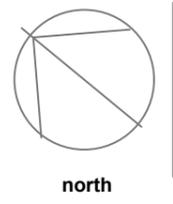
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HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX
DRAWING TITLE:
KITCHEN PLANS

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:50	
JOB No: A008108	DRWG No.: KD	ISSUE: D	



Driveway by builder

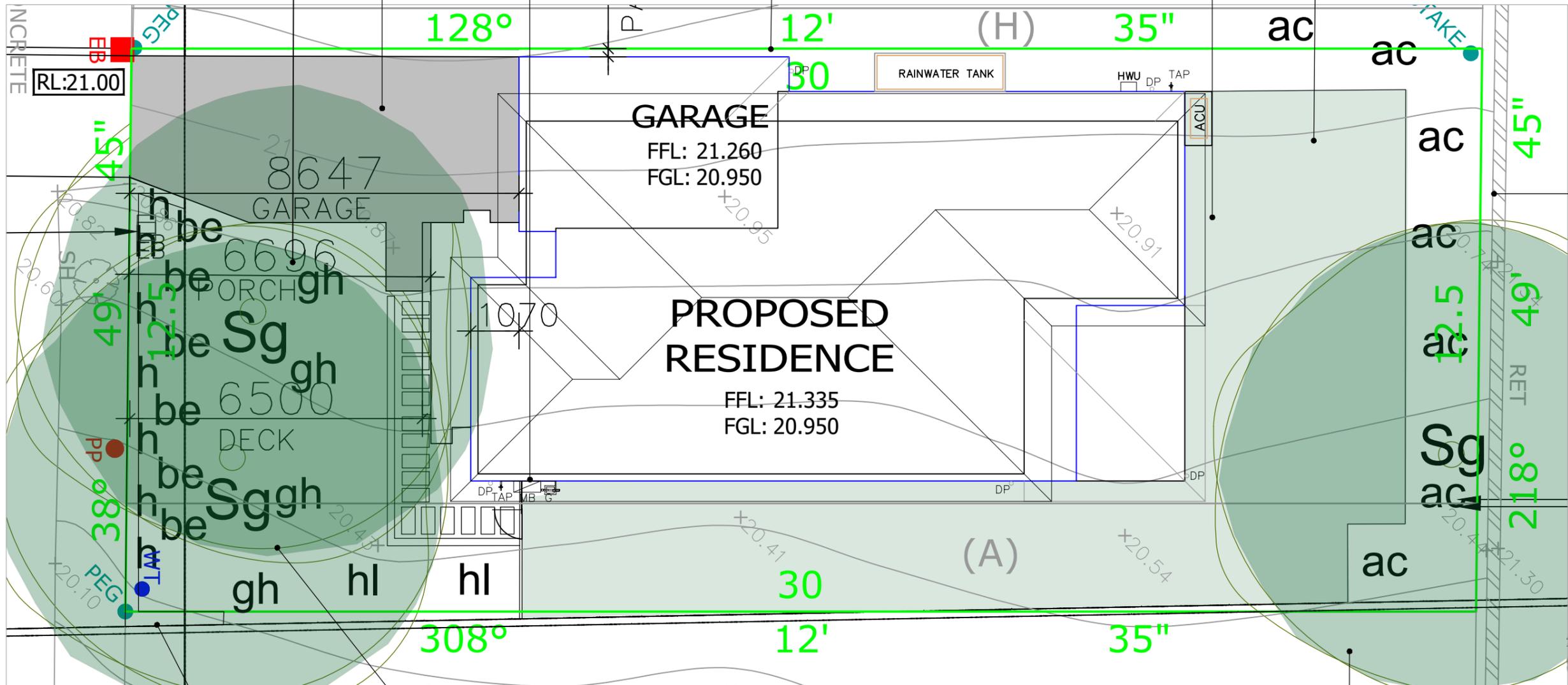
Use native soil mix and local recycle leaf litter for dense mulching

Small pine timber retaining wall using H4 timber to approx 400mm high TW (top of wall) at approx 20.6 to 20.8. Infill with backfill and gravel with 600x300 stepping pads allowing for wheelie bin access. Install side gate and fence to 1800ht

Sir Walter soft leaf buffalo grass. Use Gypsum first to allow for greater plant root depth. Follow supplier instructions

Gravel or mulch to side passage

H4 timber edge 100x25



New 1800 fence to boundaries

Approx location of 400 high H4 pine retaining wall TW rl 20.6 to 20.4 Paint wall Matt black

- Sg 2x Syncarpia glomulifera x25ltr
- be 5x Banksia ericifolia x200mm pot
- gh 4x Grevillea Honey Gem x200mm pot
- hl 2x Hakea laurina x200mm pot
- h 6x Hardenbergia violacea x140mm pot

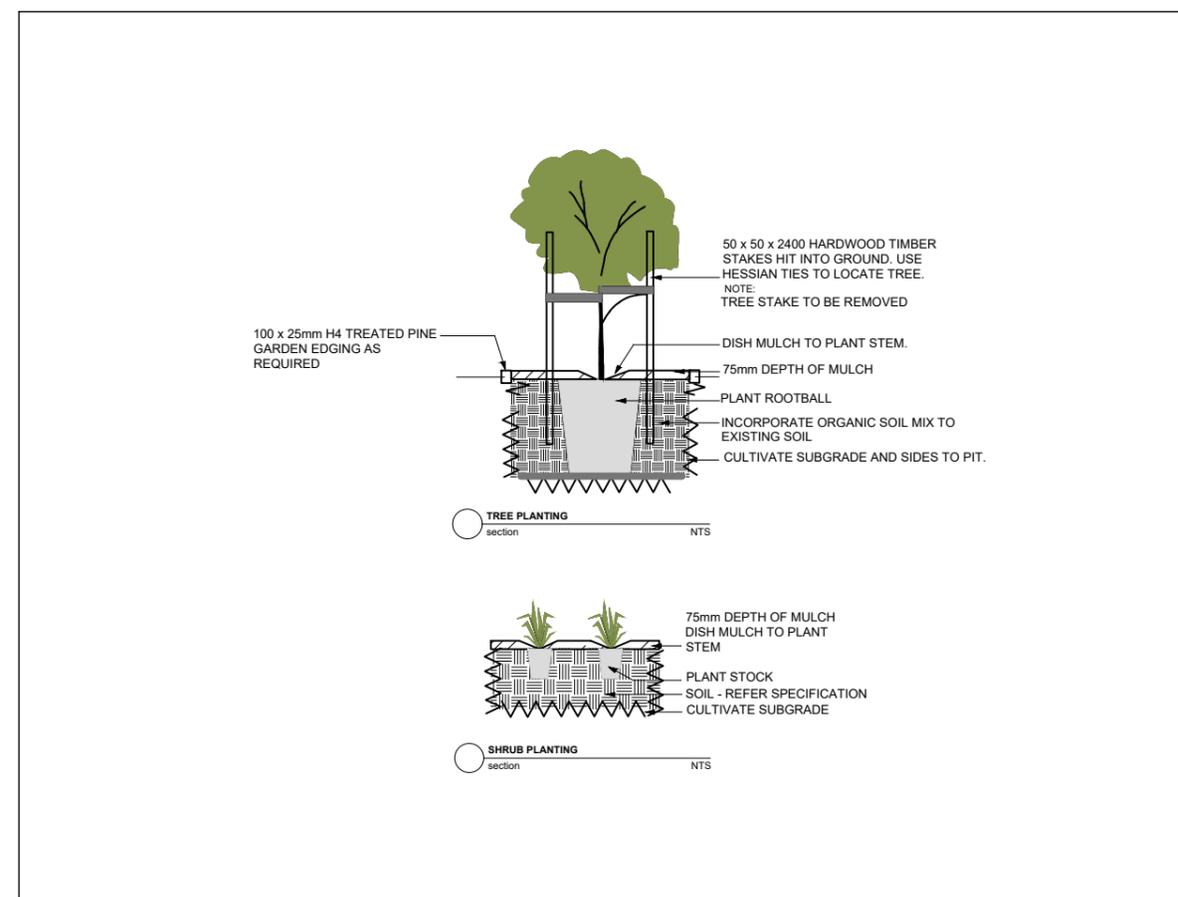
- ac 7 x Acacia floribunda x 200mm pot
- Sg 1 x Syncarpia glomulifera x25ltr

Drawing: AD/TT	Checked by: AD
Andrew Davies	Job: R12 16.1.19
Date: 8.10.19	Issue: C
Scale: 1to100 A3	
Approx	



Plant schedule

<i>Acacia longifolia</i>	Acacia	200	3.5x3.5	7
<i>Banksia ericifolia</i>	Banksia shrub	200	3.5 x 3.0	5
<i>Grevillea Honey Gem</i>	Grevillea	200	3.0 x 3.5plus	4
# <i>Hardenbergia violacea</i>	Hardenbergia	140	.8x.5	20
<i>Hakea laurina</i>	Hakea shrub	200	3.0 x4.0	2
<i>Syncarpia glomifera</i>	Turpentine tree	25ltr	5 plus x20 plus	3



Planting detail

— Landscape plans prepared as per Pittwater DCP 21 section C1.1 Landscaping

LANDSCAPE GENERAL SPECIFICATION AND NOTES

All landscape works and material supply, to be in accordance with AS 4000, LCA guidelines and Occupational Health & Safety standards.

All landscape works to comply with relevant Australian Standards and relevant Building Codes of Australia

All dimensions and locations to be checked on site and confirmed by landscape site supervisor before commencement of works

Do not scale from drawings. Dimensions take preference

Plant schedule and quantities to be used as guide only and to be confirmed by contractor before final purchase of plants

Final plant positions to be determined on site (by Landscape Supervisor).

DESIGN LIABILITY NOTE: No liability is accepted by these plans. Contractors are required to check ALL construction facts, figures and relevant information pertaining to the soft and hard scape works to be performed. Should anomalies occur, the designer or a representative of Liberty Landscapes Pty Ltd must be contacted and given due notice and sufficient documentation and, if required, due compensation to allow for adjustment/s to plans, documentation etc

REMOVAL OF NOXIOUS WEEDS: As a duty of care exists for all contractors: if a noxious weed exists onsite it should be removed after discussion with the owner or site supervisor.

ENVIRONMENTAL MANAGEMENT AND SEDIMENT CONTROL: All Landscape works to adhere with Environmental Legislation outlined in the *Protection of the environment operations act 1997*, by the EPA NSW.

It is highly recommended to use Dial Before You Dig services – contact for information at www.dialbeforeyoudig.com.au or call 1100.

TREES: All trees to be staked: use 2 x hardwood 50x50mm stakes and hessian webbing. See detail

TURF: 1. Install turf rolls diagonal to the fall of the land. Roll turf following installation, and water as required. Use soft leaf Buffalo sp

2. 50 - 70mm topsoil underlay to be used in ground preparation .Note check ph after construction and before laying turf, adjust as required for optimum plant growth

SOIL:

1. Contractor is to check soil pH levels, two weeks prior to planting, and allow for reasonable adjustments, using lime or similar to ensure plant viability

2. Break up existing ground surface using mattock, rotary hoe or tractor tine as required

3. Topsoil sandy loam 50mm depth to turf areas.

4. Where necessary mound soil to assist in soil drainage to avoid root rot and poor plant growth

5. Incorporate ¼ tonne organic soil mix into holes where trees are planted, using recycled leaf litter as mulch

6. Soil Quality to be Australian Native Landscape Standard

7. Supply and Install 'Garden Mix' to all garden beds incorporated into the top 300mm of existing site profile. Note use rotary hoe as required do not just place on top of ground

MULCH: Mulch to be installed to all planter beds to a depth of 75mm. Mulch type to be Recycled Leaf Litter ideally from local tree company based on more native plants than general exotics.

EDGING: See plan for locations. Top edge higher than lawn to allow garden beds to be aerated & mounded

DRAINAGE: fall paving to lawn area

Install Everhard drainage pit to front of house. Liaise with Rawson Homes re connection to stormwater pipes

LIGHTING: to future plans TBA

MAINTENANCE: New plants to receive regular deep irrigation for a minimum 12 weeks establishment period. Seasonal pruning, fertilising and pest and disease checks to be carried out. Advice by qualified horticulturalist recommended

IRRIGATION: Drip irrigation TBA



**RAWSON
HOMES**

External Colour Selections

A/008108

Lot 16, Proposed Road, Warriewood NSW 2102

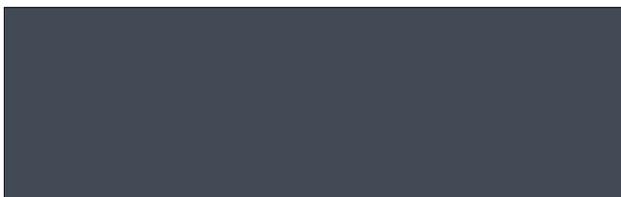
Robert Baxter



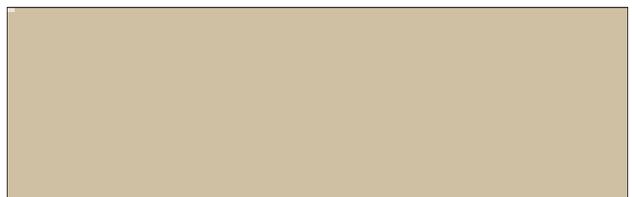
Main Brick: PGH smooth - Volcanic



Roof: Horizon profile - Camelot



Secondary Roof: Colorbond Ironstone



Garage Door: Nullabor Woodgrain Paperbark



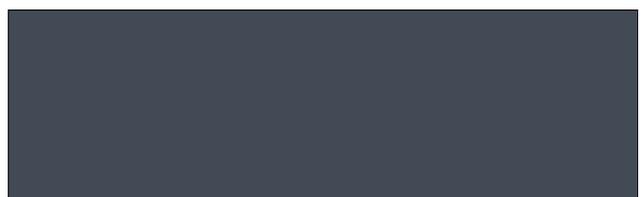
Window Frames: Stone Beige



Fascia, rainwater tank: Colorbond Paperbark



Driveway: Avista Gunmetal



Barge, Gutter, downpipes: Colourbond Ironstone



Matrix/Easylap Cladding: Taubmans Surfmist



Eaves: Taubmans Crisp White